



Existing Front Elevation of 3103-3105 East Marshall St.



Historic Front Elevation of 3103-3105 East Marshall St.



Layout Page Table	
Label	Title
001	Contextural Pictures / Cover Page
002	Survey
003	SUP Zoning Notes
004	Aerial Existing Prospective Views
005	Aerial Context Top Views
006	SUP/CAR Exterior Material Selection
008	SUP/CAR Elevations
009	SUP/CAR Proposed Prospectives Elevation
010	SUP/CAR Proposed Line of Sight
010	Door & Window Schedule
011	SUP/CAR Proposed Basement / Foundation Layout
012	SUP/CAR Proposed SUP/CAR Arch. Layout 2nd Flr.
013	SUP/CAR Proposed SUP/CAR Arch. 3rd Flr.
014	SUP/CAR Proposed SUP/CAR Roof Plan
015	Existing Basement
016	Existing 1st Floor
017	Existing 2nd Floor
018	Existing Roof Layout

DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307

SCJ@ESS-PS.CO
804-304-3201

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

DATE:

11/4/2021

SUP Rev. # 6

SHEET:

001

RE: DATAPRO INVESTMENTS, LLC
INSTRUMENT NUMBER# 190005452

Bruce C. Landes, Surveyor

52.75' PROPOSED NEW CONSTRUCTION EXTERIOR SIDE OF PL

PROPOSED NEW
CONSTRUCTION EXTERIOR
SIDE OF PL

ALLEN NATALIE
& ELLIOTT THOMAS
PARCEL ID#
E0000731003 0

DATAPRO
 INVESTMENTS LLC
 PARCEL ID#
 E0000731002
 5,400 SQ.FT
 0.124 ACRES

0.30' INSIDE
PL

PROPOSED NEW
CONSTRUCTION
0.10 INSIDE OF PL

STONE FOUND 45' +/- TO N 31st ST

© STON


STONE FASCIA
 COVER PLATE

M 54.00' E
N 82.23.33" E



• • •



EAST MARSHALL STREET PUBLIC PAVED

COMPILED SPECIAL PURPOSE PLAN
FOR REVIEW NOT FOR CONSTRUCTION

COMPILED SPECIAL PURPOSE PLAN
FOR REVIEW NOT FOR CONSTRUCTION
AT

3101, 3103, 3105
EAST MARSHALL STREET
RICHMOND, VA 23223
CITY OF RICHMOND, VA
NOVEMBER 09, 2020 SCALE 1"

LIC. NO. 54-17-3 (A) 1342
LAND SURVEYOR

[Signature]

Landmark—Fleet Surveyors, P.C.
8014 MIDLOTHIAN TURNPIKE, SUITE 103
RICHMOND, VA. 23235 PH. 804-327-0333
LANDESBURCE@GMAIL.COM

COPYRIGHT 2020 by Landmark—Fleet Surveyors, P.C. This product style and format is protected by Copyright and all rights are reserved. These drawings are the exclusive property of Landmark—Fleet Surveyors P.C. Signatures in blue ink denotes original. If signature not in blue ink, drawings have been duplicated unlawfully in violation of Federal Copyright Laws. Copying drawings and/or the use of this style and format is strictly prohibited without the written consent and permission of Landmark—Fleet Surveyors, P.C.

PLAT CHECKED BY: BCI DRAFTER: RAM

JOB NO.: 25003

DATE:
11/4/20

SUP Rev. # 6

SHEET:

002

**3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT**

**OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223**

**DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307**

SCJ@ESS-PS.CO
804-304-3201



DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307
SCJ@ESS-PS.CO
804-304-3201

**3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT**

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

DATE:

11/4/2021

SUP Rev. # 6

SHEET:

004



DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307
SCJ@ESS-PS.CO
804-304-3201

**3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT**

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

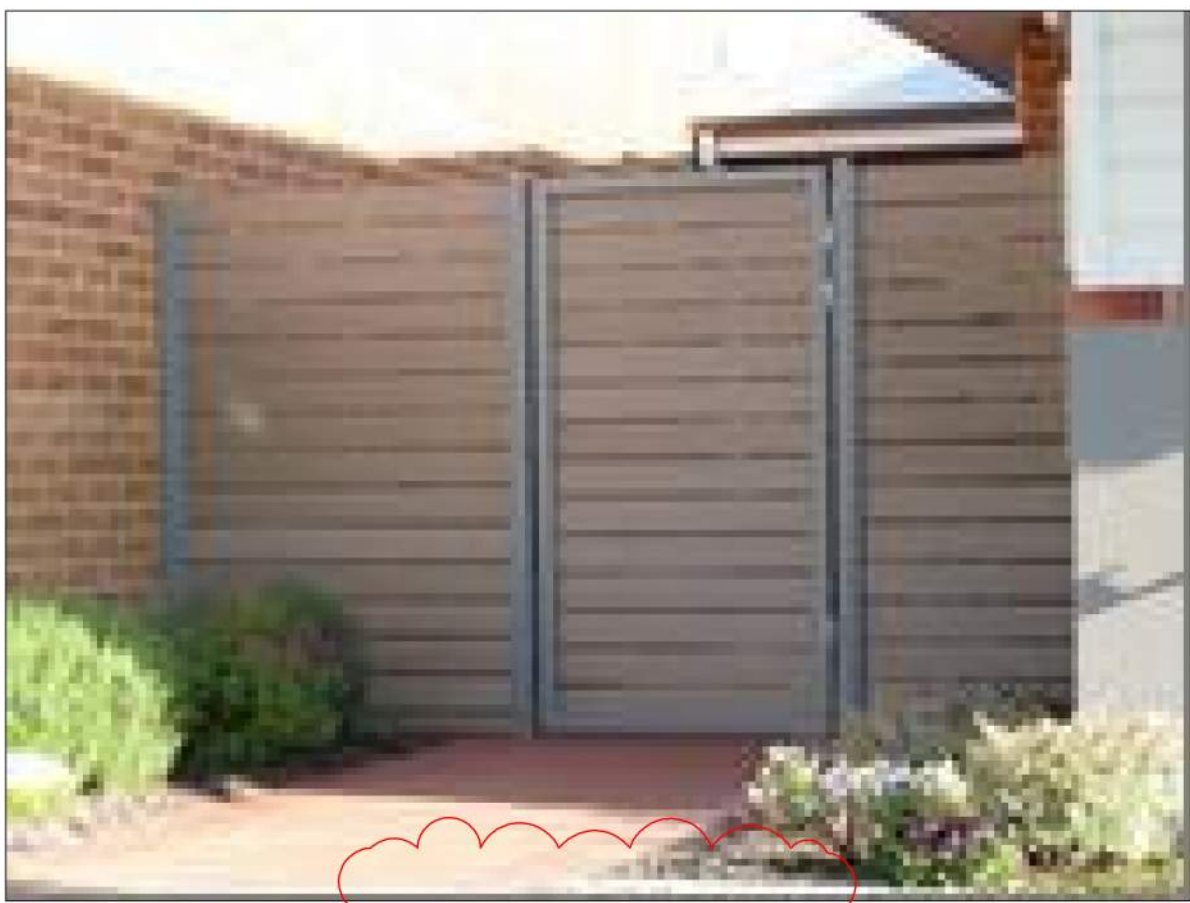
DATE:

11/4/2021

SUP Rev. # 6

SHEET:

005



Body Color – Stone (previously painted only) – Browns and Grays – all styles



Masonry Lintels (previously painted only) - Neutrals

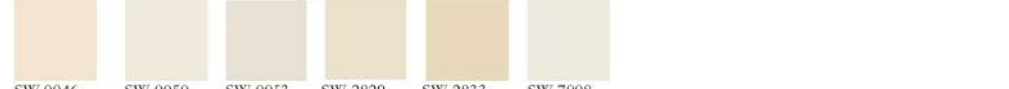


Masonry Sills (previously painted only) – Neutrals



Wood-frame and Masonry Buildings

Window Sashes – Whites, Blacks, Neutrals



Shutters – Blacks, Greens



Doors – Blacks, Browns, Greens, Reds, Yellows, Neutrals



Porch Ceilings – Blues



Porch Floors – Neutrals



Metal Elements – Blacks, Greens



Metal Roofs – Blacks, Greens, Reds



Wood Fences – Whites and opaque neutral stains

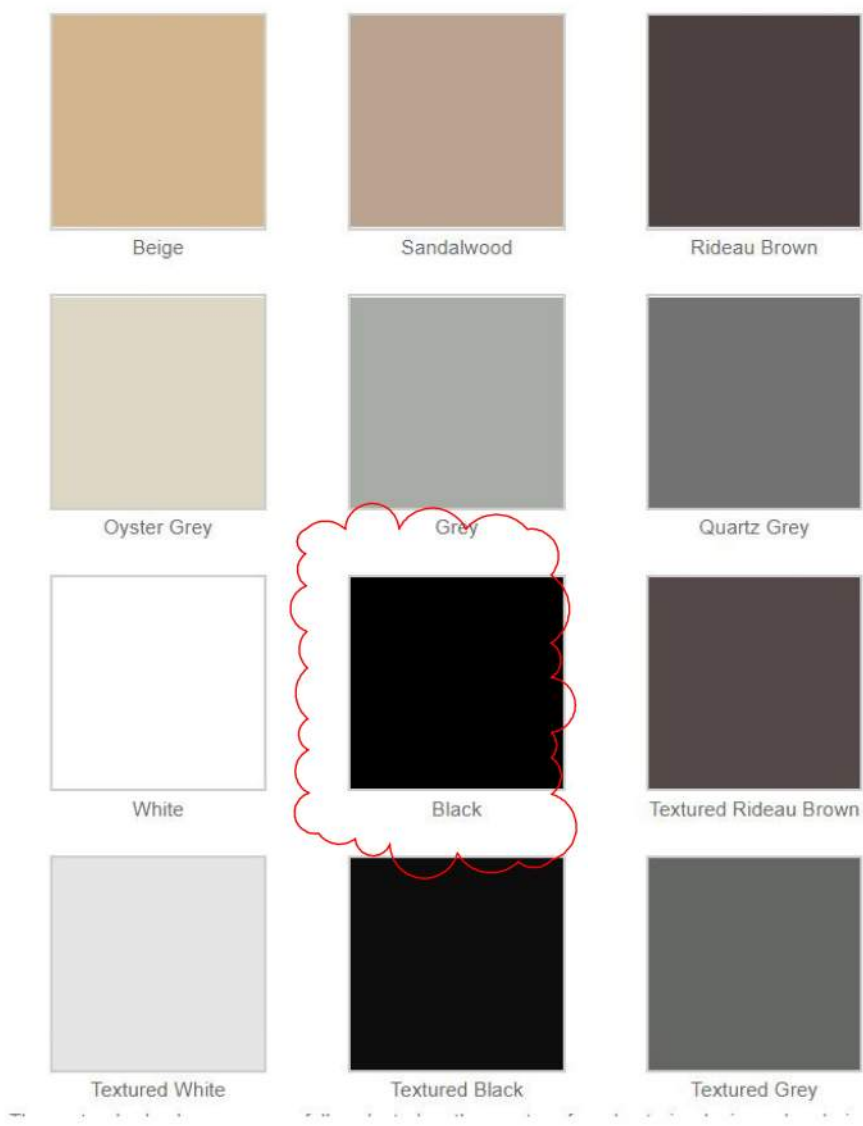


Trim



Standard Durarail Deck Railing Colors

Durarail Guard Rail and Fence Systems are available in 12 standard deck railing colors:



