



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 404 N 23rd St

Historic district Church Hill North

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Gregory Shron

Phone 804.362.7727

Company CCR III Holdings LLC, c/o Center Creek Homes Email greg@centercreekhomes.com

Mailing Address 11 S 12th St, Ste 115
Richmond, VA 23219

Applicant Type: ☒ Owner ☐ Agent
☐ Lessee ☐ Architect ☐ Contractor
☐ Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Review Type: ☐ Conceptual Review ☒ Final Review

Project Type: ☐ Alteration ☐ Demolition

☒ New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

New single-family detached dwelling; see attached narrative

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 10-11-2021



404 N 23rd St

NEW SINGLE-FAMILY DETACHED RESIDENCE

CHURCH HILL NORTH OLD AND HISTORIC DISTRICT

RICHMOND COMMISSION OF ARCHITECTURAL REVIEW - FINAL REVIEW

PREPARED: OCT 11, 2021

APPLICANT: CENTER CREEK HOMES c/o Greg Shron

PROJECT DESCRIPTION:

The submission depicts a new detached, 2-story, 1,527 square-foot single-family home with an English basement on a 1,155 square-foot vacant lot at 404 N 23rd Street. The lot is rectangular in shape, is located between E Marshall St and E Clay St in the Church Hill North Historic District and is zoned R-8; note that a previously approved SUP, now expired, allowed for commercial space on the ground floor. In keeping with this zone's intent to encourage "a mixture of detached and attached dwellings of two and three stories in height with a distinct orientation to the street, and situated on small lots with narrow yards", its regulations establish a minimum building height of two stories and a maximum of three stories.

To provide high-quality outdoor living space for the proposed home, given the size constraints of the lot, the design features a rooftop terrace with the access stair located in a "tower" element set back from the front elevation. The stepped back tower component provides a strong architectural accent to the alley-facing elevation and corner of the building, while preserving a primary 2-story cornice line along the street façade.

The exterior language is a modern take on the historic building form of many single-family homes in the Church Hill North Historic District. The two-story, three bay structure is raised from the street level by an English basement. It has a one-story, two-thirds front porch with horizontal railing. The rooftop terrace is hidden from view by a mansard roof that wraps three sides of the home.

Primary exterior materials are 7" exposure prefinished fiber-cement smooth lap siding in white, smooth fiber-cement panel siding in dark gray on the tower element, prefinished aluminum one-over-one double hung windows in black, painted trim, and prefinished standing seam metal roofing.



During the concept review hearing for the project, the Commission expressed some concern regarding the resolution of the proposed north side elevation. Feedback included suggestions to reconsider the blank wall with no windows and the stair tower. Further, the Commissioners felt the faux mansard roof appeared to be applied to the wall rather than sloping inward from the wall plane, which would mimic the look of a true mansard roof.

In response to the Commission's comments, the side elevation has been fundamentally reimagined. We began by introducing a modern, rectangular stair tower element that runs the entire height of the structure. This component features color and material that provides a contrast to the primary building massing, and projects from the primary façade planes. In addition, we added several windows to the side elevation. Lastly, we wrapped the mansard roof around both side elevations, and redesigned the parapet section to decrease the pitch of the roof, decrease the depth of the eave, and recess the mansard portion into the roof terrace.

We feel the revised design addresses the Commission's concept review comments, and that the final product will be a great addition to the neighborhood. We look forward to working with the CAR and staff towards approval for this project.

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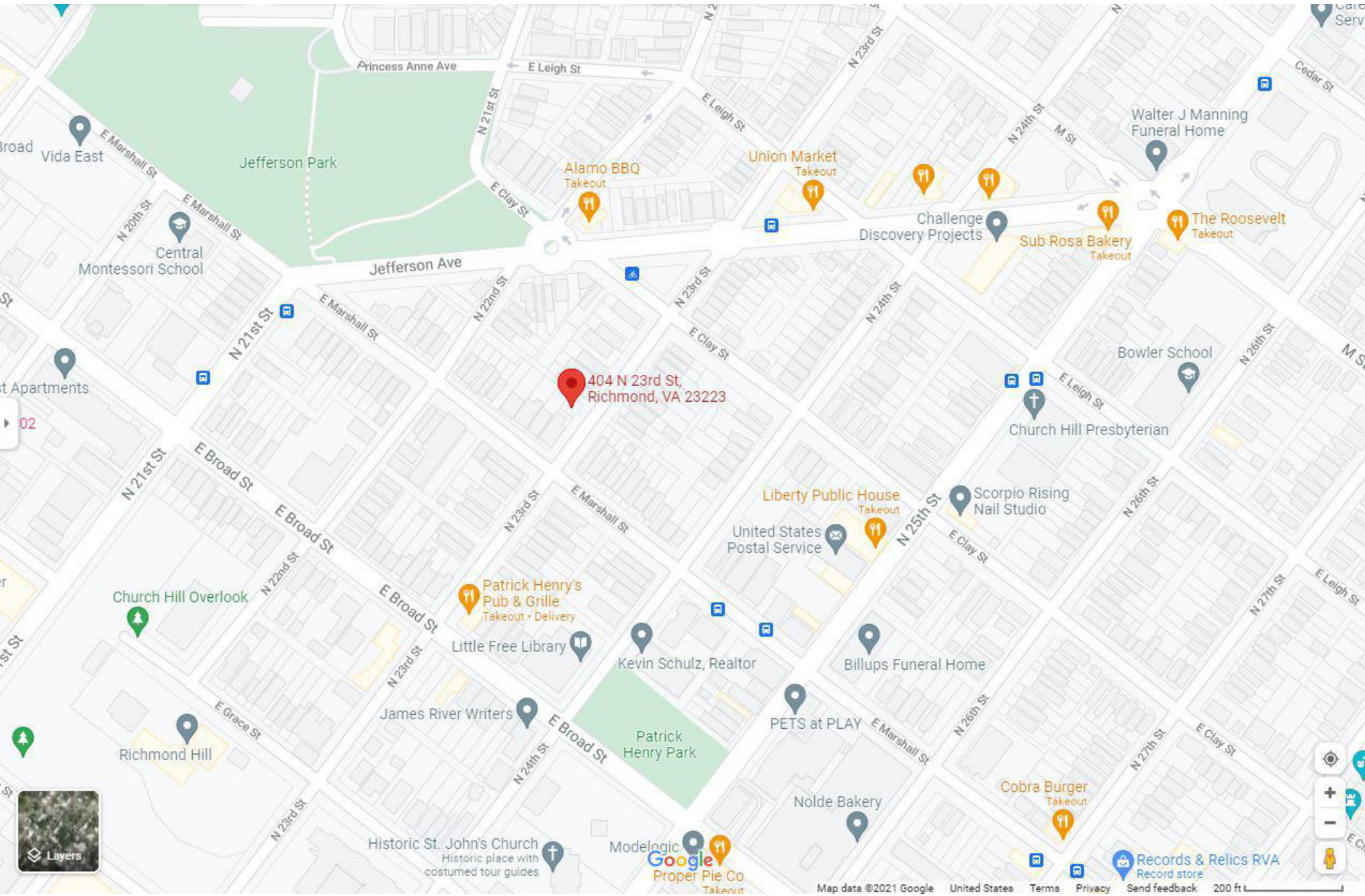
C

B

A



NEIGHBORHOOD MAP



404 N. 23RD ST.
RICHMOND, VA 23223

NEW SINGLE-FAMILY DETACHED HOUSE IN
RICHMOND'S CHURCH HILL NEIGHBORHOOD.

