



Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-7550
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: 509 N 28th Street

Historic District: Church Hill North

Applicant Information

☐ Billing Contact

Name: Mark Baker

Email: markbaker@bakerdevelopmentresources.com

Phone: (804)874-6275

Company: Baker Development Resources

Mailing Address: 530 E Main Street, Suite 730

Richmond, VA 23219

Applicant Type: ☐ Owner ☒ Agent ☐ Lessee

☐ Architect ☐ Contractor ☐ Other (specify):

Owner Information

☒ Billing Contact

☐ Same as Applicant

Name: Casey White

Email: _____

Phone: _____

Company: W B B Homes LLC

Mailing Address: 3208 Rosewood Ave

Richmond, VA 23231

****Owner must sign at the bottom of this page****

Project Information

Project Type: ☐ Alteration ☐ Demolition ☒ New Construction (Conceptual Review Required)

Description (attach additional sheets if needed):

New single-family detached dwelling. Please see attached narrative.

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 9-28-2021

Certificate of Appropriateness

Application Instructions

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review

Staff Contact: (804)-646-7550 | Emily.Routman@richmondgov.com

Submission Instructions

Certain exterior work can be administratively approved by Staff. Please contact staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner's signature required
- One (1) copy of supporting documentation, as indicated on appropriate checklist (PDF)
- Application fee, if required, will be invoiced via the City's Online Permit Portal. Payment of the fee must be received before the application will be scheduled. Please see fee schedule brochure available on the CAR website for additional information.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.
- A complete application includes a signed application form, related checklist, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in Sec. 30-930.6(b).
- The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Schedule and Application Due Dates

- The CAR meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- The hearing of applications starts at 4:00pm via Microsoft Teams. The owner and/or applicant is encouraged to attend the meeting.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Exception: Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.

Fees

- Full Demolition: **\$1,500**
- New construction/addition to a building other than for a single- or two-family dwelling or accessory building, including multi-family or mixed-use developments: **\$500**
- New construction/addition to a single- or two-family dwelling, or accessory building: **\$250**
- Amendments to previous certificates of appropriateness (COAs) concerning non-structural alterations, changes to signage, and changes to plans: **\$150**
- Extension of a certificate of appropriateness (COA): **\$25**



September 29, 2021

City of Richmond Department of Planning and Development Review
Commission of Architectural Review
City Hall, 900 East Broad Street
Richmond, VA 23219

RE: Commission of Architectural Review: 509 N 28th Street (E0000-528/025)

Members of the Commission,

I represent the property owner in an application for review by the Commission of Architectural Review of the proposed construction of a new single-family detached dwelling on the property known as 509 N 28th Street (the "Property").

The Property is located on the east side of N 28th Street between E Leigh and E Clay Streets and lies in the Church Hill North Old and Historic District. Development in the neighborhood began in the early nineteenth-century and it is known for a variety of building styles and materials as well as a range of land uses.

Located mid-block between E Leigh and E Clay Streets, the Property is currently vacant with access provided at the rear by a north-south alley. The buildings on this block consist primarily of single-family attached and detached dwellings. At 3,872 square feet in lot area, the Property is comparable with other lots in the block in terms of area which range in area from 2,020 to 4,311 square feet.

The Property owner is proposing to construct a two-story single-family detached dwelling on the Property. The dwelling will be of a traditional row-house design with a full-width front porch and front mansard roof to remain compatible with the character of the existing dwellings in the neighborhood. Consisting of 2,576 square feet of floor area, the dwelling would contain 3 bedrooms and 2 ½ baths. A modern and desirable floor plan is proposed including open living areas and a master bedroom with en suite bathroom. Quality building materials, including cementitious lap siding, are proposed. Care has been taken in the design and siting of the dwelling to ensure consistency with the existing dwellings in the block.

The Property owner is also proposing to construct a modest garage at the rear of the Property. This detached garage will respect the siting and massing of existing outbuildings in the neighborhood and use the same construction materials and a compatible design to the proposed dwelling. It will be a single-story garage which will allow for desirable covered parking while its small size and location emphasizes its use as a secondary structure.

The proposed design of the dwelling would be compatible with the historical fabric of the block as it recognizes the siting, scale, form and massing of the contributing structures. The traditional urban single-family detached design of the dwelling is intended to be consistent with the historic character of the neighborhood.

We thank you for the care and assistance in reviewing our application. Should you have any questions after reviewing this request, please feel free to contact me at markbaker@bakerdevelopmentresources.com or (804)874-6275.

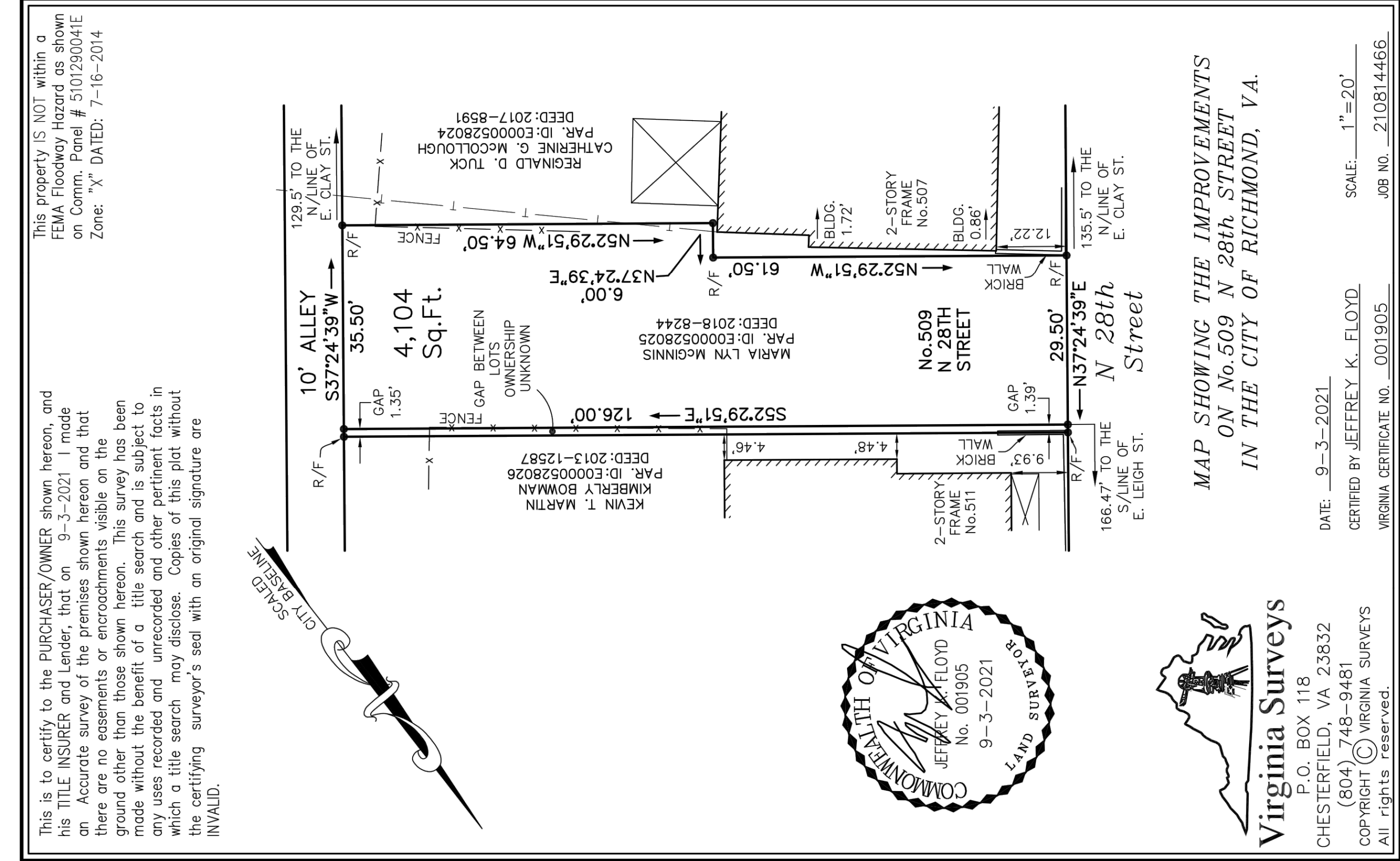
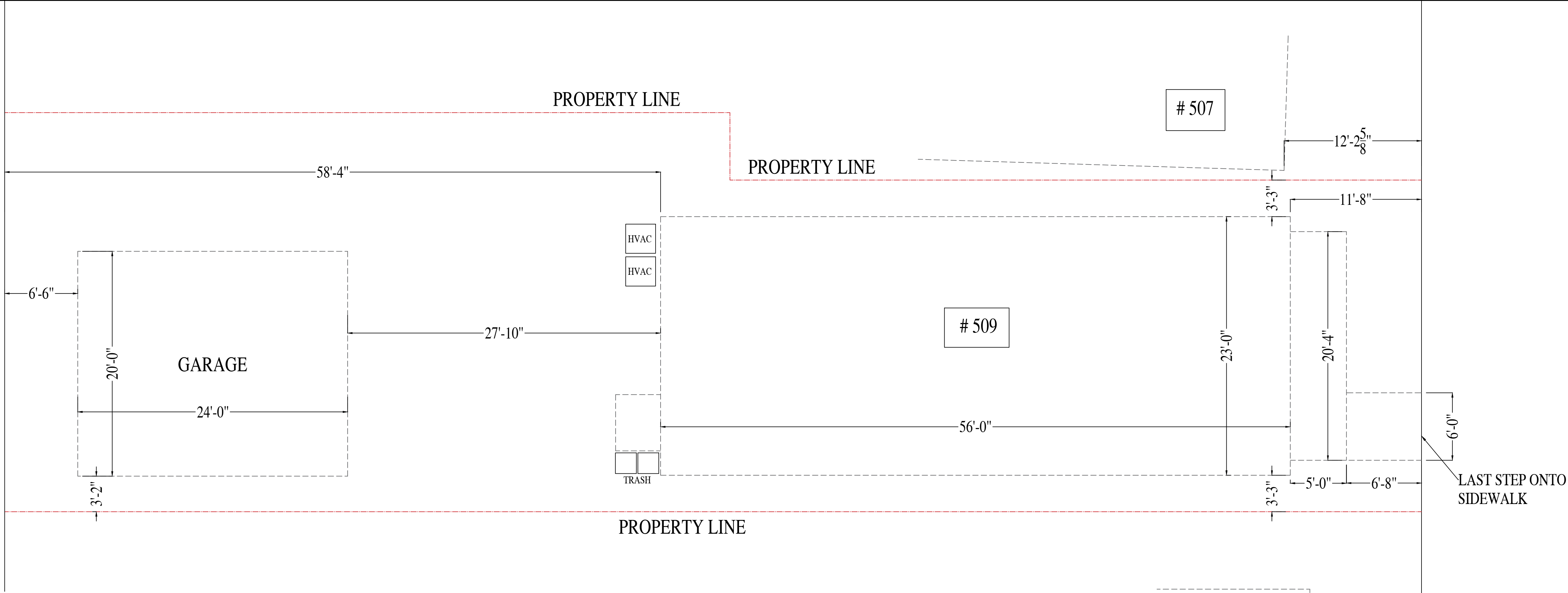
Sincerely,

