

INTRODUCED: July 26, 2021

AN ORDINANCE No. 2021-205

To authorize the special use of the property known as 1508 Belleville Street for the purpose of a multifamily dwelling containing up to 126 dwelling units, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: SEP 13 2021 AT 6 P.M.

WHEREAS, the owner of the property known as 1508 Belleville Street, which is situated in a B-7 Mixed-Use Business District, desires to use such property for the purpose of a multifamily dwelling containing up to 126 dwelling units, which use, among other things, is not currently allowed by sections 30-446.7, concerning height, and 30-710.1, concerning the number of parking spaces required for particular uses, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: 8 NOES: 0 AB0STAIN: _____

ADOPTED: SEPT 13 2021 REJECTED: _____ STRICKEN: _____

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1508 Belleville Street and identified as Tax Parcel No. N000-1799/006 in the 2021 records of the City Assessor, being more particularly shown on sheet C-101 of the plans entitled “Special Use Permit Drawings, 1508-1512 Belleville Street, City of Richmond, VA,” prepared by sekivsolutions, dated December 11, 2020, and last revised April 21, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a multifamily dwelling containing up to 126 dwelling units, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Special Use Permit Drawings, 1508-1512 Belleville Street, City of Richmond, VA,” prepared by sekivsolutions, dated December 11, 2020, and last revised April 21, 2021, and “1508-1512 Belleville Street, Multi-Family Building, 1508-1512 Bellville Street, Richmond, VA 23230,” prepared by 510 Architects, LLC, dated December 11, 2020, and last revised April 22, 2021, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a multifamily dwelling containing up to 126 dwelling units, substantially as shown on the Plans. Amenity space shall also be provided on the Property.

(b) The height of the Special Use shall not exceed the height as shown on the Plans.

(c) All building materials, elevations, and site improvements, including landscaping, shall be substantially as shown on the Plans.

(d) No fewer than 70 off-street parking spaces shall be provided for the Special Use, substantially as shown on the Plans.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(f) Storage for a minimum of 32 long-term bicycles and six short-term bicycles shall be provided on the Property.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way, including the installation of a new sidewalk and ramps, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

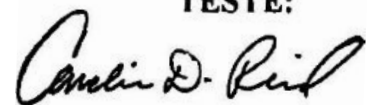
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Carlin D. Reed".

City Clerk

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2021.683

O & R Request

DATE: June 25, 2021

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)



THROUGH: J.E. Lincoln Saunders, Acting Chief Administrative Officer



THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic
Development and Planning



FROM: Kevin J. Vonck, Acting Director, Department of Planning and
Development Review



RE: To authorize the special use of the property known as 1508 Belleville Street for the purpose
of a multi-family building containing up to 126 units, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 1508 Belleville Street for the purpose of
a multi-family building containing up to 126 units, upon certain terms and conditions.

REASON: The applicant is requesting a Special Use Permit which would allow for a multi-family
building within a B-7 Mixed-Use Business Zoning District. The proposed use does not meet specific feature
requirements of sections 30-446.7(1) and 30-710.1(4)a regarding maximum number of stories and minimum
off-street parking spaces, respectively, of the Code of the City of Richmond (2020). A Special Use Permit is
therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning
Ordinance, the City Planning Commission will review this request and make a recommendation to City
Council. This item will be scheduled for consideration by the Commission at its August 16, 2021, meeting.

BACKGROUND: The property is located in the Scott's Addition neighborhood on Belleville Street adjacent to CSX Railroad. The property is a 34,408.71 sq. ft. (.79 acre) parcel of land and is improved with a 22,113 sq. ft., one-story commercial building constructed, per tax assessment records, in 1938. The application is for a six story, multi-family building with off-street parking.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Industrial Mixed Use which are defined as "Formerly traditional industrial areas that are transitioning to mixed-use because of their proximity to growing neighborhoods and changes in market conditions. These areas may still retain some light industrial uses." The development style is a mix of building types with low-scale, post-industrial buildings that are adapted for a new use are adjacent to new taller residential and/or office buildings. These areas allow "maker uses" to continue while encouraging more individuals to live, work, and play in the area. Buildings should have street-oriented façades with windows and door openings along street frontages. New light industrial uses are compatible with residential and office uses, and are attractively buffered. New developments continue or introduce a gridded street pattern to increase connectivity. Ground floor uses engage with and enliven the street. Monolithic walls are discouraged, while windows, doors, storefronts, and other features that allow transparency and interaction between building and street are encouraged. Active commercial ground floor uses are required on street-oriented commercial frontages. Pedestrian, bicycle, and transit access are prioritized and accommodated. Bike parking is provided. New driveway entrances are prohibited on priority and principal street frontages and minimal driveway entrances are allowed on secondary streets. Vehicular access to parcels should use alleys where possible. Loading for trucks must be provided off-street. Parking lots and parking areas should be located to the rear of street-facing buildings. Intensity: Medium- to high density, three to eight stories.

Primary Uses: Retail/office/personal service, multi-family residential, cultural, and open space.

Secondary Uses: Institutional and government.

The current zoning for this property is B-7 (Mixed-Use Business). Adjacent properties to the east and south are located within the same B-7 Zone. Properties to the north and west are zoned M-1 Light Industrial District.

