

INTRODUCED: July 22, 2024

AN ORDINANCE No. 2024-203

To authorize the special use of the properties known as 1801 Richmond Highway, 1805 Richmond Highway, 1807 Richmond Highway, 1809 Richmond Highway, and 1817 Richmond Highway for the purpose of a mixed-use building, upon certain terms and conditions. (6<sup>th</sup> District)

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: SEP 9 2024 AT 6 P.M.

WHEREAS, the owner of the properties known as 1801 Richmond Highway, 1805 Richmond Highway, 1807 Richmond Highway, 1809 Richmond Highway, and 1817 Richmond Highway, which are situated in a B-3 General Business District, desires to use such properties for the purpose of a mixed-use building, which use, among other things, is not currently allowed by sections 30-438.3:1, concerning floor area and usable open space, 30-438.5, concerning height, 30-710.14, concerning internal landscaping requirements, and 30-730.2, concerning bicycle parking requirements, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions

AYES: \_\_\_\_\_ NOES: \_\_\_\_\_ ABSTAIN: \_\_\_\_\_

ADOPTED: \_\_\_\_\_ REJECTED: \_\_\_\_\_ STRICKEN: \_\_\_\_\_

set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or

(vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the properties known as 1801 Richmond Highway, 1805 Richmond Highway, 1807 Richmond Highway, 1809 Richmond Highway, and 1817 Richmond Highway and identified as Tax Parcel Nos. S007-1527/001, S007-1527/003, S007-1527/004, S007-1527/005, and S007-1527/006, respectively, in the 2024 records of the City Assessor, being more particularly shown on a survey entitled “Consolidation Plat, Five (5) Parcels Containing 0.836 Acre of Land Known as #1801 - #1817 Richmond Highway, Being Parcels: S007-1527/001, S007-1527/003, S007-1527/004, S007-1527/005 & S007-1527/006, City of Richmond, Virginia,” prepared by Balzer & Associates, and dated June 7, 2022, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a mixed-use building, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Marquez Plaza, 1805 Richmond HWY, Richmond, VA 23224,” prepared by Baskervill, and dated December 21, 2023, and the plans entitled “Marquez Plaza,” prepared by SilverCore, dated October 27, 2023, and last revised April 19, 2024, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a mixed-use building containing up to 96 dwelling units with a minimum of 3,720 square feet of commercial space, substantially as shown on the Plans.

(b) No fewer than 45 off-street parking spaces shall be provided for the Special Use, substantially as shown on the Plans.

(c) The height of the Special Use shall not exceed six stories, substantially as shown on the Plans.

(d) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way, including the installation of new sidewalk, seven street trees, and additional buffer elements along Richmond Highway, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works or his designee that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following the written confirmation by the Director of Public Works, or his designee, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and

conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

APPROVED AS TO FORM:

CITY ATTORNEY'S OFFICE



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.rva.gov

## Master

**File Number: Admin-2024-0595**

**File ID:** Admin-2024-0595      **Type:** Request for Ordinance or Resolution      **Status:** Regular Agenda

**Version:** 1      **Reference:**      **In Control:** City Clerk Waiting Room

**Department:** Richmond Dept of Planning & Development. Review      **Cost:**      **File Created:** 06/07/2024

**Subject:**      **Final Action:**

<b>Title:</b>	
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**Internal Notes:**

**Code Sections:**

**Agenda Date:** 07/22/2024

**Indexes:**

**Agenda Number:**

**Patron(s):**

**Enactment Date:**

**Attachments:** Admin-2024-0595 - APPLICATION DOCS,  
Admin-2024-0595 - AATF Ordinance

**Enactment Number:**

**Contact:**

**Introduction Date:**

**Drafter:** jonathan.brown@richmondgov.com

**Effective Date:**

**Related Files:**

### Approval History

Version	Seq #	Action Date	Approver	Action	Due Date
1	1	7/17/2024	Matthew Ebinger	Approve	7/19/2024
1	2	7/17/2024	Kris Daniel-Thiem - FYI	Notified - FYI	
1	3	7/17/2024	Kevin Vonck	Approve	7/24/2024
1	4	7/17/2024	Alecia Blackwell - FYI	Notified - FYI	
1	5	7/17/2024	Sharon Ebert	Approve	7/19/2024
1	6	7/17/2024	Caitlin Sedano - FYI	Notified - FYI	
1	7	7/18/2024	Jeff Gray	Approve	7/19/2024
1	8	7/18/2024	Lincoln Saunders	Approve	7/22/2024
1	9	7/18/2024	Mayor Stoney	Approve	7/22/2024

### History of Legislative File



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<b>Ver- sion:</b>	<b>Acting Body:</b>	<b>Date:</b>	<b>Action:</b>	<b>Sent To:</b>	<b>Due Date:</b>	<b>Return Date:</b>	<b>Result:</b>
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Text of Legislative File Admin-2024-0595

# City of Richmond

## Intracity Correspondence

**O&R Transmittal**

**DATE:** July 17, 2024

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (by request)  
(This is no way reflects a recommendation on behalf of the Mayor)

**THROUGH:** J.E. Lincoln Saunders, Chief Administrative Officer

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development  
and Planning

**FROM:** Kevin J. Vonck, Director of Planning & Development Review

**RE:** To authorize the special use of the properties known as 1801 Richmond Highway, 1805 Richmond Highway, 1807 Richmond Highway, 1809 Richmond Highway, and 1817 Richmond Highway for the purpose of a mixed-use building, upon certain terms and conditions.

**ORD. OR RES. No.**

**PURPOSE:** The applicant is requesting a Special Use Permit to authorize a mixed-use building, including up to 69 dwelling units, a minimum of 3,720 square feet of commercial space, and off-street parking, within a B-3 General Business Zoning District. These uses, among other things, are not currently permitted by sections 30-438.5, 30-438.3:1, 30-710.14(2) and 30-730.2, regarding building height, usable open space, landscaping within parking areas, and long-term bicycle parking, respectively, of the Code of the City of Richmond (2024). A Special Use Permit is therefore required.

**BACKGROUND:** The property is located in the Bellemeade neighborhood on Richmond Highway between Webber and Royall Avenues. The properties are currently a combined 36,287 sq. ft. (.81

acre) improved parcels of land, including a paved parking lot constructed in 2014.

The City’s Richmond 300 Master Plan designates a future land use for the subject property Corridor Mixed Use, which is defined as uses “Found along major commercial corridors and envisioned to provide for medium- to medium-high-density pedestrian- and transit-oriented development.” Intensity: Buildings generally ranging from two to ten stories, based on street widths and depending on the historic context and stepping down in height adjacent to residential areas. New buildings that are taller than historical buildings should step back from the build-to line after matching the height of the predominant cornice line of the block. Primary Uses: Retail/office/personal service, multi-family residential, cultural, and open space. Secondary Uses: Single-family houses, institutional, and government. (p. 60)

The current zoning for this property is B-3 General Business District. Properties to the east are mostly zoned R-5 Single-family Residential District and those to the West are generally zoned M-1 Light Industrial District. The area is primarily small, commercial uses with an historic pattern of automobile dependency. The proposed density of the parcel is 69 units upon .81 acres, or 85 units per acre.

**COMMUNITY ENGAGEMENT:** The Bellemeade Civic Association was notified of the application; additional community notification will take place after introduction.

**STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL:** None

**FISCAL IMPACT:** The Department of Planning and Development Review does not anticipate any impact to the City’s budget for this or future fiscal years.

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** July 22, 2024

**CITY COUNCIL PUBLIC HEARING DATE:** September 9, 2024

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** Planning Commission, September 3, 2024

**AFFECTED AGENCIES:** Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**ATTACHMENTS:** Draft Ordinance, Application Form, Applicant’s Report, Plans, Survey, Map

**STAFF:** Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304  
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

**Project Name/Location**

Property Address: Royall Ave and Richmond Hwy Date: 12/20/2023  
 Parcel I.D. #: S0071527001, 003,004,005,006 Fee: 2,400  
 Total area of affected site in acres: .9 AC +/-

(See **page 6** for fee schedule, please make check payable to the “**City of Richmond**”)

**Zoning**

Current Zoning: B-3

Richmond 300 Land Use Designation: Corridor Mixed-Use

**Proposed Use**

(Please include a detailed description of the proposed use in the required applicant’s report)

Existing Use: vacant land

Is this property subject to any previous land use cases?

Yes  No  If Yes, please list the Ordinance Number: \_\_\_\_\_

**Applicant/Contact Person:** Tarvaris J. McCoy


Company: Marquez Plaza LLC  
 Mailing Address: 535 N 2nd Street Suite 100  
 City: Richmond State: VA Zip Code: 23219  
 Telephone: (804) 3812501 Fax: ( )  
 Email: tjmccoy@therealmccoycos.com

**Property Owner:** MWW LLC

If Business Entity, name and title of authorized signee: Tarvaris J. McCoy, Manager

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 927 Hull Street  
 City: Richmond State: VA Zip Code: 23225  
 Telephone: (804) 325-3797 Fax: ( )  
 Email: tjmccoy@therealmccoycos.com

**Property Owner Signature:** 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

## **Applicant's Report 1801 Richmond Highway (SUP-141098-2024)**

The applicant is proposing to develop a mixed-use building on the site to include approximately 96 units of housing for seniors and approximately 3,000 square feet of commercial space. The proposed development is a well-designed, amenity-rich offering for seniors. The applicant requests the following conditions in with regard to the subject property

### **Zoning and Use:**

The applicant understands that a Plan of Development is required for the construction of any new building containing more than ten dwelling units and will complete the plan of development process.

### **B-3 Feature Requirements:**

**Sec. 30-438.3:1.** – A usable open space ratio of not less than 0.25 is required. Usable open space ratio means the total square foot amount of usable open space on a lot or on a development site for each square foot of floor area on the lot or on the development site. **The total square footage of floor area is not provided on the plans; this requirement cannot be determined to be met.** Based on the site plan and the floor plans provided, this requirement does not appear to be met. The applicant requests zoning condition to be approved as drawn.