DRAWING INDEX

SHEET NUMBER	SHEET NAME
CAR-1	COVER SHEET
CAR-2	CONTEXT
CAR-3	PLANS
CAR-4	ELEVATIONS
CAR-5	ELEVATIONS



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— H O M E S —

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PHONE: (804) 251-2700
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CHRIS WOLF ARCHITECTURE, PLLC
T 804.514.7664

CLIENT
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PROJECT

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SEAL

NOT FOR
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PROJECT#: 21001
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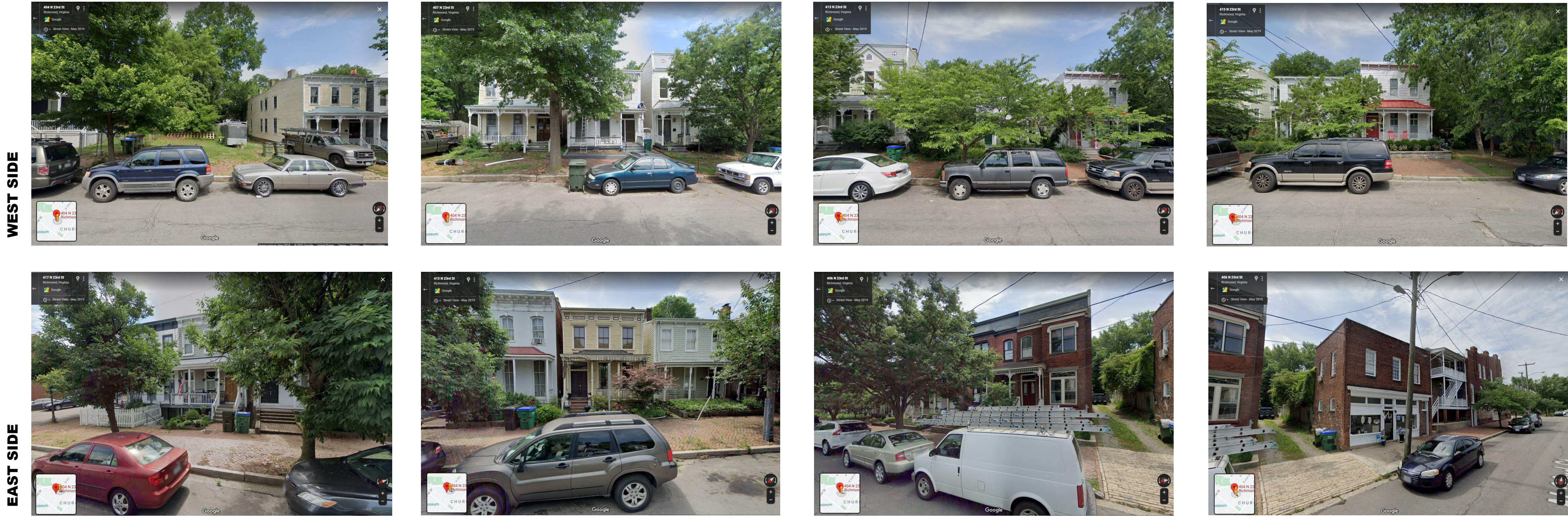
SHEET TITLE

COVER SHEET

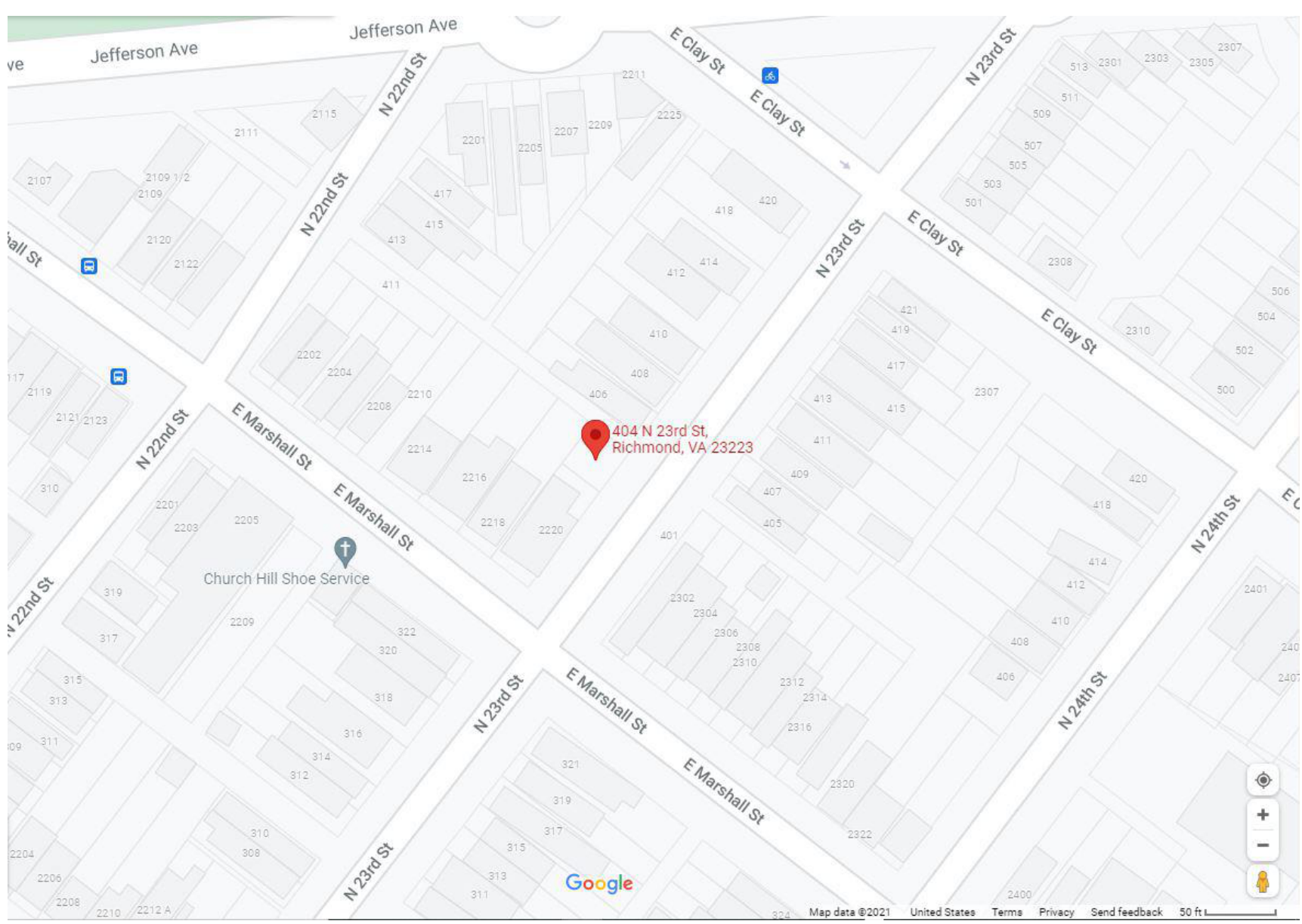
SHEET NUMBER

CAR-1

D



C1 BLOCK PHOTOS - 23RD BTW CLAY AND MARSHALL
12" = 1'-0"



C4 LOCATION MAP
12" = 1'-0"

C



A3 PERSPECTIVE RENDERINGS OF 404 N. 23RD ST.
12" = 1'-0"