The surrounding land uses include primarily residential and commercial with some small industrial uses present.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$2,400 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: July 26, 2021

CITY COUNCIL PUBLIC HEARING DATE: September 13, 2021

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
August 16, 2021

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner
Land Use Administration (Room 511) 646-5734

**Application for SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- ☒ **special use permit, new**
☐ **special use permit, plan amendment**
☐ **special use permit, text only amendment**

Project Name/Location

Property Address: 1508 Belleville Street Date: _____
Tax Map #: N0001799006 Fee: 2400
Total area of affected site in acres: 0.79

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: B-7

Existing Use: storage/warehousing, office

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

126 multifamily dwelling units
Existing Use: storage/warehousing, office

Is this property subject to any previous land use cases?

Yes

☐

No

☒

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Jennifer D. Mullen

Company: Roth Jackson Gibbons Condlin, PLC

Mailing Address: 1519 Summit Avenue, Suite 102

City: Richmond State: VA Zip Code: 23230

Telephone: (804) 977-3374

Fax: ()

Email: jrmullen@rothjackson.com

Property Owner: John Freeland Properties LLC

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 1504 Belleville Street

City: Richmond State: VA Zip Code: 23230

Telephone: () Fax: ()

Email: _____

Property Owner Signature: _____

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Jennifer D. Mullen

Richmond Office

(804) 977-3374(direct)

jmullen@rothjackson.com

January 12, 2021

VIA HAND DELIVERY

Mr. Matthew Ebinger
Planning and Development Review
900 East Broad Street, Room 511
Richmond, VA 23219

Re: Special Use Permit Request: 1508 Belleville Street, Tax Map No. N0001799006.

Dear Mr. Ebinger:

This letter shall serve as the applicant's report accompanying a special use permit request (the "SUP") for the property known as 1508 Belleville Street, identified as Tax Parcel N000-1799/006 (the "Property"). The Property is located on the west side of Belleville Street between West Moore Street and West Leigh Street. The Property consists of a single lot of record containing 0.79 acres of land area that is improved by two (2) single-story buildings that total to be approximately 22,113 square feet according to records of the City Assessor. The SUP would facilitate the redevelopment of the Property with a six-story building containing 126 multi-family dwelling units and associated parking deck.

The Property is zoned B-7 Mixed-Use Business, which permits the proposed use as a matter of right. The B-7 district generally limits building height to five (5) stories. In special cases, where there are no buildings existing on an entire block at the time of development or where an entire block is to be developed under the same ownership or control pursuant to an overall development plan, a building height of six (6) stories is permitted. However, because there are buildings existing in the block and the proposal pertains to a stand-alone parcel within the block, the general height limit of five (5) stories is applicable. In addition, the B-7 district requires one parking space per dwelling unit. In the case of existing buildings this requirement is reduced by 50% to one space per two dwelling units. However, because new construction is contemplated the parking requirement of one space per dwelling unit applies.

The surrounding properties to the north, east, and south are also zoned B-7 Mixed-Use Business. Consistent with this zoning designation, these properties are occupied by a range of uses including industrial, multi-family dwellings, and commercial/retail uses. Properties to the west, across a CSX spur track that generally runs from northeast to southwest, are zoned M-1 Light Industrial. These properties are occupied by industrial uses/warehouses and a surface parking area.

{01159145.v1}

RICHMOND

1519 Summit Avenue, Suite 102, Richmond, VA 23230

P: 804-441-8440 F: 804-441-8438

TYSONS CORNER

8200 Greensboro Drive, Suite 820, McLean, VA 22102

P: 703-485-3535 F: 703-485-3525

The proposed dwelling units would be primarily configured on floors two through six, with the exception of three (3) ground-floor units fronting directly onto Belleville Street. On floors two through six, there would be twenty-four (24) to twenty-five (25) dwellings per floor. The units would be spacious, with modern layouts, and would be a mixture of studios, 1-bedroom, and 2-bedroom units. A courtyard amenity space would be available for the use of residents, and would be improved with hardscaping, landscaping, seating areas and trellis structures. Many of the units would also have their own private balcony areas.

A ground floor parking deck is also proposed that would include seventy (70) parking spaces. These parking spaces would be shielded from public view by the ground floor dwellings, lobby, and utility rooms. An additional six (6) on-street parking spaces are available along the frontage resulting in a total of seventy-six (76) parking spaces on the Property per applicable off-street parking regulations. Access to the parking deck would be from Belleville Street as no other street or alley is available for adequate access. It is worth noting that the proposed configuration would limit access to one drive so as to minimize potential vehicular conflict with pedestrians along Belleville Avenue.

The Richmond 300 and Pulse Corridor Plan recommends "Industrial Mixed-Use" for the Property. This land use category is described in the Pulse Corridor Plan as areas that are "traditionally industrial areas that are transitioning to mixed-use due to their proximity to growing neighborhoods, but still retain industrial uses," (*Richmond 300*, p. 62 and *Pulse Corridor Plan*, p. XII). The recommended density for this land use designation is described as being three (3) to eight (8) stories. Typical principal uses include Industrial, multi-family residential, office, retail, and personal service. This request is consistent with the Pulse Corridor Plan recommendation. The Property was rezoned in 2017 to B-7 as part of a Pulse Corridor Plan-driven rezoning to ensure that consistency. The B-7 district contemplates the proposed use as being appropriate while the proposed height is within the range suggested by the Richmond 300 and Pulse Corridor Plan. The proposal would also support a number of transit-oriented design principles contained in the Richmond 300 and Pulse Corridor Plan. This would include, but not be limited to, creating a denser, more compact development pattern to add housing and create a more walkable and vibrant corridor and increasing access and ridership for the local transit network.