**Sec. 30-438.5.** - No building or structure shall exceed 35 feet in height in the B-3 General Business District. Additional height is permitted at a rate of 1' extra height for every 1' that all required yards are exceeded, up to 60' total height. The smallest yard exceeded is the front yard, where the building is set back ~3.5' from the front property line; therefore, the maximum height allowed for the building at the proposed location is 38.5'. **The height of the premanufactured shade structure is measured at ~68'; this requirement is not met.** The applicant requests a zoning condition to be approved as drawn.

### **Parking:**

**Sec. 30-730.2.** – For 96 dwelling units, 24 long-term and 4 short-term bicycle parking spaces are required. **A long-term bicycle parking area is shown on the first floor, but the number of parking spaces is not shown or listed; this requirement cannot be determined to be met, although it appears that only 12 long-term bicycle parking spots are provided. No short-term bicycle parking spaces can be located on the plans; this requirement is not met.** The proposed development would provide 16 spaces in the long-term storage room and will provide eight additional bike storage units on the rear exterior of the building and short-term storage on the south exterior of the building. The applicant requests a zoning condition as drawn.

The request is to allow the applicant to build as represented in the attached plans. The use is very much aligned with the comprehensive and neighborhood plans for the area. The Richmond 300 Comprehensive Plan notes that the most appropriate

use for this site is Corridor Mixed-Use. Corridor mixed-use is identified in the following manner:

*Found along major commercial corridors and envisioned to provide for medium- to medium-high-density pedestrian- and transit-oriented development. The building size, density, and zoning districts for these areas may vary significantly depending on historical densities and neighborhood characteristics. Future development should*

*generally complement existing context. Uses may be mixed horizontally in several buildings on a block or vertically within the same building. Developments continue introduce a gridded street pattern to increase connectivity. Ground floor uses engage with, and enliven, the street. Monolithic walls are discouraged, while windows, doors, storefronts, and other features that allow transparency and interaction between building and street are encouraged. Active commercial ground floor uses are required on street-oriented commercial frontages.*

*Pedestrian, bicycle, and transit access are prioritized and accommodated. Bike parking is provided. Driveway entrances are required to be off alleys whenever possible; new driveways are prohibited on priority and principal streets. Parking areas are located within the structure and to the rear of buildings and require screening; shared parking requirements are encouraged.*

*Intensity: Buildings generally ranging from two to ten stories, based on street widths and depending on the historic context and stepping down in height adjacent to residential areas. New buildings that are taller than historical buildings should step back from the build-to line after matching the height of the predominant cornice line of the block.*

*Primary Uses: Retail/office/personal service, multi-family residential, cultural, and open space.*

*Secondary Uses: Single-family houses, institutional, and government.*

The applicant puts forth the proposed development as a medium to high density development in the type called for by the plan.

The site will not:

- a. be detrimental to the safety, health, morals and general welfare of the community involved;

Why- The proposed use is very much aligned with the vision and planning of the City of Richmond

- b. tend to create congestion in streets, roads, alleys and other public ways and places in the area involved;

- a. Why- The addition of this development fits well within the ideal uses for the site. Additionally, the development provides entry from the alley way not from Richmond Hwy

- c. create hazards from fire, panic or other dangers;

- a. Why – There is a minimal level of fire risk associated with any development. There is no additional risk associated with this application. Furthermore, the sprinklered building is well protected against fire.

- d. tend to cause overcrowding of land and an undue concentration of population;

- a. Why- The proposed density is aligned with density desired across the neighborhood per the Richmond 300 plan. No overcrowding is proposed as a result of the application.

- e. adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or
  - a. Why- the affect of the construction on the public infrastructure will be minimal. Any temporary disruptions or redirections will be coordinated with the city appropriately and approved where necessary
- f. interfere with adequate light and air.
  - a. Why – The project does not interfere with adequate air and light

The development has been discussed in detail with city staff and updated prior to submission to be even more aligned with the city's vision and direction for the neighborhood. Overall, the project will be a great benefit and serve as a catalyst for the growth and positive development of the neighborhood.



# MARQUEZ PLAZA, LLC

# MARQUEZ PLAZA

1805 RICHMOND HWY  
RICHMOND, VA 23224

### OWNER / CLIENT

MARQUEZ PLAZA, LLC  
927 HULL STREET  
RICHMOND, VA 23224  
CONTACT: KELVIN HANSON

### CIVIL ENGINEER

SILVERCORE  
7110 FOREST AVE  
RICHMOND, VA 23226  
804-282-6900  
WWW.SILVERCORE.US  
CONTACT: STEVE KING

### ARCHITECTURE / INTERIORS / MEP

BASKERVILL  
1051 E CARY ST., SUITE 200 (23219)  
RICHMOND, VA 23218-0400  
+1 804 343 1010  
WWW.BASKERVILL.COM  
CONTACT: SONNY JOY-HOGG

### VICINITY MAP



### DESCRIPTION OF WORK

AN APPROXIMATELY 82,000 SQUAREFOOT, 5-STORY MULTIFAMILY BUILDING WITH ACCESSORY ASSEMBLY SPACE AND PUBLIC ACCESS RETAIL. THE RESIDENTIAL BUILDING IS DEFINED AS A +55-AGE RESTRICTED FACILITY, WITH 96 DWELLING UNITS.

### SUP DRAWING INDEX

SHEET NO	SHEET TITLE	REV NO	REV DATE
T1.0	TITLE SHEET		
1	SCHEMATIC LAYOUT		
2	SCHEMATIC LANDSCAPE		
A1.1	1ST FLOOR PLAN		
A1.2	2ND-5TH FLOOR PLANS		
A1.3	ROOF PLAN		
A2.1	EXTERIOR ELEVATIONS		
A2.2	EXTERIOR ELEVATIONS & BUILDING SECTIONS		



BASKERVILL  
300 S. ORANGE AVENUE, SUITE 1125 ORLANDO, FL 32801

NOT FOR  
CONSTRUCTION

COPYRIGHT 2023 BASKERVILL. USE OF THIS WORK IN WHOLE OR IN PART IS FORBIDDEN WITHOUT EXPRESSED WRITTEN CONSENT.

PROJECT NUMBER  
**2.220631.0**

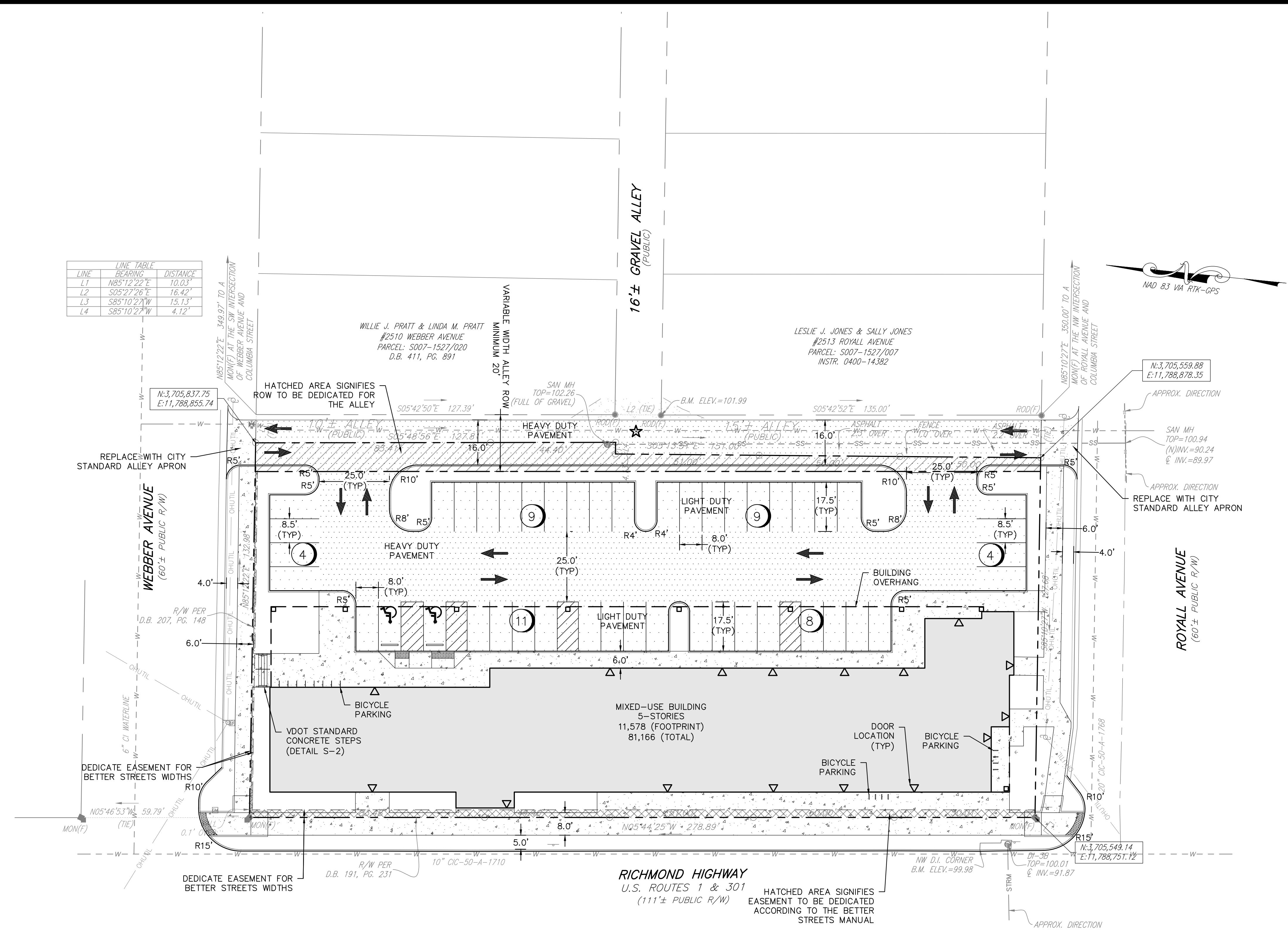
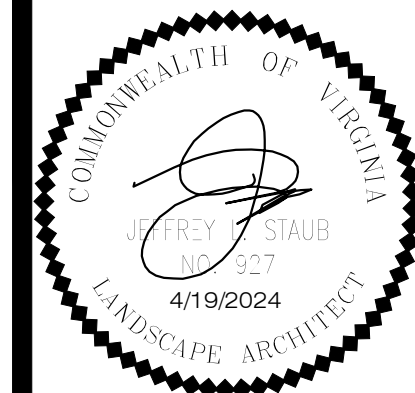
**MARQUEZ PLAZA**  
1805 RICHMOND HWY  
RICHMOND, VA 23224