B

A



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CONTEXT

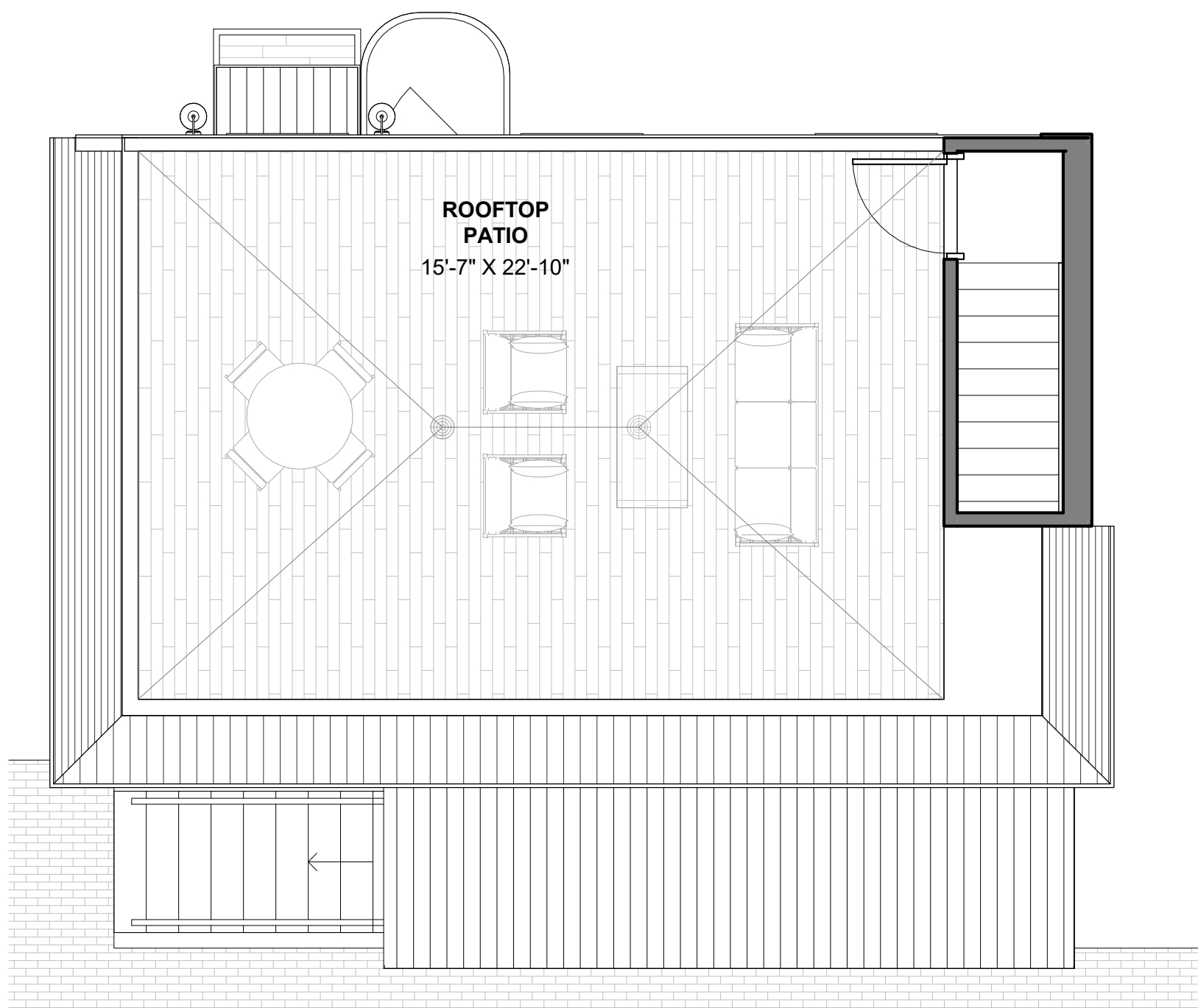
SHEET NUMBER
CAR-2

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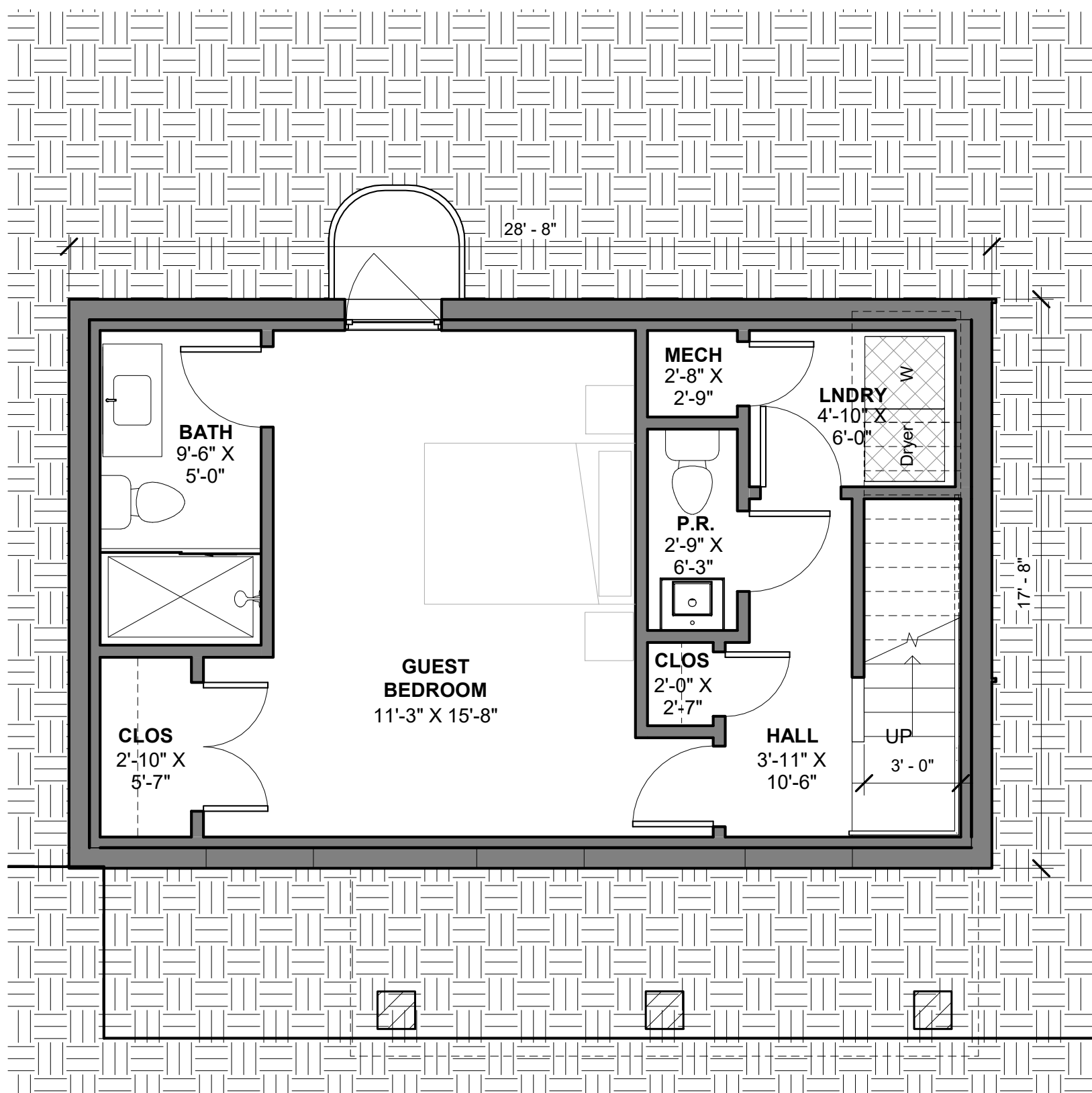
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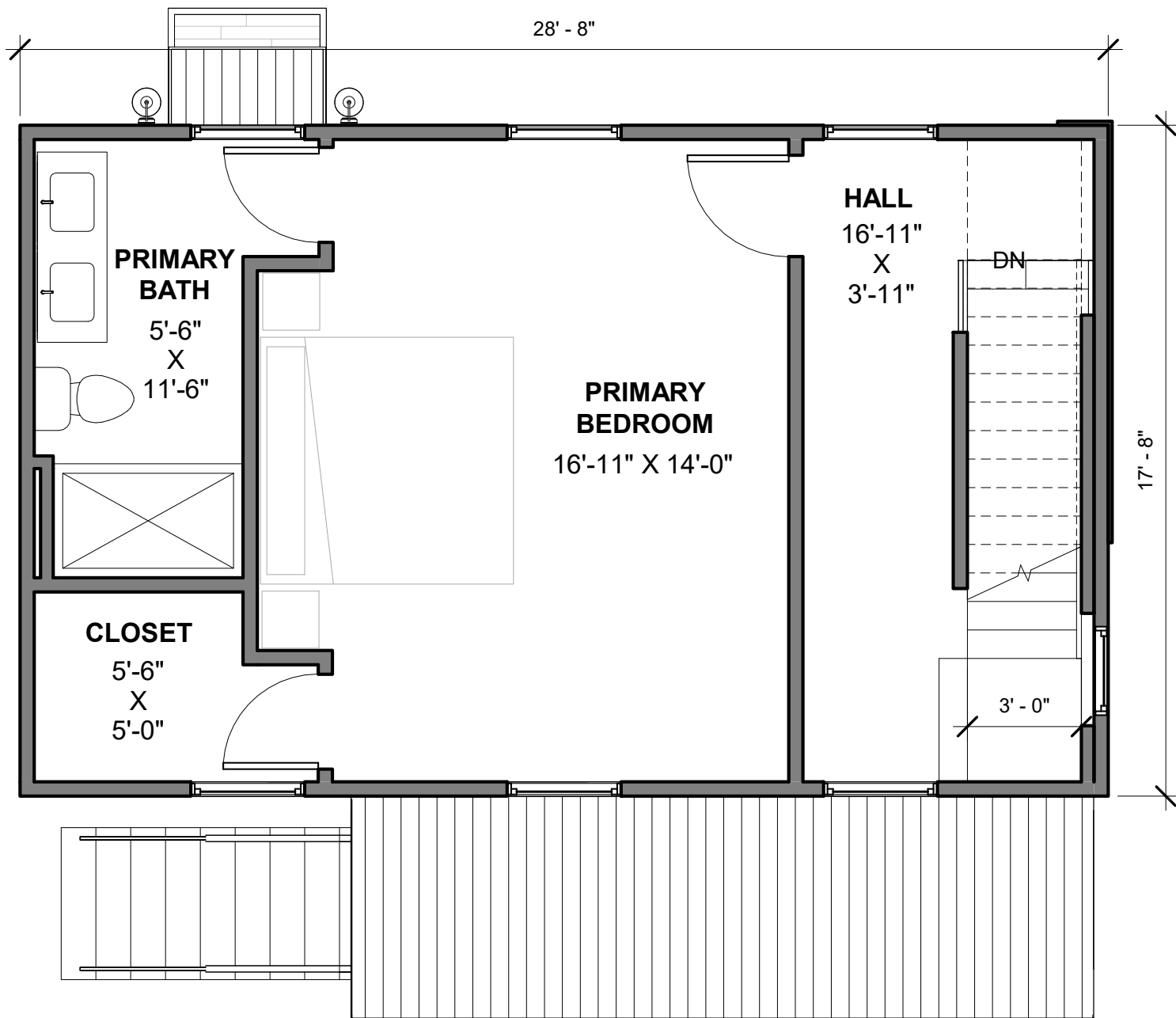
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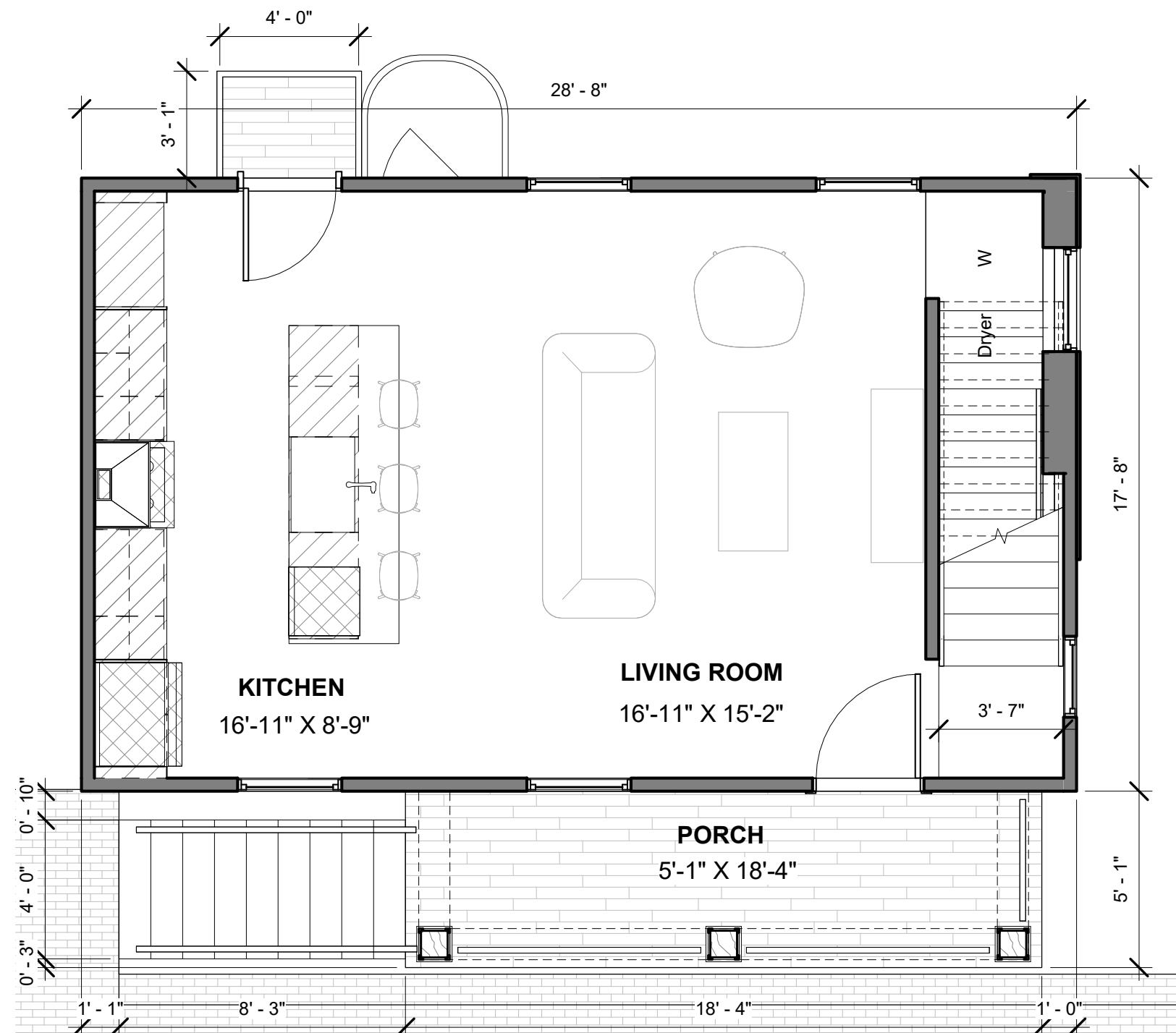
B1 ROOF PLAN
1/4" = 1'-0"



A1 BASEMENT PLAN
1/4" = 1'-0"



B2 SECOND FLOOR
1/4" = 1'-0"



B4 FIRST FLOOR
1/4" = 1'-0"

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
CURRENT OWNER: 404 N 23RD ST LLC ID 2014-12771

E. MARSHALL STREET

ZONING INFORMATION:
ZONED: R-8
TOTAL CONDITIONED AREA: 1527 SF
BASEMENT: 507 SF
FIRST FLOOR: 510 SF
SECOND FLOOR: 510 SF
ROOF TERRACE AREA: 367 SF
SETBACKS:
REAR SETBACK: 9'-2" +/-
LEFT/RIGHT SIDE: 3'-1" +/-