A handwritten signature in black ink, appearing to read 'Mark R. Baker', with a stylized, cursive script.

Mark R. Baker

Baker Development Resources, LLC

ALLEY



507

509

511

N 28TH ST.



509 N 28TH ST.

RIVER MILL DEVELOPMENT
RIVERMILLDEVELOPMENT@GMAIL.COM
PHONE: (434) 774-4535

REVISION NOTES	
DATE	START

SCALE:
3/16" = 1'-0"

DATE:
9-08-2021

SHEET:
A1.0

513



(8) PORCH STEPS UP
FROM GRADE
TO PORCH +
(3) CONCRETE STEPS
FROM GRADE TO SIDEWALK

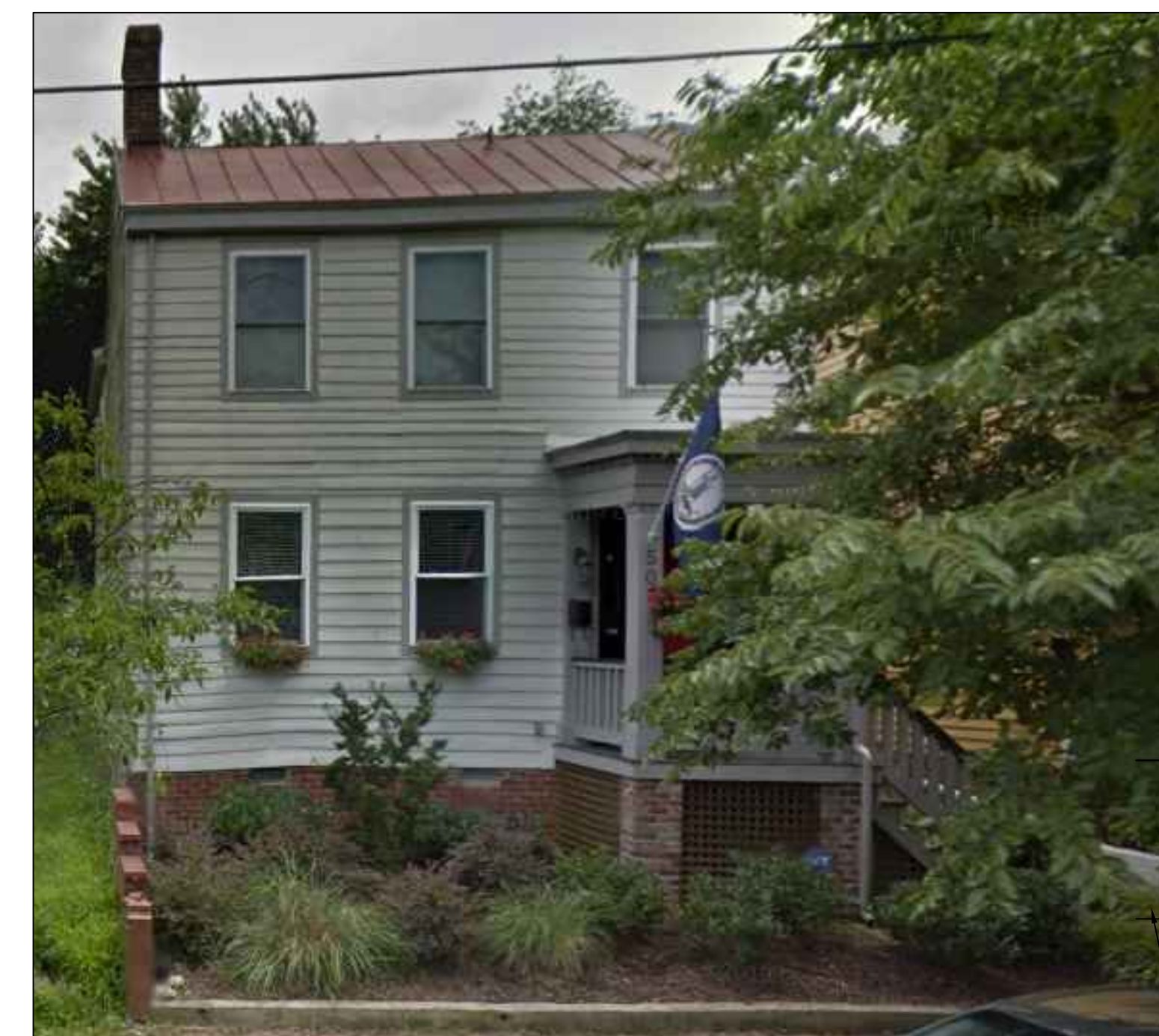
511



(4) STEPS UP
FROM GRADE
TO PORCH +
(6.5) CONCRETE STEPS
FROM GRADE TO SIDEWALK



507



(7) STEPS UP
FROM GRADE
TO PORCH

N 28TH ST. CONCEPTUAL STREET VIEW

MEASUREMENTS ARE APPROXIMATE - TO BE VERIFIED PRIOR TO CONSTRUCTION

509 N 28TH ST.

RIVER MILL DEVELOPMENT
RIVERMILLDEVELOPMENT@GMAIL.COM
PHONE: (434) 774-4535

REVISION NOTES

DATE	START

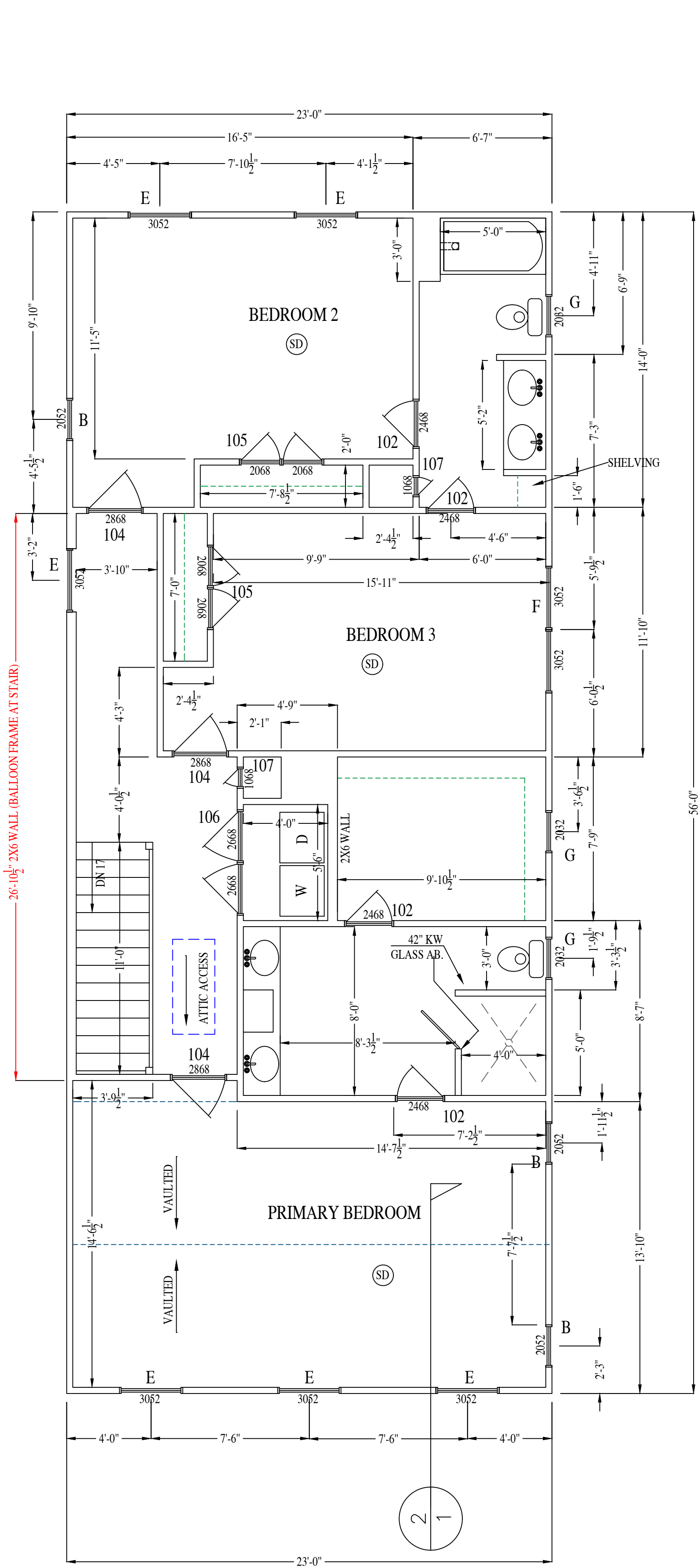
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9-08-2021

SHEET:
