INTRODUCED: July 26, 2021

AN ORDINANCE No. 2021-207

To authorize the special use of the properties known as 3114 Groveland Avenue and 3119 Veranda Avenue for the purpose of three single-family detached dwellings, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality by the City Attorney

PUBLIC HEARING: SEP 13 2021 AT 6 P.M.

WHEREAS, the owner of the properties known as 3114 Groveland Avenue and 3119 Veranda Avenue, which are situated in a R-5 Single-Family Residential District, desires to use such properties for the purpose of three single-family detached dwellings, which use, among other things, is not currently allowed by sections 30-410.4, concerning lot area and width, 30-410.5, concerning yards, and section 30-710.1, concerning the number of parking spaces required for particular uses, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES:	8	NOES:	0	AB0STAIN:	
_					
ADOPTED:	SEPT 13 2021	REJECTED:		STRICKEN:	

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the properties known as 3114 Groveland Avenue and 3119 Veranda Avenue and identified as Tax Parcel Nos. N000-1054/010 and N000-1054/028, respectively, in the 2021 records of the City Assessor, being more particularly shown on a survey entitled "Sketch Showing the Proposed Improvements on Lots 184, 260 and 261, 'Highland Terrace,' in the City of Richmond, VA.," prepared by Virginia Surveys, and dated March 12, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as "the Property," is hereby permitted to be used for the purpose of three single-family detached dwellings, hereinafter referred to as "the Special Use," substantially as shown on a survey entitled "Sketch Showing the Proposed Improvements on Lots 184, 260 and 261, 'Highland Terrace,' in the City of Richmond, VA.," prepared by Virginia Surveys, and dated March 12, 2021, and the plans entitled "New Single Family Residence," prepared by Watchtower Homes & Construction, dated October 15, 2020, and last revised October 18, 2020, hereinafter referred, collectively, to as "the Plans," copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as "the Owner." The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as three single-family detached dwellings, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed what is permitted in the underlying zoning district.

(c) All building materials, elevations, and site improvements, including landscaping, shall be substantially as shown on the Plans. A different siding color shall be used for each dwelling.

(d) No parking shall be required for the Special Use.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(f) Prior to the issuance of any certificate of occupancy for 3114 Groveland Avenue, the subdivision of 3114 Groveland Avenue into two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the

drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. General Terms and Conditions. This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto;

consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. Effective Date. This ordinance shall be in force and effect upon adoption.

A TRUE COPY: TESTE:

City Clerk

City of Richmond

900 East Broad Street 2nd Floor of City Hall Richmond, VA 23219 www.rva.gov

RECEIVED

By CAO Office at 11:57 am, May 18, 202 2021-331

RECEIVED

By City Attorney's Office at 10:34 am, Jun 17, 2021

O & R Request

DATE: TO:	May 14, 2021 The Honorable Members of City Council	EDITION: 1
THROUGH:	The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by (This is no way reflects a recommendation on behalf of the	y Request) Mayor.)
THROUGH:	J.E. Lincoln Saunders, Acting Chief Administrative Officer	JELS
THROUGH:	Sharon L. Ebert, Deputy Chief Administrative Officer for H Planning	Economic Development and
FROM:	Kevin J. Vonck, Acting Director, Department of Planning a	nd Development Review
RE:	To authorize the special use of the properties known at 311 Veranda Avenue for the purposes of three single-family det terms and conditions.	4 Groveland Avenue and 3119

ORD. OR RES. No.

PURPOSE: To authorize the special use of the properties known at 3114 Groveland Avenue and 3119 Veranda Avenue for the purposes of three single-family detached dwellings, upon certain terms and conditions.

REASON: The applicant is proposing to split the lot with an address of 3114 Groveland Avenue and construct single family detached dwellings on each of the three resulting lots. The proposed new lots do not meet the lot area requirement of the R-5 Single-Family Residential District, and the proposed improvements do not meet the yard, lot coverage and parking requirements of the R-5 Single-Family Residential District. A special use permit is therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its July 6, 2021, meeting.

BACKGROUND: The subject properties consists of a total of 6,180 square feet, or .14 acre, and are currently unimproved. The properties are a part of the Highland Terrace neighborhood in the City's North Planning District. The owner wishes to split the existing lot with an address of 3114 Groveland Avenue and construct single family detached dwellings on each of the three resulting lots.

The Richmond 300 master plan recommends a future land use of "Residential" for the property. The primary uses recommended for Residential are single-family houses, accessory dwelling units, and open space. Secondary uses include duplexes and small multi-family buildings, institutional and cultural (typically found along major streets). The development style is houses on medium-sized and large-sized lots. Future development should continue or introduce a gridded street pattern to increase connectivity. Future single-family housing should be built to a scale that is consistent with existing buildings. The recommended intensity is typically 1-3 stories, with lot sizes generally ranging up to 5,000 SF up to 20,000 SF, with density generally 2-10 housing units per acre.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: June 14, 2021

CITY COUNCIL PUBLIC HEARING DATE: July 26, 2021

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission July 6, 2021

AFFECTED AGENCIES: Office of Chief Administrative Officer Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans & Survey, Map

STAFF: Richard Saunders, Senior Planner, Land Use Administration 804-646-5648

Application for SPECIAL USE PERMIT



Department of Planning and Development Review Land Use Administration Division 900 E. Broad Street, Room 511 Richmond, Virginia 23219 (804) 646-6304 http://www.richmondgov.com/

Application is hereby submitted for: (check one)

- 🗹 special use permit, new
- special use permit, plan amendment
- □ special use permit, text only amendment

Project Name/Location

Property Address: 3114 Groveland Avenue, 3119 Veranda Avenue	Date: 1/13/2021
Tax Map #: N0001054010, N0001054028Fee: 300	
Total area of affected site in acres: 0.142	

(See page 6 for fee schedule, please make check payable to the "City of Richmond"))

Zoning

Current Zoning: R-5

Existing Use: vacant lots

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report) Three (3) single-family detached dwellings

Existing Use; vacant lots

Is this property subject to any previous land use cases?

Yes

If Yes, please list the Ordinance Number:

CHA7

Applicant/Contact Person: Mark Baker / Charlie Wilson

Company: Baker Development Resources	
Mailing Address: 1519 Summit Avenue, Suite 102	and de la participa de la constante de la const
City: Richmond	State: VA Zip Code: 23230
Telephone: _(804) 874-6275	Fax: ()
Email: markbaker@bakerdevelopmentresources.com, charlie	e@bakerdevelopmentresources.com
Property Owner: Watchtower Homes and Construction L	
If Business Entity, name and title of authorized	signee: Kyla +forffer, Mumber
If Business Entity, name and title of authorized	d signee: Kyla + forfer, Manber
If Business Entity, name and title of authorized (The person or persons executing or attesting the executi	d signee: Kyla + forfer, Manber
If Business Entity, name and title of authorized (The person or persons executing or attesting the executi she has or have been duly authorized and empowered to Mailing Address: <u>3912 Seminary Avenue</u>	d signee: Kile + faffer, Meauber ion of this Application on behalf of the Company certifies that he or so execute or attest.)
If Business Entity, name and title of authorized (The person or persons executing or attesting the executi she has or have been duly authorized and empowered to	d signee: Kyla + forfer, Manber

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

January 13th, 2021

Special Use Permit Request 3114 Groveland Avenue, 3119 Veranda Avenue, Richmond, Virginia Map Reference Numbers: N000-1054-010, N000-1054-028

Submitted to:	City of Richmond
	Department of Planning and Development Review
	Land Use Administration
	900 East Broad Street, Suite 511
	Richmond, Virginia 23219
Submitted by:	Mark Baker
	Baker Development Resources
	1519 Summit Avenue, Suite 102
	Richmond, VA 23230

Introduction

The applicant is requesting a special use permit (the "SUP") for the properties known as 3114 Groveland Avenue and 3119 Veranda Avenue (the "Property"). The SUP would authorize the construction of three (3) single-family detached dwellings. While that use is permitted in the underlying R-5 Single Family Residential zoning district, a number of the applicable feature requirements cannot be met. Therefore, the SUP is required.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is an assemblage of two parcels. The first parcel, 3114 Groveland Avenue, is a "through lot" that shares frontage on Groveland and Veranda Avenues between their intersections with Craigie Avenue and Highland View Avenue. It is referenced by the City Assessor with a tax parcel number of N000-1054/010, is 30 feet in width and 138 feet in depth, and is currently unimproved. The second parcel, 3119 Veranda Avenue, is a legal lot of record that fronts onto Veranda Avenue. It is referenced by the City Assessor with a tax parcel number of N000-1054/028, is 30 feet in width and 138 feet, and is also unimproved. According to its deed history, the 3114 Groveland Avenue parcel is itself comprised of two original subdivision lots, being Lots 184 and 260 of the original Highland Terrace subdivision ("the Subdivision") from the early 1900s. These lots were configured back-to-back, with one fronting on Groveland Avenue and the other fronting on Veranda Avenue. The lots were each 30 feet in width and 68 feet and 70 feet in depth. The 3119 Veranda Avenue parcel is also an original Subdivision lot, being lot 261. For a general depiction of the Property, please reference Figure 1 (below) as well as the surveys attached hereto. Figure 1 below shows the 3114 Groveland Avenue parcel in green and the 3119 Veranda Avenue parcel in blue.



Figure 1.

The lot pattern in the vicinity includes through lots as well as lots fronting on either Groveland or Veranda Avenues according to the Subdivision. The lots in the block are either vacant or occupied by single-family dwellings, with the exception of two two-family dwellings at northern end of Veranda Avenue. A number of vacant lots are configured similarly to what is proposed for the Property and are buildable by right according to their deed history. Moving towards the nearby corridors of Brookland Park Boulevard to the south and Meadowbridge Road to the east, there are a variety of residential densities. These commercial corridors themselves are both within walking distance and include a variety of commercial, residential, office, mixed-use and institutional uses.