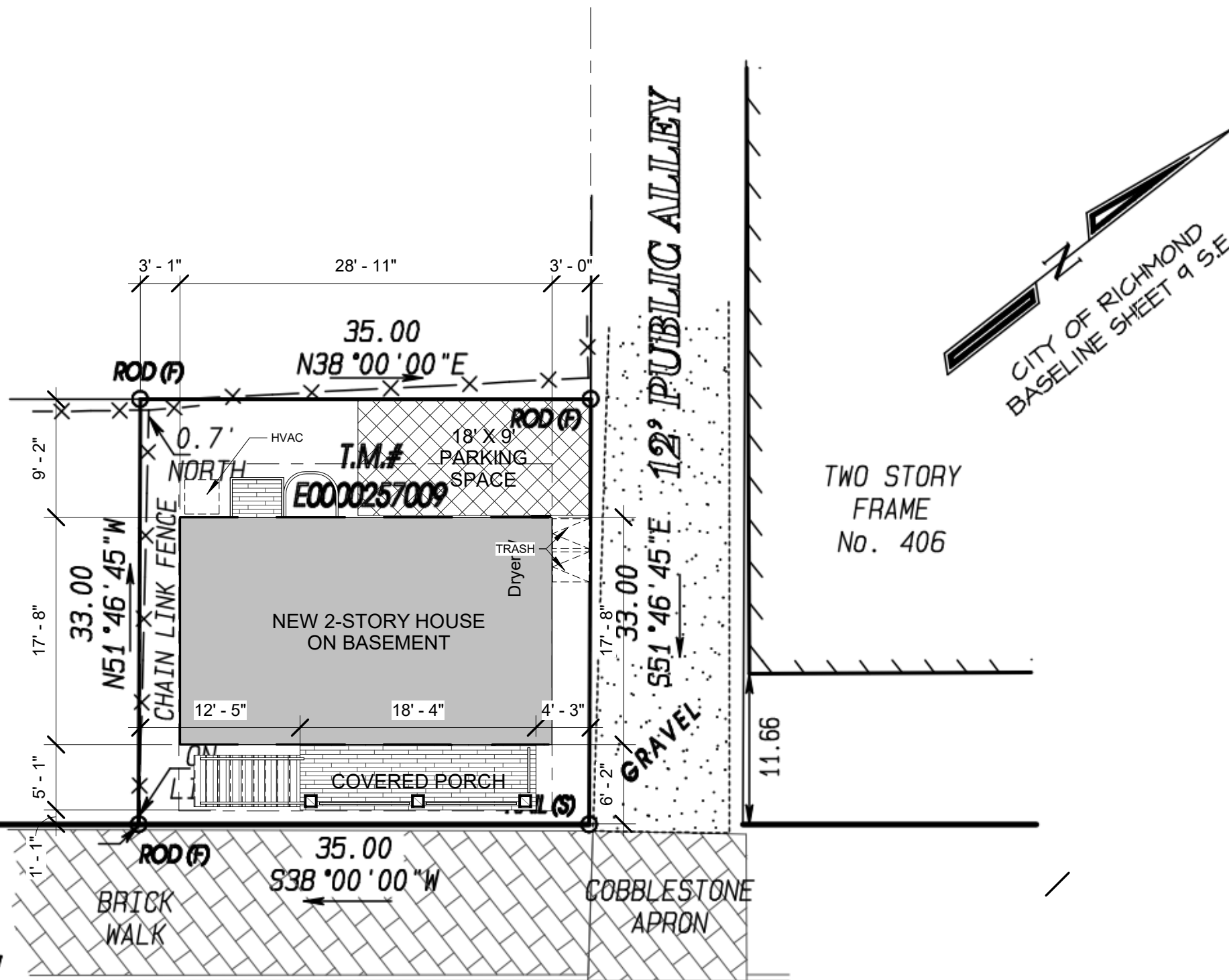
HEIGHT: 3 STORIES W/ STAIR
TOWER (36'-5")
LOT SIZE AND COVERAGE:
LOT WIDTH: 35 FT
LOT AREA: 1155 SF
LOT COVERAGE: 510 SF
LOT COVERAGE %: 44%

THOMAS M KOJCSIC
DB 259 PG 1044
TM# E0000257011

TWO STORY
FRAME
No. 2220

MARK B SHUBERT
ID 2015-13776
TM# E0000257010

N. 23RD STREET



A2 SITE PLAN
1" = 10'-0"

GENERAL NOTES

1. FURNITURE SHOWN IS FOR SCHEMATIC PURPOSES ONLY.
2. ALL MATERIALS, PATTERNS, TRIMS, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN DO NOT REPRESENT EXACT SELECTIONS. GENERIC STYLES SHOWN UNLESS OTHERWISE INDICATED.
3. TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO SURVEY (BY OTHERS).