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- **Be detrimental to the safety, health, morals and general welfare of the community involved.**
The proposed SUP will not impact the safety, health, morals and general welfare of the community involved. The development of this underutilized property as proposed, in conjunction with the high quality/benefits provided by the SUP, will provide positive impacts in terms of health, welfare, etc.
- **Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.**
The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods. The anticipated traffic generation will easily be handled by the existing road network. Off-street parking is proposed and in conjunction with the availability of public transit, will alleviate any potential impacts due to additional parking demand. As such, the SUP will not create congestion on streets, roads, alleys or any other public right of way.
- **Create hazards from fire, panic or other dangers.**
The property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

{01159145,v1}



RICHMOND

1519 Summit Avenue, Suite 102, Richmond, VA 23230
P: 804-441-8440 F: 804-441-8438

TYSONS CORNER

8200 Greensboro Drive, Suite 820, McLean, VA 22102
P: 703-485-3535 F: 703-485-3525

- **Tend to overcrowding of land and cause an undue concentration of population.**
The proposed SUP will not tend to overcrowd the land or create an undue concentration of population. The request is consistent with the guidance offered by the Pulse Corridor Plan, and is therefore representative of the community's goal with regard to density along the Pulse corridor.
- **Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.**
The proposed SUP would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.
- **Interfere with adequate light and air.**
The light and air available to the subject and adjacent properties will not be adversely affected.

Summary

This request represents an ideal urban infill development for this location. The request offers a development alternative that is consistent with the Pulse Corridor Plan land use recommendation and addresses a number of transit-oriented design principles contained in the plan. Finally, the quality assurances conditioned through the SUP would guarantee the construction of a higher quality development than might be developed by right.

Thank you for your time and consideration of this request. Should you have any further questions about this request, please do not hesitate to contact me.

Sincerely,



Jennifer D. Mullen, Esq.



GENERAL NOTES

1.

OWNER/DEVELOPER:

FREELAND JOHN PROPERTIES, LLC
1504 BELLEVILLE STREET
RICHMOND, VA 23230
2.

ARCHITECT:

510 ARCHITECTS LLC
3330 W. LEIGH STREET - SUITE A
RICHMOND, VA 23230
ATTN: HEATHER GRUUTZIUS
EMAIL: HGRUTZIUS@510ARCHITECTS.COM
PHONE: 804.353.1576
3.

ENGINEER:

SEKIV SOLUTIONS
14207 POND CHASE PLACE
MIDLOTHIAN, VA 23113
ATTN: KEITH STANLEY
EMAIL: KSTANLEY@SEKIVSOLUTIONS.COM
PHONE: 804.363.0394
4.

PROPERTY ADDRESS:

1508, 1510, & 1512 BELLEVILLE STREET
RICHMOND, VA 23230
5.

PROPERTY ZONING:

B-7 - MIXED USE BUSINESS DISTRICT
6.

MAP REFERENCE NUMBER:

N0001799006
7.

PROJECT SUMMARY:

THE PROJECT WILL CONSIST OF THE CONSTRUCTION OF A 6-STORY BUILDING
WITH A COVERED GARAGE AND 6-STORIES OF RESIDENTIAL DWELLINGS
8.

EXISTING USE:

STORAGE / WAREHOUSE
9.

PROPOSED USE:

MIXED USE
10.

ACREAGE:

TOTAL PARCEL ACREAGE: 0.77 ACRES
DISTURBED ACREAGE: 0.77± ACRES
11.

BUILDINGS:

6-STORY BUILDING - 126 RESIDENTIAL UNITS
12.

PARKING:

MULTI-FAMILY (126 UNITS):
MINIMUM 70 SPACES PROVIDED ON-SITE

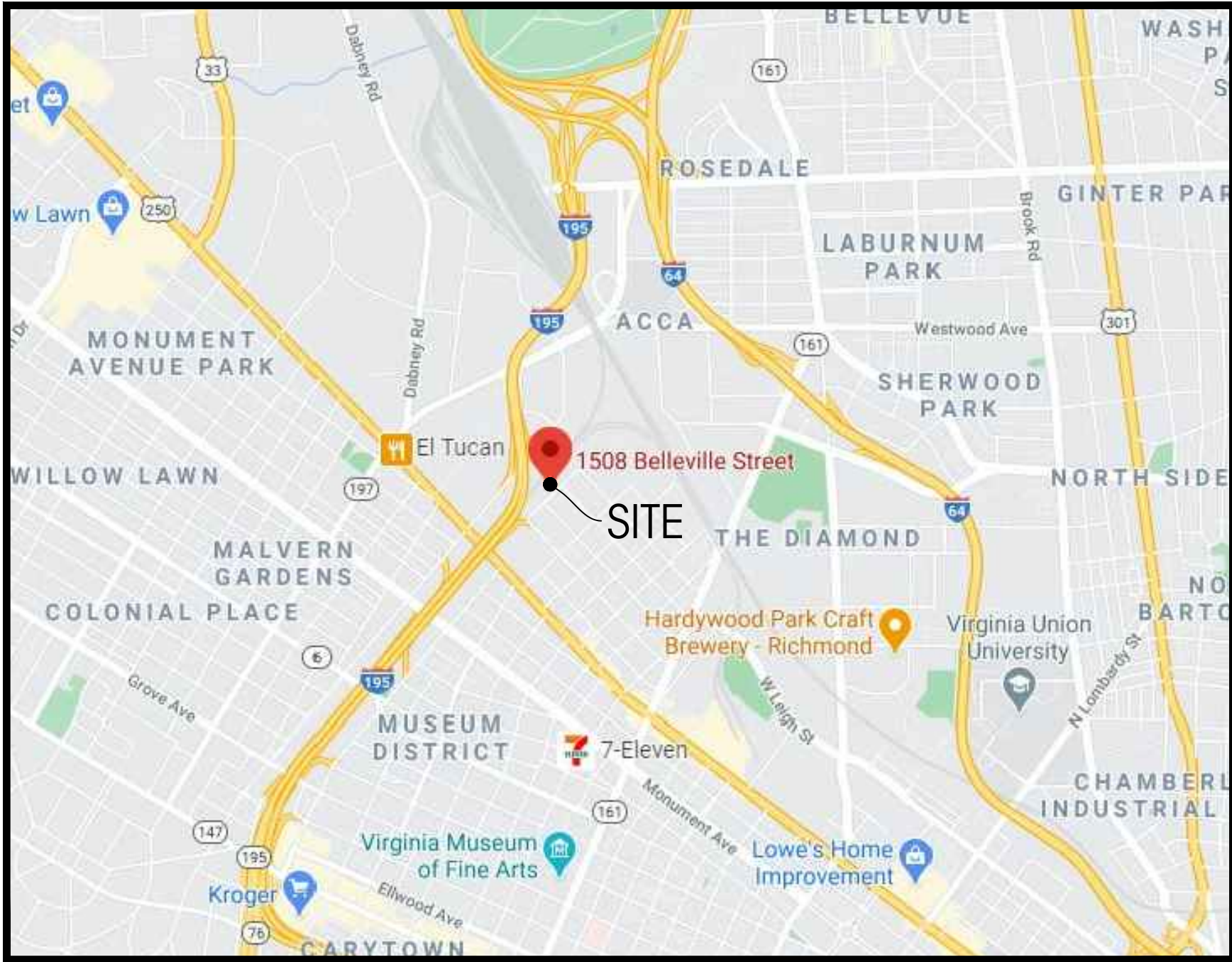
BICYCLE PARKING:
LONG TERM SPACES - 1 SPACE PROVIDED PER 4 DWELLING UNITS
SHORT TERM SPACES - 2 SPACES PROVIDED PER 50 DWELLING UNITS

SPECIAL USE PERMIT DRAWINGS

1508-1512 BELLEVILLE STREET

CITY OF RICHMOND, VIRGINIA

COUNCIL DISTRICT 2



VICINITY MAP

SCALE: 1" = 2000'



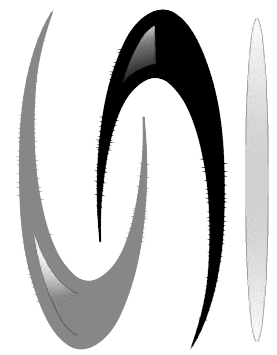
Sheet Index	
Sheet Number	Sheet Title
C-001	COVER SHEET
C-101	EXISTING CONDITIONS PLAN
C-102	PHASE 1 E&S AND DEMOLITION PLAN
C-103	LAYOUT & UTILITY PLAN
A1.1	TYPICAL RESIDENTIAL PODIUM PLAN
A2.0	ILLUSTRATIVE PERSPECTIVE
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS

sekivsolutions

OPTIMIZING YOUR DEVELOPMENT WORLD

14207 POND CHASE PLACE | MIDLOTHIAN, VA | 23113

TELEPHONE NO. 804.938.8864 | www.sekivsolutions.com



DATE : DECEMBER 11, 2020

REVISION BLOCK	
DATE	DESCRIPTION
2/23/2021	PER CITY COMMENTS
4/21/2021	PER CITY COMMENTS

510 ARCHITECTS, LLC
3330 W. LEIGH STREET, SUITE A
RICHMOND, VA 23230
C/O: MR. JOHN WHITE

SPECIAL USE PERMIT
DRAWINGS

1508-1512
BELLEVILLE STREET

CITY OF RICHMOND, VA

COVER SHEET

SHEET NO.