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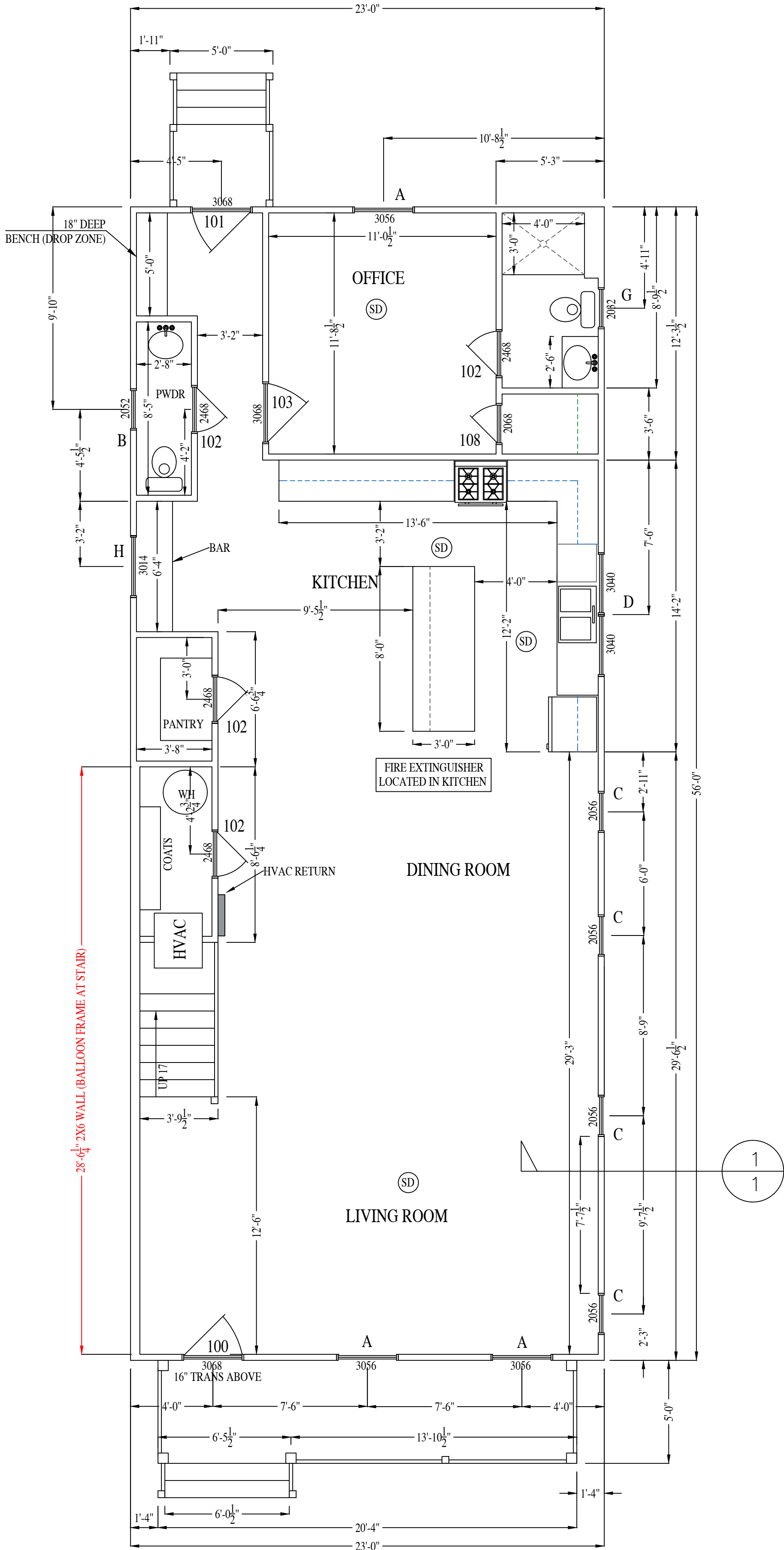


NOTE: ALL WALL DRAWN AT 3-1/2" THICKNESS.



SECOND FLOOR PLAN

2ND FLOOR HEATED SQ. FOOTAGE: 1288 S.F.



FIRST FLOOR PLAN

1ST FLOOR HEATED SQ. FOOTAGE: 1288 S.F.

WINDOW SCHEDULE

ID	WIDTH	HEIGHT	TYPE	TOP SASH	BOT. SASH	QTY.
A	3'-0"	5'-6"	SINGLE D.H.	2 LITE	2-LITE	3
B	2'-0"	5'-2"	SINGLE D.H.	2 LITE	2-LITE	4
C	2'-0"	5'-6"	SINGLE D.H.	2 LITE	2-LITE	4
D	3'-0"	4'-0"	TWIN D.H.	2 LITE	2-LITE	1
E	3'-0"	5'-2"	SINGLE D.H.	2 LITE	2-LITE	6
F	3'-0"	5'-2"	TWIN D.H.	2 LITE	2-LITE	1
G	2'-0"	3'-2"	SINGLE D.H.	2 LITE	2-LITE	4
H	3'-0"	1'-4"	SINGLE FIXED	CLEAR	N/A	1

DOOR SCHEDULE

ID	WIDTH	HEIGHT	TYPE	DECRPTION	QTY.
100	3'-0"	8'-0"	EXTERIOR	3/4 LITE FIBERGLASS + 16" TRANS	1
101	3'-0"	6'-8"	EXTERIOR	FULL LITE FIBERGLASS	1
102	2'-4"	6'-8"	INTERIOR	WOOD	8
103	3'-0"	6'-8"	INTERIOR	WOOD	1
104	2'-8"	6'-8"	INTERIOR	WOOD	3
105	2'-0"	6'-8"	INTERIOR TWIN	WOOD	2
106	2'-6"	6'-8"	INTERIOR TWIN	WOOD	1
107	1'-0"	6'-8"	INTERIOR	WOOD	2
108	2'-0"	6'-8"	INTERIOR	WOOD	1