ISSUE  
**12/21/2023 -**  
◀ SUP SUBMISSION

TITLE SHEET  
**T1.0**



RICHMOND HWY 3D VIEW



LINE	BEARING	DISTANCE
L1	N85°12'22"E	10.03'
L2	S05°27'26"E	16.42'
L3	S85°10'27"W	15.13'
L4	S85°10'27"W	4.12'

**TEXT LEGEND**

(SQ.FT.)	SQUARE FEET
(R/W)	RIGHT OF WAY
(E)	CENTERLINE
(MON)	MONUMENT
(D.B.)	DEED BOOK
(PG.)	PAGE
(E/P)	EDGE OF PAVEMENT

**SYMBOL LEGEND**

	GAS METER
	GUY WIRE
	MONITORING WELL
	POWER TRANSFORMER
	SEWER MANHOLE
	SIGN POST
	STORM MANHOLE
	TELEPHONE MANHOLE
	UTILITY POLE
	WATER VALVE

**LINETYPE LEGEND**

	OVERHEAD UTILITIES
	FENCE
	SANITARY SEWER (1/16)
	STORM SEWER (1/16)

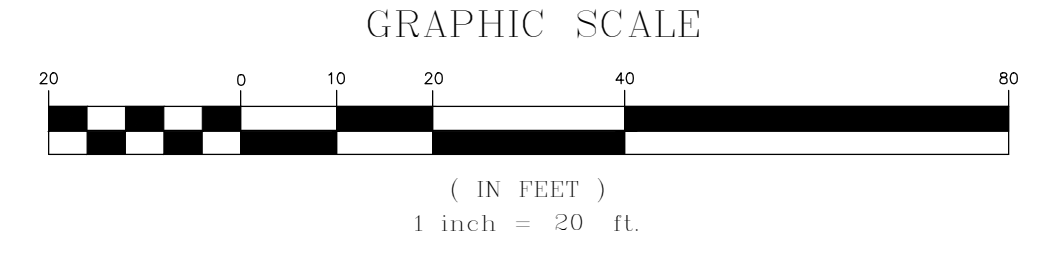
THE TOPOGRAPHICAL SURVEY SHOWN HEREON IS FROM A FIELD SURVEY COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF CHRISTOPHER M. FINLEY FROM AN ACTUAL GROUND SURVEY MADE UNDER HIS SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON JUNE 4, 2022; AND THAT THIS PLAN, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

**NO TITLE REPORT PROVIDED AS OF JUNE 7, 2022**  
THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO INFORMATION WHICH MAY BE DISCLOSED BY SUCH. NOT ALL EASEMENTS MAY BE SHOWN.

CONTOUR INTERVAL = 1 FOOT  
HORIZONTAL DATUM = NAD 83  
VERTICAL DATUM = NAVD 88

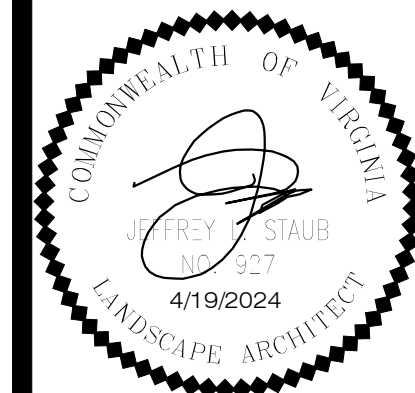
UNDERGROUND UTILITIES SHOWN HEREON BASED ON PAINTED MARKINGS FROM MISS UTILITY TICKETS #B215301032-00B, #B215301046-00B, #B215301067-00B & #B215301079-00B AND VISIBLE FIELD EVIDENCE.

NOTE: SURFACE DATA IS UNAVAILABLE IN FENCED-IN AREA. FENCE AREA WAS LOCKED AT TIME OF SURVEY AND INACCESSIBLE.



REV.	DATE	DESCRIPTION
1	2/28/24	SUP COMMENTS
2	4/19/24	SUP COMMENTS

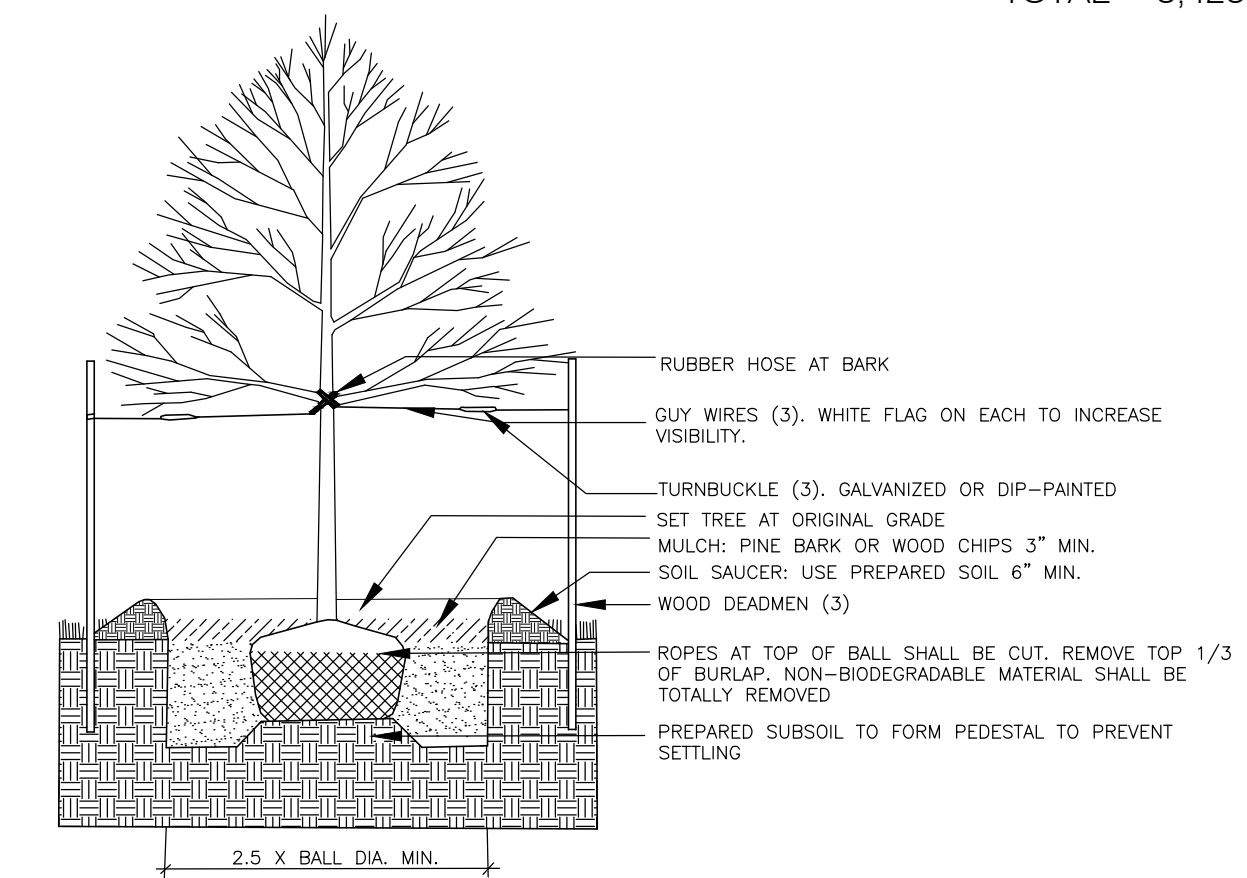
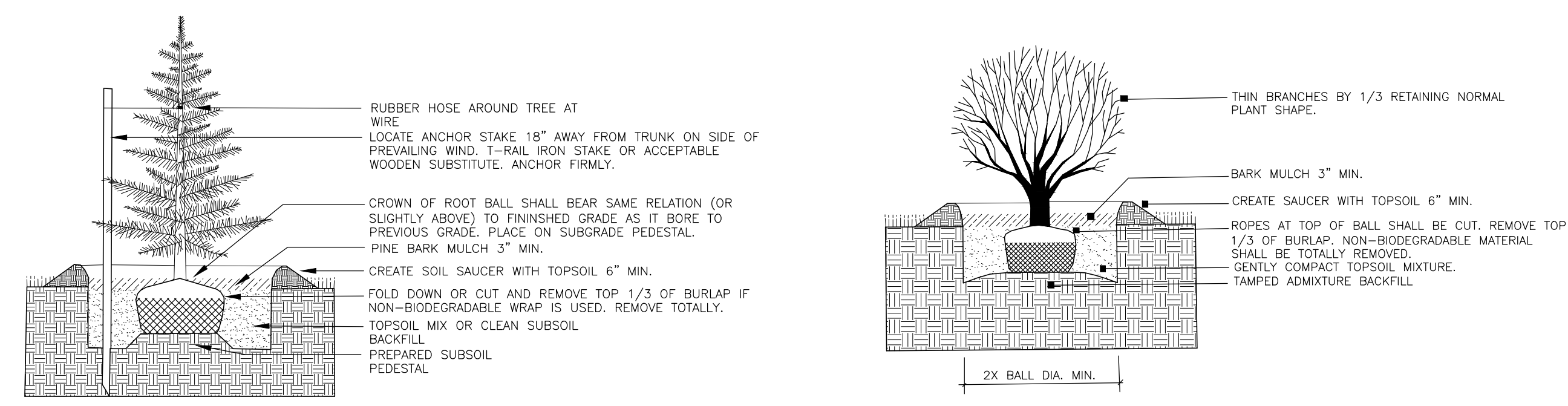
DESIGN BY: Steve King  
CHECKED BY: Jeff Staub  
DRAWING SCALE: 1"=20'  
DATE: 10/27/2023