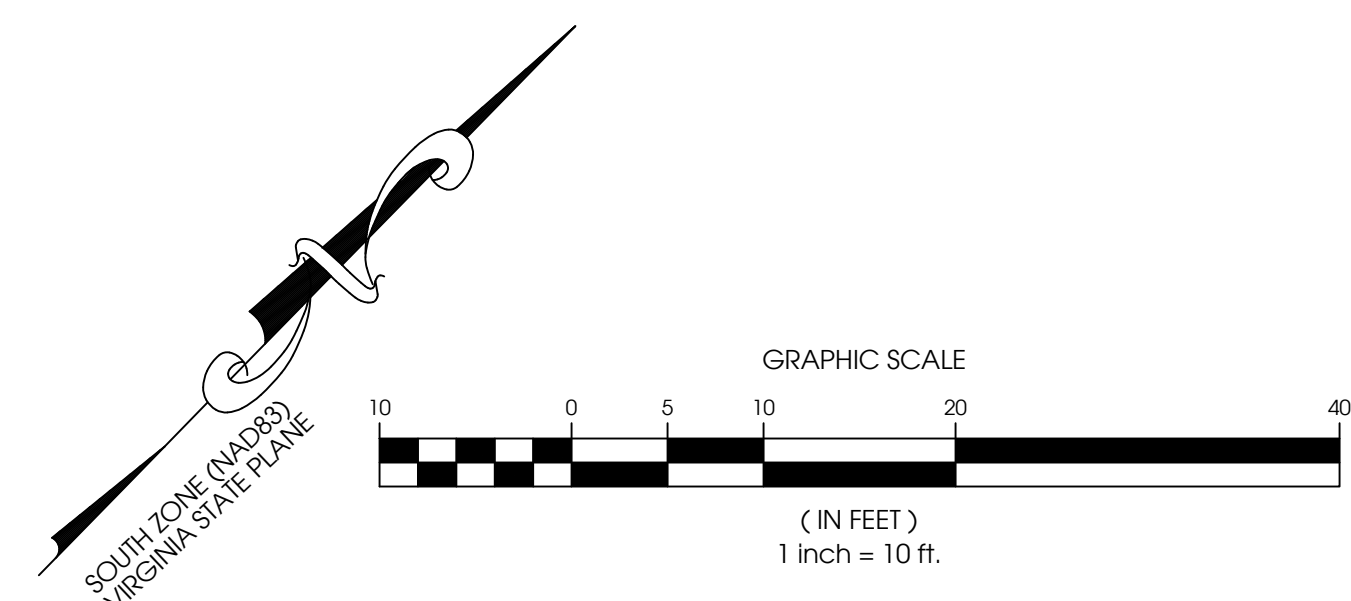
C-001

QUALITY ASSURANCE : STIG OWENS

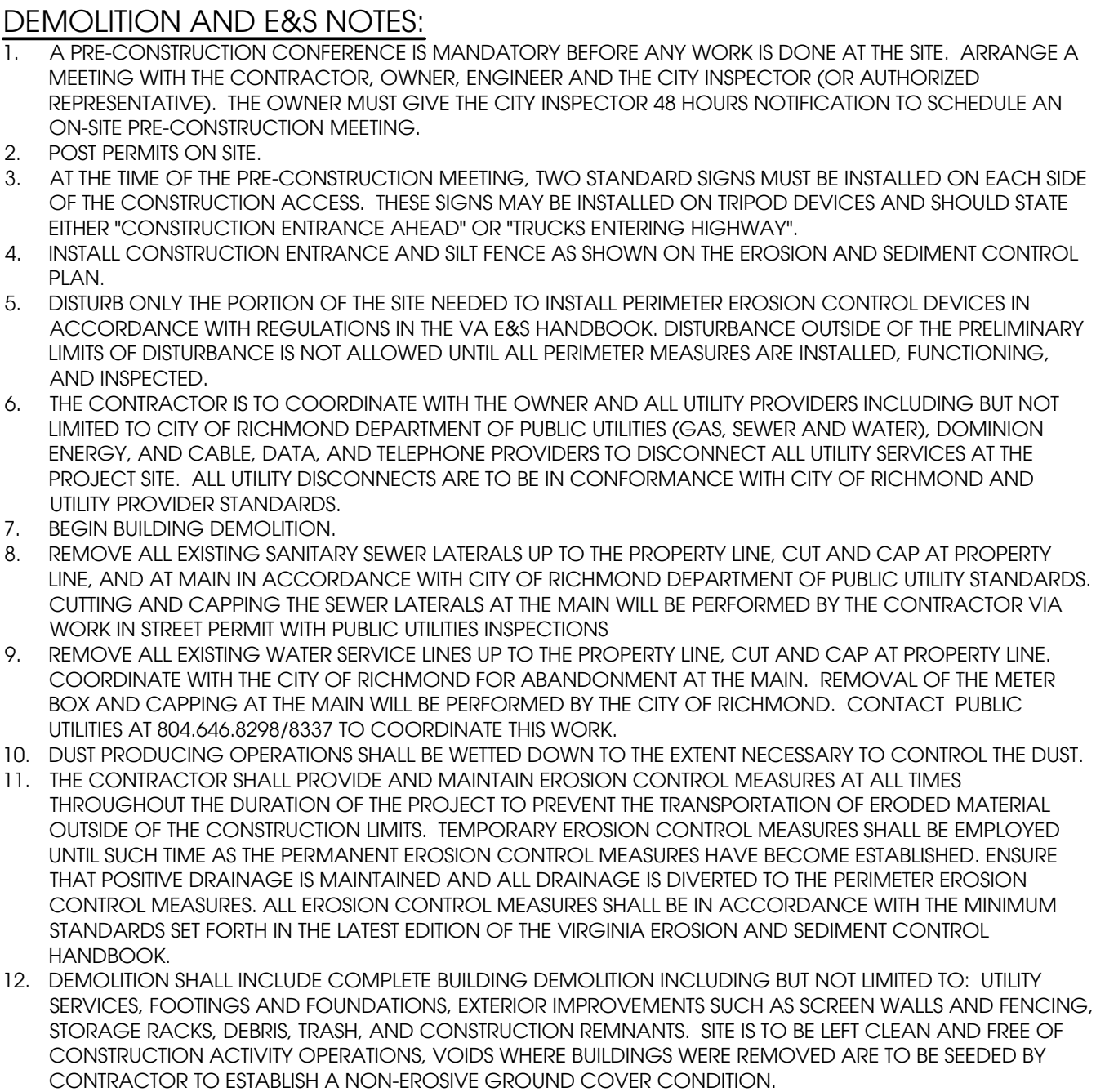
PROJECT MANAGER : KEITH STANLEY

PROJECT NO. : 10481

SCALE : AS SHOWN



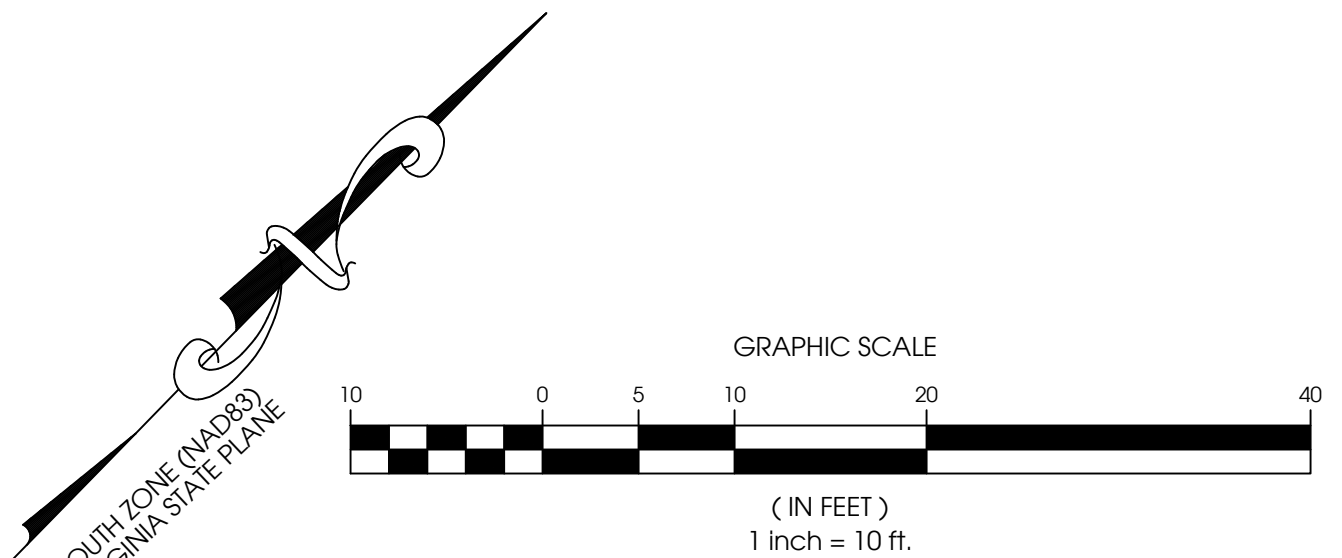
C-101



FOR ALL PROPOSED TIE-INS FOR STORM SEWER OR SANITARY SEWER TO EXISTING LINES, AND PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL POST-HOLE THE APPROPRIATE LOCATION TO FIELD VERIFY THE ACTUAL INVERT TO CONFIRM THE DESIGN SHOWN ON THE PLAN OR PROFILE. SHOULD ANY DISCREPANCY BE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY TO MAKE ANY APPROPRIATE ADJUSTMENTS.

THE DEMOLITION PLAN PROVIDED IS AN ATTEMPT TO DELINEATE ITEMS THAT CURRENTLY EXIST ON SITE THAT NEED TO BE DEMOLISHED OR ALTERED AS PART OF THE IMPROVEMENTS. THE CONTRACTOR SHALL WALK THE EXISTING SITE, FAMILIARIZE HIMSELF WITH THE CURRENT CONDITIONS, AND COORDINATE THE DEMOLITION PLAN WITH THE LAYOUT, GRADING, AND UTILITY IMPROVEMENTS WITH THE ACTUAL FIELD CONDITIONS TO ENSURE THAT ALL ITEMS TO BE DEMOLISHED OR ALTERED ARE ACCOUNTED FOR PRIOR TO COMMENCING CONSTRUCTION. ITEMS NOT SPECIFICALLY DENOTED TO BE REMOVED ON THE DEMOLITION PLAN BUT REQUIRED TO BE FOR THE IMPROVEMENTS MAY IMPACT THE CONTRACTOR'S MEANS AND METHODS, SEQUENCING AND SCHEDULING.

CONTRACTOR SHALL CALL "MISS UTILITY" 48 HOURS PRIOR TO THE START OF EXCAVATION. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT THE ENGINEER IMMEDIATELY IF THE LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLAN, IF THERE APPEARS TO BE A CONFLICT, AND/OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON PLAN. CONTACT MISS UTILITY OF VIRGINIA: 1-800-552-7001 (TOLL FREE)



REVISION BLOCK

1/2021	PER CITY COMMENTS

[illegible]

SPECIAL USE PERMIT

CITY OF RICHMOND, VA

SHEET NO.