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PLANS

SHEET NUMBER

CAR-3

D

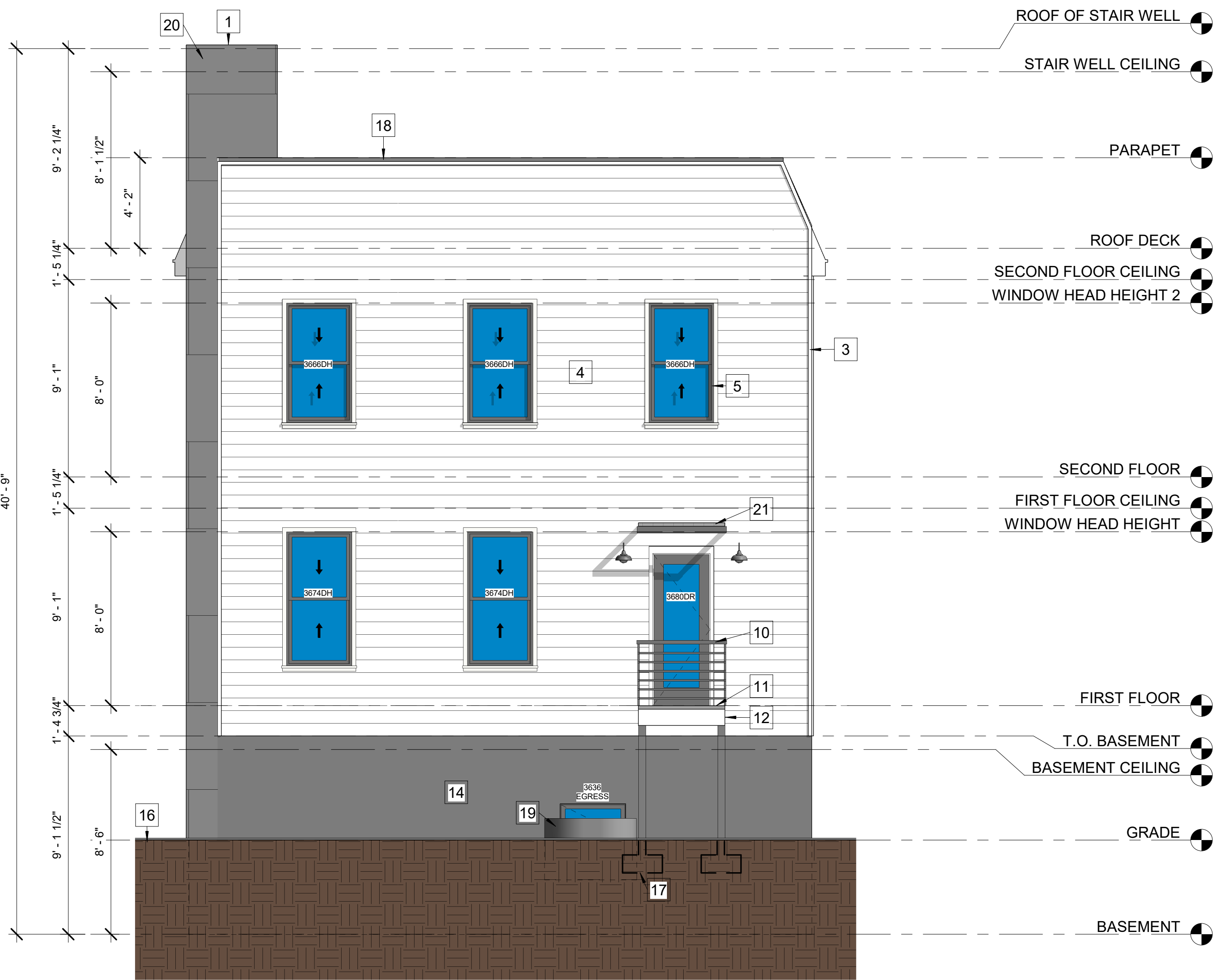


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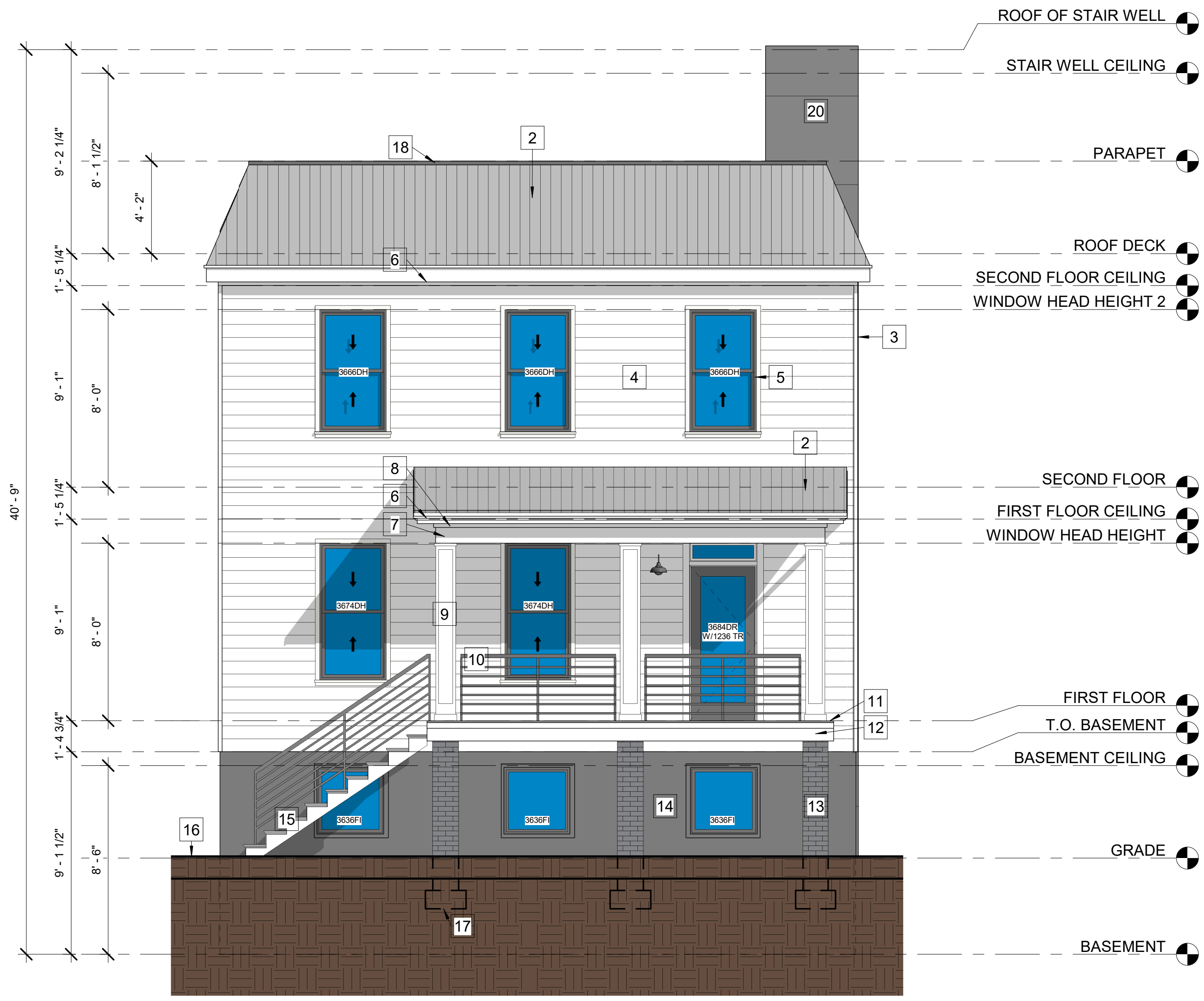
① EAST ELEVATION WITH CONTEXT
1/8" = 1'-0"

B

A



① WEST EXTERIOR
1/4" = 1'-0"



③ EAST EXTERIOR
1/4" = 1'-0"

CAR KEYNOTES	
Key	Note
1	TPO ROOF
2	STANDING SEAM METAL ROOF, DARK GRAY
3	4" COMPOSITE TRIM, WHITE
4	HARDIPLANK 7" LAP SIDING, TYP., WHITE
5	COMPOSITE EXTERIOR TRIM AT WINDOWS AND DOORS, WHITE
6	1X6 COMPOSITE FASCIA, WHITE
7	COMPOSITE CLAD 2X10 BOX BEAM, WHITE
8	COMPOSITE FRIEZE TRIM, WHITE
9	8" SQUARE LOAD-BEARING SYNTHETIC COLUMN, WHITE - PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR
10	36"H STEEL RAILING, PAINTED BLACK / STEEL HORIZONTALS AT 4" O.C.
11	5/4X6 T&G DECKING OVER 2X8 P.T. JOISTS AT 16" O.C. WITH HANGERS; (2)2X10 P.T. OUTER BEAM; 2X8 P.T. LEDGER BOARD ALONG HOUSE WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED- SEE WALL SECTION
12	COMPOSITE 1X10 OUTER BOARD AND 1X4 TOP TRIM, WHITE
13	16"X16" BRICK PIERS, TOP OF PIERS 4" BELOW TOP OF HOUSE FOUNDATION (TYP.), PAINTED DARK GRAY
14	PARGED CMU BASEMENT LEVEL, PAINTED DARK GRAY
15	STAIRS TO SIDEWALK- VERIFY IN FIELD; 11" TREADS, MAX. 8" RISER
16	APPROXIMATE GRADE (V.I.F.)
17	30" SQUARE X 12" THICK CONCRETE FOOTING WITH (2) #4 EACH WAY, CENTERED UNDER PIER (TYP.)
18	COPING TO MATCH ROOFING
19	WINDOW WELL, PAINTED TO MATCH PARGING
20	PAINTED COMPOSITE PANEL WITH REVEALS, DARK GRAY
21	METAL AWNING TO MATCH ROOFING