EXISTING ZONING

The Property and the surrounding properties are zoned R-5 Single-Family Residential, which permits single-family detached dwellings. The majority of properties in the immediate vicinity do not conform to the R-5 feature requirements such as lot area, lot width, and setbacks. In many cases, properties in the vicinity also do not meet the use requirements, that are applicable to this district, as demonstrated by the two-family dwelling in the block.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the "Master Plan"), which was approved by Richmond City Council at their December 14th meeting, suggests "Residential" for the Property. The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages that developments reinforce a gridded street pattern to increase connectivity. Single-dwellings are the contemplated primary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request, especially when considering its adjacency to the Six Points Neighborhood Node as delineated in the Master Plan. In the High-Quality Places chapter, Objective 1.3, "to support the growth of housing in nodes," is supportive of this request, as it would increase the density in an efficient and respectful manner over that which would be permitted by-right. Objective 4.1 of that same chapter, which is to "create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City," is respected by this request as it seeks to validate, not dismiss, the unique development pattern found in the Highland Terrace neighborhood. Lastly, the Inclusive Housing chapter, Objective 14.5, to "encourage more housing types throughout the City and greater density...at nodes..." supports this request, as it is a more efficient use of the Property than could be achieved by-right in the R-5 zoning district.

Proposal

PURPOSE OF REQUEST

The SUP would permit the division of the 3114 Groveland Avenue parcel into two lots and the construction of two single-family dwellings. One lot and dwelling would front onto Veranda Avenue (3117), and the other lot and dwelling would front onto Groveland Avenue (3114). The lot fronting onto Groveland Avenue (3114) would be 30 feet in width and 70 feet in depth and

would include 2,100 square feet in lot area. The lot fronting onto Veranda Avenue (3117) would be 30 feet in width and 68 feet in depth, and would be 2,040 square feet in area. As a result, the R-5 Single Family Residential District lot width and lot area requirements would not be met. While this configuration is consistent with the Subdivision layout, the deed and zoning history applicable to this parcel make the SUP the required process to restore this configuration.

The SUP would also address R-5 front yard setback requirement for the two proposed dwellings that would front onto Veranda Avenue. The proposed front yard of 15 feet would better reflect the surrounding development context and would maximize usable open space at the rear of the proposed dwellings. The 3119 Veranda Avenue parcel is actually a buildable lot for the purposes of a single-family detached dwelling. This request would only authorize a reduction in the front yard requirement for that parcel in order to align the two proposed dwellings on Veranda. All other feature requirements in the R-5 District that are applicable to the Property would be met, including the 5-foot rear- and side-yard setback requirements, and the 35% maximum lot coverage requirement.

Finally, the SUP would provide relief from required parking. Under normal zoning, one (1) offstreet parking space would be required for each dwelling. In areas where public alley access is not available, particularly those areas that are also of a dense urban character, it is undesirable to provide off street parking accessed by driveways from the street. This is contrary to VisionZero and other planning guidance. For this reason, the zoning ordinance does not require off street parking on lots that are 35 feet or less in width and which do not have alley access. 3119 Veranda, which is technically a buildable, legal lot of record, would not be required to provide parking for this reason. Similarly, had the two parcels that comprise 3114 Groveland not been consolidated they would be treated the same. The SUP proposes on street parking in order to satisfy parking. Because there are no curbs or sidewalks along Veranda Avenue, the right-of-way would be improved with parallel parking adjacent to the existing pavement. This would serve as on-street parking, in front of the dwellings, where none currently exists. Where the dwelling fronting Groveland is concerned, existing on-street parking spaces would be utilized. In both cases, the use of on street parking is consistent with the way in which the current residents along the street satisfy their parking needs.

PROJECT DETAILS/DESIGN

The proposed dwellings would each be approximately twenty feet in width, 34 feet in depth, and two stories in height. They would include approximately 1,360 square feet of finished floor area and consist of three bedrooms and two-and-one-half bathrooms. The dwellings would be of a traditional urban design that is consistent with the architectural character found in the Highland Terrace neighborhood. The proposed floor plans are modern and efficient, and designed to be meet the needs of the market. The floor plans include master bedrooms with en-suite master bathrooms and walk-in closets. Full-width front porches are also proposed for each dwelling.

Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

• Be detrimental to the safety, health, morals and general welfare of the community involved.

The proposed SUP will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The proposed site improvements and density are consistent with the existing development in the vicinity. This request would simply permit the efficient utilization of the Property by allowing for new development to occur in a manner that is both of quality as well as consistent with the Subdivision. The improvement of the Property in conjunction with the high quality/benefits provided by the SUP will provide positive impacts in terms of health, welfare, etc., and furthermore will add to the vibrancy of the neighborhood.

• Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.

The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods. The traffic generation for three dwelling units will be negligible, especially within the context of a walkable neighborhood. In addition, the Property lies within a ten-minute walk to three different bus corridors, two of which (the "2" routes along North Avenue and the "3" routes along Meadowbridge Road) offer high-frequency 15-minute service and one of which (the "20" orbital route along Brookland Park Boulevard) offers a 30-minute frequency. Because of that, the Property is within a 30-minute bus commute to Downtown, Manchester, VCU, Scott's Addition, the Fan, the Museum District, and Carytown. As such, the SUP will not create congestion on streets, roads, alleys or any other public right of way.

• Create hazards from fire, panic or other dangers.

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

• Tend to overcrowding of land and cause an undue concentration of population.

The SUP will not tend to overcrowd the land or create an undue concentration of population. The request is reflective of the anticipated use of the Property for three dwelling units based on the original subdivision.

• Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.

The SUP would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.

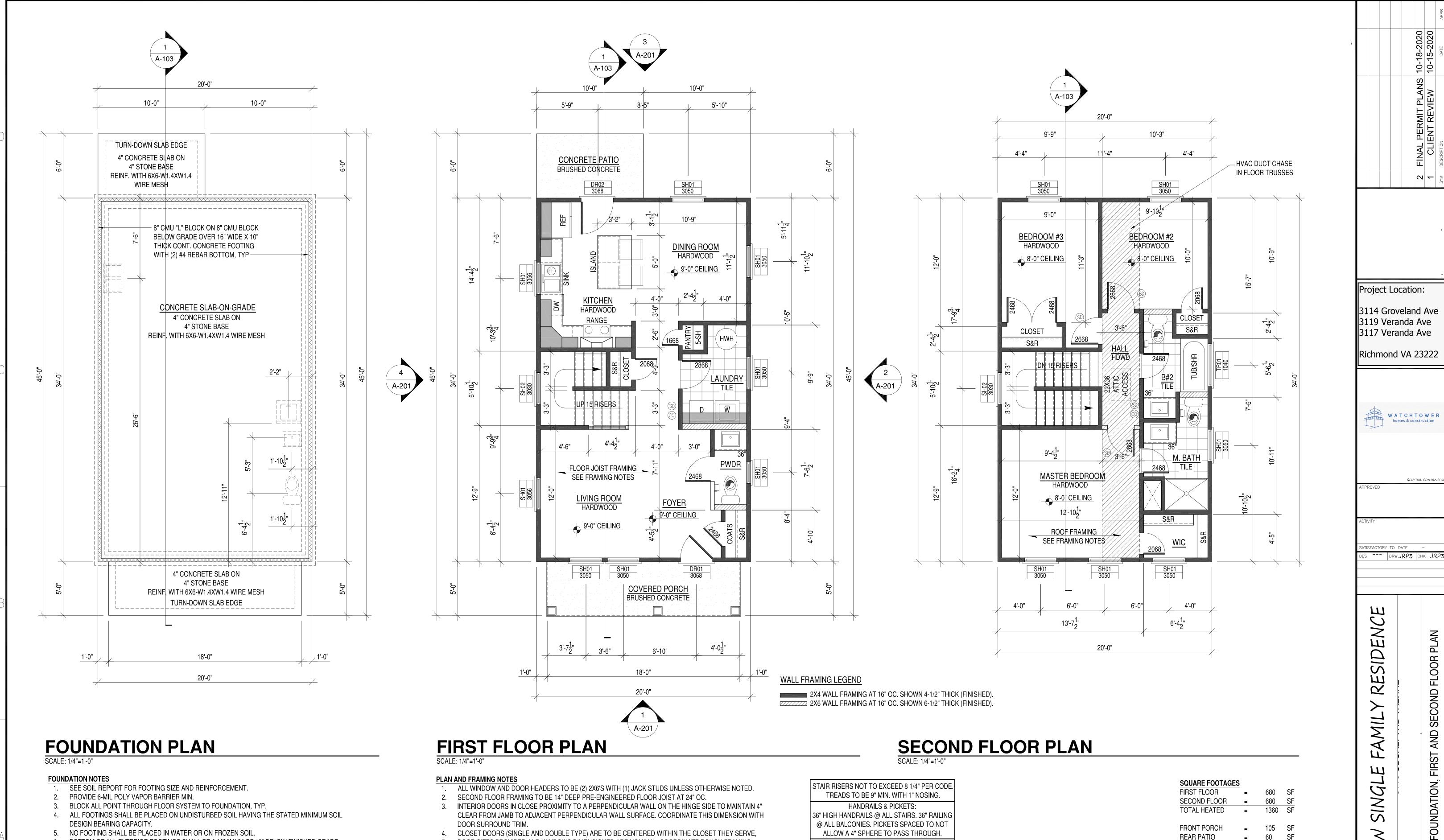
• Interfere with adequate light and air.