MARQUEZ PLAZA  
**SCHEMATIC LANDSCAPE**  
 OLD SOUTH DISTRICT  
 CITY OF RICHMOND, VIRGINIA

**PLANT LIST**

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COVER	REMARKS
<b>TREES &amp; SHRUBS</b>						
○	2	Platanus x acerifolia	London Plane Tree	2.5" CAL.	200 SF	200 X 2 = 400 SF
○	7	Ulmus 'Morton Glossy'	Triumph Elm	2.5" CAL.	200 SF	200 X 7 = 1,400 SF
○	9	Crataegus viridis 'Winter King'	Winter King Hawthorn	2.0" CAL.	125 SF	125 X 9 = 1,125 SF
○	4	Prunus x Okame	Okame Cherry	2.0" CAL.	125 SF	125 X 4 = 500 SF
○	16	Ilex glabra	Inkberry Holly	24" MIN.		
						TOTAL = 3,425 SF



**GENERAL NOTES:**

- 1.) ALL PLANTING SHALL BE IN ACCORDANCE WITH PROJECT DOCUMENTS.
- 2.) SIZE OF PLANTS INDICATED ON THIS SUMMARY SHEET REFER TO SIZE OF PLANTS DELIVERED TO THE PROJECT SITE.
- 3.) THE CONTRACTOR SHALL WATER ALL LIVING TREES DURING THE WARRANTY PERIOD; SEE WATERING SCHEDULE BELOW.
- 4.) LOCATION OF PLANT MATERIAL SHOWN ON THE PLANS ARE APPROXIMATE AND SHALL BE ADJUSTED AS REQUIRED FOR CHANGES DUE TO ACTUAL FIELD CONDITIONS WHEN DIRECTED BY THE LANDSCAPE ARCHITECT.
- 5.) ON CENTER SPACING OF PLANT MATERIAL SHALL BE INDICATED IN THE LANDSCAPE SUMMARY OR PLAN, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- 6.) THE LOCATION OF ALL PLANT MATERIAL SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANTING PITS AND/OR BEDS AND INSTALLATION OF ANY PLANT MATERIAL.
- 7.) THE MULCHING MATERIAL FOR THIS PROJECT SHALL BE SHREDDED HARDWOOD BARK.

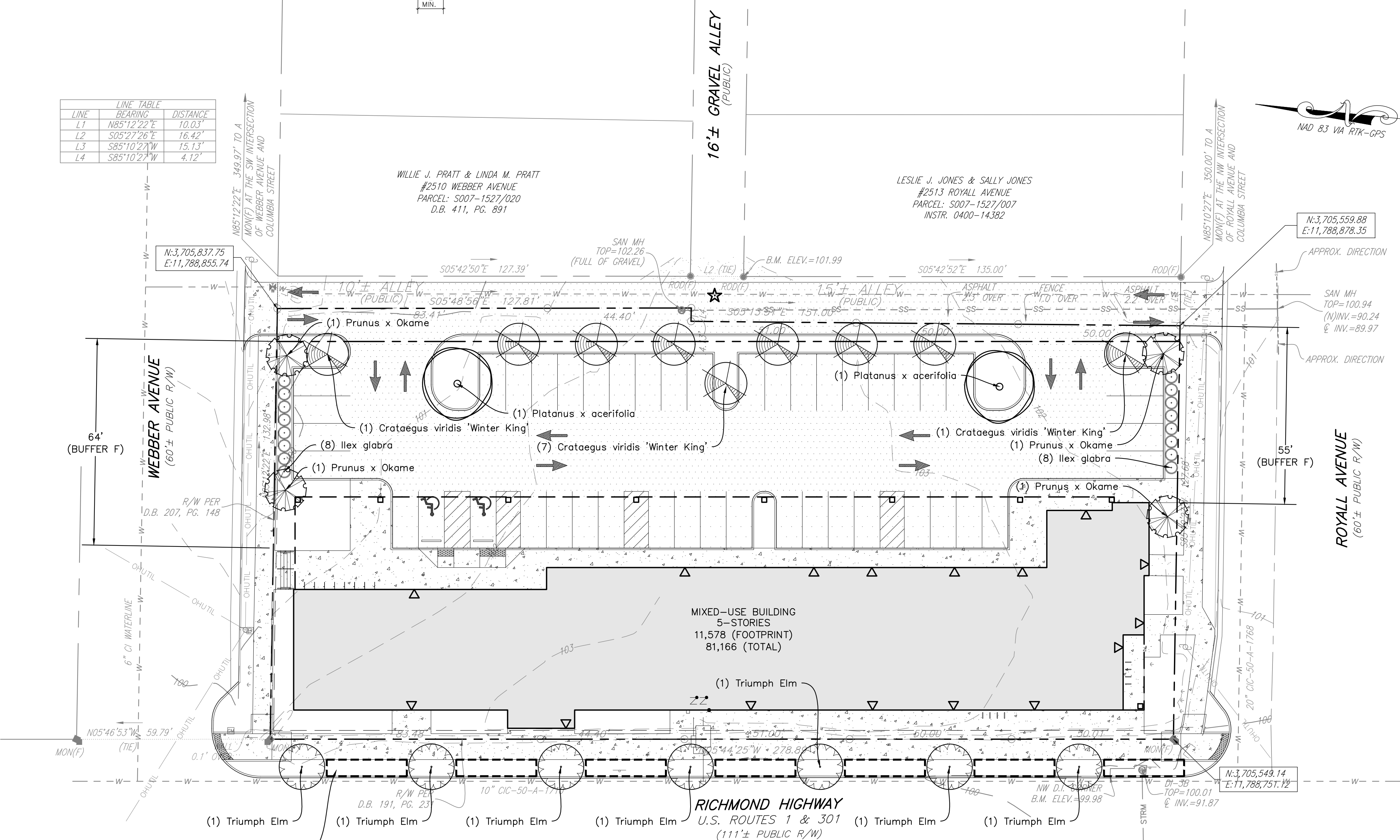
**WATERING SCHEDULE:**

- 1.) DURING THE ESTABLISHMENT PERIOD THE CONTRACTOR SHALL WATER EACH PLANT WITH THE FOLLOWING MINIMUM QUANTITIES OF WATER FOR EACH WATERING, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 

-DECIDUOUS TREES OVER 10' HT.	-12 GALLONS PER UNIT
-DECIDUOUS TREES 10' HT. OR LESS	-6 GALLONS PER UNIT
-EVERGREEN TREES	-8 GALLONS PER UNIT
- 2.) THE CONTRACTOR SHALL WATER ALL LIVING PLANTS EVERY 4 WEEKS DURING THE PERIOD BETWEEN APRIL 1 AND MAY 31, EVERY 2 WEEKS DURING THE PERIOD BETWEEN JUNE 1 AND SEPTEMBER 30, EVERY 4 WEEKS DURING THE PERIOD BETWEEN OCTOBER 1 AND NOVEMBER 30.

**TREE CARE NOTES:**

- 1.) APPLICABLE COUNTY TREE PLANTING SPECIFICATIONS SHALL BE FOLLOWED.
- 2.) ALL TREES TO MEET ANSI Z160 STANDARDS.
- 3.) ALL TREES SPECIFIED ARE BALLED AND BURLAPED. CONTAINER TREES ARE CONSIDERED SUBSTITUTES AND REQUIRE LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING.
- 4.) STAKES MUST BE REMOVED WITHIN 1 YEAR OF PLANTING.
- 5.) WHEN A BRANCH, STEM, OR LIMB IS BROKEN A CLEAN CUT AT THE SITE SHALL BE MADE.
- 6.) DEBRIS AND OTHER MATERIAL MAY NOT BE PLACED OR STORED AT THE BASE OF A TREE OR ANYWHERE OUTSIDE THE LIMIT OF WORK.
- 7.) DRIVING OR PARKING HEAVY EQUIPMENT ON THE BASE OF TREES SHALL BE AVOIDED WHENEVER POSSIBLE.
- 8.) STUMPS SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE.
- 9.) LANDSCAPE ARCHITECT SHALL APPROVE LOCATION OF ALL TREE PROTECTION FENCE.
- 10.) NO LARGE TREES SHALL BE PLANTED BENEATH WIRES.
- 11.) MINIMUM BRANCH HEIGHT FOR ALL TREES SHALL BE 5' ABOVE GRADE.



AT TIME OF SITE PLAN, ADDITIONAL BUFFER ELEMENTS TO BE CONSIDERED ALONG RICHMOND HIGHWAY SUCH AS HEDGES, FENCING, PLANTER BOXES, ETC.

THE TOPOGRAPHICAL SURVEY SHOWN HEREON IS FROM A FIELD SURVEY COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF CHRISTOPHER M. FINLEY FROM AN ACTUAL GROUND SURVEY MADE UNDER HIS SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON JUNE 4, 2022; AND THAT THIS PLAN, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

**NO TITLE REPORT PROVIDED AS OF JUNE 7, 2022**  
 THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO INFORMATION WHICH MAY BE DISCLOSED BY SUCH. NOT ALL EASEMENTS MAY BE SHOWN.

CONTOUR INTERVAL = 1 FOOT  
 HORIZONTAL DATUM = NAD 83  
 VERTICAL DATUM = NAVD 88

UNDERGROUND UTILITIES SHOWN HEREON BASED ON PAINTED MARKINGS FROM MISS UTILITY TICKETS #B215301032-00B, #B215301046-00B, #B215301067-00B & #B215301079-00B AND VISIBLE FIELD EVIDENCE.

NOTE: SURFACE DATA IS UNAVAILABLE IN FENCED-IN AREA. FENCE AREA WAS LOCKED AT TIME OF SURVEY AND UNACCESSIBLE.