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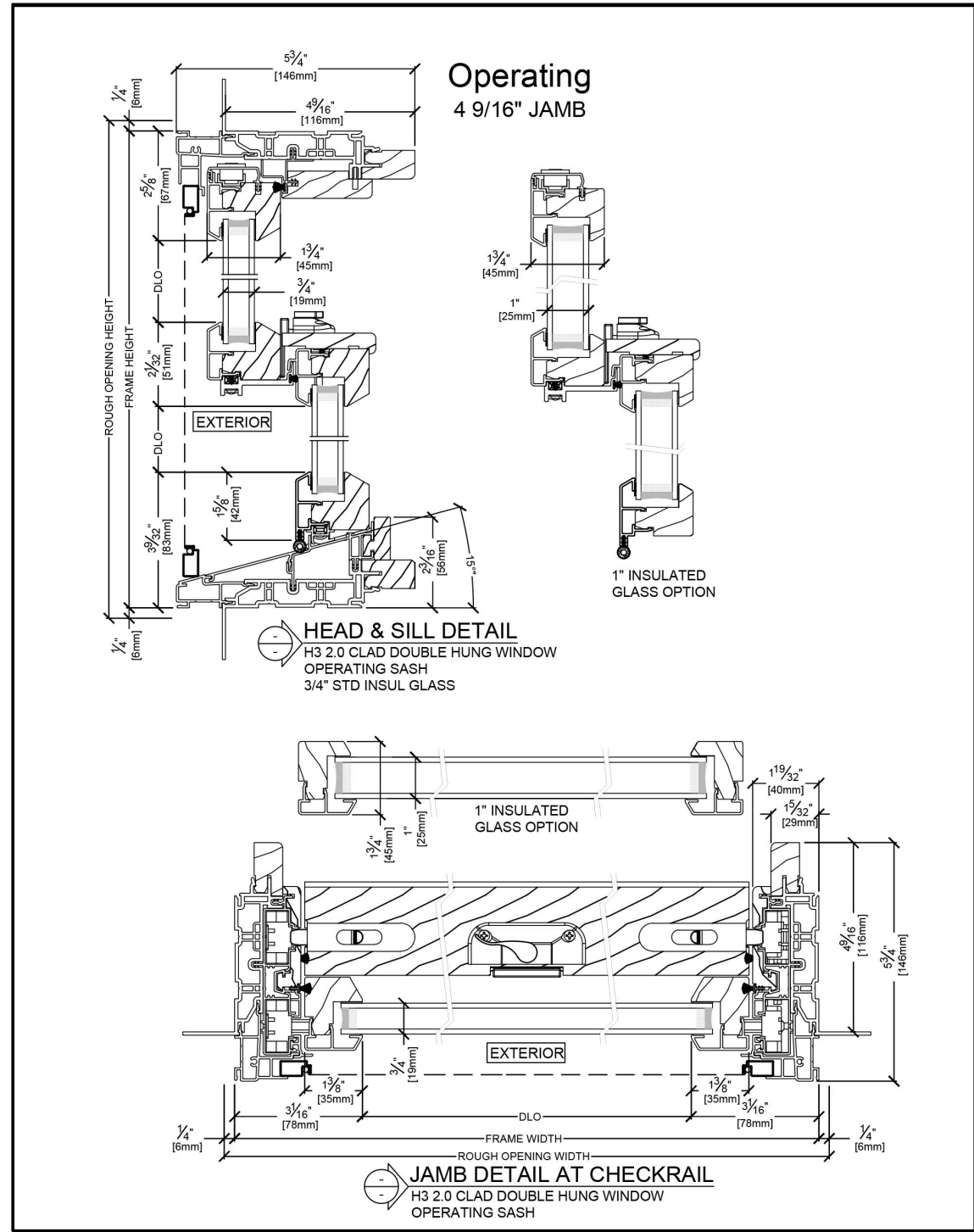
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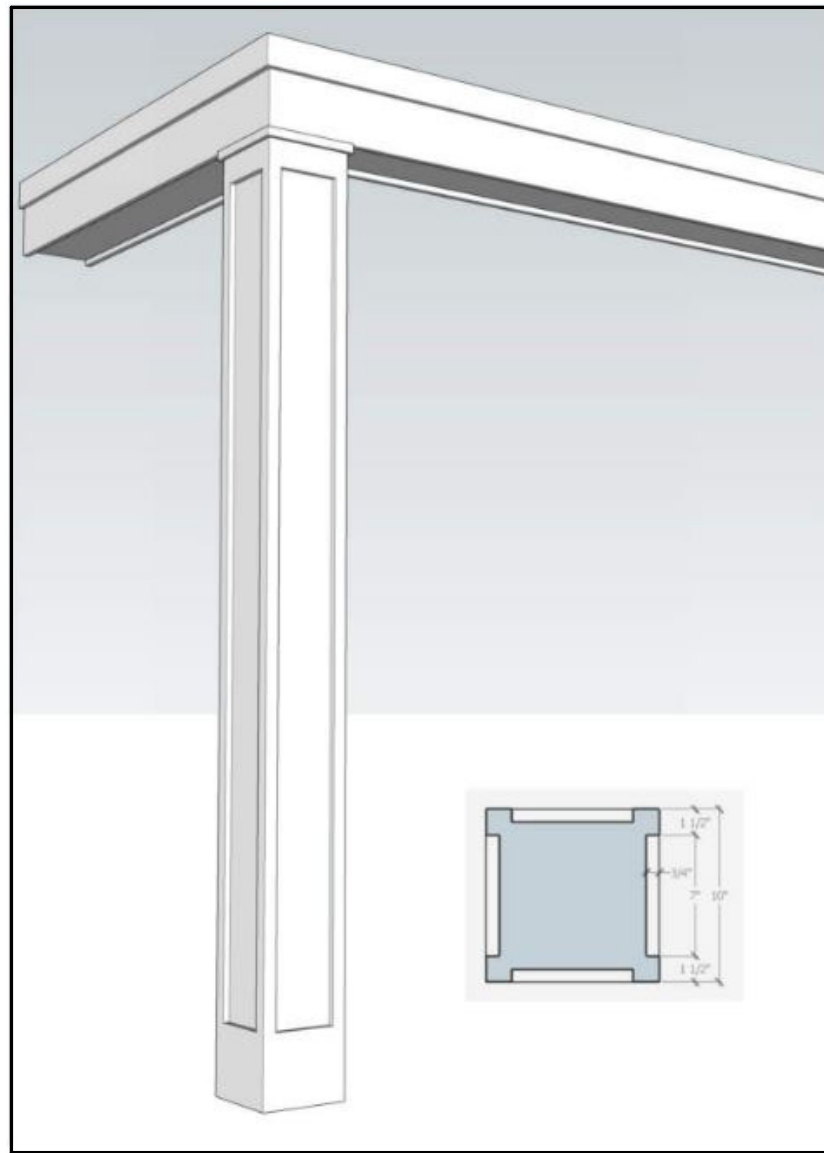
SHEET TITLE
ELEVATIONS