The light and air available to the subject and adjacent properties will not be affected. The massing of the proposed structures is similar to what the underlying zoning district and

feature regulations applicable to single-family detached dwellings allow for by-right. As it relates to adjacent properties, normal side yard setbacks would be met.

Summary

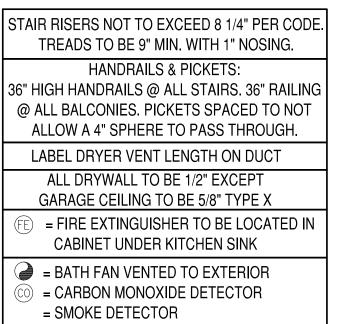
In summary we are enthusiastically seeking approval for the construction of three single-family detached dwellings on the Property. The SUP represents an ideal, small-scale urban infill development for this location that is mindful of its surroundings. In exchange for the SUP, the quality assurances conditioned therein would guarantee the construction of three quality homeownership opportunities consistent with Master Plan guidance.



- 4. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL HAVING THE STATED MINIMUM SOIL
- DESIGN BEARING CAPACITY.
- NO FOOTING SHALL BE PLACED IN WATER OR ON FROZEN SOIL.
- BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 18" BELOW FINISHED GRADE. ALL POURED CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI.
- PROVIDE METAL TERMITE SHIELD AT THE TOP OF FOUNDATIONS WALLS BELOW SILL PLATE AT 45° ANGLE. EXTEND METAL SHIELD 2" TO 3" PAST FOUNDATION WALLS ON BOTH SIDES. SEAL ALL SEAMS AND HOLES.

- 5
- 4. CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE, DOOR SIZES PROVIDED AND WINDOWS DIMENSIONED ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER/INSTALLERS REQUIREMENTS AND CLEARANCES. 6. PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETRY LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVING, AND WALL MOUNTED TV LOCATIONS.

- DOOR SURROUND TRIM.
- 7. CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE HAVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.



SLOOND I LOON	=	000
TOTAL HEATED	=	1360
FRONT PORCH	=	105
REAR PATIO	=	60

SF

SF

EV

Z

PROJECT NO.: 2019-01

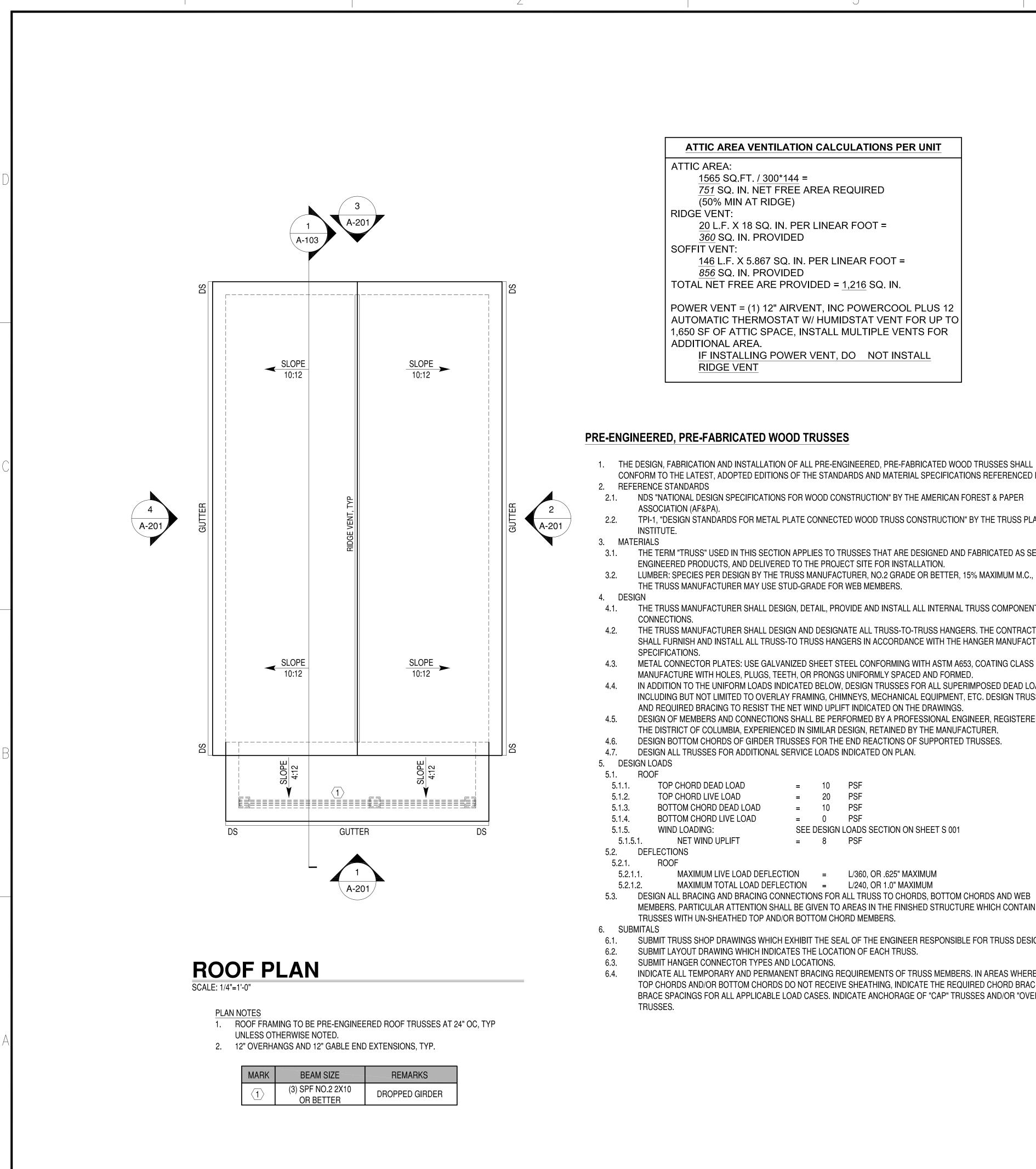
CONSTR. CONTR. NO.

OF

A-101

DRAWING NO.

SCALE: 1/4 = 1 0



ATTIC AREA VENTILATION CALCULATIONS PER UNIT
ATTIC AREA:
<u>1565</u> SQ.FT. <u>/ 300*144</u> =
<u>751</u> SQ. IN. NET FREE AREA REQUIRED
(50% MIN AT RIDGE)
RIDGE VENT:
<u>20</u> L.F. X 18 SQ. IN. PER LINEAR FOOT =
<u>360</u> SQ. IN. PROVIDED
SOFFIT VENT:
$\frac{146}{252}$ L.F. X 5.867 SQ. IN. PER LINEAR FOOT =
856 SQ. IN. PROVIDED
TOTAL NET FREE ARE PROVIDED = $1,216$ SQ. IN.
POWER VENT = (1) 12" AIRVENT, INC POWERCOOL PLUS 12
AUTOMATIC THERMOSTAT W/ HUMIDSTAT VENT FOR UP TO
1,650 SF OF ATTIC SPACE, INSTALL MULTIPLE VENTS FOR
ADDITIONAL AREA.
IF INSTALLING POWER VENT, DO NOT INSTALL
RIDGE VENT

PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES

	THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL
	CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
2. F	REFERENCE STANDARDS
2.1.	NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER
	ASSOCIATION (AF&PA).
2.2.	TPI-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE
	INSTITUTE.
3. N	MATERIALS
3.1	THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPERATE
5.1.	
	ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
3.2.	LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT
	THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
	DESIGN
4.1.	THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT
	CONNECTIONS.
4.2.	THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR
	SHALL FURNISH AND INSTALL ALL TRUSS-TO TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S
	SPECIFICATIONS.
4.3.	METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A653, COATING CLASS G60.
	MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
4.4.	IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS
т.т.	INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES
	AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
4 5	
4.5.	DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN
4.0	THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
4.6.	DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
4.7.	DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
	DESIGN LOADS
5.1.	
	I.1. TOP CHORD DEAD LOAD = 10 PSF
5.1	I.2. TOP CHORD LIVE LOAD = 20 PSF
5.1	I.3. BOTTOM CHORD DEAD LOAD = 10 PSF
5.1	I.4. BOTTOM CHORD LIVE LOAD = 0 PSF
5.1	1.5. WIND LOADING: SEE DESIGN LOADS SECTION ON SHEET S 001
Ę	5.1.5.1. NET WIND UPLIFT = 8 PSF
5.2.	DEFLECTIONS
5.2	2.1. ROOF
Ę	5.2.1.1. MAXIMUM LIVE LOAD DEFLECTION = L/360, OR .625" MAXIMUM
	5.2.1.2. MAXIMUM TOTAL LOAD DEFLECTION = $L/240$, OR 1.0" MAXIMUM
5.3.	
0.0.	MEMBERS, PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN
	TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
6. 5	SUBMITALS
	SUBMITALS SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
6.1.	
6.2.	SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
6.3.	SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
6.4.	INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS
	TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND
	BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY"
	TRUSSES.