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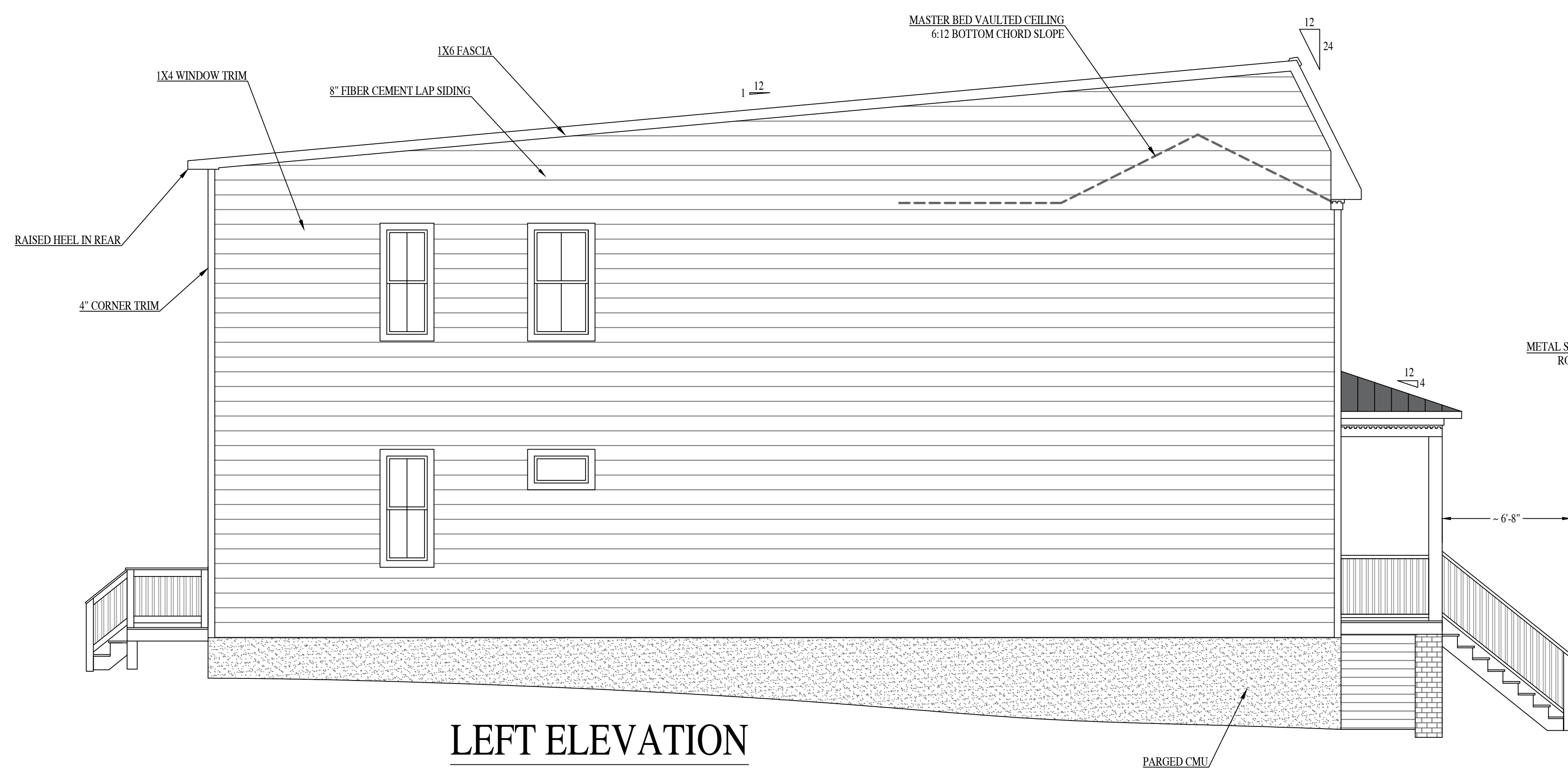
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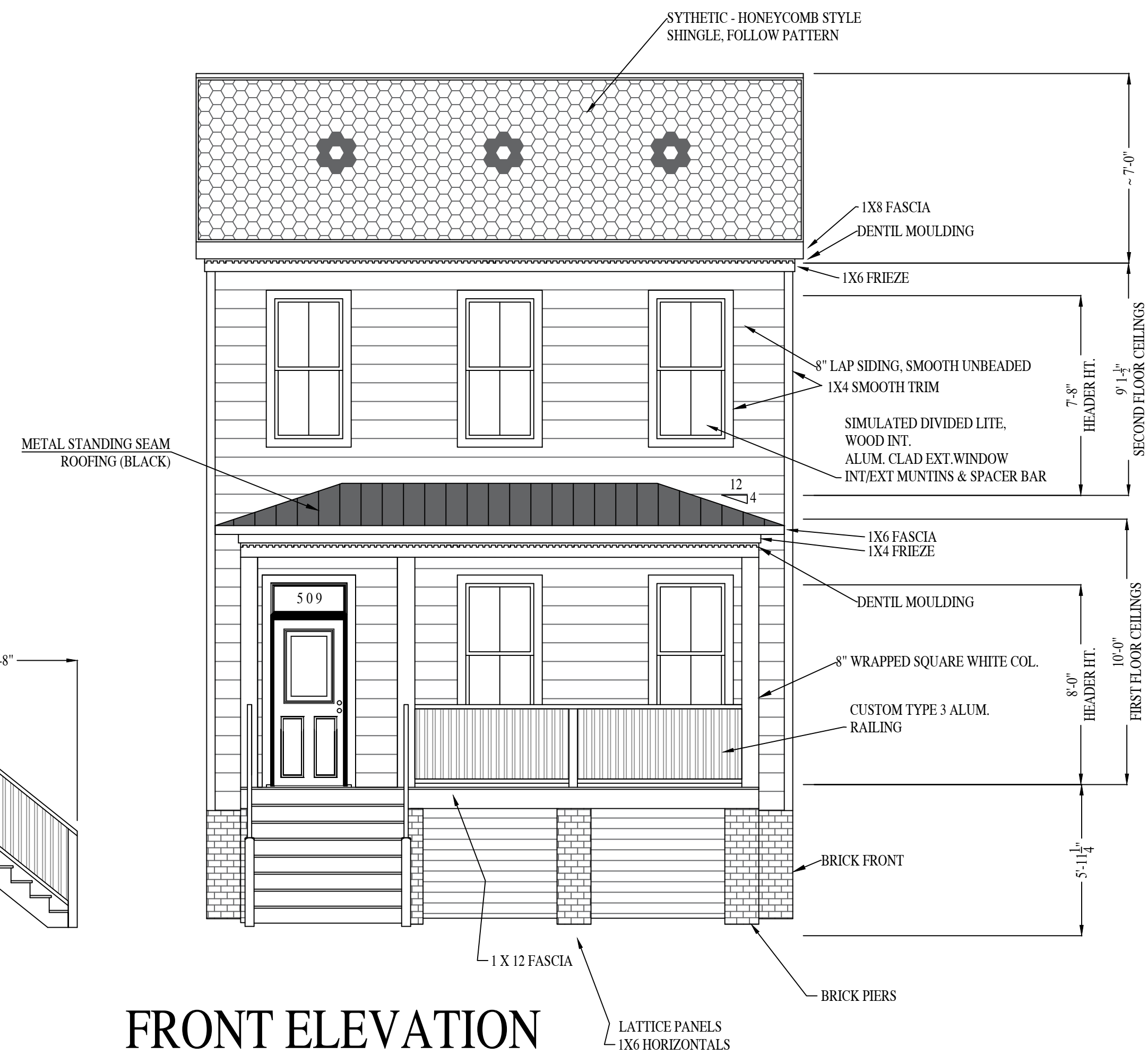
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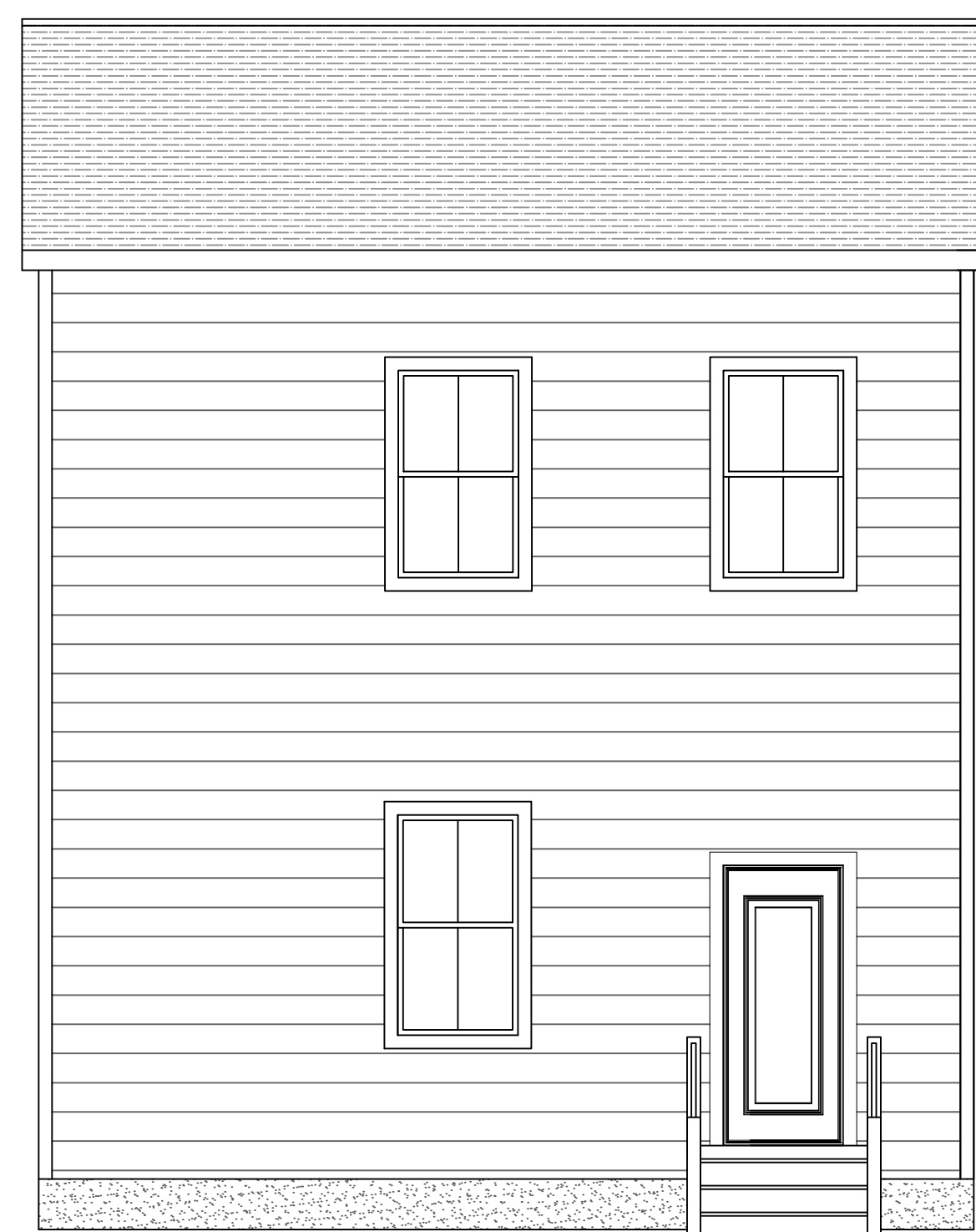