W-2500 Series - 7 colors



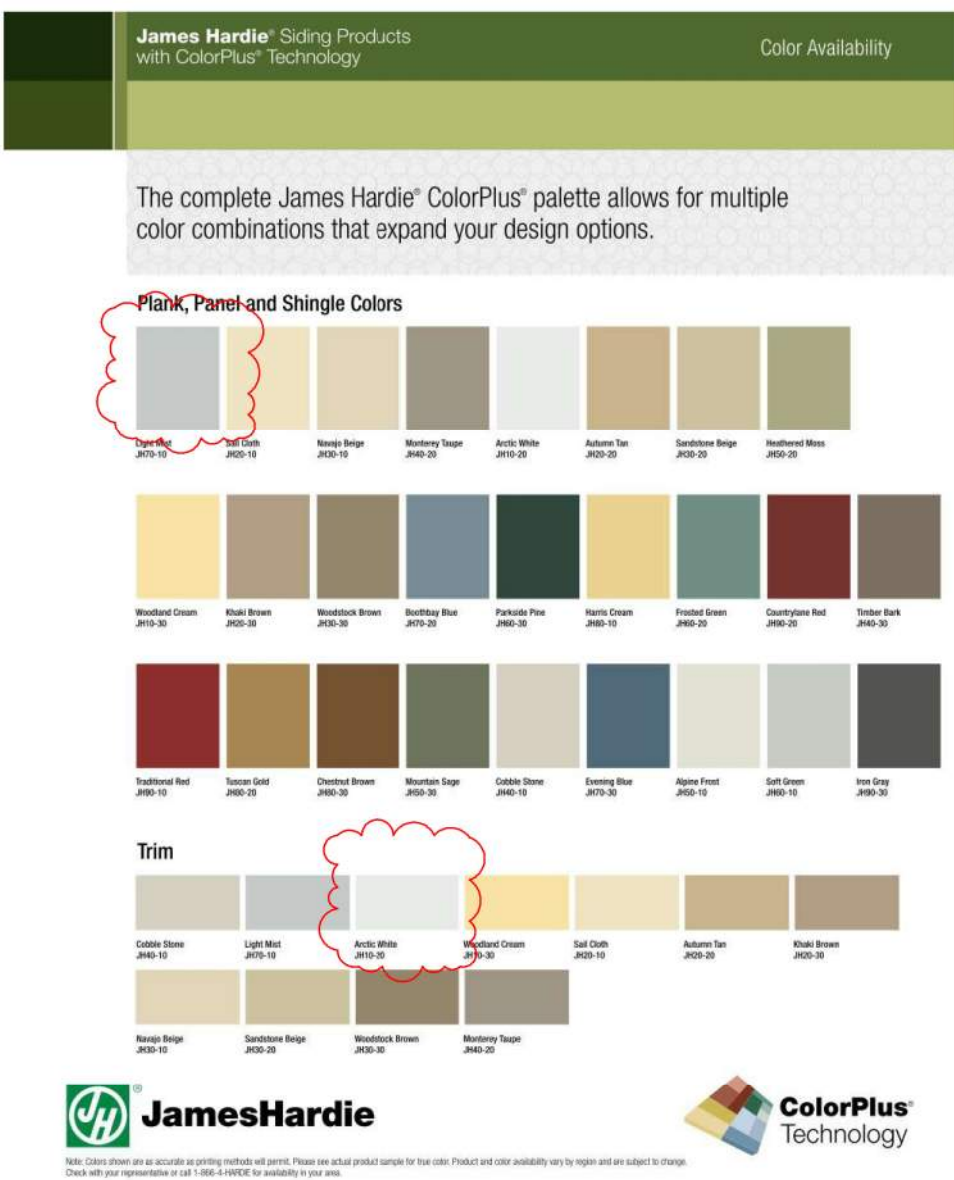
W-4500 Series - 28 colors



Exterior Aluminum-Cladding Paint Colors



*Available on Architect Series products only.



JamesHardie ColorPlus Technology

DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307

SCJ@ESS-PS.CO
804-304-3201

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

DATE:

11/4/2021

SUP Rev. # 6

SHEET:

006



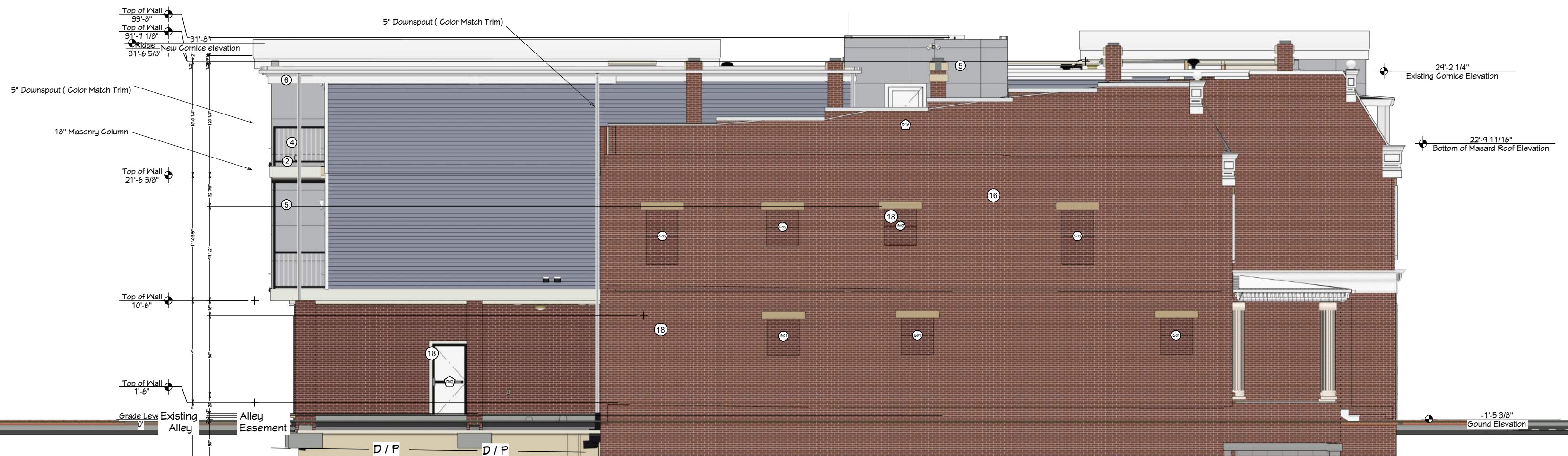
North Elevation



West Elevation



South Elevation



East Elevation

EXTERIOR FINISHES KEY	
①	BRICK (COLOR : BESSEMER GREY) MORTAR (COLOR : WILDS21 SLATE)
②	TREX COMPOSITE DECKING (COLOR : TRANSCEND ISLAND MIST)
③	TRUCLITE SW 700 CURTAIN WALL SYSTEM - (COLOR : DARK BRONZE)
④	ALUMINUM RAILS 42" HIGH (COLOR : SATIN BLACK RIVERA 1- C31)
⑤	HARDIE PANEL (COLOR: SILVER GRAY SW0049)
⑥	HARDIE SOFFIT CEILING (COLOR: LIGHT MIST)
⑦	EXTERIOR FASCIA & TRIM (COLOR : WHITE)
⑧	EXTERIOR RIM BOARD & TRIM (COLOR : WHITE)
⑨	HARDIE BOARD LAP SIDING (COLOR: ROYCROFT MIST GRAY SW-2844
⑩	STEEL GARBAGE DOORS 6" HIGH (COLOR : SATIN BLACK RIVERA 1- C31)
⑪	SECURITY GATE 6" HIGH (COLOR : SATIN BLACK RIVERA 1- C31)
⑫	PARAPET WALLS EXTERIOR : HARDIEPANEL REVEAL SMOOTH (COLOR : SILVER GRAY SW0049) PANEL LAYOUT WILL BE COORDINATED WITH WINDOW PLACEMENT TO INSURE THAT ALL PANELS ARE CENTERED AND EQUALLY SPACE VERTICALLY AND HORIZONTALLY . INTERIOR SIDE FULLY ADHERED TPO WITH METAL PARAPET CAP.
⑬	31ST STREET ELEVATION AND AND NEW STOREFRONT WILL REPLICATE THE HISTORIC STOREFRONT - ALL EXTERIOR TRIM, WINDOW & DOOR OPENINGS (COLOR : PEWTER TANKARD SW-0023)
⑭	HARDIEPANEL REVEAL SMOOTH (COLOR : SILVER GRAY SW0049) PANEL LAYOUT WILL BE COORDINATED WITH WINDOW PLACEMENT TO INSURE THAT ALL PANELS ARE CENTERED AND EQUALLY SPACE VERTICALLY AND HORIZONTALLY .
⑮	EXISTING WINDOWS - WINDOW COLOR : WHITE / TRIM COLOR : WHITE)
⑯	POINT-UP EXISTING BRICK AND MORTAR
⑰	PROTECT AND PRESERVE EXISTING SLATE ROOF
⑱	IN-FILL ALL EXISTING WINDOWS WITH MATCHING SALVAGED BRICKS
⑲	18" MASONRY COLUMN
⑳	UNDERGROUND STORM DRAIN
㉑	ALL CHIMNEYS WILL BE RESTORED AND CAPPED
㉒	IN-FILL ALL EXISTING WINDOWS ON EAST ELEVATION WITH MATCHING SALVAGED BRICKS RECESSED 2" INTO OPENING
㉓	ALL EXISTING EXTERIOR CORNICE, CAPITALS AND TRIM WILL BE RESTORED
㉔	ALL GUTTERS WILL BE BUILT-IN

DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307

SCJ@ESS-PS.CO
804-304-3201

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

DATE:

11/4/2021

SUP Rev. # 6

SHEET:

008



East Prospective



North Prospective



South Prospective



West Prospective

DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307

SCJ@ESS-PS.CO
804-304-3201

**3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT**

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

DATE:

11/4/2021

SUP Rev. # 6

SHEET:

009



Marshall St. Line of Sight



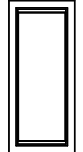
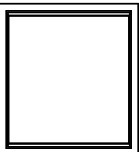
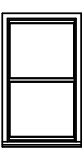
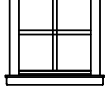
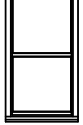
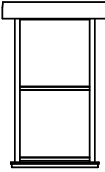
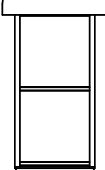
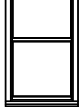
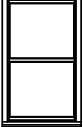
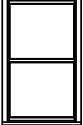
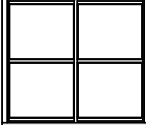
31st St. Line of Sight

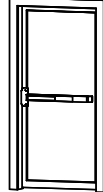
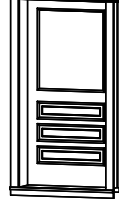
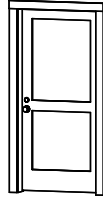
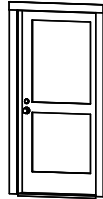
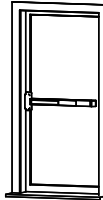
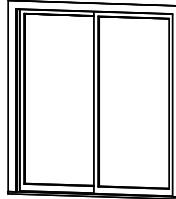
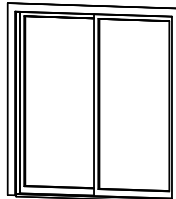
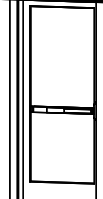
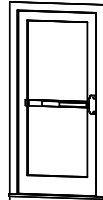


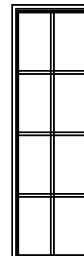
Roof



31st St. Line of Sight

WINDOW SCHEDULE						
3D ELEVATION	NUMBER LABEL	QTY	DIMENSIONS	FLOOR	CASING, EXTERIOR	DESCRIPTION FRAME TYPE
	W01	5520MU	1 101 1/16"x24 1/8"	1	STOCK	MULLED UNIT VINYL FRAME
	W02	2151FX	2 25"x81 1/4"FX	1	STOCK	FIXED GLASS WOOD FRAME
	W03	EXISTING HISTORIC WINDOWS	1 56"x117FX	1	STOCK	FIXED GLASS WOOD FRAME
	W04	5151FX	2 60 13/16"x817FX	1	STOCK	FIXED GLASS WOOD FRAME
	W05	JEL-VENW052750DH	16 33 3/8"x60"DH	2	STOCK	DOUBLE HUNG METAL FRAME
	W06	EXISTING	1 31"x427FX	3	STOCK	FIXED GLASS WOOD FRAME
	W09	JEL-VENW09W0912650DH	4 30 3/8"x60"DH	3	STOCK	DOUBLE HUNG METAL FRAME
	W12	W125426	2 64 7/16"x30"	3	STOCK	FIXED GLASS METAL FRAME
	W13	EXISTING HISTORIC WINDOWS	1 33"x127DH	2	STOCK	DOUBLE HUNG WOOD FRAME
	W14	EXISTING HISTORIC WINDOWS	3 33"x167DH	2	STOCK	DOUBLE HUNG WOOD FRAME
	W15	JEL-VENW152650DH	4 30 3/8"x60"DH	2	STOCK	DOUBLE HUNG METAL FRAME
	W16	JEL-VENW16W1612450DH	4 33 3/8"x60"DH	1	STOCK	DOUBLE HUNG METAL FRAME
	W18	JEL-VENW18W1812450DH	12 33 3/8"x60"DH	3	STOCK	DOUBLE HUNG METAL FRAME
	W21	5750MU	1 66 3/4"x60"	1	STOCK	MULLED UNIT METAL FRAME

DOOR SCHEDULE						
3D PERSPECTIVE	DESCRIPTION	NUMBER	QTY	WIDTH	HEIGHT	FLOOR FINISH
		D01	4			1
	EXT. HINGED GLASS PANEL	D02	1	36"	80"	1 GLASS STANDARD, BLACK METAL BRUSHED
	EXT. HINGED DOOR E03	D03	1	40"	82"	1 ALDER (BLONDE), GLASS STANDARD, COLOR - BLACK
	EXT. HINGED DOOR F03	D04	2	36"	80"	2 COLOR - BLACK
	EXT. HINGED DOOR F03	D05	2	36"	80"	3 COLOR - BLACK
	EXT. HINGED GLASS PANEL	D06	1	36 1/8"	80"	1 GLASS STANDARD, BLACK METAL BRUSHED
	EXT. SLIDER GLASS PANEL	D08	2	72"	80"	2 GLASS STANDARD, BLACK METAL BRUSHED
	EXT. SLIDER GLASS PANEL	D09	2	72"	80"	3 GLASS STANDARD, BLACK METAL BRUSHED
	EXT. HINGED GLASS PANEL	D13	1	36"	80"	1 GLASS STANDARD, WHITE, COLOR - BLACK
	EXT. HINGED GLASS PANEL	D16	1	36"	80"	3 GLASS STANDARD, WHITE

WINDOW SCHEDULE							
3D ELEVATION	NUMBER	LABEL	QTY	DIMENSIONS	FLOOR	CASING	EX
	W01	10472MU	1	123 3/4"X86"	1		STOCK
	W02	22072MU	1	264 5/16"X86"	1		STOCK
	W03	5694MU	1	66"X112 1/4"	1		STOCK
	W04	CURTAIN WALL	1	79"X224 7/8"	2		STOCK
	W05	TRULITE CURTAIN WALL	1	66 7/16"X229 11/16"	3		STOCK
	W06	6794MU	1	79"X112 1/4"	1		STOCK

DESIGN / BUILD SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307
SCJ@ESS-PS.CO
804-304-3201

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

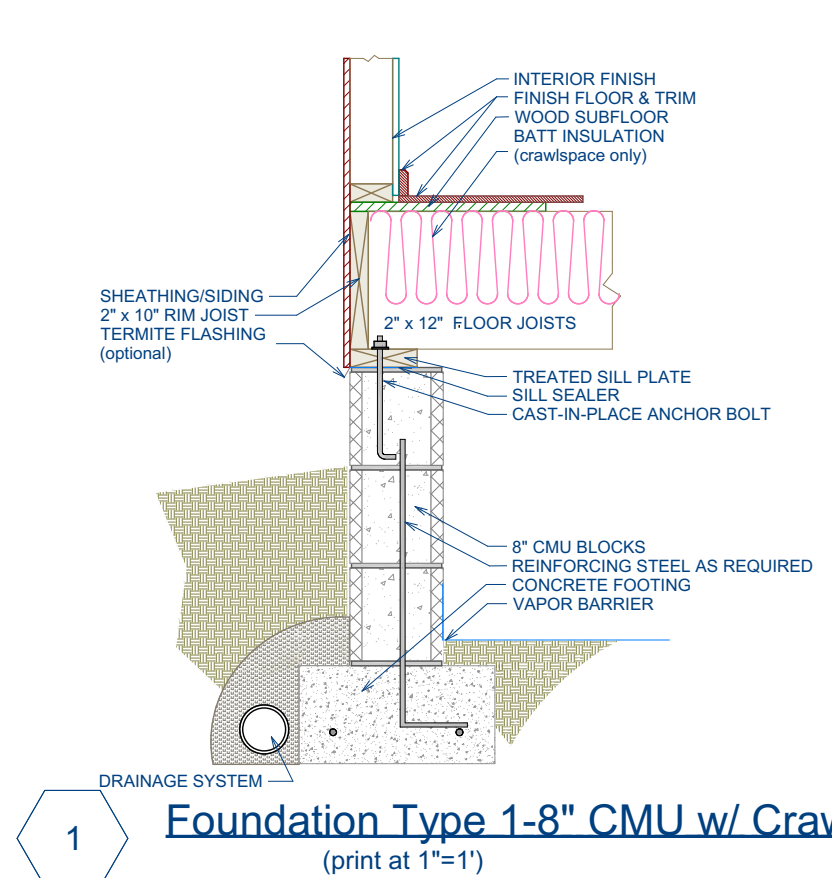
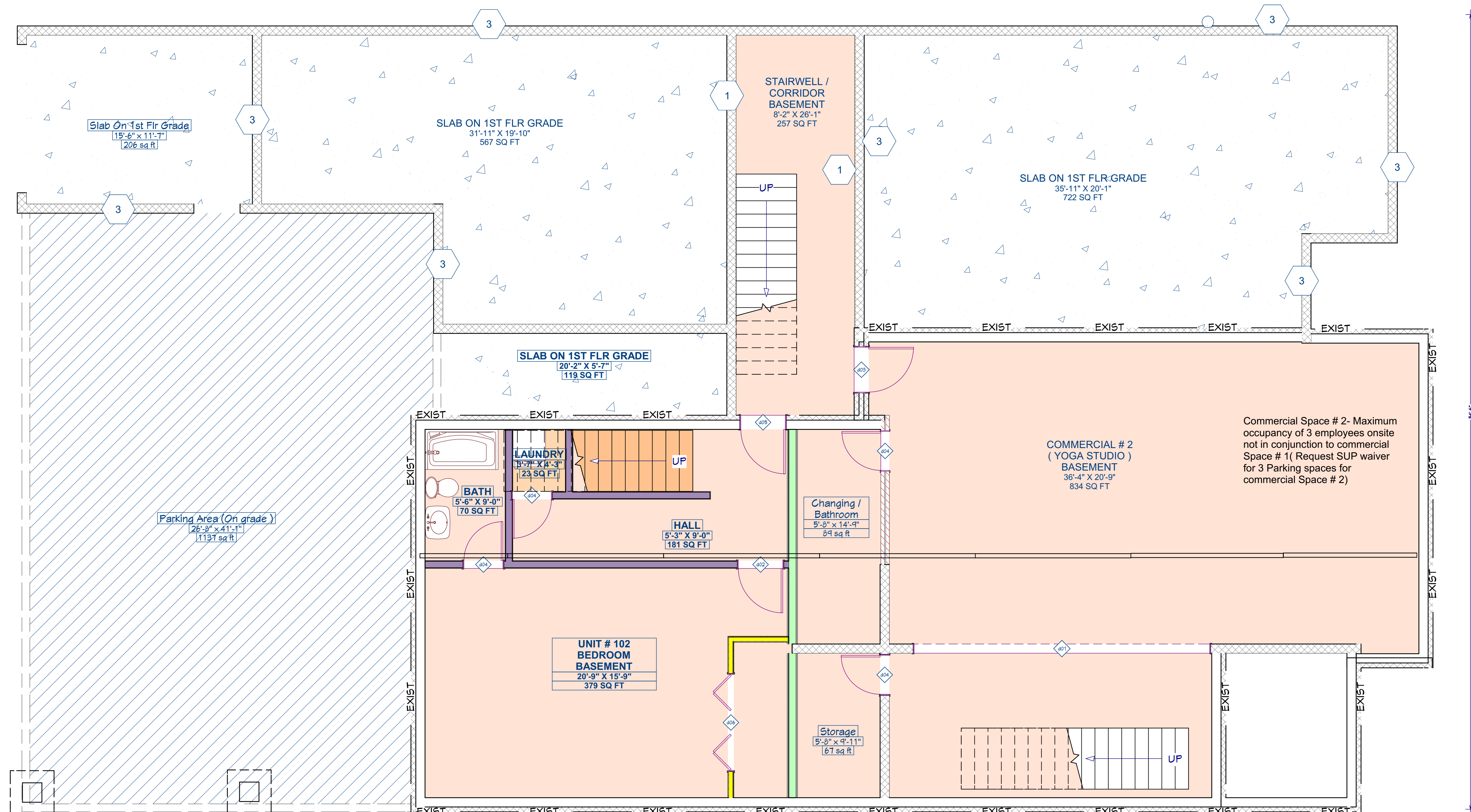
DATE:

11/4/2021

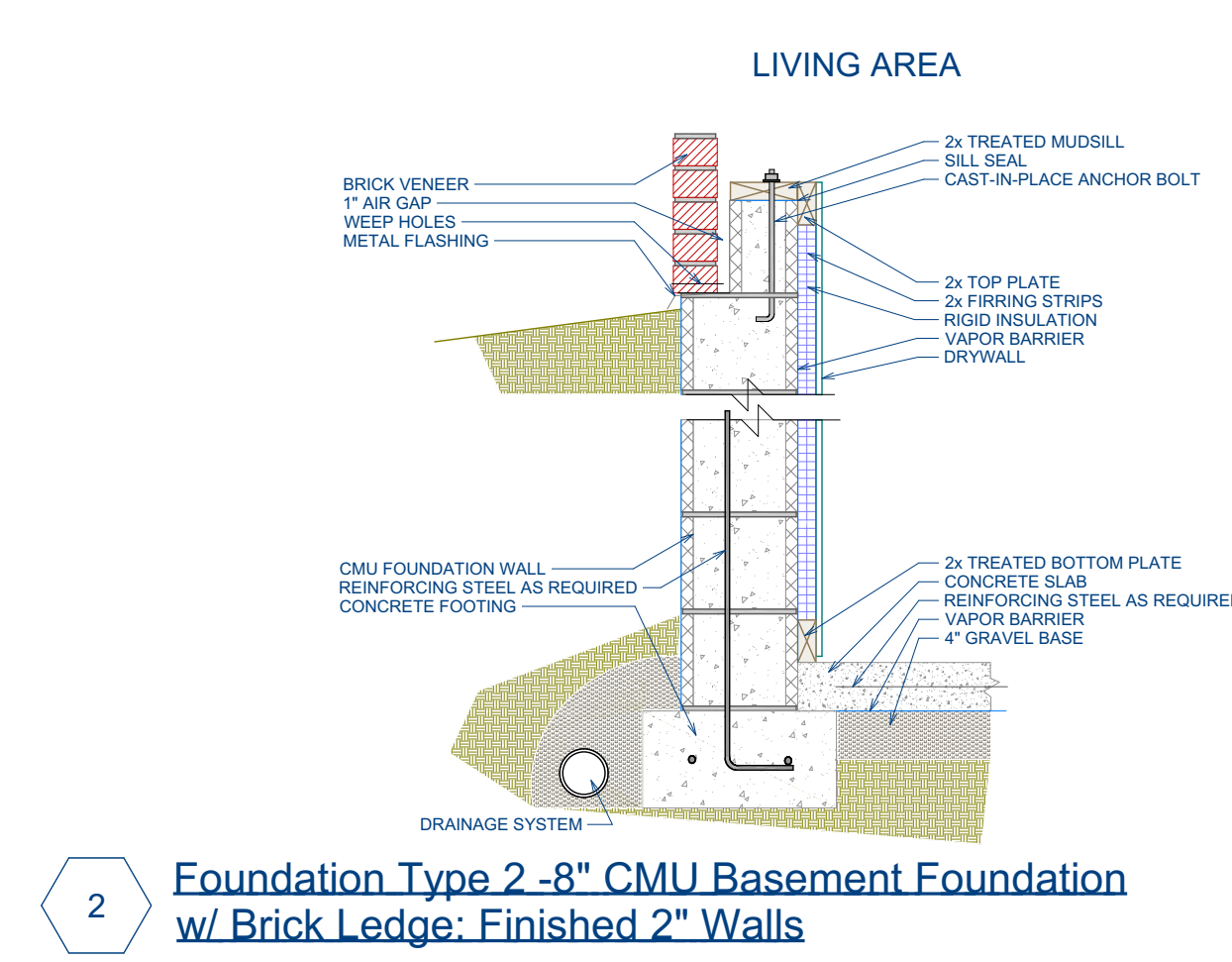
SUP Rev. # 6

SHEET:

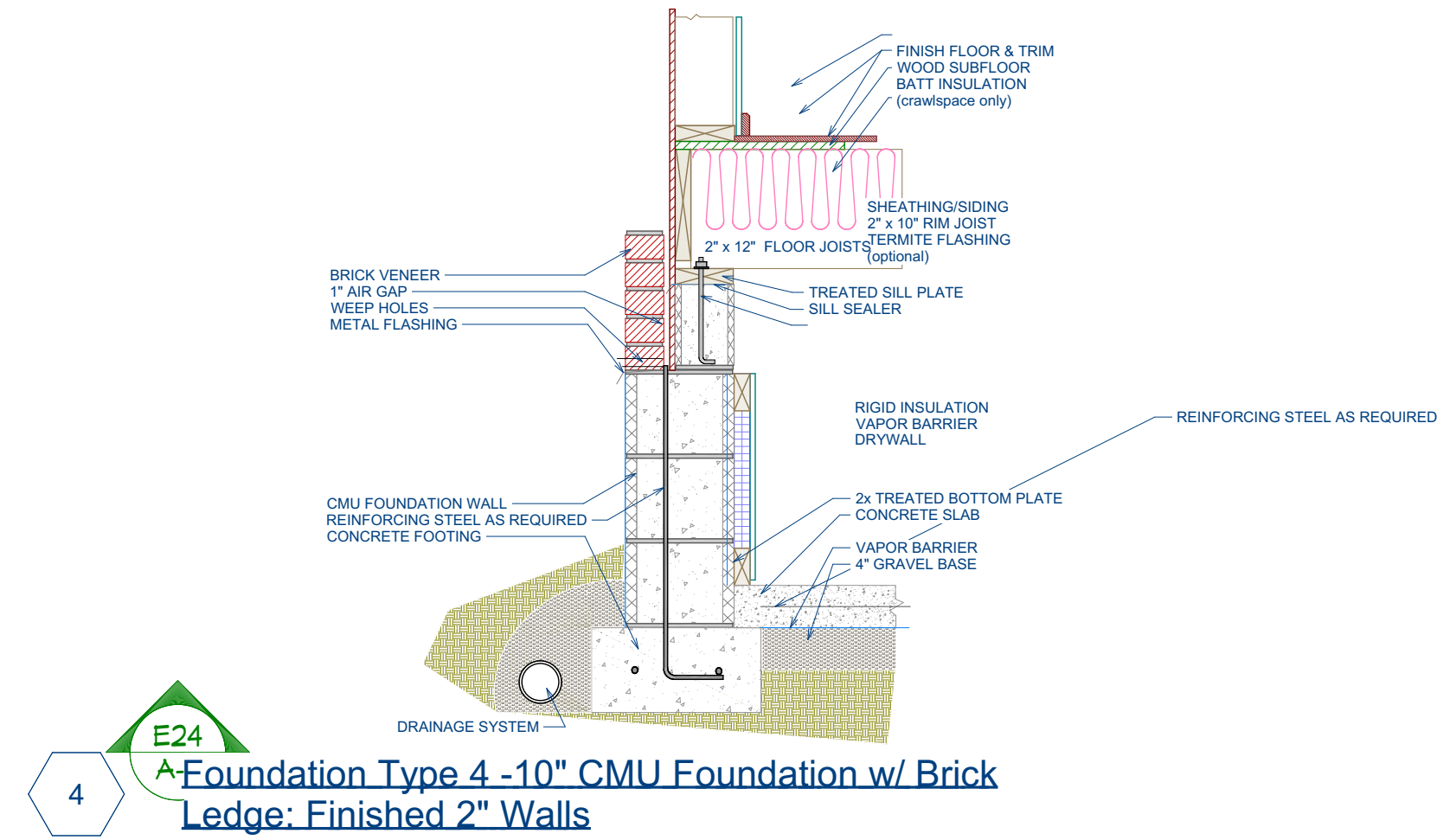
010



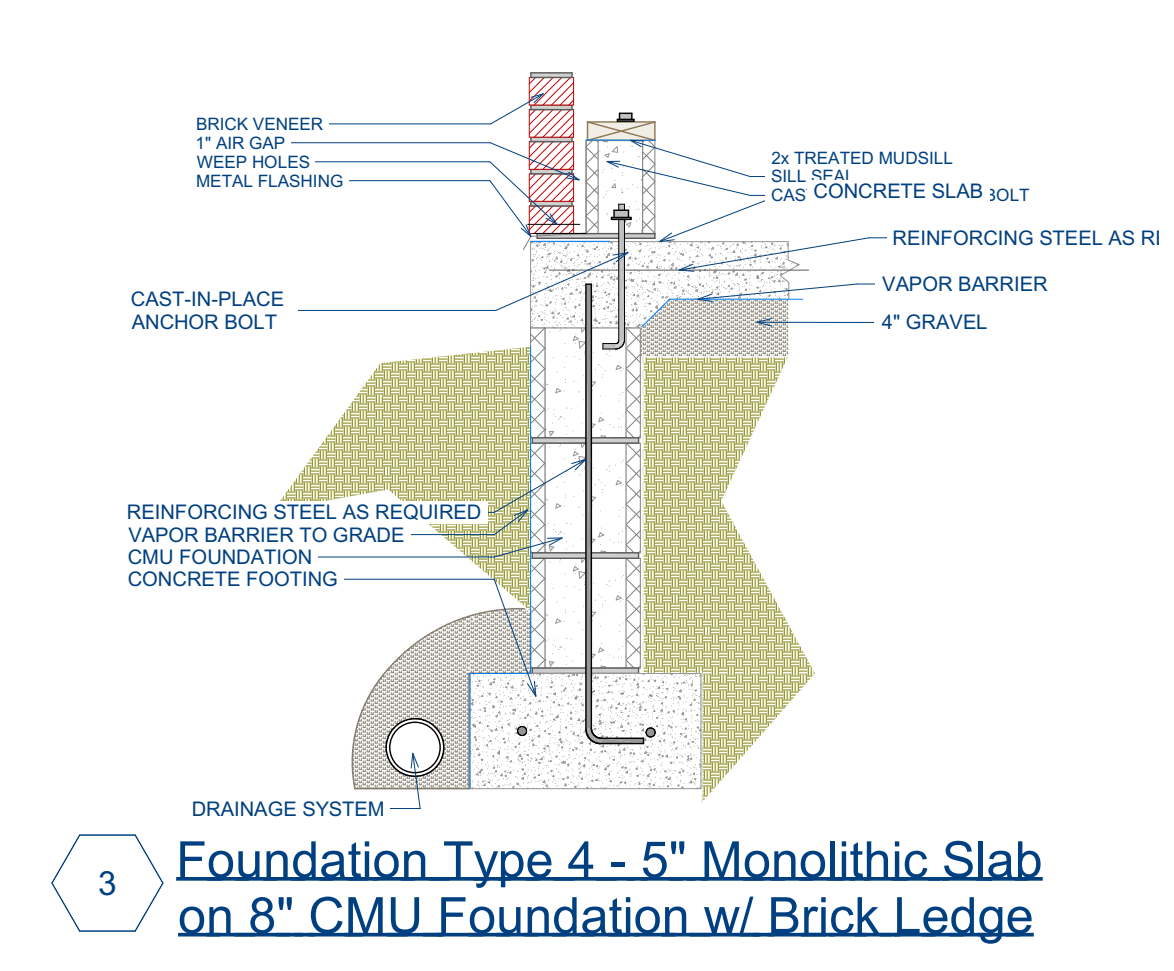
1 Foundation Type 1-8" CMU w/ Crawl Space
(print at 1"=1')



2 Foundation Type 2-8" CMU Basement Foundation
w/ Brick Ledge: Finished 2" Walls



3 Foundation Type 4-10" CMU Foundation w/ Brick
Ledge: Finished 2" Walls



4 Foundation Type 4-5" Monolithic Slab
on 8" CMU Foundation w/ Brick Ledge

Foundation / Basement layout
1/4 in = 1 ft

DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307

SCJ@ESS-PS.CO
804-304-3201

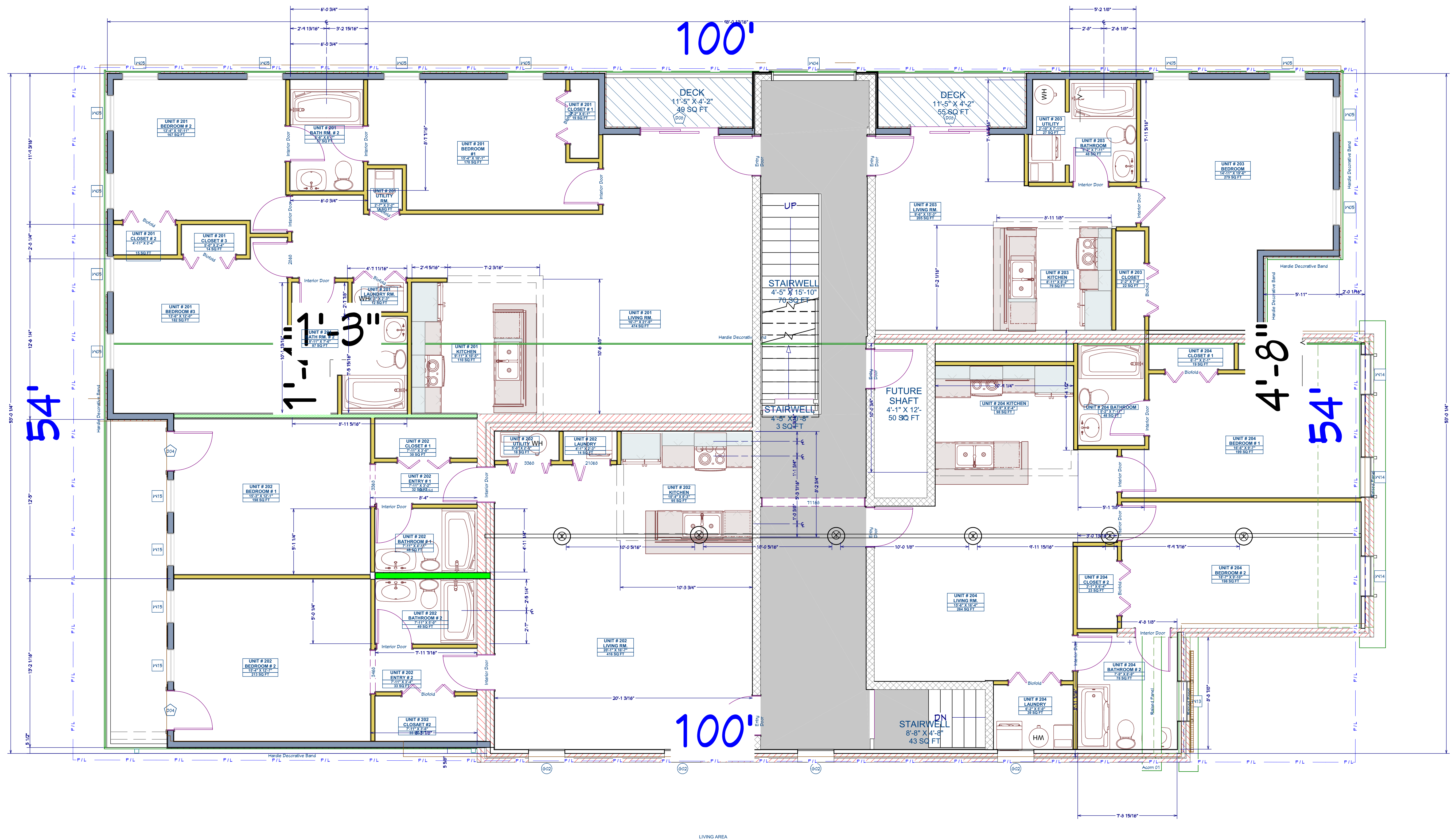
3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

DATE:
11/4/2021

SUP Rev. # 6

SHEET:
011



2nd Floor Layout
1/4 in = 1 ft

DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307

SCJ@ESS-PS.CO
804-304-3201

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

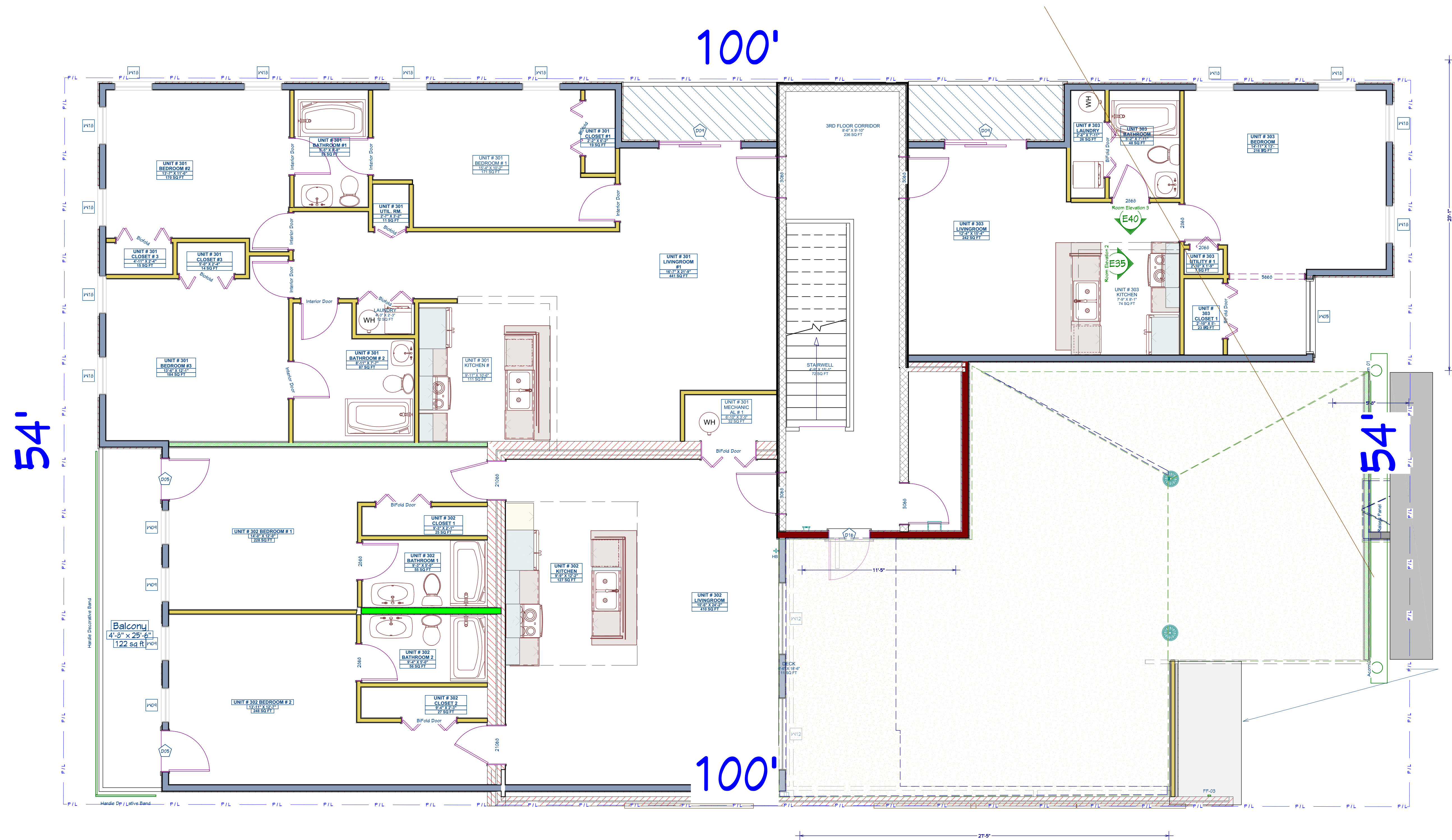
DATE:

11/4/2021

SUP Rev. # 6

SHEET:

012



3rd Floor Layout
1/4 in = 1 ft

DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307

SCJ@ESS-PS.CO
804-304-3201

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

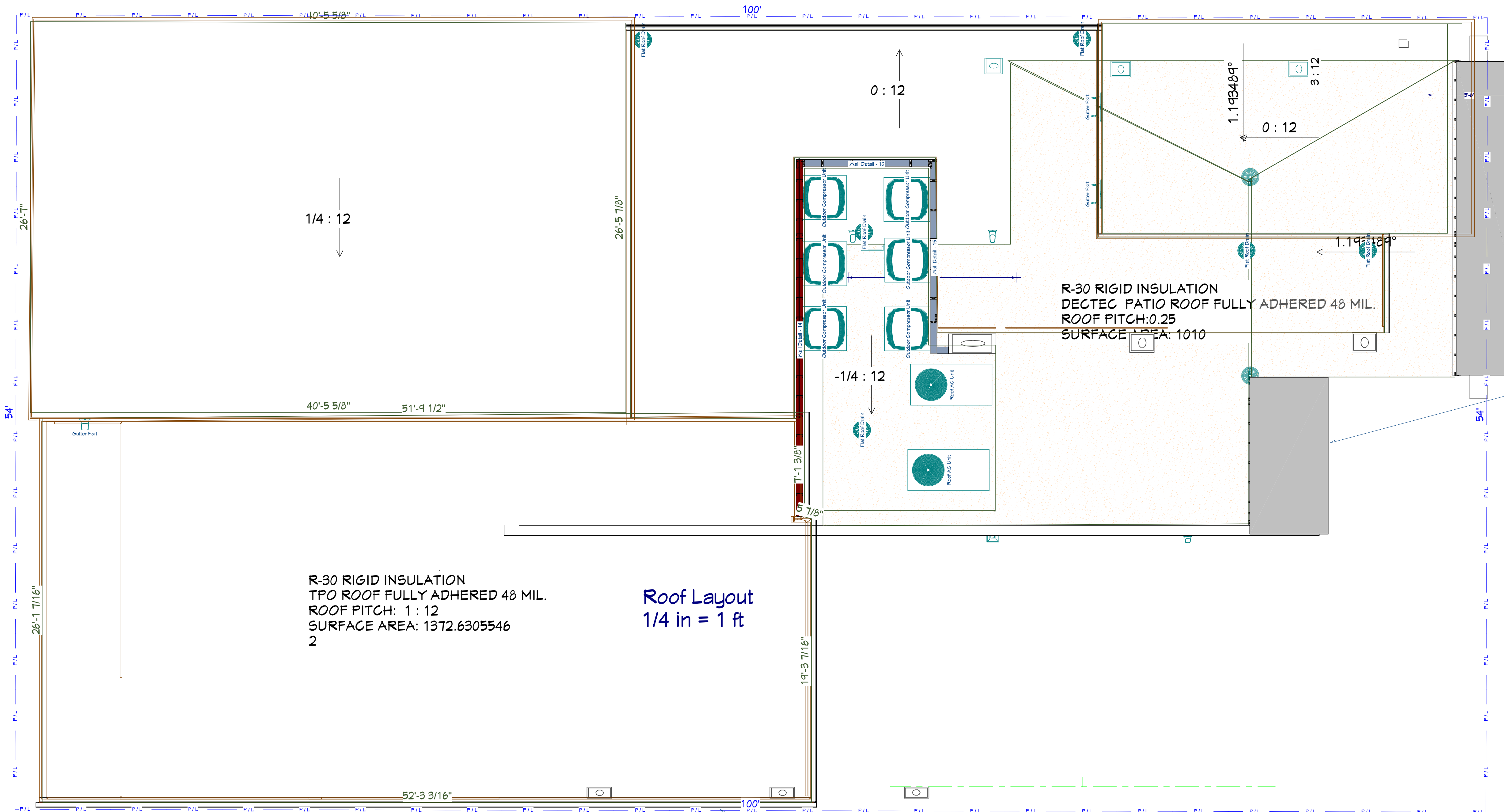
DATE:

11/4/2021

SUP Rev. # 6

SHEET:

013



FINISHES SCHEDULE			
SYMBOL	NUMBER	LABEL	DESCRIPTION
	A01		CHIMNEY TOP
	A02		CURB-SIDE GARBAGE CAN
	A03		DOWNSPOUT
	A04		EGRESS LADDER 2
	A05		FLAT ROOF DRAIN
	A06		GUTTER DRAIN
	A07		GUTTER PORT
	A18		OUTDOOR COMPRESSOR UNIT
	A32		ROOF AC UNIT

DESIGN / BUILD
SERVICES
PREPARED BY:
ESS
CONTRACTOR
LIC# 2705151307

SCJ@ESS-PS.CO
804-304-3201

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

DATE:
11/4/2021

SUP Rev. # 6

SHEET:
014

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

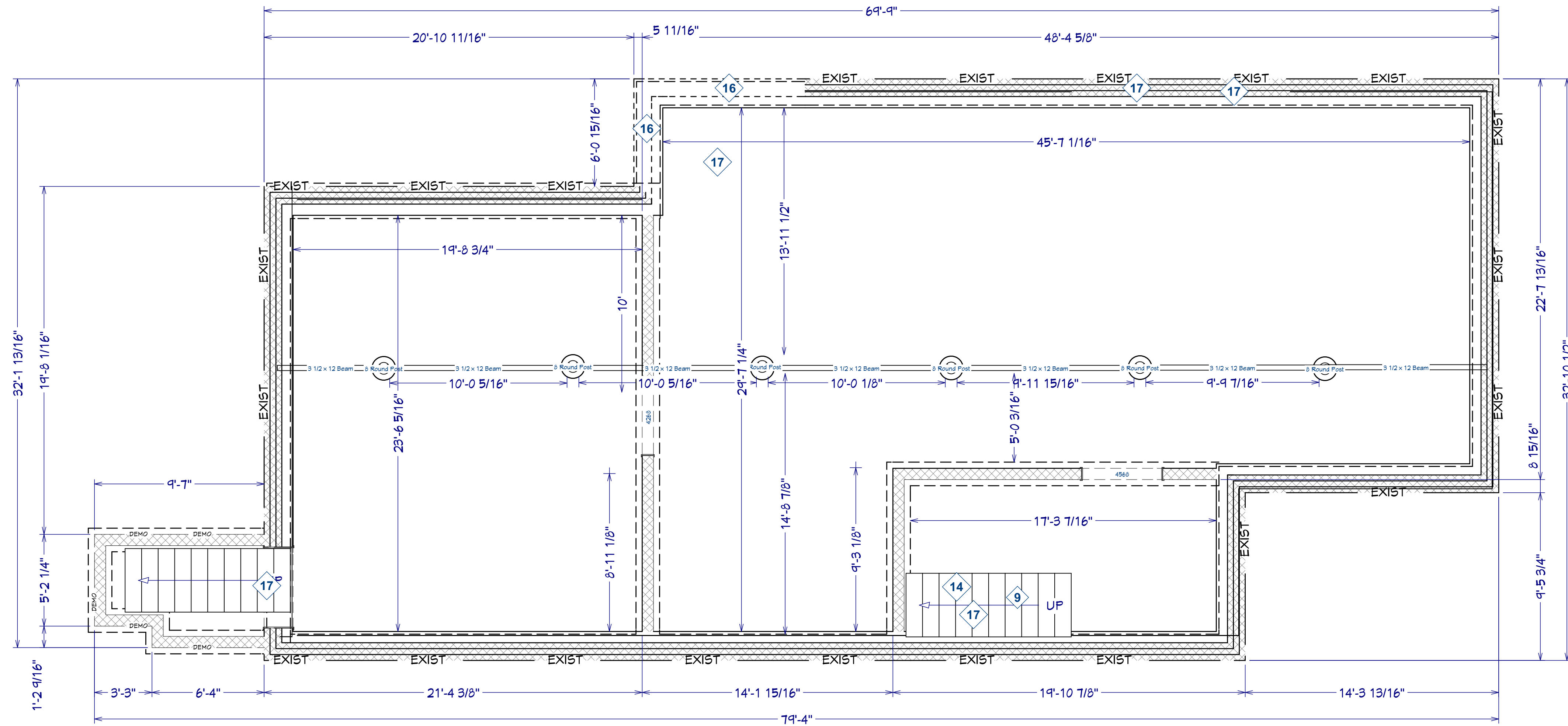
DATE:

11/4/2021

SUP Rev. # 6

SHEET:

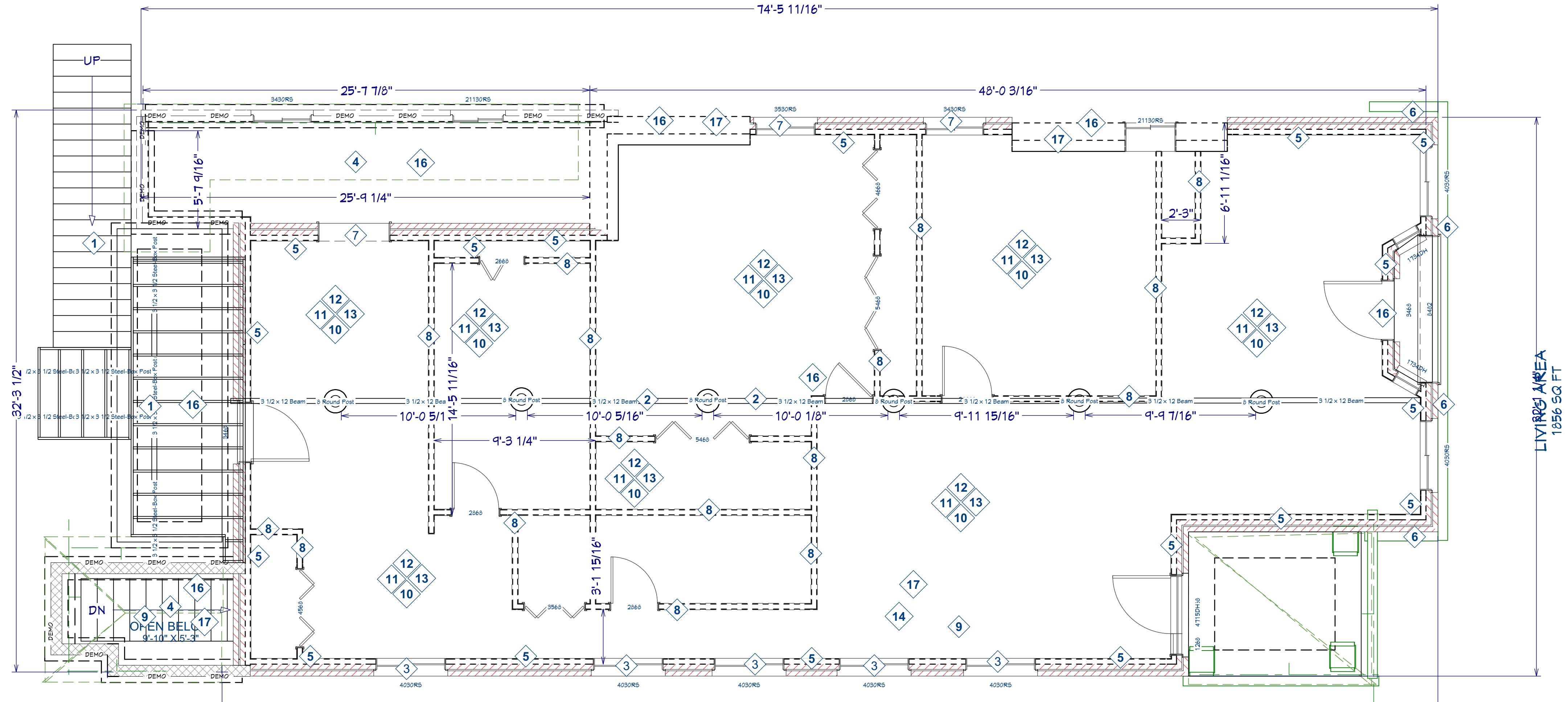
015



Existing Basement Layout
1/4 in = 1 ft

DEMOLITION NOTES

1	REMOVE REAR DECK, STAIRS, LANDING & WOOD FRAMED ROOF.
2	DEMO FLOOR BEAM IN CORRIDOR / INSTALL POCKETS
3	REMOVE EXISTING WINDOW OPENING, REMOVE ALL FRAME, LINTEL AND SILL. PREP AND TOOTH MASONRY JOINTS FOR NEW MASONRY INFILL.
4	REMOVE EXISTING ROOF, EXTERIOR & INTERIOR WALLS TO EXISTING FLOOR SYSTEM.
5	REMOVE ALL EXISTING EXTERIOR WALL FINISH WALLS TO EXISTING FRAMING. REMOVE ALL ASSOCIATED TRIM, RECEPTACLES, SWITCHES ETC, INSULATION.
6	REMOVE EXISTING VENEER FINISH & EXIST MASONRY WALL AS INDICATED, PREP OPENING FOR NEW STOREFRONT.
7	REMOVE EXISTING WINDOW OPENING, REMOVE ALL FRAME, LINTEL AND SILL. FRAME OPENING IN ON BOTH SIDES TO NEW FINISHES.
8	REMOVE EXISTING INTERIOR PARTITION WALLS AS INDICATED, INCLUDING ALL ASSOCIATED TRIM, RECEPTACLES, SWITCHES, ETC
9	REMOVE EXISTING WOOD STAIR AND ALL ASSOCIATED FRAMING. PATCH/REPAIR EXISTING SUBSTRATE FOR NEW FINISHES.
10	REMOVE ALL EXISTING CARPET AND/OR TILE FINISH FLOORING ON EXISTING SUB-FLOOR THROUGHOUT THE ENTIRE BUILDING.
11	REMOVE EXISTING CEILING FINISHES AND FRAMING TO UNDERSIDE OF EXISTING FLOOR SYSTEM THROUGHOUT THE ENTIRE BUILDING
12	REMOVE ALL EXISTING HVAC EQUIPMENT AND ALL ASSOCIATED TRIM, CONDUIT, WIRING, GRILLS, ETC. PATCH/REPAIR EXISTING SUBSTRATES AND PREP FOR NEW FINISHES
13	REMOVE EXISTING ELECTRICAL EQUIPMENT AND ALL ASSOCIATED CONDUIT AND WIRING
14	REMOVE EXISTING FINISH FLOOR, SUBSTRATE AND FRAMING FOR NEW STAIR
15	REMOVE EXISTING ROOF MEMBRANE, SUBSTRATE AND FRAMING. PREPARE OPENING FOR NEW FLOOR SYSTEM. COORDINATE WITH MANUFACTURER PRIOR TO DEMO
16	PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE
17	FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSEING OF MASONRY, AND OTHER CHARACTERISTICS



Existing 1st Floor Layout
1/4 in = 1 ft

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST., RICHMOND,
VIRGINIA 23223

DATE:

11/4/2021

SUP Rev. # 6

SHEET:

016

DEMOLITION NOTES

1	REMOVE REAR DECK, STAIRS, LANDING & WOOD FRAMED ROOF.
2	DEMO FLOOR BEAM IN CORRIDOR / INSTALL POCKETS
3	REMOVE EXISTING WINDOW OPENING, REMOVE ALL FRAME, LINTEL AND SILL. PREP AND TOOTH MASONRY JOINTS FOR NEW MASONRY INFILL.
4	REMOVE EXISTING ROOF, EXTERIOR & INTERIOR WALLS TO EXISTING FLOOR SYSTEM.
5	REMOVE ALL EXISTING EXTERIOR WALL FINISH WALLS TO EXISTING FRAMING. REMOVE ALL ASSOCIATED TRIM, RECEPTACLES, SWITCHES ETC, INSULATION.
6	REMOVE EXISTING VENEER FINISH & EXIST MASONRY WALL AS INDICATED, PREP OPENING FOR NEW STOREFRONT.
7	REMOVE EXISTING WINDOW OPENING, REMOVE ALL FRAME, LINTEL AND SILL. FRAME OPENING IN ON BOTH SIDES TO NEW FINISHES.
8	REMOVE EXISTING INTERIOR PARTITION WALLS AS INDICATED, INCLUDING ALL ASSOCIATED TRIM, RECEPTACLES, SWITCHES, ETC
9	REMOVE EXISTING WOOD STAIR AND ALL ASSOCIATED FRAMING. PATCH/REPAIR EXISTING SUBSTRATE FOR NEW FINISHES.
10	REMOVE ALL EXISTING CARPET AND/OR TILE FINISH FLOORING ON EXISTING SUB-FLOOR THROUGHOUT THE ENTIRE BUILDING.
11	REMOVE EXISTING CEILING FINISHES AND FRAMING TO UNDERSIDE OF EXISTING FLOOR SYSTEM THROUGHOUT THE ENTIRE BUILDING
12	REMOVE ALL EXISTING HVAC EQUIPMENT AND ALL ASSOCIATED TRIM, CONDUIT, WIRING, GRILLS, ETC. PATCH/REPAIR EXISTING SUBSTRATES AND PREP FOR NEW FINISHES
13	REMOVE EXISTING ELECTRICAL EQUIPMENT AND ALL ASSOCIATED CONDUIT AND WIRING
14	REMOVE EXISTING FINISH FLOOR, SUBSTRATE AND FRAMING FOR NEW STAIR
15	REMOVE EXISTING ROOF MEMBRANE, SUBSTRATE AND FRAMING. PREPARE OPENING FOR NEW FLOOR SYSTEM. COORDINATE WITH MANUFACTURER PRIOR TO DEMO
16	PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE
17	FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY, AND OTHER CHARACTERISTICS

3101 EAST MARSHALL ST -
MIXED USED DEVELOPMENT

OWNER: DATA PRO INVESTMENTS
3101 - 3105 EAST MARSHALL ST, RICHMOND,
VIRGINIA 23223

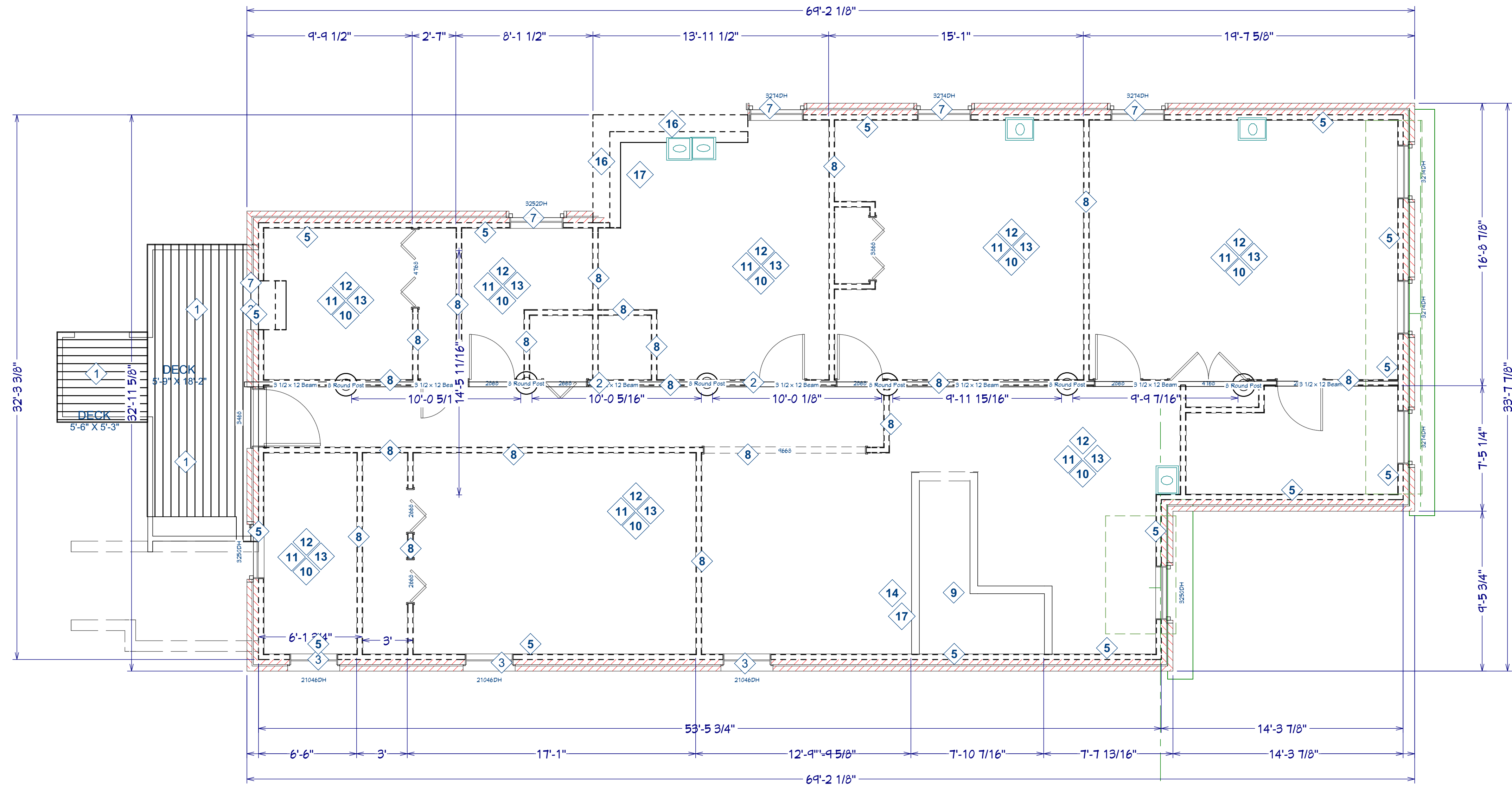
DATE:

11/4/2021

SUP Rev. # 6

SHEET:

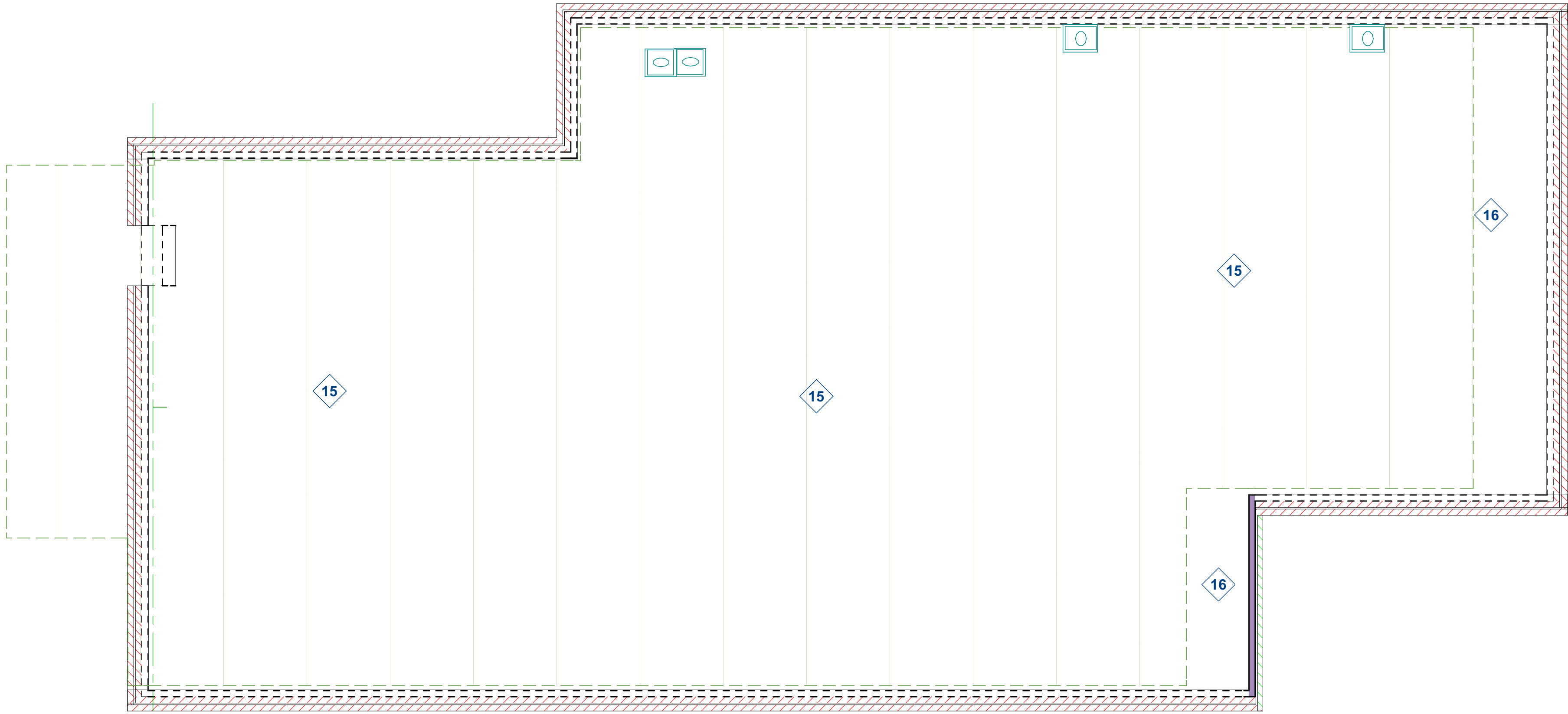
017



Existing 2nd Floor layout
1/4 in = 1 ft

DEMOLITION NOTES

1	REMOVE REAR DECK, STAIRS, LANDING & WOOD FRAMED ROOF.
2	DEMO FLOOR BEAM IN CORRIDOR / INSTALL POCKETS
3	REMOVE EXISTING WINDOW OPENING, REMOVE ALL FRAME, LINTEL AND SILL. PREP AND TOOTH MASONRY JOINTS FOR NEW MASONRY INFILL.
4	REMOVE EXISTING ROOF, EXTERIOR & INTERIOR WALLS TO EXISTING FLOOR SYSTEM.
5	REMOVE ALL EXISTING EXTERIOR WALL FINISH WALLS TO EXISTING FRAMING. REMOVE ALL ASSOCIATED TRIM, RECEPTACLES, SWITCHES ETC, INSULATION.
6	REMOVE EXISTING VENEER FINISH & EXIST MASONRY WALL AS INDICATED, PREP OPENING FOR NEW STOREFRONT.
7	REMOVE EXISTING WINDOW OPENING, REMOVE ALL FRAME, LINTEL AND SILL. FRAME OPENING IN ON BOTH SIDES TO NEW FINISHES.
8	REMOVE EXISTING INTERIOR PARTITION WALLS AS INDICATED, INCLUDING ALL ASSOCIATED TRIM, RECEPTACLES, SWITCHES, ETC
9	REMOVE EXISTING WOOD STAIR AND ALL ASSOCIATED FRAMING. PATCH/REPAIR EXISTING SUBSTRATE FOR NEW FINISHES.
10	REMOVE ALL EXISTING CARPET AND/OR TILE FINISH FLOORING ON EXISTING SUB-FLOOR THROUGHOUT THE ENTIRE BUILDING.
11	REMOVE EXISTING CEILING FINISHES AND FRAMING TO UNDERSIDE OF EXISTING FLOOR SYSTEM THROUGHOUT THE ENTIRE BUILDING
12	REMOVE ALL EXISTING HVAC EQUIPMENT AND ALL ASSOCIATED TRIM, CONDUIT, WIRING, GRILLS, ETC. PATCH/REPAIR EXISTING SUBSTRATES AND PREP FOR NEW FINISHES
13	REMOVE EXISTING ELECTRICAL EQUIPMENT AND ALL ASSOCIATED CONDUIT AND WIRING
14	REMOVE EXISTING FINISH FLOOR, SUBSTRATE AND FRAMING FOR NEW STAIR
15	REMOVE EXISTING ROOF MEMBRANE, SUBSTRATE AND FRAMING. PREPARE OPENING FOR NEW FLOOR SYSTEM. COORDINATE WITH MANUFACTURER PRIOR TO DEMO
16	PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE
17	FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSEING OF MASONRY, AND OTHER CHARACTERISTICS



Existing Roof Layout
1/4 in = 1 ft

DEMOLITION NOTES	
1	REMOVE REAR DECK, STAIRS, LANDING & WOOD FRAMED ROOF.
2	DEMO FLOOR BEAM IN CORRIDOR / INSTALL POCKETS
3	REMOVE EXISTING WINDOW OPENING, REMOVE ALL FRAME, LINTEL AND SILL. PREP AND TOOTH MASONRY JOINTS FOR NEW MASONRY INFILL.
4	REMOVE EXISTING ROOF, EXTERIOR & INTERIOR WALLS TO EXISTING FLOOR SYSTEM.
5	REMOVE ALL EXISTING EXTERIOR WALL FINISH WALLS TO EXISTING FRAMING. REMOVE ALL ASSOCIATED TRIM, RECEPTACLES, SWITCHES ETC, INSULATION.
6	REMOVE EXISTING VENEER FINISH & EXIST MASONRY WALL AS INDICATED, PREP OPENING FOR NEW STOREFRONT.
7	REMOVE EXISTING WINDOW OPENING, REMOVE ALL FRAME, LINTEL AND SILL. FRAME OPENING IN ON BOTH SIDES TO NEW FINISHES.
8	REMOVE EXISTING INTERIOR PARTITION WALLS AS INDICATED, INCLUDING ALL ASSOCIATED TRIM, RECEPTACLES, SWITCHES, ETC
9	REMOVE EXISTING WOOD STAIR AND ALL ASSOCIATED FRAMING. PATCH/REPAIR EXISTING SUBSTRATE FOR NEW FINISHES.
10	REMOVE ALL EXISTING CARPET AND/OR TILE FINISH FLOORING ON EXISTING SUB-FLOOR THROUGHOUT THE ENTIRE BUILDING.
11	REMOVE EXISTING CEILING FINISHES AND FRAMING TO UNDERSIDE OF EXISTING FLOOR SYSTEM THROUGHOUT THE ENTIRE BUILDING
12	REMOVE ALL EXISTING HVAC EQUIPMENT AND ALL ASSOCIATED TRIM, CONDUIT, WIRING, GRILLS, ETC. PATCH/REPAIR EXISTING SUBSTRATES AND PREP FOR NEW FINISHES
13	REMOVE EXISTING ELECTRICAL EQUIPMENT AND ALL ASSOCIATED CONDUIT AND WIRING
14	REMOVE EXISTING FINISH FLOOR, SUBSTRATE AND FRAMING FOR NEW STAIR
15	REMOVE EXISTING ROOF MEMBRANE, SUBSTRATE AND FRAMING. PREPARE OPENING FOR NEW FLOOR SYSTEM. COORDINATE WITH MANUFACTURER PRIOR TO DEMO
16	PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE
17	FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSEING OF MASONRY, AND OTHER CHARACTERISTICS