MARK	DESCRIPTION
DR01	FRONT ENTRY
DR02	REAR ENTRY

DOOR NOTES:

1. GENERAL CONT

2.	ALL	EXT	ER	OR	DO

DOOR HARDWARE SETS:

WINDOW SCHEDULE							
MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES		
SH01	SINGLE HUNG	3'-0"	5'-0"	6'-8"	VINYL 1 OVER 1		
SH02	SINGLE HUNG	3'-0"	3'-0"	6'-8"	VINYL 1 OVER 1		
FIXED	FIXED WINDOW	3'-0"	2'-0"	SEE PLAN	VINYL 1 OVER 1		
TR01	TRANSOM	1-0"	4'-0"	6'-8"	VINYL		

WINDOW NOTES:

1.	GENERAL CONTRACTO
	ORDERING WINDOWS
2.	ALL WINDOWS NOMIN
	REQUIREMENTS WITH
3.	SECOND FLOOR WIND

R	EQUIR	EMEN	TS OF	IR

5.7 SQUARE FEET NET CLEAR OPENING.

 EXTERIOR DOOR SCHEDULE							
WIDTH HEIGHT OPERATION			HARDWARE	NOTES			
3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR			
3'-0"		SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR			

TRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO RS AND FRAMES.

OORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD. RS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS. 4. ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

1. (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

CTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO

SAND FRAMES. INAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING

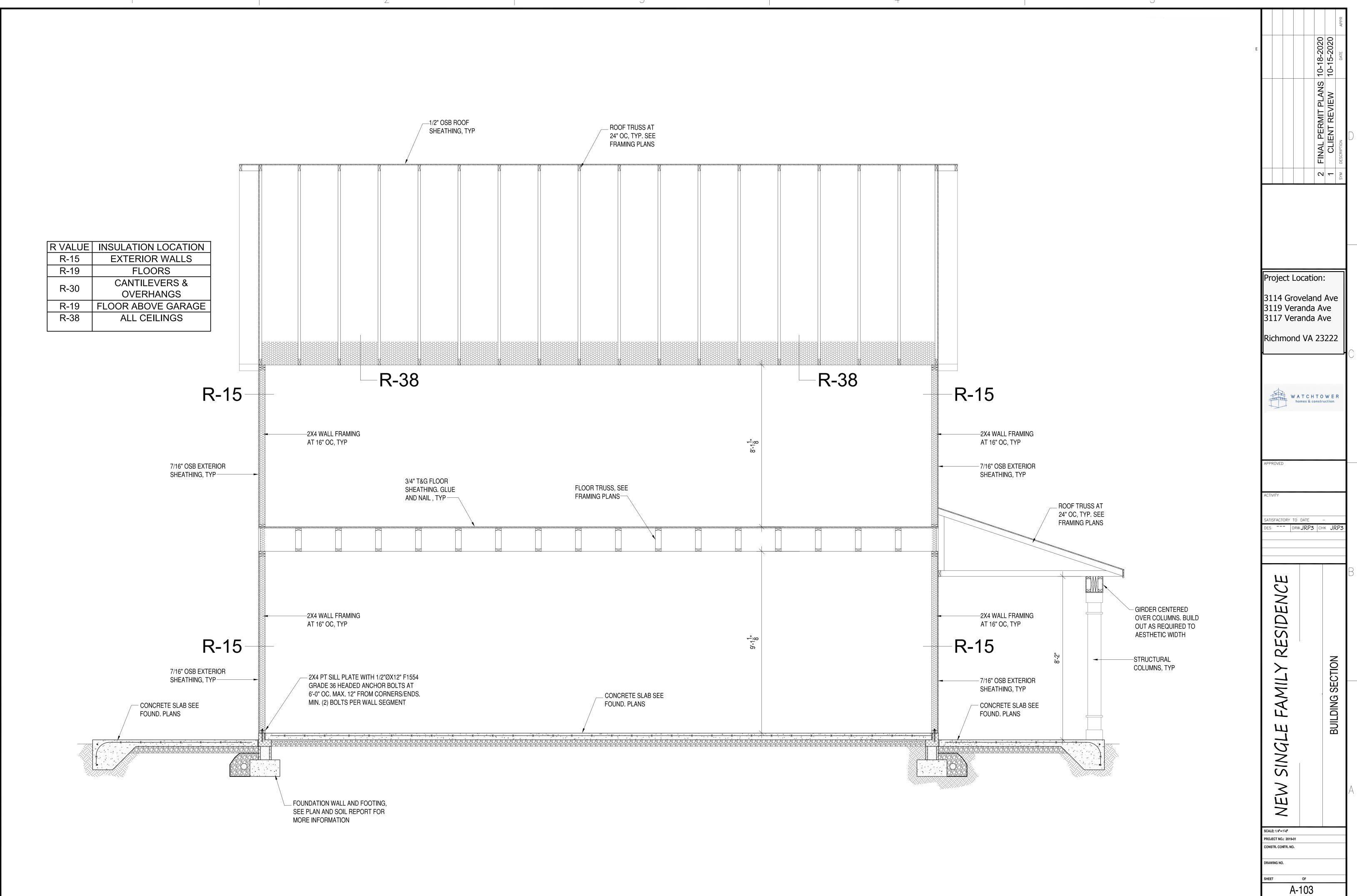
H WINDOW MANUFACTURER.

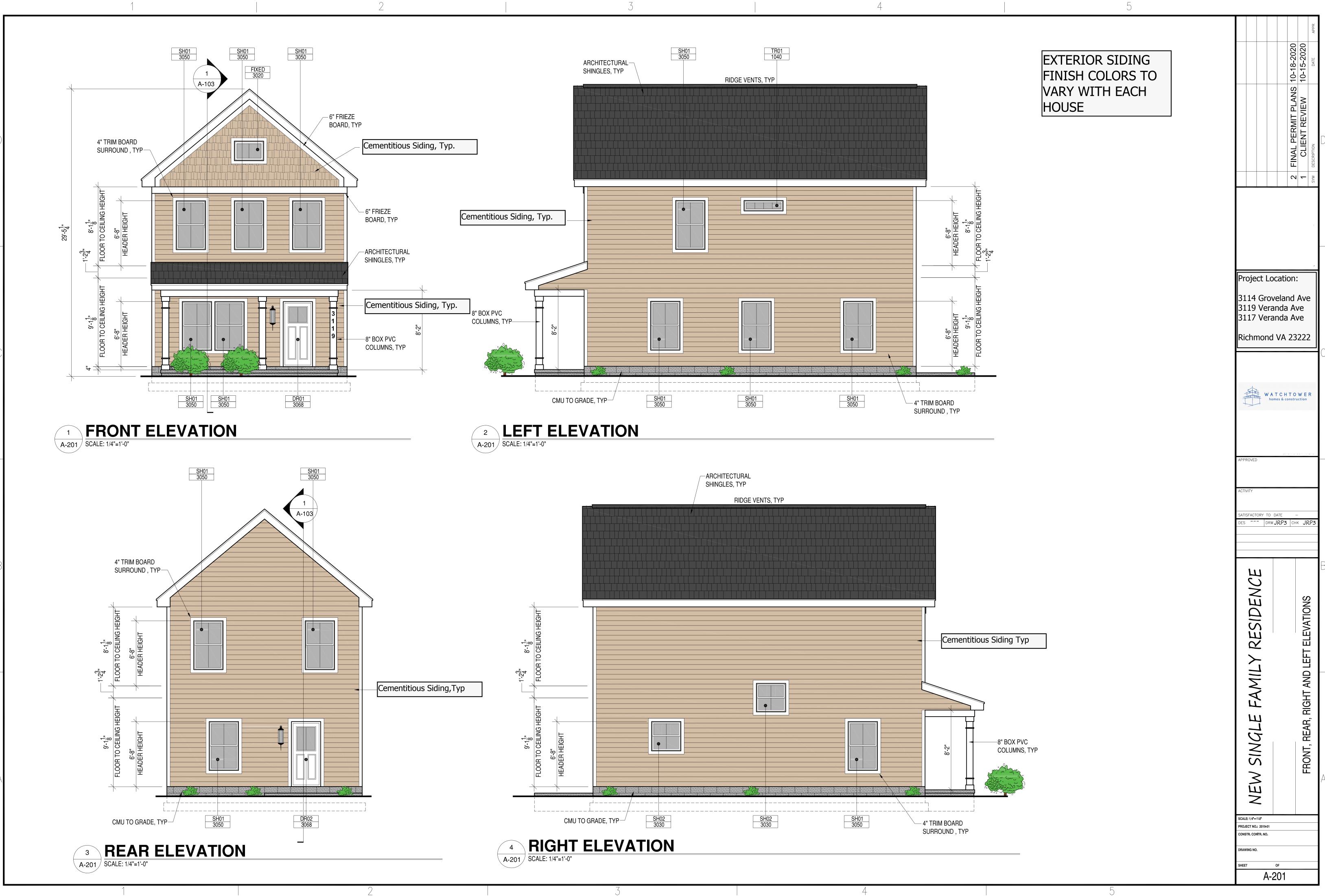
INDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND

4. NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.



^{5.} SAFETY GLAZING SHALL BE TEMPERED.