**PERIMETER BUFFERS**

<b>WEBBER AVENUE (64'F)</b>	REQUIRED: 1 TREE PER 50LF: 2 TREES 4 SHRUBS PER 50 LF: 8 SHRUBS
<b>ROYALL AVENUE (55'F)</b>	REQUIRED: 1 TREE PER 50LF: 2 TREES 4 SHRUBS PER 50 LF: 5 SHRUBS
<b>RICHMOND HIGHWAY(279'F)</b>	REQUIRED: 7 TREES (40' SPACING)

**INTERNAL LANDSCAPING REQUIREMENTS:**  
 TREE COVERAGE REQUIREMENT:  
 REQUIRED: 30 SF PER PARKING SPACE(45 SPACES)=1,350 SF  
 PROVIDED: 1,525 SF

**TEXT LEGEND**

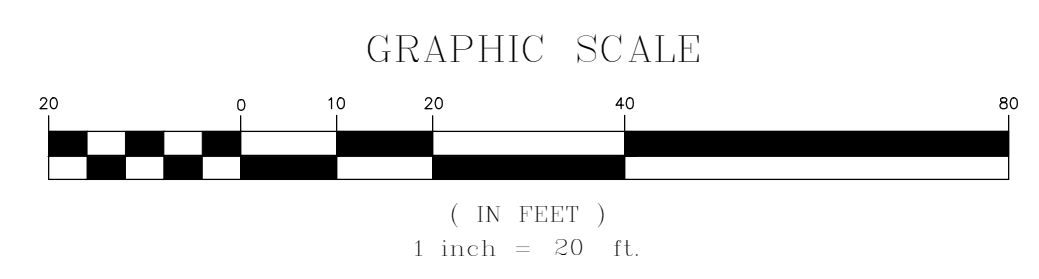
(SQ.FT.)	SQUARE FEET
(R/W)	RIGHT OF WAY
(C)	CENTERLINE
(MON)	MONUMENT
(D.B.)	DEED BOOK
(PG.)	PAGE
(E/P)	EDGE OF PAVEMENT

**SYMBOL LEGEND**

⊠	GAS METER
—	GUY WIRE
⊕	MONITORING WELL
⊞	POWER TRANSFORMER
⊗	SEWER MANHOLE
⊙	SIGN POST
⊚	STORM MANHOLE
⊛	TELEPHONE MANHOLE
⊜	UTILITY POLE
⊝	WATER VALVE

**LINETYPE LEGEND**

—○—○—	OVERHEAD UTILITIES
—○—	FENCE
---	SS- SANITARY SEWER (U/G)
---	STW- STORM SEWER (U/G)



BUILDING FLOOR AREA RATIO PER ZONING SEC. 30-1220.36	
LEVEL 1	= 6,868 SF
LEVEL 2	= 17,192 SF
LEVEL 3	= 17,153 SF
LEVEL 4	= 17,153 SF
LEVEL 5	= 17,153 SF
TOTAL	= 75,518 SF

USABLE OPEN SPACE PER ZONING SEC. 30-1220.128	
LEVEL 1	= 7,091 SF
LEVEL 2	= 112 SF
LEVEL 3	= 224 SF
LEVEL 4	= 224 SF
LEVEL 5	= 224 SF
ROOF	= 6,274 SF
TOTAL	= 14,150 SF

- COMMUNITY AMENITY
- RESIDENT AMENITY
- CORRIDOR
- ACCESS
- LEASING OFFICE
- BOH
- UTILITY SPACE
- RETAIL

NOTE: PARKING AND SITE COMPONENTS ARE FOR REFERENCE ONLY. REF CIVIL DRAWINGS FOR MORE INFORMATION

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300 S. ORANGE AVENUE, SUITE 1125 ORLANDO, FL 32801

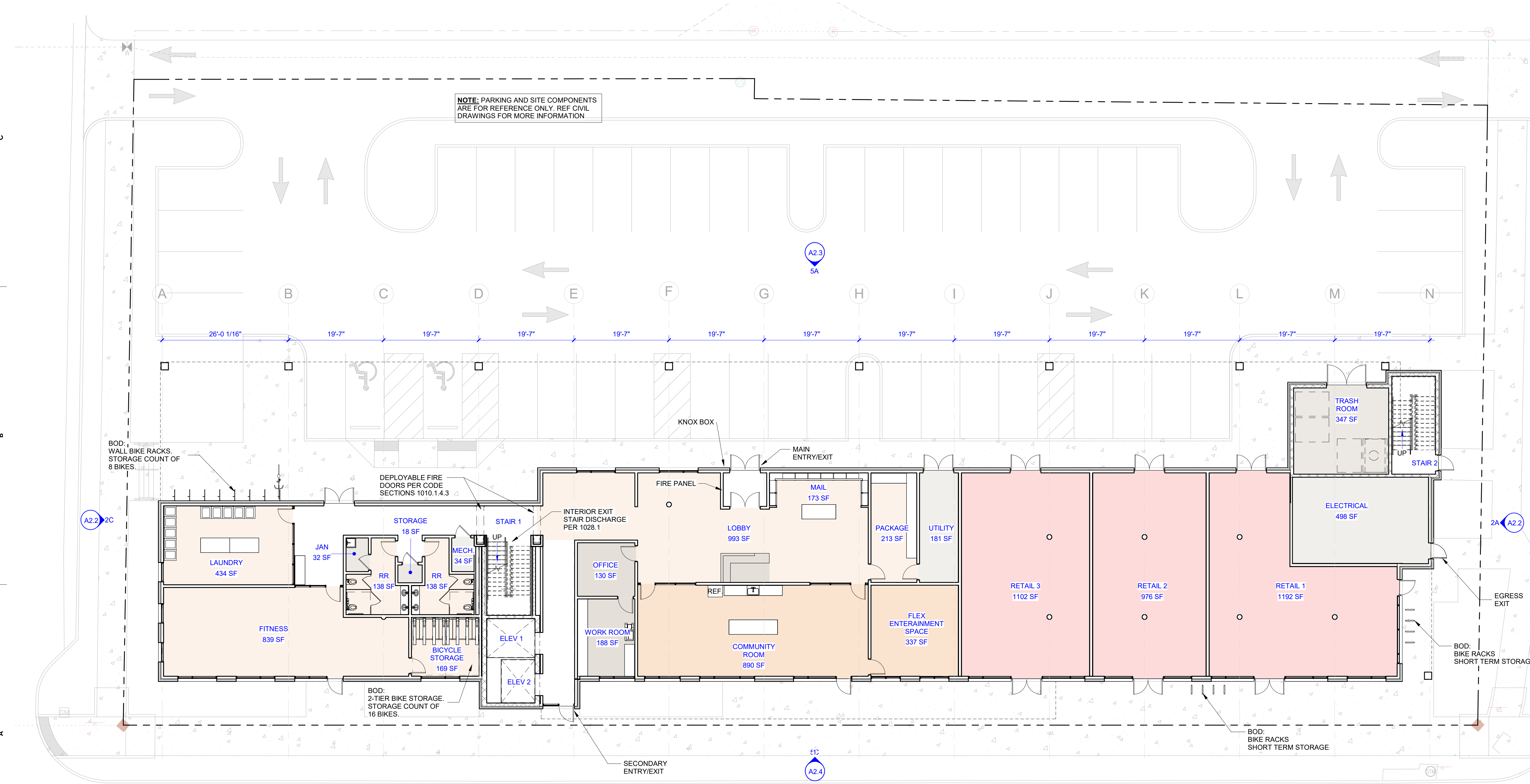
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PROJECT NUMBER  
**2.220631.0**

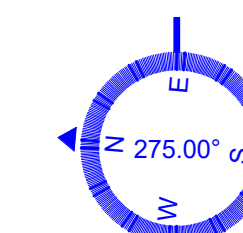
**MARQUEZ PLAZA**  
1805 RICHMOND HWY  
RICHMOND, VA 23224

ISSUE  
**12/21/2023 -**  
**← SUP SUBMISSION**



**5A 1ST FLOOR PLAN**

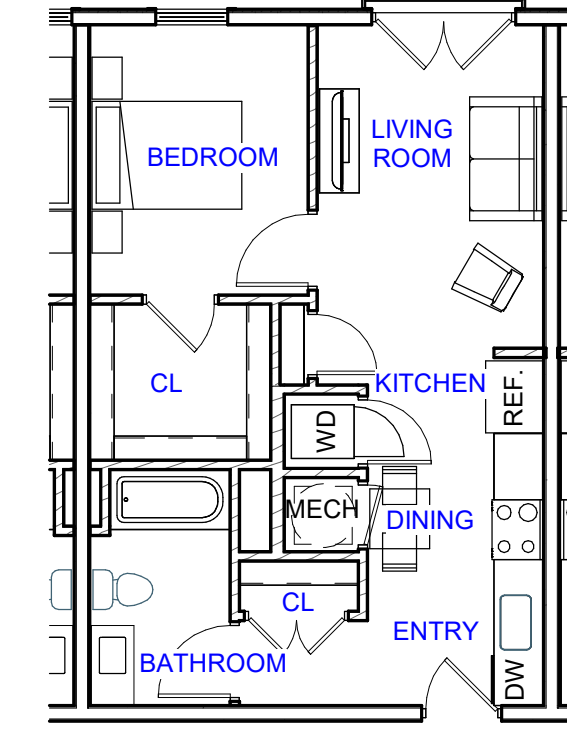
SCALE: 3/32" = 1'-0"