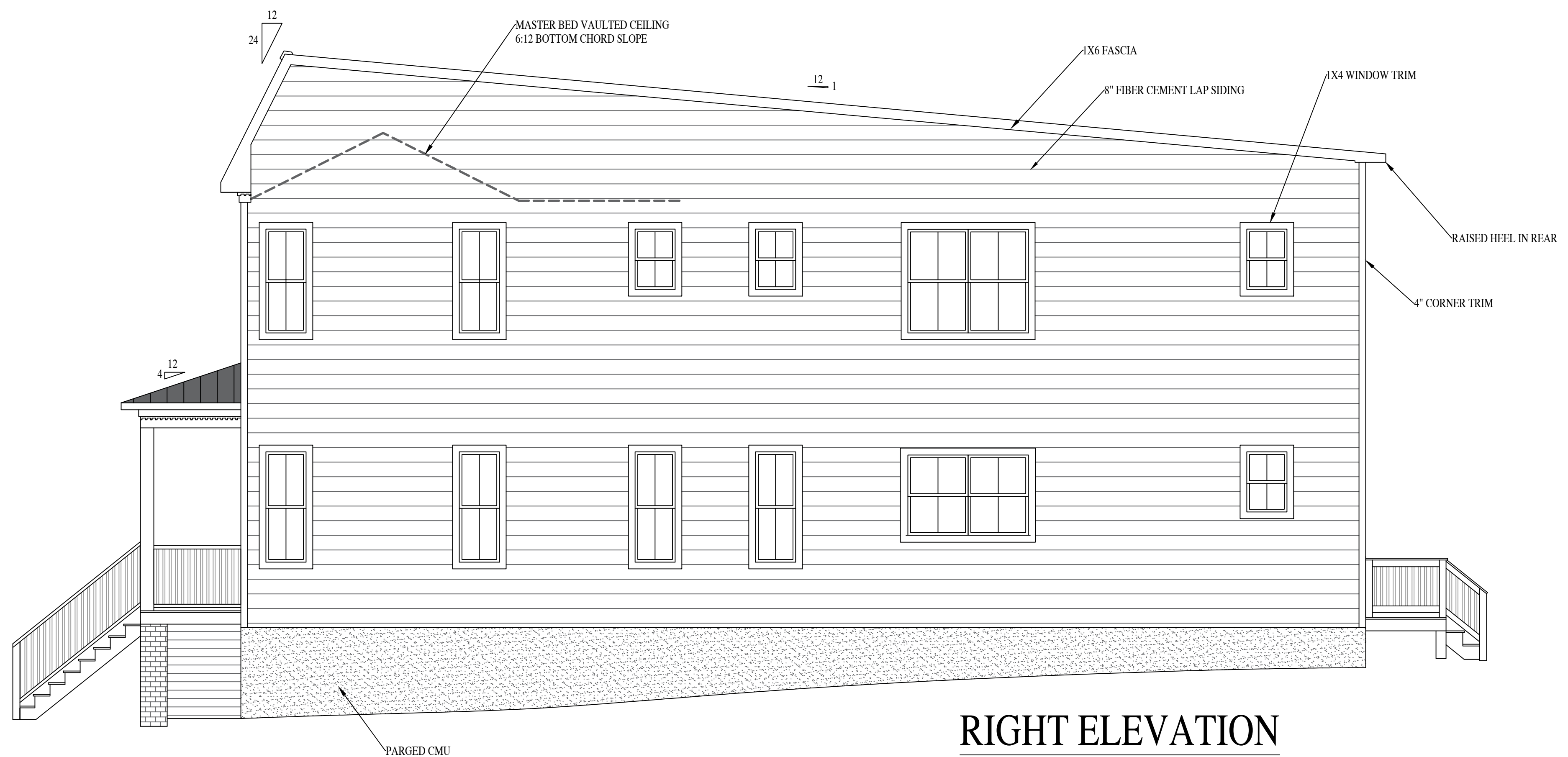
LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