GENERAL 1.	<u>NOTES</u> DESIGN BUILD CODE: 2015 VIRGINIA R	ESIDENTIAL BUILDING CO	DDE			LVL (LAMINATED V SHALL BE SECURE
2.	THE CONTRACTOR SHALL COORDINA	TE ALL DIMENSIONS AND	ELEVATIONS SHOWN ON TH		-	PROPERTIES SHAL
	DRAWINGS WITH ARCHITECTURAL AN MMEDIATELY NOTIFY THE ARCHITECT					Fb Fc
	CONSTRUCTION.					Fv
	THE CONTRACTOR SHALL BE RESPON REQUIRED TO INSURE VERTICAL AND				7. <i>I</i>	E ALL LUMBER SHAL
	THEREOF DURING CONSTRUCTION. THE				8. <i>I</i>	ALL STUDS SHALL
	CODES AND SAFETY REQUIREMENTS. WITH OSHA REGULATIONS.	TEMPORARY BRACING A	IND SHORING SHALL BE IN C	ONFORMANCE		ASSOCIATION) RE(REQUIREMENTS, V
	DESIGN LOADS:	ELOADS	DEAD LOADS		(CONTINUOUSLY TO
	A. FLOOR 40 B. EXTERIOR DECKS 40		10 PSF 10 PSF			OR CRIPPLES AS F STUD BEARING WA
	C. ROOF 20	PSF	10 PSF			BLOCKING AT MID
	D. SNOW (Pg) 20	PSF				SHALL BE ONE-PIE DIAPHRAGMS. ALL
	WIND 90	MPH, 3 SECOND GUS	ST (ASD) - 115 MPH (ULTIMAT	E)		HEIGHT.
SITE WOF	V					
	▶ SUBGRADE DESIGN VALUES: THE FOL	LOWING SUBSURFACE IN	FORMATION IS ASSUMED F	OR DESIGN		FOR WOOD CONST PS20 OF "AMERICA
	PURPOSES. THE CONTRACTOR SHALL			O VERIFY THE		CONTENT.
	ADEQUACY OF THE SUBGRADE ASSUI A. BEARING OF VIRGIN MATERIA					ALL MULTIPLE MEN BEAMS 9"-12" DEEF
0	B. BEARING PRESSURE: 1500 PS					PLYWOOD SHALL
	BOTTOM OF ALL EXTERIOR FOOTINGS ALL FOOTINGS SHALL PROJECT AT LE		,	IPACTED		FASTENING OF WO DETAILS FOR INCF
:	STRUCTURAL FILL. ALL BEARING STRA	ATA SHALL BE ADEQUATE	ELY DRAINED BEFORE FOUN	DATION	14. V	WALL SHEATHING
	CONCRETE IS PLACED. NO EXCAVATION ONE VERTICAL) TO A FOOTING. DC					NSTALLATION OF
I	NOT BE FOUNDED ON EXISTING FILL, I				ŀ	ANCHORED TO FO
	IORIZONTAL TO 1 VERTICAL.					POSITION AND PRO BE PLACED DIREC
	PLACE CONCRETE				E	BEAMS, WHICH AR
	ALL CONCRETE WORK SHALL BE IN AC REFERENCED BY BUILDING CODE.	CORDANCE WITH ACI 30	1, ACI 318 AND ACI 302, EDIT	IONS		EARTH. ALL EXTEF BEAR BEAMS AND
2.	REINFORCING STEEL SHALL BE DEFO				ļ	AND ROOF RAFTE
	REINFORCEMENT SPLICES SHALL BE I NOTED OTHERWISE.	AP SPLICES WITH A MIN	IMUM LAP OF 40 BAR DIAME	FERS UNLESS		PROVIDE 2" NOMIN
	CONCRETE COMPRESSIVE STRENGTH	IS AT 28 DAY CURE = 300	0 PSI.			AT SUPPORTS. ON JOISTS FRAMING F
	CAST-IN-PLACE CONCRETE SHALL BE	READY-MIX PER ASTM C	94, THE MIX SHALL BE PROP	ORTIONED		JOISTS FRAMED E
	NITH; PORTLAND CEMENT, ASTM C150					JOISTS FRAMING I FLOOR DECKING S
В.	AGGREGATES, ASTM C33 WITH .75 IN					RECOMMENDATIO
	NO CALCIUM CHLORIDE SHALL BE PE AIR ENTRAINMENT, ASTM C260	RMITTED				E MASONRY
E.	WATER REDUCING ADMIXTURE, ASTM					IOLLOW LOAD BE
	FLYASH, ASTM C618-78 CLASS F, 15% WATER, CLEAN AND POTABLE	MAXIMUM BY WEIGHT				A MINIMUM 28 DAY
	PROVIDE PROPERLY TIED SPACERS, (HAIRS, BOLSTERS, ETC,	AS REQUIRED AND NECESS	ARY TO		STRENGTH f'm = 1 MORTAR SHALL BE
	ASSEMBLE, PLACE AND SUPPORT ALL COMPLYING WITH CRSI RECOMMEND/					OCATIONS. MORT
	CONTRACTOR SHALL VERIFY EMBEDE					FILLED CELLS SHA
	CLUSTERS, WELD PLATES, ETC., BEFC NITH REBAR.	PRE PLACING CONCRETE	NOTIFY ENGINEER OF ANY	CONFLICTS		CELLS MAY ALTER
8.	STEP AND SLOPE ALL BALCONIES, WA					/IIX SHALL BE PRC DF 1/2" CLEARANC
	RESTRICT THE ADDITION OF MIX WAT					CODES AND STAN
	THE TRUCK TANK AND REMIX TO ACH					STRUCTURES", AC /ERTICAL REINFO
	NATER WAS ADDED AT THE JOB SITE. CONCRETE SHALL BE PLACED WITHIN		ME		E	BOTTOM OF BAR A
10.	JUNUNETE SHALL DE FLAUED WITHIN	90 MINUTES IF DATCH TI				DISTANCE BETWEI BARS IN WALLS UN
WOOD					6. F	PROVIDE ACI 90 DI
	ALL FOLLOWING DESIGN VALUES ARE NDS) AND SUPPLEMENT NATIONAL DI					REINFORCING SHO
(CODE.)	·			7. F	REINFORCING BAF
	ALL HEADERS AND BEAMS SHALL BE PROPERTIES: UNLESS NOTED OTHER		CUES HAVING THE FULLOWI	NG IVIIINIMUM		OR HOOKS ARE DE /INIMUM LAP SPLI
	Fb = 875	PSI			9. V	WHEN FOUNDATIC
	Fc = 425 Fv = 70	PSI PSI				THEN ONE HORIZO ALIGNMENT, EVEN
-	E = 1,400,000	PSI			10. H	ORIZONTAL WAL
	EXTERIOR AND INTERIOR BEARING WA			HAVING THE		EQUIVALENT) SPA
	Fb = 875	PSI				PROVIDE HORIZON VINDOWS. CONTI
	Fc = 425 Fv = 70	PSI PSI			E	BELOW MASONRY
	FV = 70 E = 1,400,000	PSI				CLEANOUTS SHAL
	NALL TOP PLATES AT BEARING LOCA	•	OR OTHER SPECIES HAVING	G THE	13. C	GROUT POUR HEI
	FOLLOWING MINIMUM PROPERTIES (U Fb = 1500	NO) PSI				CONSOLIDATE GR
	Fc = 565	PSI			15. F	PLACE ALL MASON
	Fv = 90 E = 1,600,000	PSI PSI				FACE SHELL MORT PIERS, COLUMNS,
	ALL LUMBER IN CONTACT WITH MASO	NRY OR CONCRETE AND				ASONRY CONTRO
	DECK BOARDS, LEDGER, JOISTS, BEAI FREATED TO .40 LB RETENTION, PER /				Þ	ADDITIONALLY, IN
	PROPERTIES:				l	NTERIOR WALLS I
	Fb = 1500 PSI, 1250 PSI, 12 SECTIONS RESPECTIVEL	,	5 PSI FOR 4, 6, 8,10 AND 12 IN	CH WIDE		
	Fc = 565	r. PSI				
	Fv = 90 E = 1.600.000	PSI				
	E = 1,600,000	PSI				

JMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND THER AS DIRECTED BY THE MANUFACTURER UNO. THE FOLLOWING MINIMUM

- 2600
 PSI FOR 12" DEPTH, FOR OTHERS MULTIPLY BY [12/D].136

 750
 PSI PER

 285
 PSI

 2,000,000
 PSI
- JND, SEASONED, AND FREE FROM WARP.
- ALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER
- ENTS. MEMBERS ARE NOT TO BE DRILLED IN EXCESS OF NDS OR LOCAL CODE ER IS MORE STRINGENT. ALL POSTS AND STUDS SHALL STACK
- BEARING ON FOUNDATION WALLS OR BEAMS; PROVIDE SOLID BLOCKING AND D BETWEEN FLOORS.
- D EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD RTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS. STUDS AND POSTS TINUOUS BETWEEN FLOOR LEVELS AND BETWEEN FLOOR LEVEL AND ROOF E STUDS SHALL BE NAILED TO EACH OTHER AT 8" MAXIMUM SPACING FULL
- MENSIONED LUMBER, SHALL BE SPF NO. 2 GRADE AS DEFINED BY THE NDS N, NFPA. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH VOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE
- RE TO BE FASTENED TOGETHER WITH 16d NAILS AT 12" OC 2 ROWS FOR S FOR BEAMS 14"-18" DEEP (STAGGERED).
- LLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- MING MEMBERS AND SHEATHING BY BUILDING CODE, SEE STRUCTURAL FASTENING SCHEDULES WHERE APPLICABLE.
- DD STRUCTURAL PANEL EXTERIOR, .50" MIN GYPSOM WALL BOARD INTERIOR. SHEATHING SHALL COMPLY TO IRC.
- ST SHALL BE FRAMED TO TRUE END BEARINGS, AND SHALL BE POSITIVELY ON WITH APPROVED POST BASES. SUPPORT COLUMN AND POST SECURELY IN ASE FROM DETERIORATION. COLUMNS AND POSTS OF TREATED WOOD MAY CONCRETE OR MASONRY. USE TREATED WOOD FOR ALL FLOOR JOIST AND SED, OR WITHIN 18" OF THE GROUND, OR IN PERMANENT CONTACT WITH WOOD SECURED WITH HOT SIPPED GALVANIZED FASTENERS.
- S AT LEAST 4" ON MASONRY OR CONCRETE, FLOOR, JOISTS, CEILING JOISTS L HAVE 4" MIN BEARING ON WOOD OR WOOD PLATES ON METAL OR MASONRY. KNESS FULL DEPTH SOLID BLOCKING FOR JOISTS AND RAFTERS AT ENDS AND D BLOCKING WHEN JOISTS ARE NAILED TO A CONTINUOUS HEADER. LAP PPOSITE SIDES OF A BEAM, GIRDER OR PARTITION AT LEAST 6". SECURE ND WITH METAL STRAPS. USE APPROVED FRAMING ANCHORS TO SUPPORT E SIDES OF WOOD OR STEEL BEAMS.
- APA RATED FLOOR SHEATHING, GLUED AND NAILED PER APA THE STURDI-FLOOR SYSTEM.

NITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH MPRESSIVE UNIT STRENGTH OF 1900 PSI. NET AREA COMPRESSIVE MASONRY

- I BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LL CONFORM TO ASTM C270 (PROPORTION OR PROPERTY SPECIFICATIONS). LLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, DE: 2500 PSI AT 28 DAY. 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP. FILLED Y BE FILLED WITH A 3000 PSI PEA GRAVEL MIX CONCRETE. THE PEA GRAVEL NED WITH A MAX. AGGREGATE SIZE OF 3/8 INCH DIAMETER TO PROVIDE A MIN. TONALLY, THE PEA GRAVEL MIX SHALL PROVIDE AN 8" TO 11" SLUMP. NCLUDE: ACI 530/ASCE 5, "BUILDING CODE REQUIREMENTS FOR MASONRY
- SCE 6, "SPECIFICATIONS FOR MASONRY STRUCTURES" ARS SHALL BE HELD IN POSITION, WITH BAR POSITIONERS, AT THE TOP AND -0" OC MAX. WITH A MIN CLEARANCE OF 1/2" FROM MASONRY. THE CLEAR SHALL NOT BE LESS THAN ONE BAR DIAMETER, NOR LESS THAN 1". CENTER
- TANDARD HOOKS INTO FOOTINGS AND ROOF TIE BEAM. MAINTAIN VERTICAL DRAWINGS, ABOVE AND BELOW MASONRY OPENINGS EXCEEDING 10'-0" ATION DOWELS BELOW ALL MASONRY OPENINGS.
- BE STRAIGHT EXCEPT FOR BENDS AROUND CORNERS AND WHERE BENDS ON THE PLANS.
- L BE 48 BAR DIAMETERS. WIRE TIE LAP SPLICES.
- ELS DOES NOT LINE UP WITH VERTICAL CORE, IT SHALL NOT BE SLOPED MORE SIX VERTICAL. DOWELS SHALL BE GROUTED INTO A CORE IN VERTICAL IN A CELL ADJACENT TO THE VERTICAL WALL REINFORCEMENT.
- DRCEMENT SHALL BE 9 GA. GALVANIZED LADUR TYPE DUR-O-WAL (OR 16" OC MAX., VERTICAL LAP SPLICE 12" MIN.
- NT REINFORCEMENT AT MASONRY OPENINGS SUCH AS DOORS AND IT REINFORCING FOR THE FIRST AND SECOND BLOCK COURSE ABOVE AND G. EXTEND JOINT REINFORCING A MINIMUM OF TWO FEET BEYOND OPENING. DVIDED IN THE BOTTOM COURSE OF MASONRY IN EACH GROUT POUR WHEN
- DS 5'-0". CLEANOUTS SHALL BE SAW-CUT 4"X4". LL NOT EXCEED 24'. PLACE GROUT IN 5' MAXIMUM LIFTS HEIGHTS. JRS AT THE TIME OF PLACEMENT BY MECHANICAL MEANS AND
- ITIAL WATER LOSS AND SETTLEMENT. JNNING BOND WITH 3/8" MORTAR JOINTS. PROVIDE COMPLETE COVERAGE
- DING, HORIZONTAL AND VERTICAL. FULLY MORTAR WEBS IN ALL COURSES OR ASTERS AND ADJACENT TO GROUTED CELLS.
- S SHALL BE INSTALLED AT LOCATIONS INDICATED ON THE DRAWINGS. ASONRY CONTROL JOINTS SPACE AT 26'-0" OC AT EXTERIOR WALLS, 32'-0" AT

- MASONRY
- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCT 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/ FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
- 2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE
- RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING COE 3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) V
- MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS. CONCRETE MASONRY UNITS (CMU) SHALL BE MEDIUM WEIGHT UNITS CONFORMING TO ASTM

ASTM C270 TYPE "S" MORTAR WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI SHALL FOR ALL MASONRY. MASONRY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F'M)=150 UNLESS NOTED OTHERWISE.

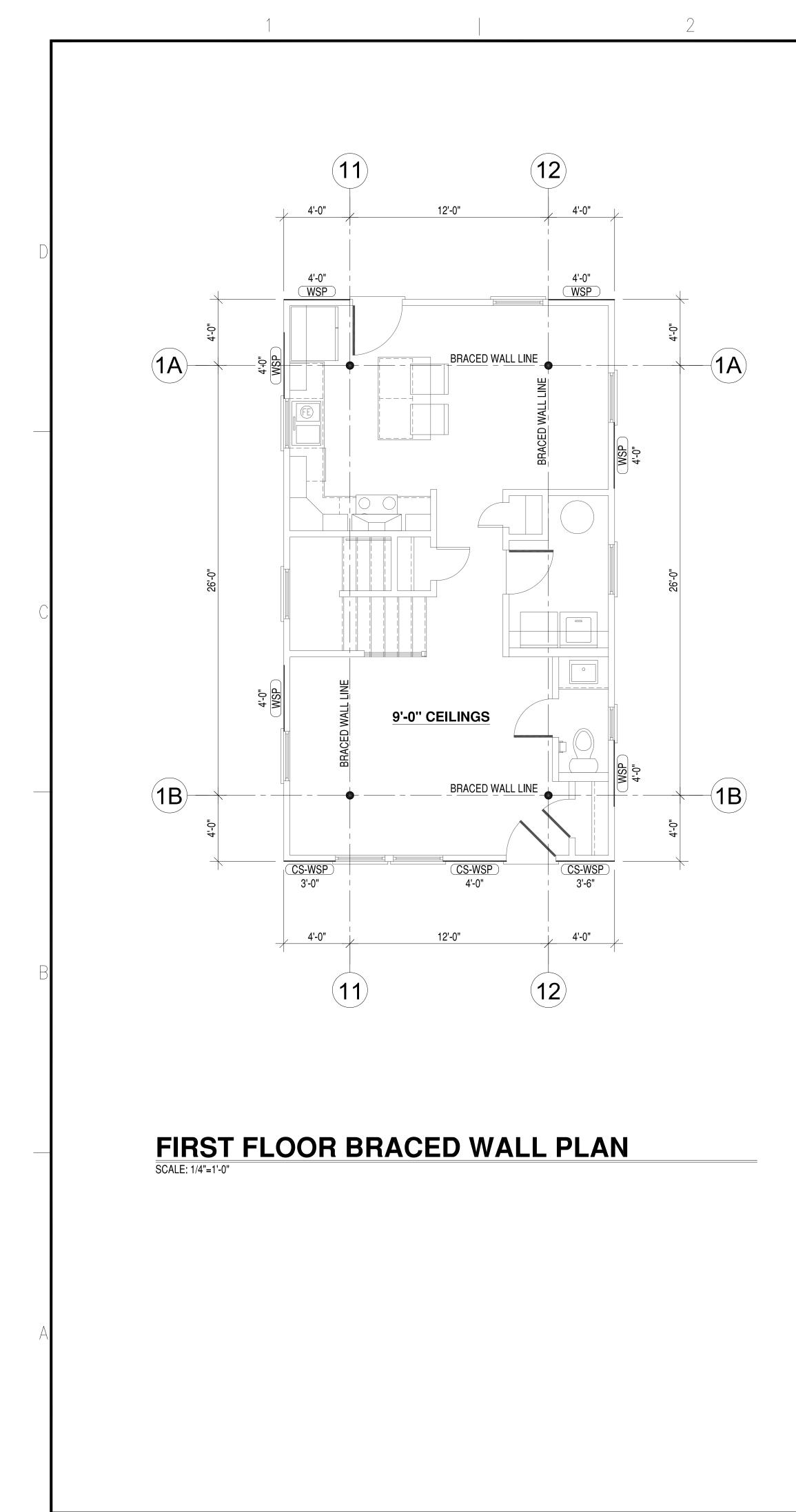
- 5. WHEN STRUCTURAL REINFORCEMENT IS INCORPORATED IN MASONRY CEMENT MORTAR, TH AIR CONTENT SHALL BE 18%.
- 6. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
- DEFORMED BAR ANCHORS (DBA) SHALL CONFORM TO ASTM 496, 75 KSI YIELD STRENGTH.
 ALL MASONRY UNITS SHALL HAVE GALVANIZED HORIZONTAL JOINT REINFORCEMENT AS FOL
- A.A. 9 GA. SIDE AND CROSS RODS (LADDER TYPE) SPACED 16" O.C. VERTICALLY
- 9. LAP JOINT REINFORCING AS SHOWN IN THE TABLE BELOW. WIRE JOINT REINFORCING <u>SPLICE LENGTH</u>