**1ST FLOOR PLAN**  
**A1.1**

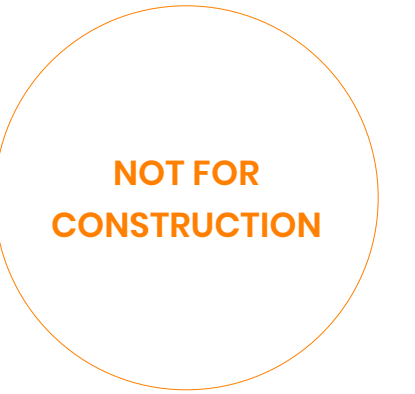
**AREA/UNIT TYPE**

<span style="display:inline-block; width:15px; height:15px; background-color:#d9ead3;"></span> 1 BEDROOM	<span style="display:inline-block; width:15px; height:15px; border:1px solid black;"></span> ACCESS
<span style="display:inline-block; width:15px; height:15px; background-color:#cfe2f3;"></span> 2 BEDROOM	<span style="display:inline-block; width:15px; height:15px; background-color:#f4cccc;"></span> BOH
<span style="display:inline-block; width:15px; height:15px; background-color:#fce4d6;"></span> RESIDENT AMENITY	<span style="display:inline-block; width:15px; height:15px; background-color:#f4cccc;"></span> UTILITY SPACE
<span style="display:inline-block; width:15px; height:15px; border:1px solid black;"></span> CORRIDOR	<span style="display:inline-block; width:15px; height:15px; background-color:#f4cccc;"></span> STUDIO



**2D ENLARGED PLAN - TYP 1 BED UNIT**  
SCALE: 1/8" = 1'-0" DRAWING REF: A1.2

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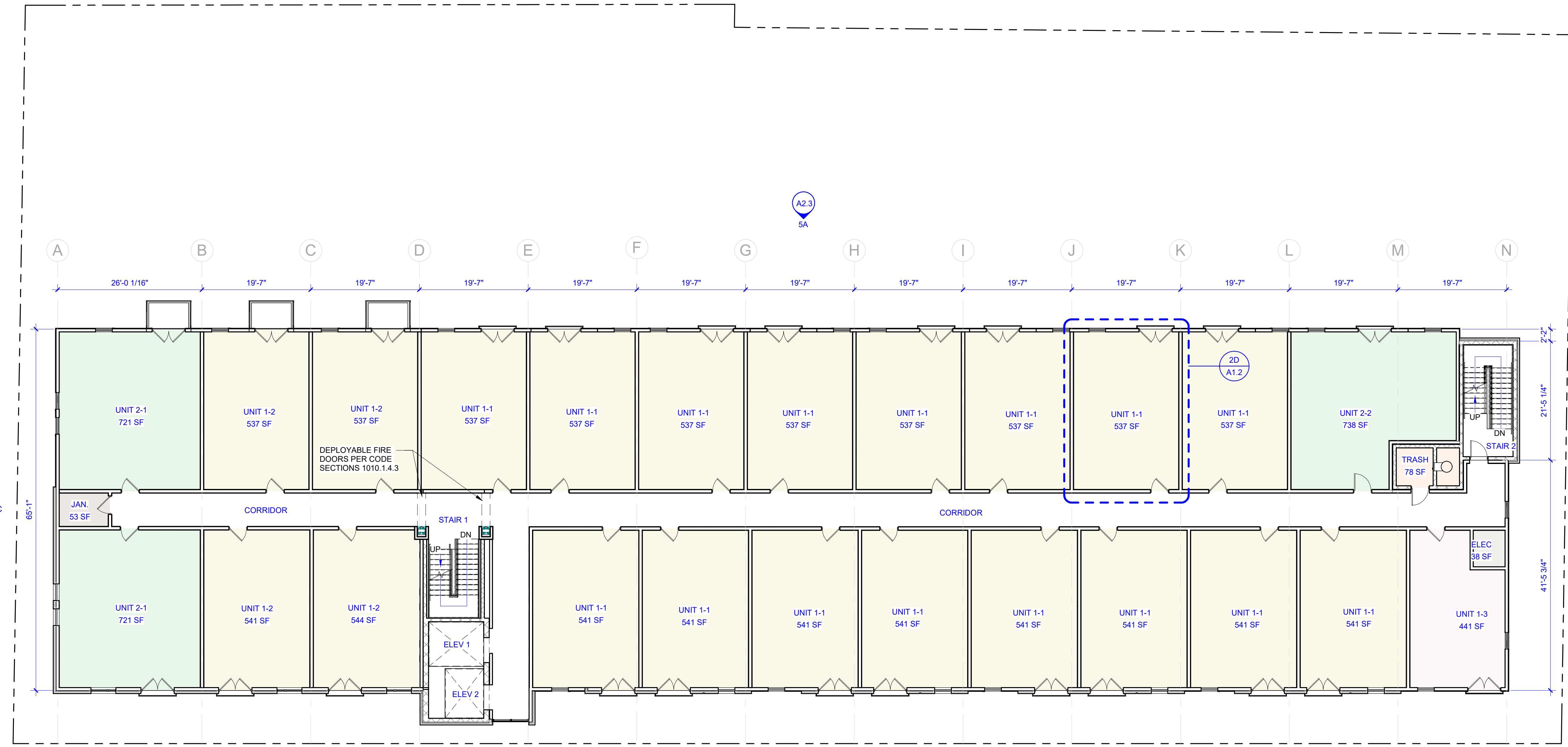


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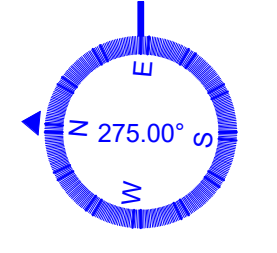
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**2.220631.0**

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**5A 2ND FLOOR PLAN (3RD - 5TH FLOOR SIMILAR)**  
SCALE: 3/32" = 1'-0"



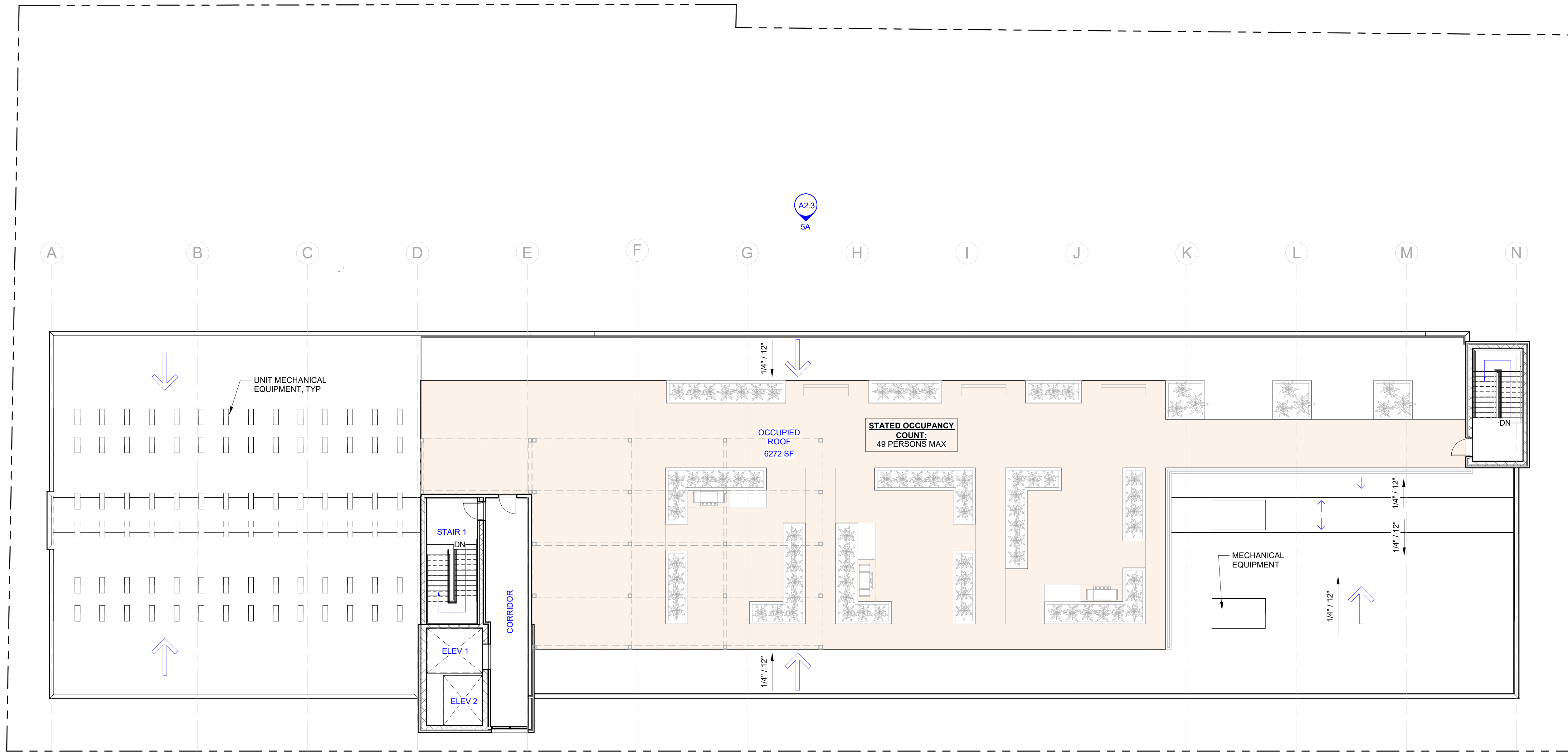
**2ND-5TH FLOOR PLANS**  
**A1.2**

2  
**AREA/UNIT TYPE**

- RESIDENT AMENITY
- ACCESS

1  
**ROOF LEGEND**

- DIRECTION OF SLOPE IN STRUCTURE
- DIRECTION OF SLOPE IN INSULATION
- WALK PAD



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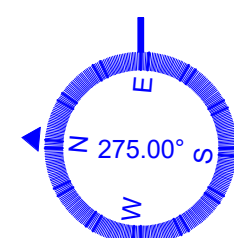
PROJECT NUMBER  
**2.220631.0**

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**12/21/2023 -**  
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**5A OVERALL ROOF & ROOF TERRACE PLAN**

SCALE: 3/32" = 1'-0"



ROOF PLAN  
**A1.3**



**5C ELEVATION - SOUTH**

SCALE: 3/32" = 1'-0"