509 N 28TH ST.

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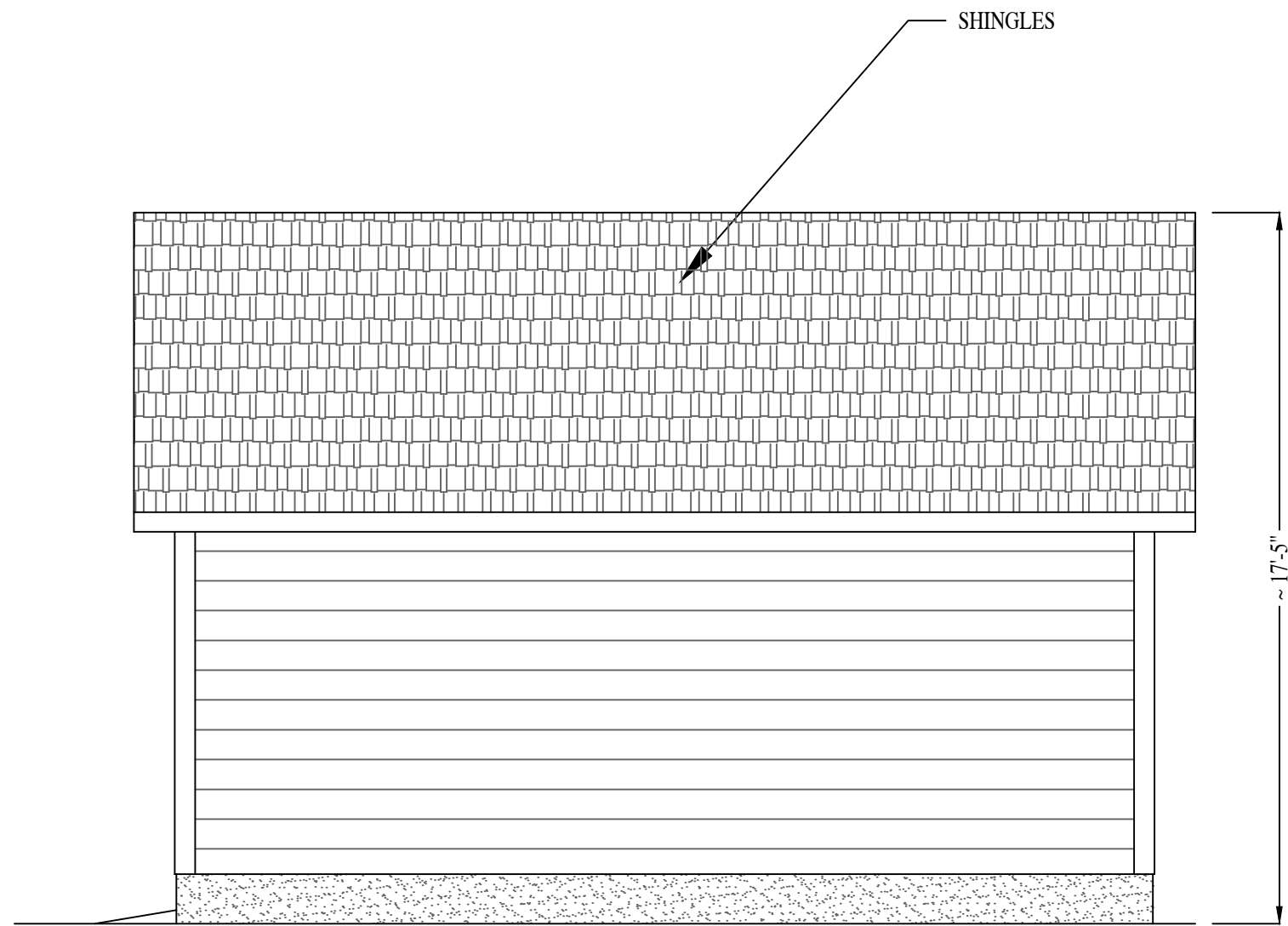
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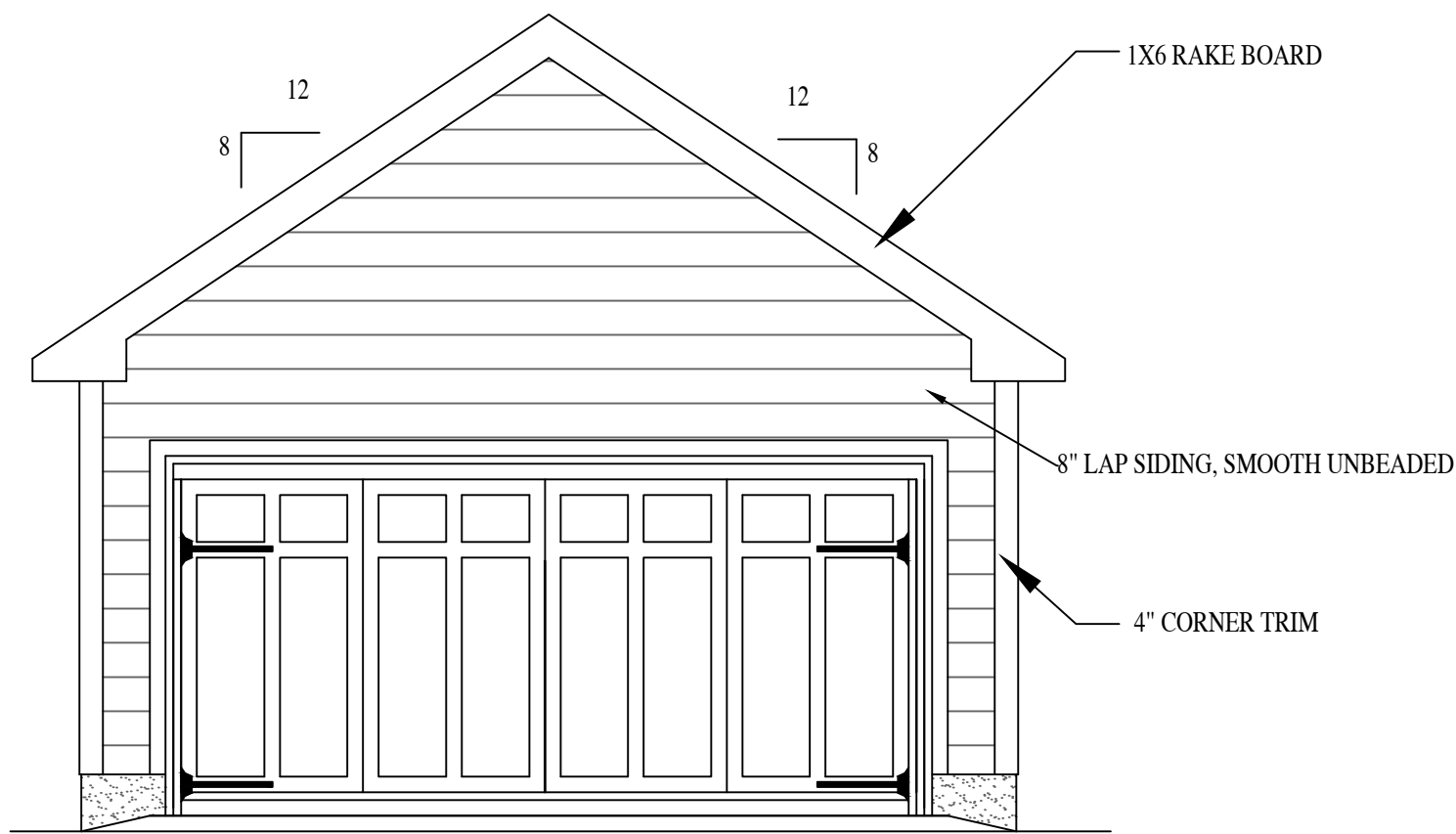
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A2.1