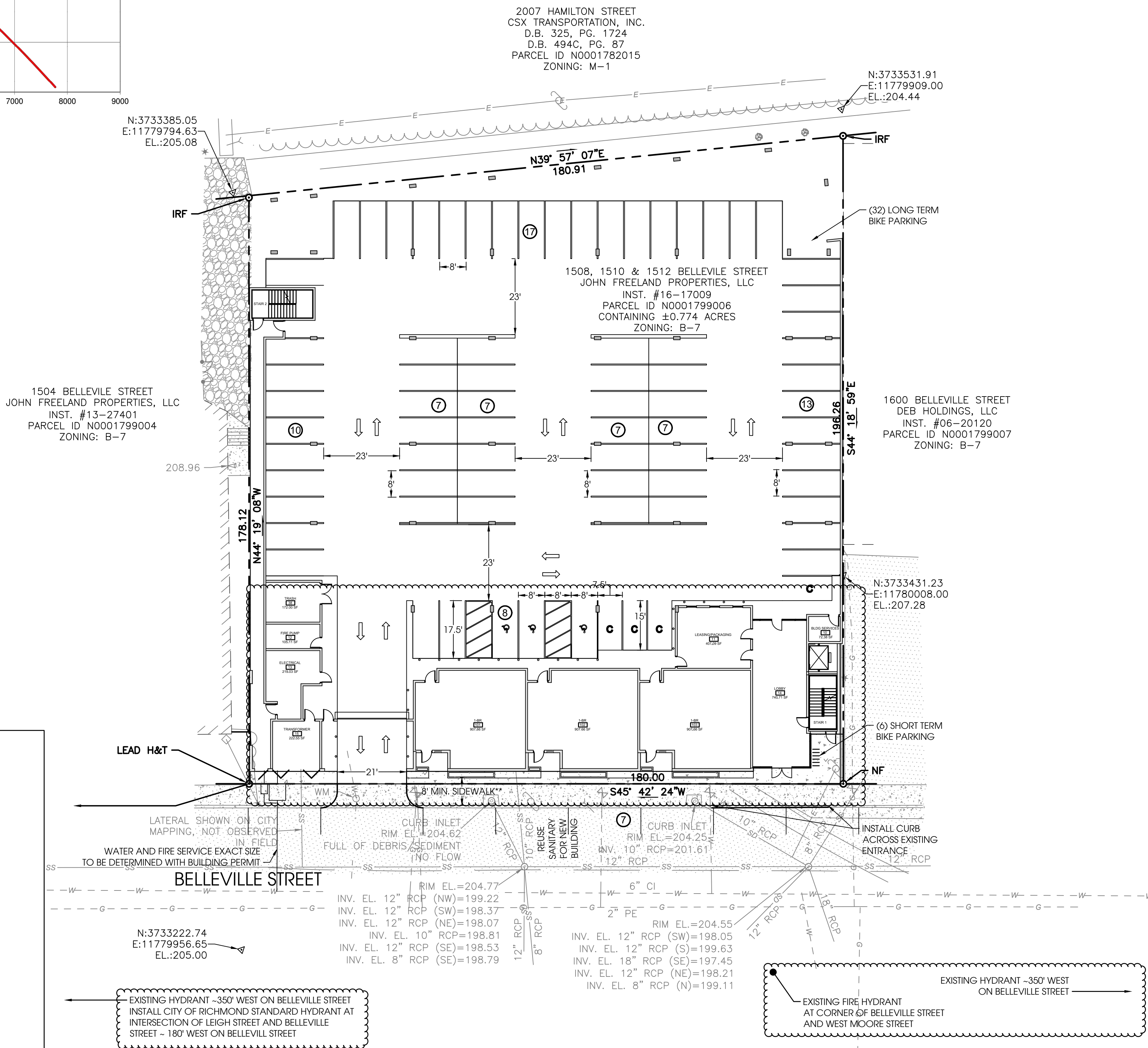
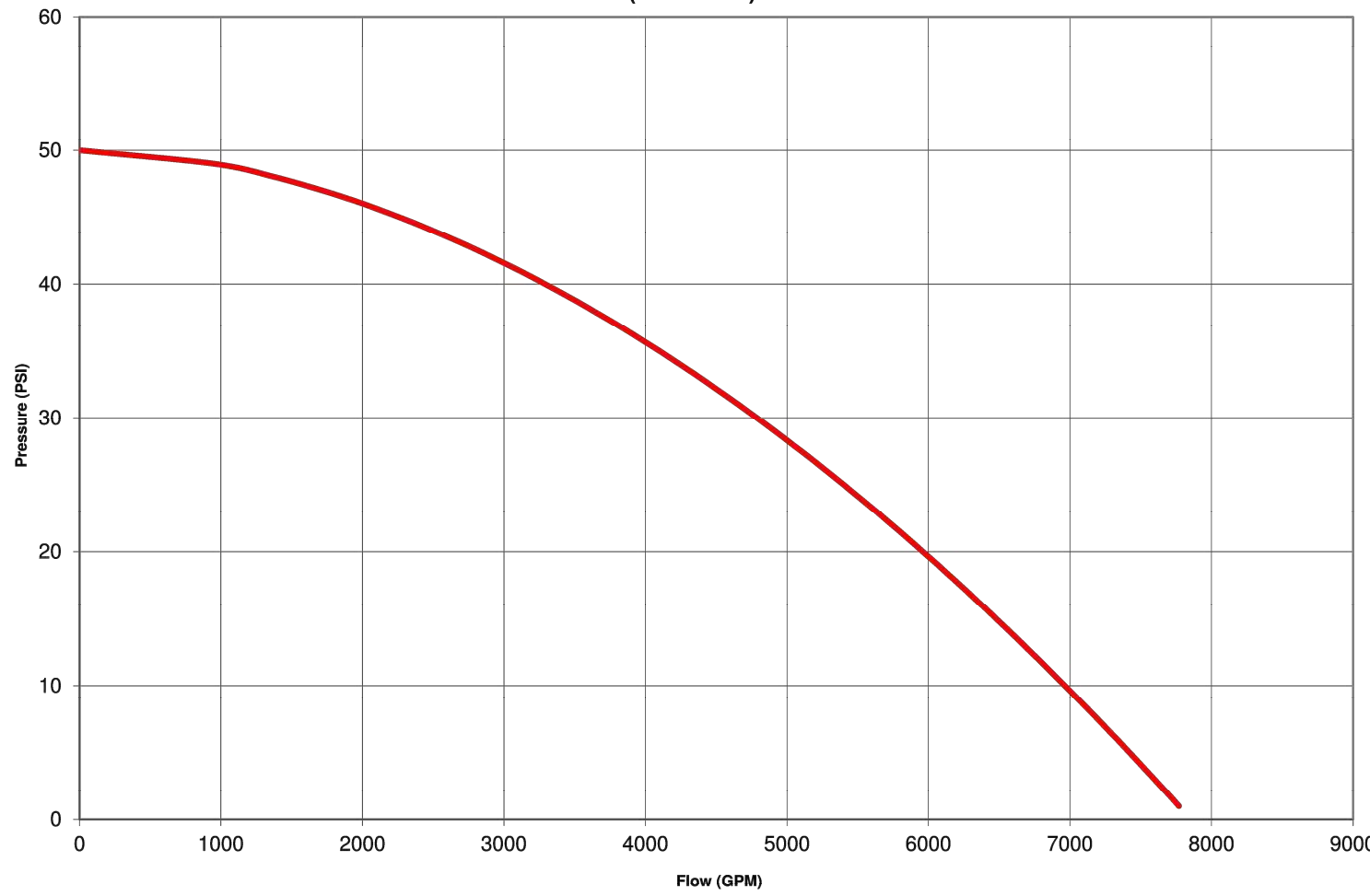
C-102