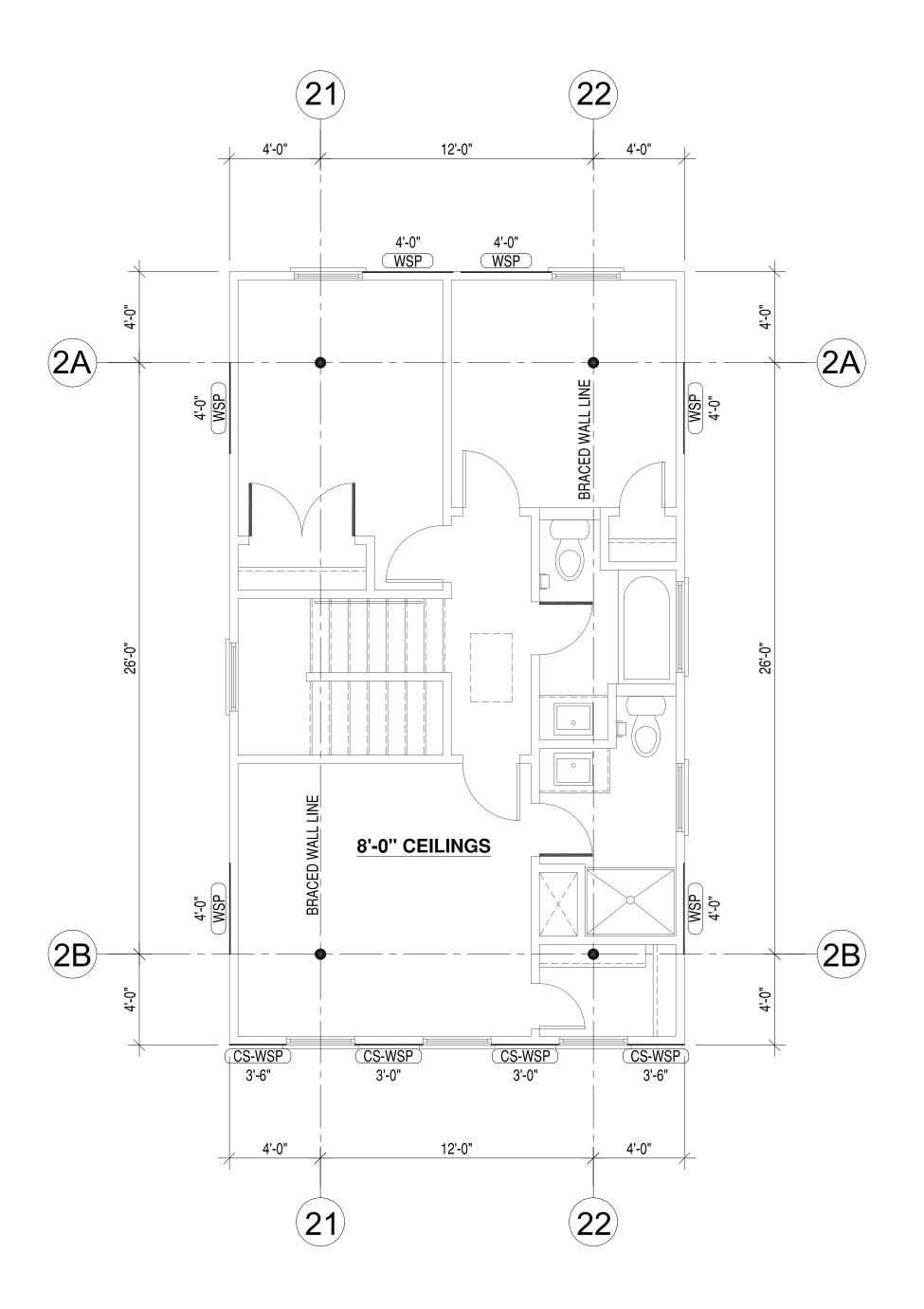
W1.1 (11 GA.)	6
W1.7 (9 GA.)	7
W2.1 (8 GA.)	8
W2.8 (3/16 WIRE)	g
W4.9 (1/4 WIRE)	1

- 10. ALL CORES WITH REINFORCEMENT SHALL BE FILLED SOLID WITH GROUT. ALL GROUT SHALL CONSOLIDATED IN PLACE BY VIBRATION TO INSURE COMPLETE FILLING OF CELLS.
- 11. PLACE REINFORCING BARS BEFORE GROUTING. PLACE GROUTS IN LIFTS NOT EXCEEDING 5 CONSOLIDATE EACH LIFT BY MECHANICAL VIBRATION. THE NEXT LIFT OF THE POUR MAY BE AFTER THE INITIAL WATER LOSS AND RECONSOLIDATION OF THE PRIOR LIFT, WHILE IT IS STI
- PROPERLY SECURE REINFORCING BARS TO MAINTAIN THE POSITIONS INDICATED ON THE DF BARS TO BE LOCATED IN CENTER OF CELLS UNLESS OTHERWISE NOTED.
 MORTAR PROTRUSIONS EXTENDING INTO CELLS OR CAVITIES TO BE REINFORCED AND FILL
- MORTAR PROTRUSIONS, EXTENDING INTO CELLS OR CAVITIES TO BE REINFORCED AND FILL BE REMOVED.
 14 LAY MASONBY UNITS WITH FULL MOBTAR COVERAGE ON HOBIZONTAL AND VEBTICAL FACE.
- 14. LAY MASONRY UNITS WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE BED WEBS IN MORTAR IN STARTING COURSE OF FOOTING AND IN ALL COURSES OF COLUMN PILASTERS, AND WHERE ADJACENT TO CELLS OR CAVITIES TO BE REINFORCED OR FILLED W CONCRETE GROUT.
- 15. GROUT ONE (1) COURSE OF MASONRY SOLID UNDER ALL WALL BEARING SLABS.
- 16. PROVIDE 16" OF SOLID MASONRY UNDER WALL BEARING BEAMS AND JOIST GIRDERS UNLESS OTHERWISE.
- 17. ALL CORNERS TO BE TIED BY MASONRY BOND.
- 18. GROUT CORES SOLID A MINIMUM OF ONE COURSE BELOW ANY CHANGE IN WALL THICKNESS
- PROVIDE 8" SOLID MASONRY 24" WIDE MINIMUM UNDER WALL BEARING JOISTS.
 ALL MASONRY WALLS SHALL HAVE VERTICAL CONTROL JOINTS AT A MAXIMUM SPACING OF 2 COORDINATE WITH LOCATIONS INDICATED ON ARCHITECTURAL DRAWINGS. CONTROL JOINT
- EXTEND THROUGH THE ENTIRE WALL THICKNESS, EXCEPT AT 21. CONTINUOUS BOND BEAMS ROOF LINE THE MASONRY SHALL BE SCORED ONLY.
 22. ALL CMU SHALL BE TEMPORARILY BRACED DURING CONSTRUCTION FOR THE GOVERNING B
- CODE FOR LATERAL DESIGN LOADS UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED. TEMPORARY BRACING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH REPAIRS RESULTING FROM IMPROPER OR INSUFFICIENT BRACING.
- 23. THE COLLAR JOINT IN MULTI-WYTHE WALLS BELOW GRADE SHALL BE FULLY GROUTED AS TH CONSTRUCTED.
- 24. MISCELLANEOUS STEEL LINTEL SCHEDULE
- A.A. FOR MASONRY WALLS 8" OR THICKER OR MASONRY VENEER AND WOOD STUDS:
 - FOR OPENINGS UP TO 4'-0" USE 3 1/2X3 1/2X5/16 ANGLE.
 - FOR OPENINGS FROM 4'-0" TO 5'-0" USE 4X3 1/2X5/16 LLV.
 - FOR OPENINGS FROM 5'-0" TO 6-'0" USE 5X3 1/2X5/16 LLV.
 - FOR OPENINGS FROM 6'-0" TO 7-'0" USE 6X3 1/2X5/16 LLV.
- FOR OPENINGS FROM 7'-0" TO 10-0" USE W8X21+5/16" BOTTOM PLATE. B. USE ONE ANGLE FOR EACH 4" WYTHE OF MASONRY.
- B.B. USE ONE ANGLE FOR EACH 4" WYTHE OF MASONRY.
 C.C. ALL LINTELS SHALL HAVE A BEARING AT EACH END OF 1 INCH PER FOOT OF OPENING V MINIMUM OF 6".
- D.D. ALL LINTELS SHALL BEAR ON 16" SOLID MASONRY EXTENDING 16" BEYOND END OF LIN
- E.E. ALL LINTELS ON THE BUILDING EXTERIOR SHALL BE GALVANIZED.
- E.F. ALL LINTELS ARE NOT DESIGNED FOR MASONRY WALLS THAT CARRY FLOOR LOADS.
 E.G. PROVIDE (1) #5 IN FULLY GROUTED CELLS (ONE CELL BELOW LINTEL BEARING, AND ONI
- ADJACENT FULL HEIGHT) AT EACH SIDE OF OPENINGS.
- 25. LAP SPLICES SHALL BE AS FOLLOWS: #5 BAR SIZE = 45" SPLICE LENGTH
 - #5 BAR SIZE = 45" SPLICE LENGTH #6 BAR SIZE = 54" SPLICE LENGTH
 - #7 BAR SIZE = 63" SPLICE LENGTH
- 26. POWER ACTUATED FASTENERS (PAFS) NOT PERMITTED AT MASONRY.
- 27. ALL REINFORCING HOOKS AND BENDS SHALL BE STANDARD ACI TYPE.
- 28. ALL WALL DOWELS SHALL MATCH REINFORCING SIZE AND QTY.