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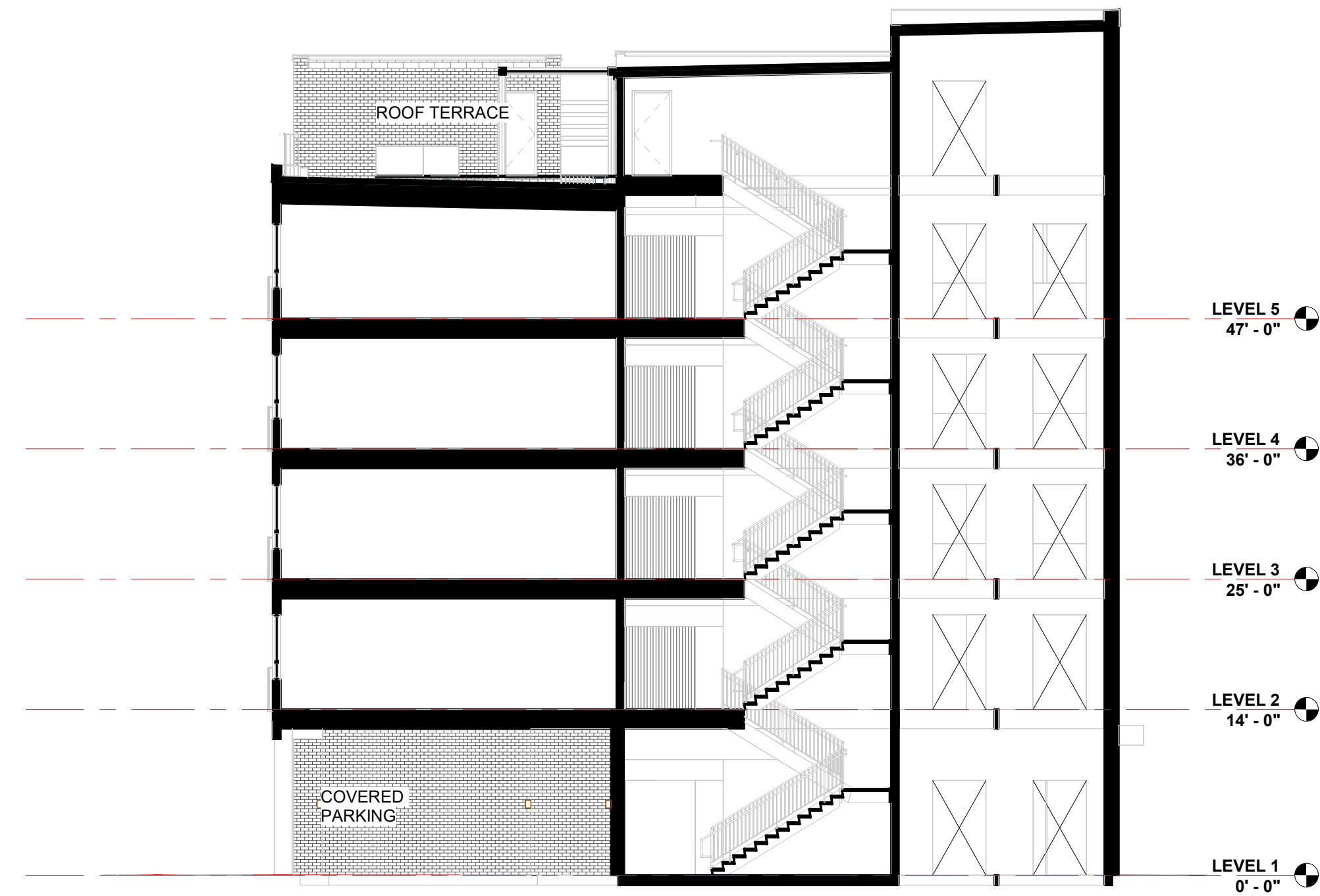


**5A ELEVATION - NORTH**

SCALE: 3/32" = 1'-0"

EXTERIOR ELEVATIONS

**A2.1**



**4C BUILDING SECTION 2**

SCALE: 3/32" = 1'-0" DRAWING REF: A111



**2C ELEVATION - WEST**

SCALE: 3/32" = 1'-0"

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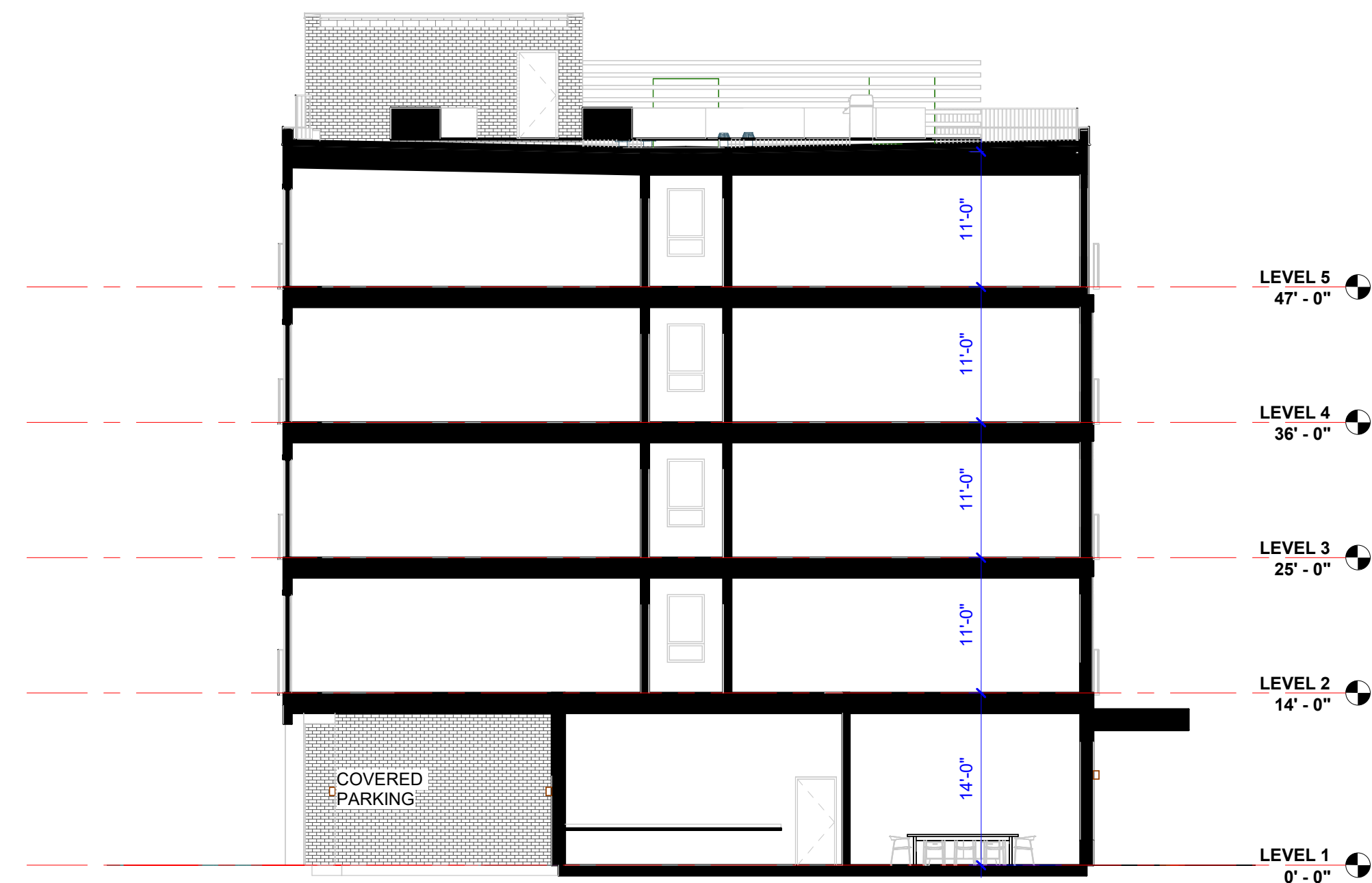
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RICHMOND, VA 23224

ISSUE  
**12/21/2023 -**  
SUP SUBMISSION

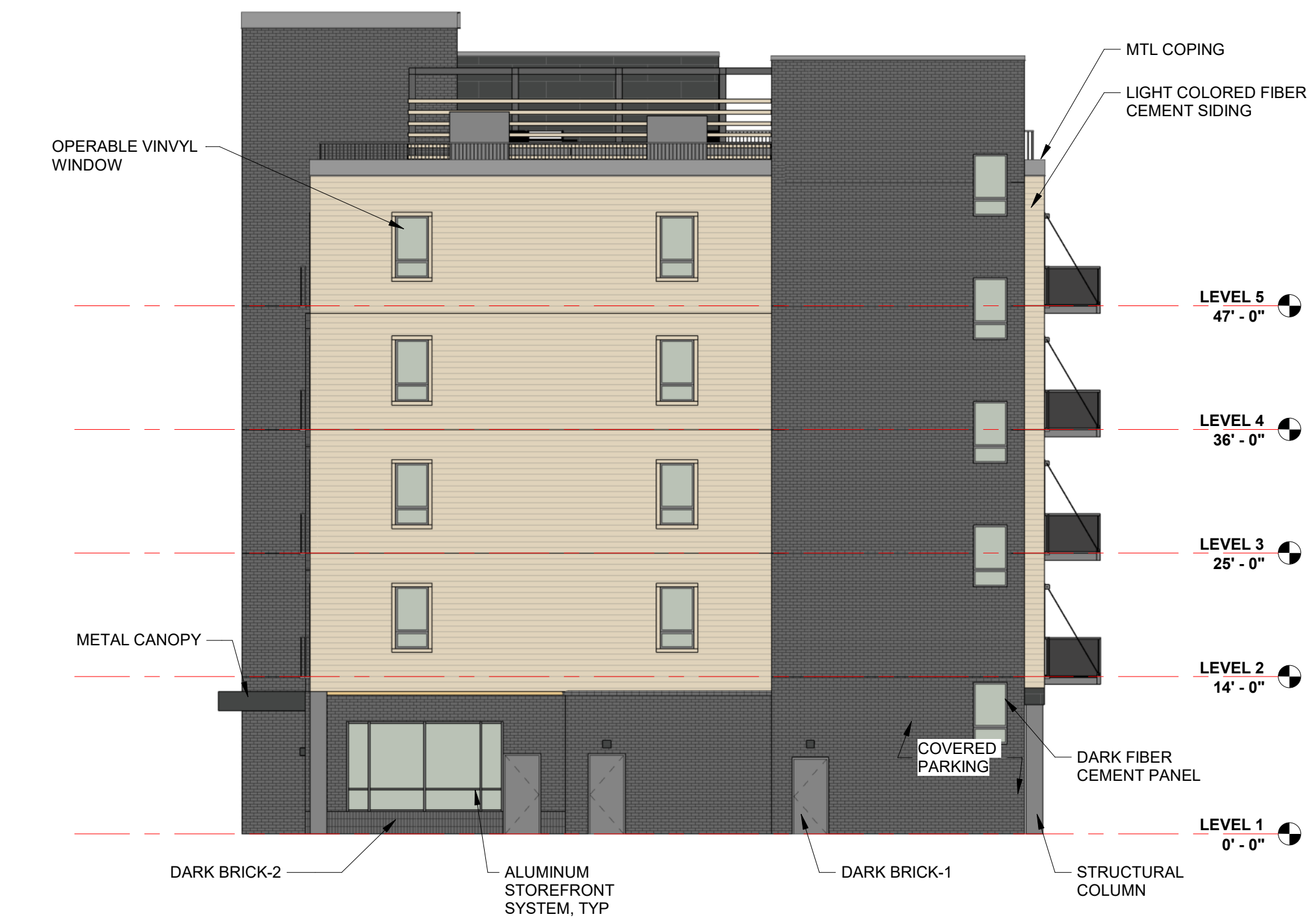
EXTERIOR ELEVATIONS &  
BUILDING SECTIONS