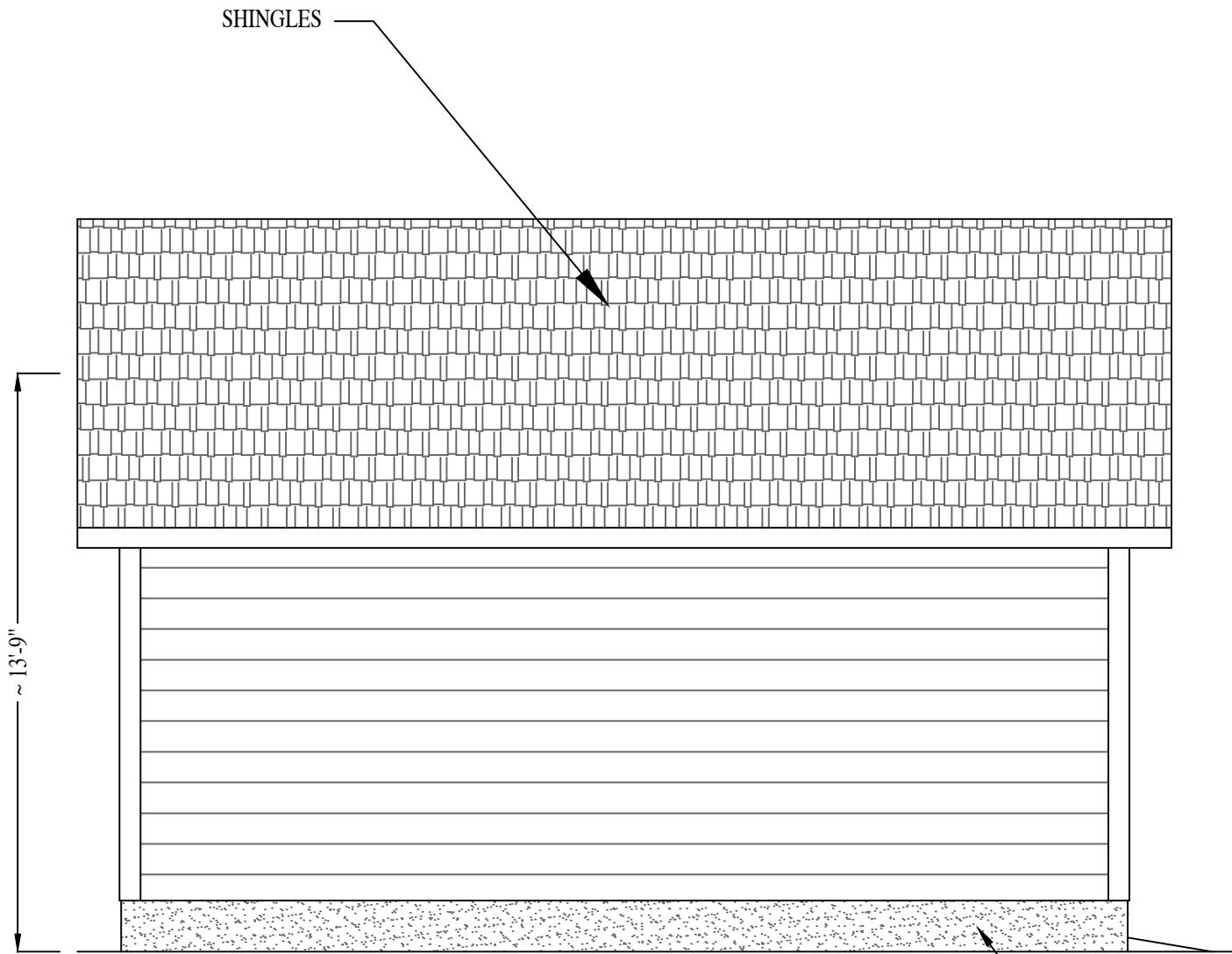


RIGHT ELEVATION

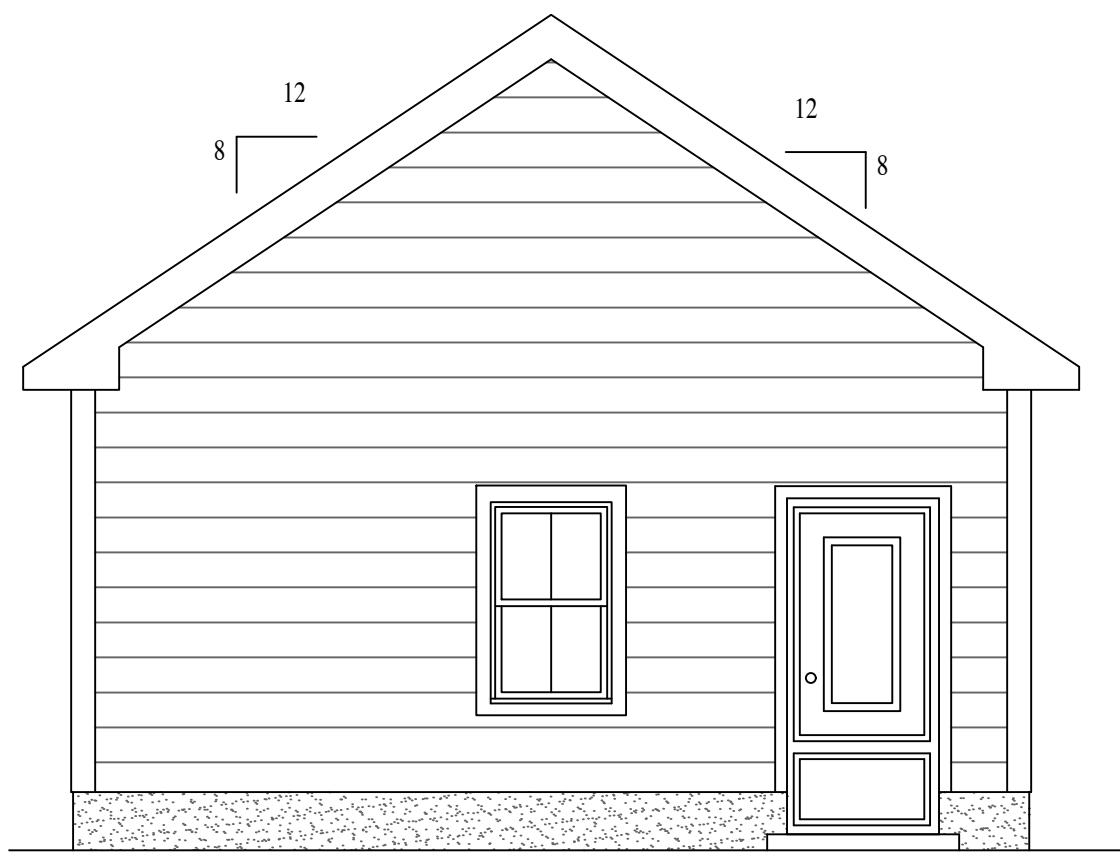


FRONT ELEVATION

(FROM ALLEYWAY)