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			20 20 APPR	
CTURES" (ACI 6/TMS 602)	Ξ		10-18-2020 10-15-2020 DATE	
E MASONRY DDES. WITH A			IT PLANS EVIEW	
TM C90. LL BE USED 500 PSI			FINAL PERMIT PLANS CLIENT REVIEW	D
THE MAXIMUM			2 FINAL 1 CLIF	
DLLOWS:			0	
			r.	
L BE 5 FEET.		Project Locatior	י.	
E MADE TILL PLASTIC. DRAWINGS.		3114 Groveland 3119 Veranda A 3117 Veranda A	Ave	
LED, SHALL E SHELLS.		Richmond VA 2		
IN AND WITH				С
SS NOTED		WATCHT homes & cons	OWER	
SS. = 25'.		+		
ITS SHALL IS AT THE				
BUILDING D. TOR IS R		APPROVED	2	
THE WALL IS		ACTIVITY SATISFACTORY TO DATE		
		1	- снк JRP3	
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WITH A		VCE		
NTEL.		DEN		
NE CELL		E FAMILY RESIDENCE	DTES	
			RAL N(
		AMI	GENE	
		Ш Ц	RUCTURAL GENERAL NOTES	
			STRUC	
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		NEW SINGI		A
		SCALE: 1/4"=1"-0" PROJECT NO.: 2019-01		
		CONSTR. CONTR. NO. DRAWING NO.		
		SHEET OF		

S-001





3

BRACED WALL PLAN NOTES:

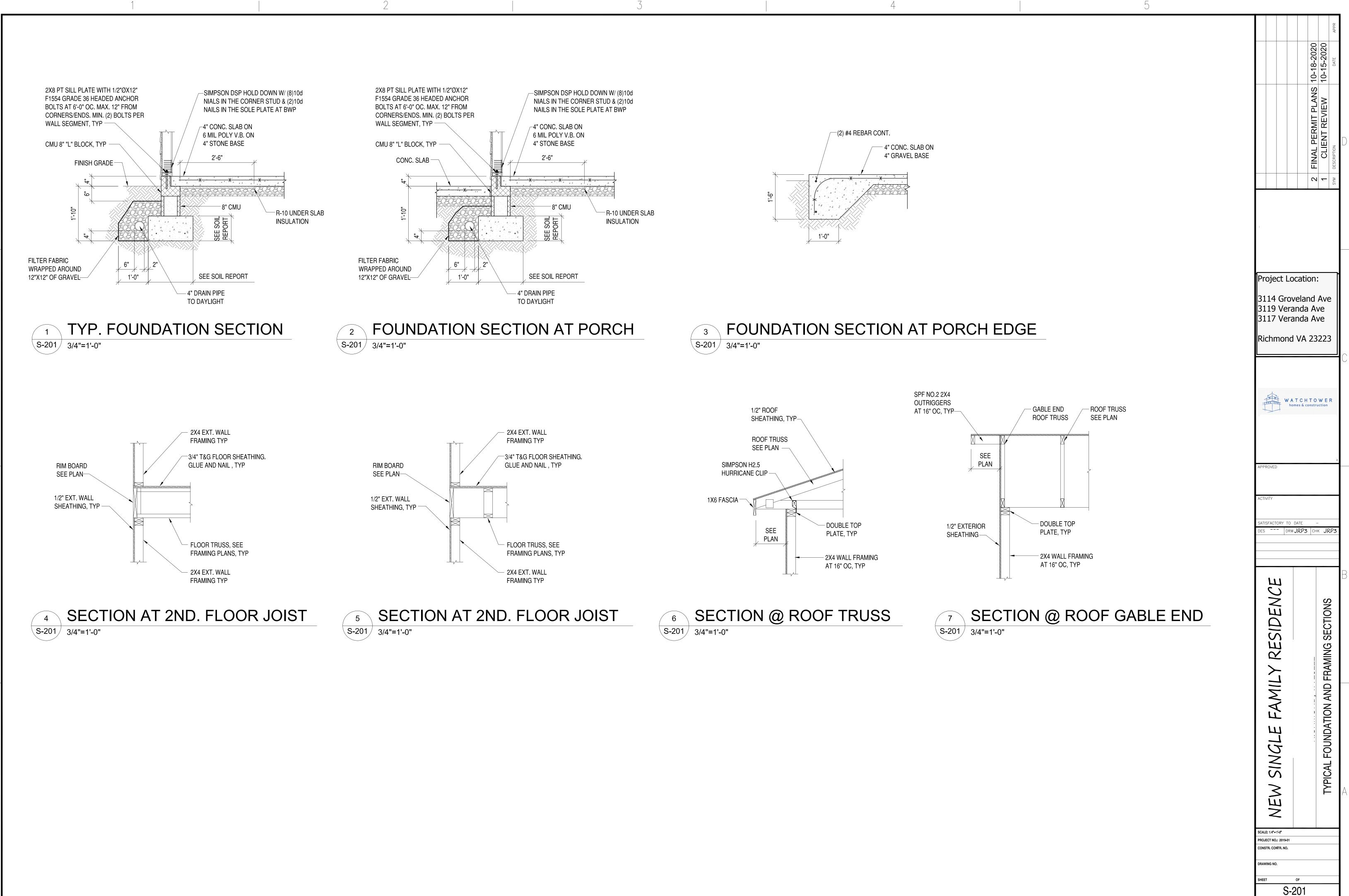
4

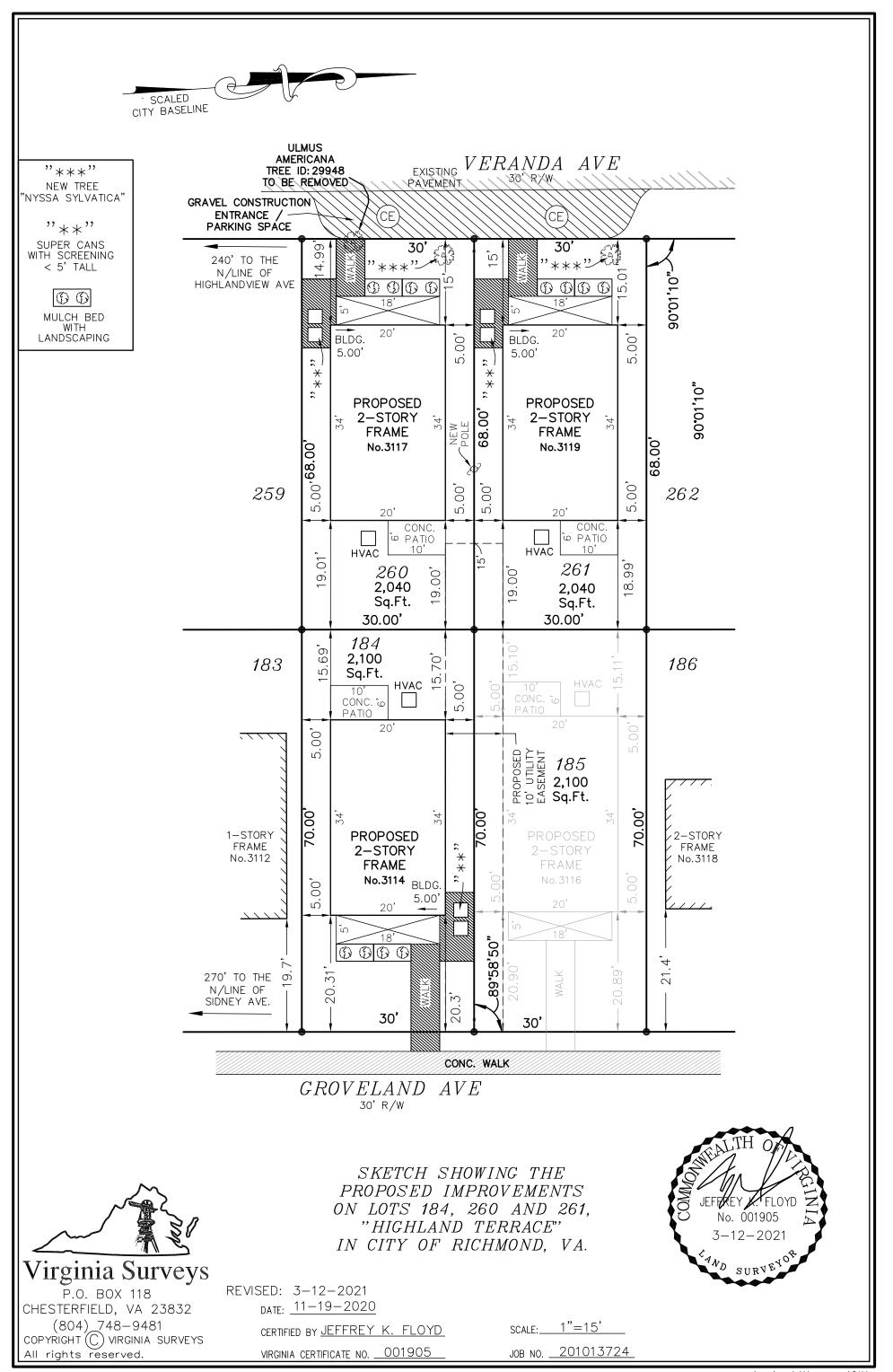
SECOND FLOOR BRACED WALL PLAN SCALE: 1/4"=1'-0"

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			APPR	
	10-18-2020	10-15-2020	DATE	
		1 CLIENT REVIEW 10-15-2020	SYM DESCRIPTION	D
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ACTIVITY SATISFACTORY TO		– HK JR	P3	
NEW SINGLE FAMILY RESIDENCE		FIRST & SECOND FLOOR REACED WALL PLAN		B
SCALE: 1/4"=1'-0" PROJECT NO.: 2019-01 CONSTR. CONTR. NO.				
SHEET	OF			
S-	102			

1. DESIGN AND CALCULATIONS BASED ON 2015 IRC SECTION R602.10. 2. DESIGN BASED ON 90 MPH WIND SPEED, SEE CALCULATIONS. 3. CLASSIC WALL BRACING METHOD USED. 4. DENOTES BRACED WALL PANELS.

5. BLOCK HORIZONTAL SHEATHING JOINTS AT ALL BRACED WALL LINES AT FIRST FLOOR AND BRACED WALL LINES 2A AND 2B AT SECOND FLOOR.





print 11" x 17"