SHEET NUMBER
CAR-4

D



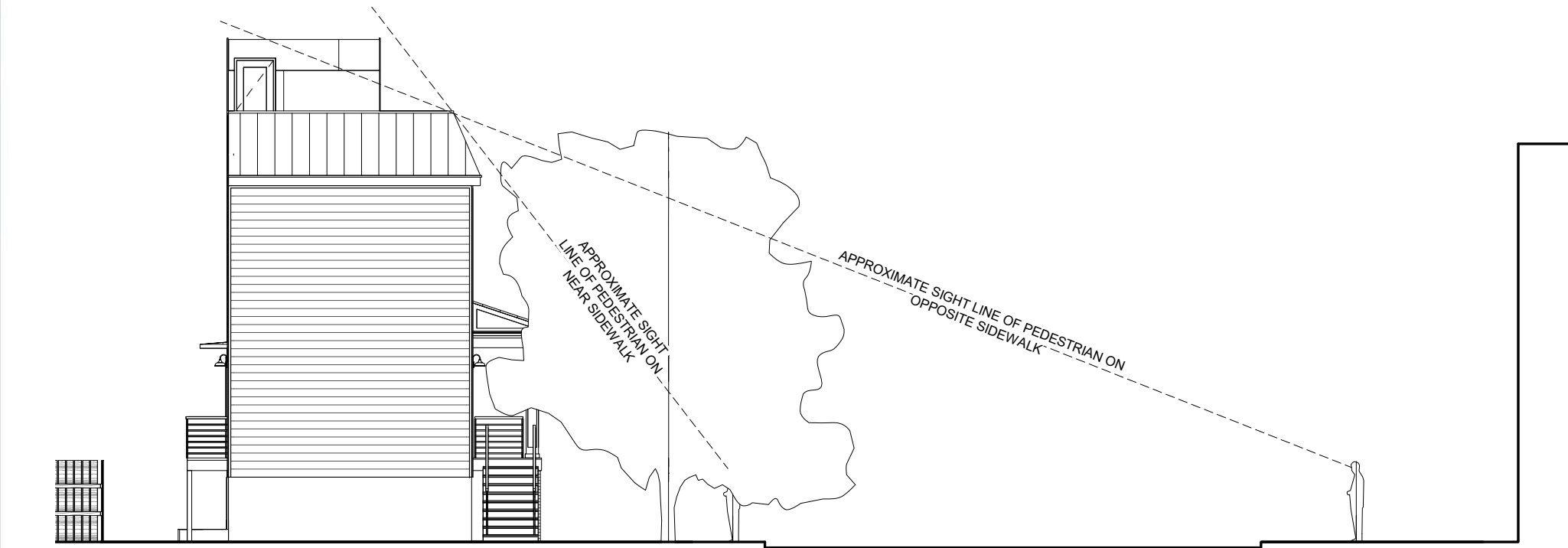
TYPICAL WINDOW DETAILS



PORCH COLUMN DETAILS



STAIR TOWER PANELING
PRODUCT



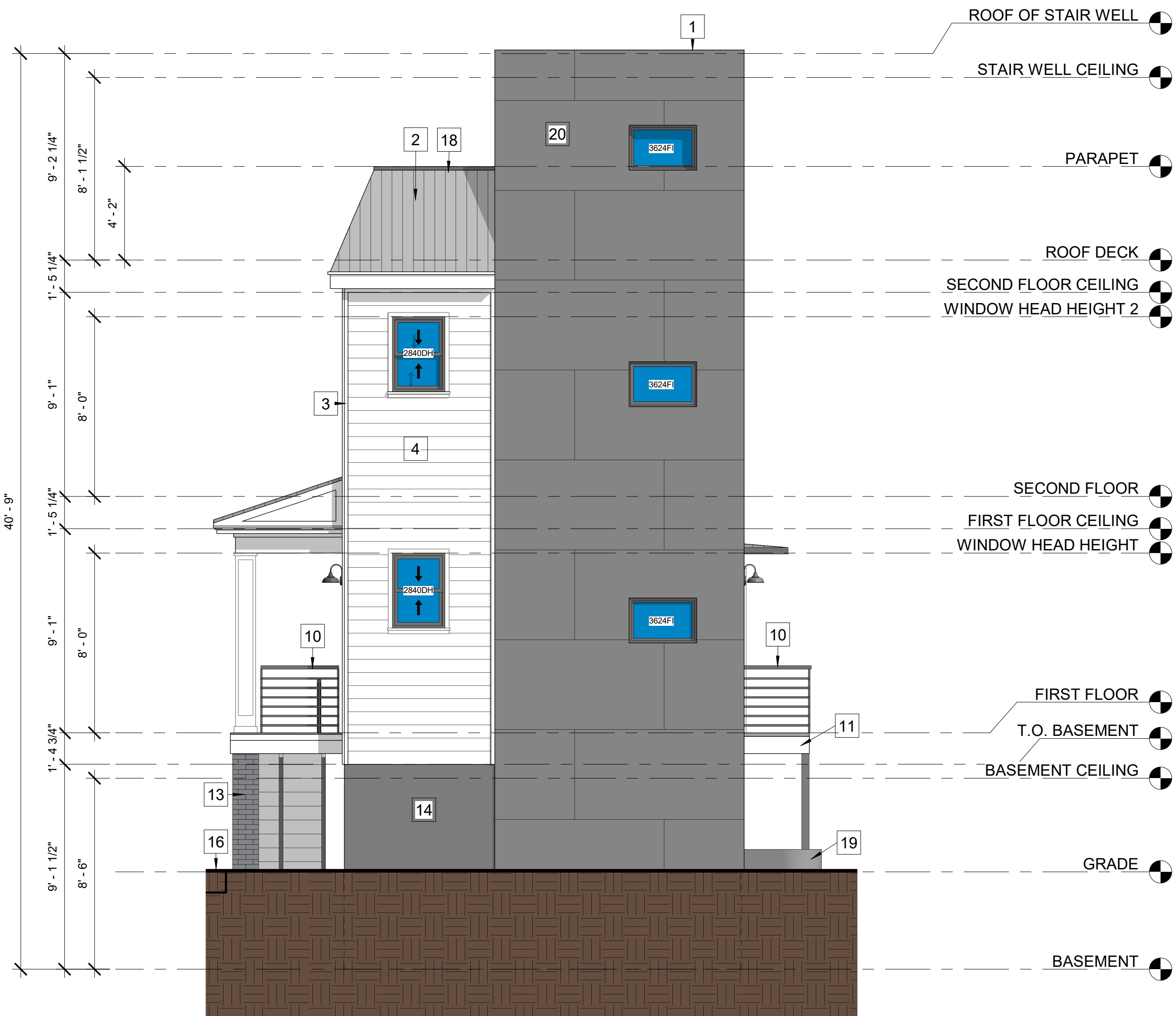
SIGHTLINES
3/32" = 1'-0"

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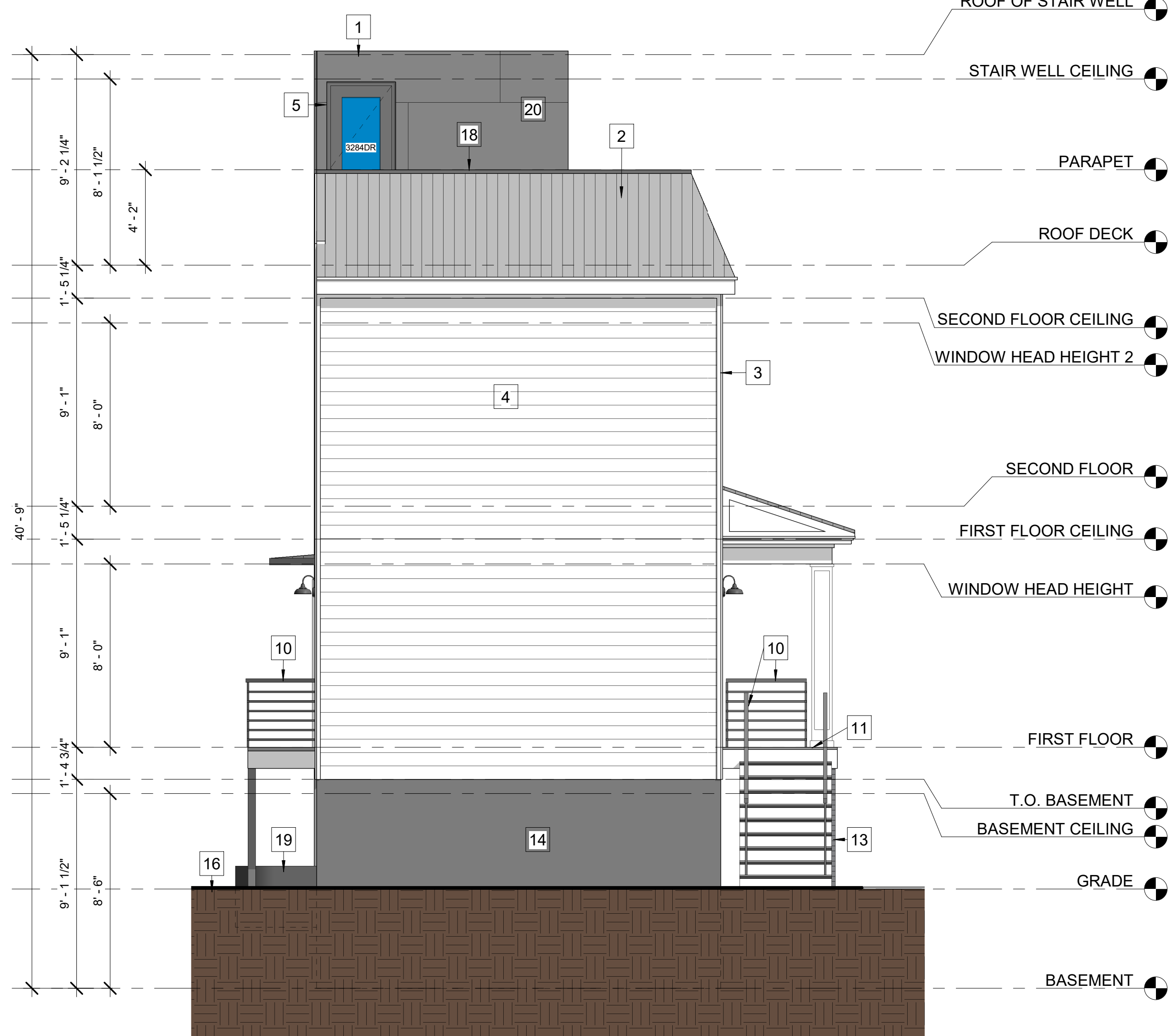
C

B

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1 NORTH EXTERIOR
1/4" = 1'-0"



3 SOUTH EXTERIOR
1/4" = 1'-0"

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CAR-5