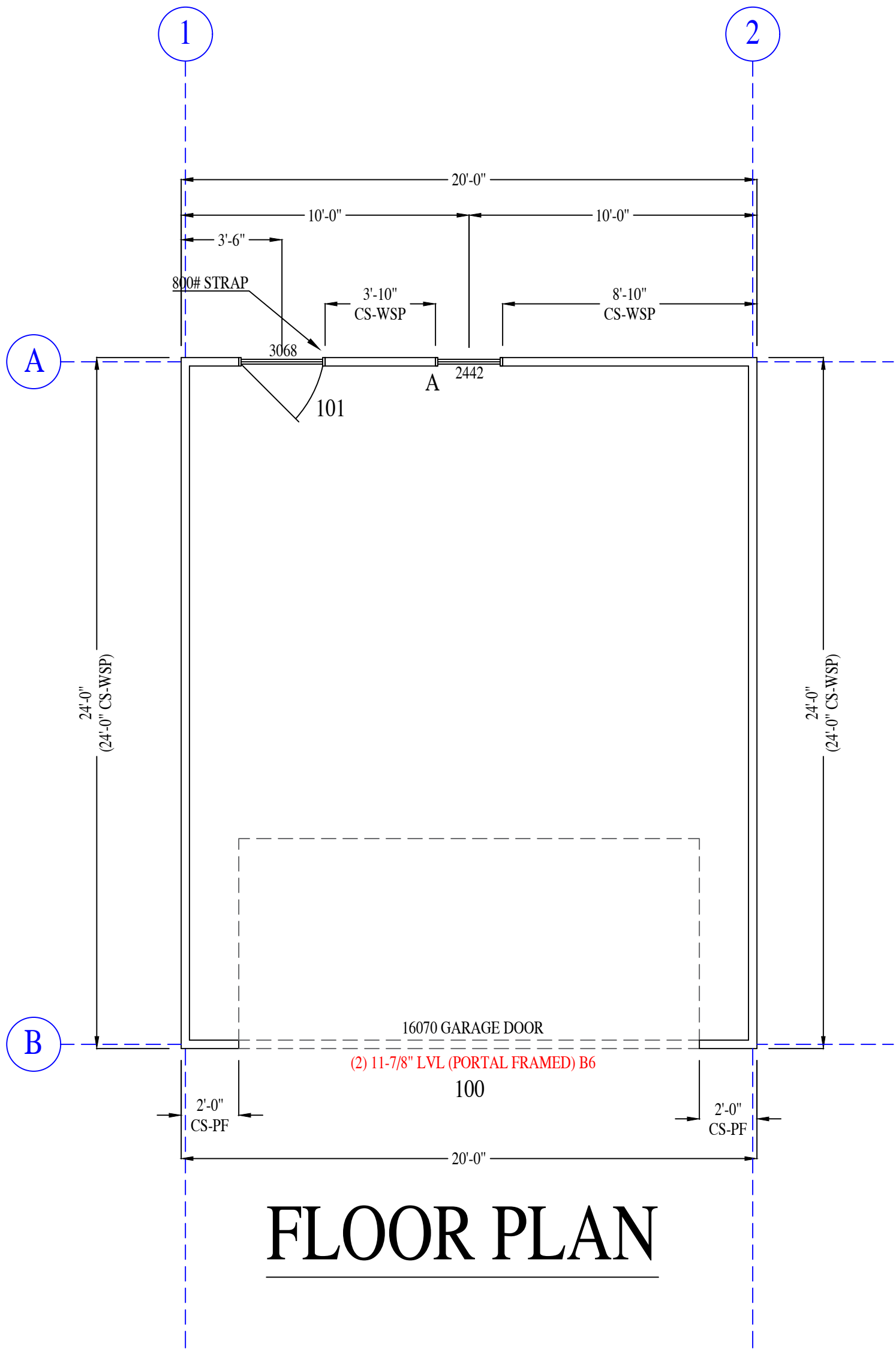
LEFT ELEVATION



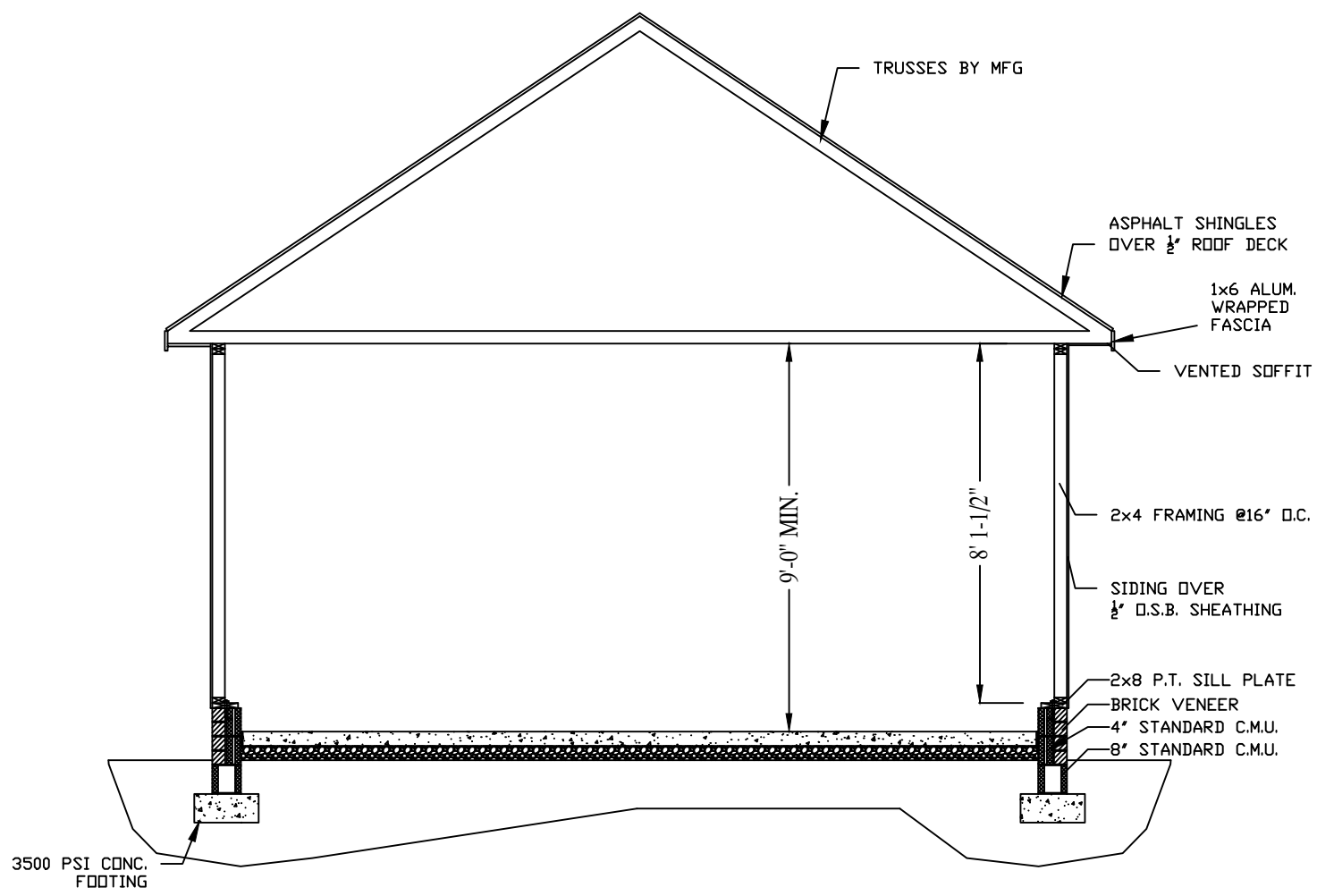
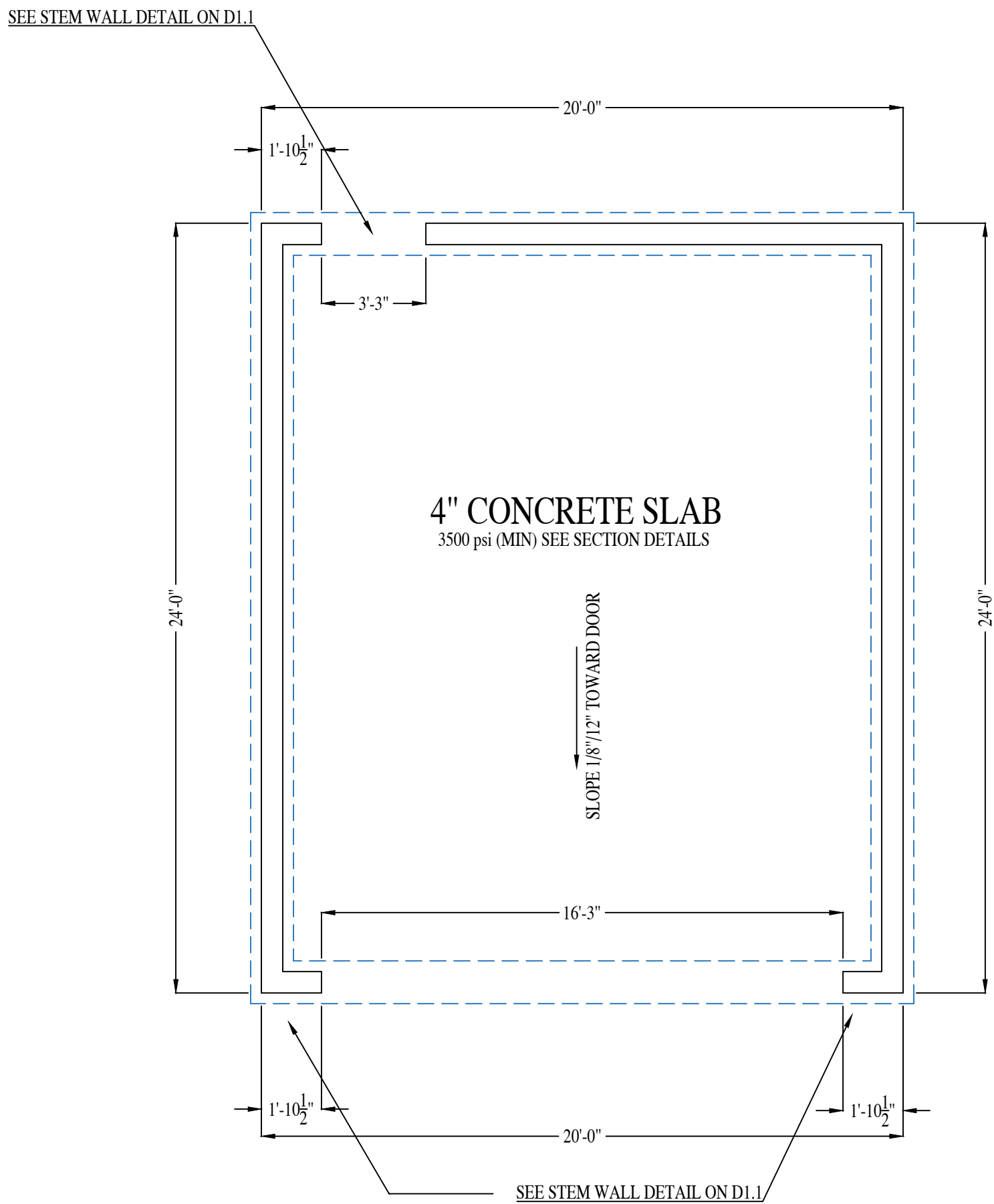
REAR ELEVATION

(FROM HOME & YARD)

ALL SINGLE WINDOW AND DOOR HEADERS
TO BE (2) 2X8 MIN. UNLESS OTHERWISE NOTED.



FLOOR PLAN



WINDOW SCHEDULE

ID	WIDTH	HEIGHT	TYPE	TOP SASH	BOT. SASH	QTY.
A	2'-4"	4'-2"	SINGLE D.H.	2 LITE	2-LITE	1

DOOR SCHEDULE

ID	WIDTH	HEIGHT	TYPE	DESCRIPTION	QTY.
100	16'-0"	7'-0"	EXTERIOR	GARAGE DOOR	1
101	3'-0"	6'-8"	EXTERIOR	3/4 LITE FIBERGLASS	1

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