**A2.2**



**4A BUILDING SECTION 1**

SCALE: 3/32" = 1'-0" DRAWING REF: A111

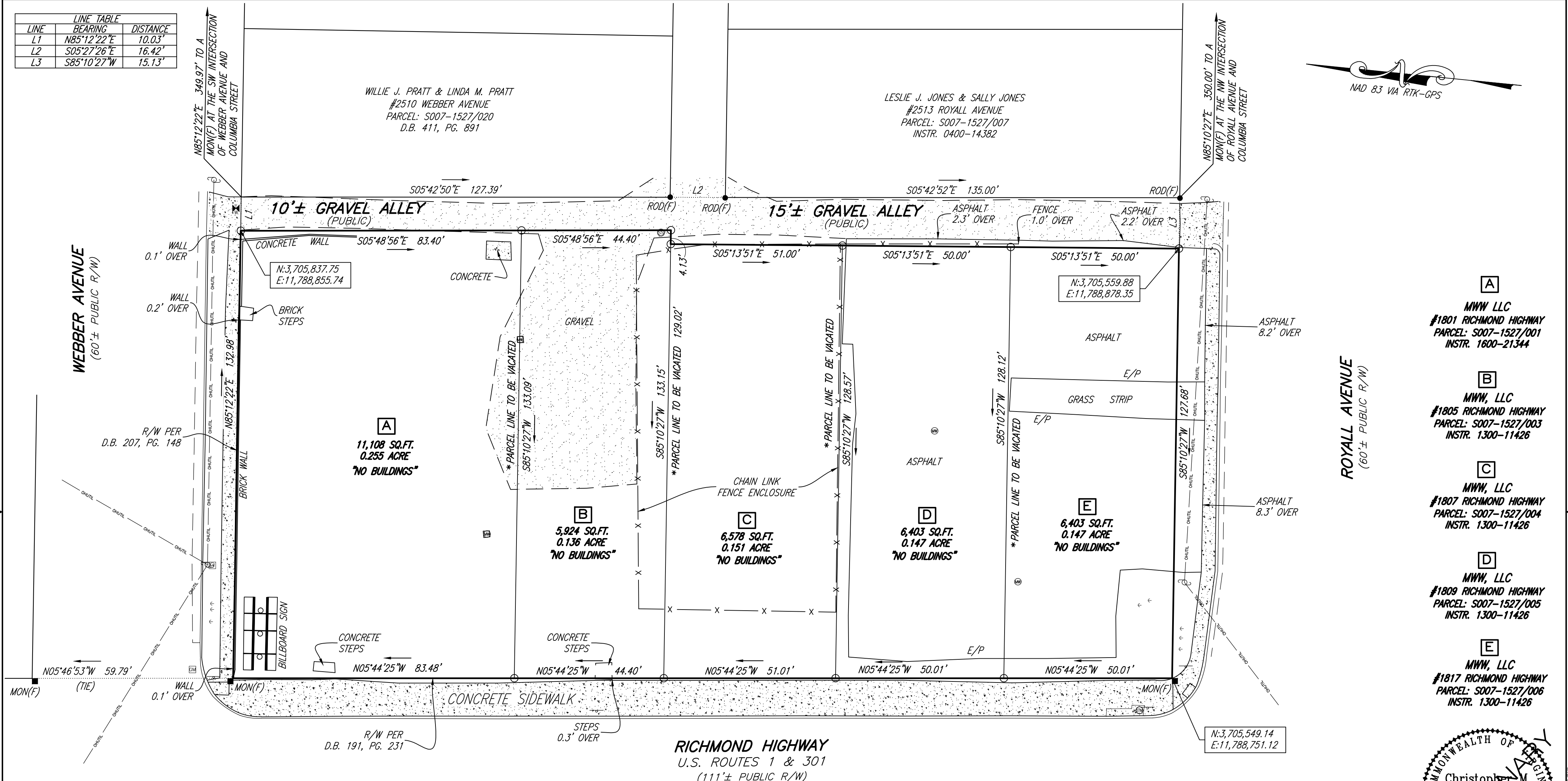


**2A ELEVATION - EAST**

SCALE: 3/32" = 1'-0"

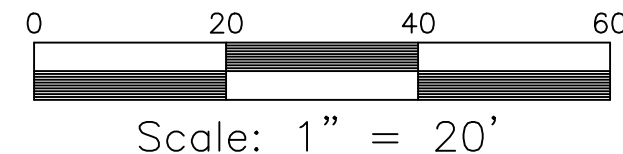


LINE	BEARING	DISTANCE
L1	N85°12'22"E	10.03'
L2	S05°27'26"E	16.42'
L3	S85°10'27"W	15.13'



- A**  
MWW, LLC  
#1801 RICHMOND HIGHWAY  
PARCEL: S007-1527/001  
INSTR. 1600-21344
- B**  
MWW, LLC  
#1805 RICHMOND HIGHWAY  
PARCEL: S007-1527/003  
INSTR. 1300-11426
- C**  
MWW, LLC  
#1807 RICHMOND HIGHWAY  
PARCEL: S007-1527/004  
INSTR. 1300-11426
- D**  
MWW, LLC  
#1809 RICHMOND HIGHWAY  
PARCEL: S007-1527/005  
INSTR. 1300-11426
- E**  
MWW, LLC  
#1817 RICHMOND HIGHWAY  
PARCEL: S007-1527/006  
INSTR. 1300-11426

**RICHMOND HIGHWAY**  
U.S. ROUTES 1 & 301  
(111'± PUBLIC R/W)



**TEXT LEGEND**

(SQ.FT.)	SQUARE FEET
(R/W)	RIGHT OF WAY
(CL)	CENTERLINE
(MON)	MONUMENT
(D.B.)	DEED BOOK
(PG.)	PAGE
(E/P)	EDGE OF PAVEMENT

**LINETYPE LEGEND**

— OHUTIL —	OHUTIL	—	OVERHEAD UTILITIES
-x-x-x-	-x-x-x-	-x-x-x-	FENCE

**SYMBOL LEGEND**

⊕	GAS METER
⊖	GUY WIRE
⊙	MONITORING WELL
⊞	POWER TRANSFORMER
⊕	SEWER MANHOLE
⊖	SIGN POST
⊙	STORM MANHOLE
⊕	TELEPHONE MANHOLE
⊖	UTILITY POLE
⊕	WATER VALVE

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE INTERIOR PARCEL LINES OF PARCELS: S007-1527/001, S007-1527/003, S007-1527/004, S007-1527/005 AND S007-1527/006. PARCEL LINES TO BE VACATED ARE NOTED AS SUCH (\*PARCEL LINE TO BE VACATED).

THIS IS TO CERTIFY THAT THIS PLAT OR MAP WAS PREPARED UNDER MY DIRECTION FROM DEEDS/PLATS OF RECORD AND AN ACTUAL FIELD SURVEY ON JUNE 4, 2022 WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO INFORMATION DISCLOSED BY SUCH. UNLESS OTHERWISE NOTED, TO THE BEST OF MY KNOWLEDGE AND BELIEF, ALL VISIBLE EVIDENCE OF IMPROVEMENTS AND APPARENT ENCROACHMENTS ARE SHOWN HEREON. NOT ALL EASEMENTS MAY BE SHOWN AND NO SUB-SURFACE FEATURES ARE SHOWN HEREON.

CHRISTOPHER M. FINLEY, L.S.

DATE

**CONSOLIDATION PLAT**  
FIVE (5) PARCELS CONTAINING 0.836 ACRE OF LAND  
KNOWN AS #1801-#1817 RICHMOND HIGHWAY  
BEING PARCELS: S007-1527/001, S007-1527/003,  
S007-1527/004, S007-1527/005 & S007-1527/006

CITY OF RICHMOND, VIRGINIA  
PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS  
ROANOKE / RICHMOND / NEW RIVER VALLEY / SHENANDOAH VALLEY  
15871 City View Drive, Suite 200 / Midlothian, Virginia 23113 / Phone (804) 794-0571 / www.balzer.com

DATE: 06-07-2022  
SCALE: 1" = 20'  
JOB: 55220031.00  
DRAWN BY: WRL  
CHECKED BY: CMF  
SHEET 1 OF 1