QUALITY ASSURANCE: STIG OWENS

PROJECT MANAGER: KEITH STANLEY

SCALE : AS SHOWN

Available Flow Rate On Belleville Street Between
W. Clay Street and Moore Street Per Flow Test 2021
(Elev = 204')



UTILITY NOTES AND MATERIAL SPECIFICATIONS

GENERAL

- CONTRACTOR MUST FIELD VERIFY THE ELEVATION AND LOCATION OF ALL EXISTING MANHOLES, GAS LINES, AND OTHER UTILITY LINES PRIOR TO CONSTRUCTION
- SANITARY SEWER LATERAL AND MAIN EXTENSION IS TO BE INSTALLED BY THE CONTRACTOR. CONTRACTOR MUST APPLY FOR A WORK IN STREET PERMIT TO PERFORM INSTALLATION.
- WATER AND FIRE SERVICE, INCLUDING THE FIRE HYDRANT, FROM THE MAIN UP TO AND INCLUDING THE METER BOX/DETECTOR VAULT IS TO BE INSTALLED BY THE CITY OF RICHMOND. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SERVICE FROM THE METER BOX TO THE BUILDING AS SHOWN ON PLAN

PUBLIC UTILITIES

- ALL UTILITIES WITHIN PUBLIC RIGHT OF WAY ARE TO BE INSTALLED PER THE LATEST EDITION OF THE CITY OF RICHMOND DEPARTMENT OF PUBLIC UTILITIES AND DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS
- THE CONTRACTOR MUST USE A MECHANICAL HOLE CUTTER WHEN TAPPING THE EXISTING SEWER MANHOLE AND THAT AN APPROVED SADDLE SHALL BE USED TO MAKE THE CONNECTION
- SANITARY SEWER IN THE RIGHT OF WAY IS TO BE CONSTRUCTED OF EITHER CL51 DUCTILE IRON OR SDR-35 PVC
- WATER MAIN INSTALLATIONS 3" AND LARGER ARE TO BE DUCTILE IRON OF THE THICKNESS CLASS PER THE BELOW TABLE:

PIPE SIZE	THICKNESS CLASS
3"	51
4"	53
6"	54
8"	54
12"	52

- WATER SERVICES 2" AND UNDER ARE COPPER

PRIVATE UTILITIES (I.E. ON PRIVATE PROPERTY AND/OR BEHIND THE METER BOX)

- ALL SEWER FITTINGS AND PIPING MUST COMPLY WITH THE 2015 VERSION OF THE INTERNATIONAL PLUMBING CODE
- ALL PRIVATE SEWER PIPE IS TO BE SCHEDULE 40 PVC COMPLYING WITH ASTM STANDARD D-2665
- ALL PRIVATE SEWER FITTINGS ARE TO BE PVC COMPLYING WITH ASTM STANDARD D-3034
- ALL PRIVATE WATERLINE FITTINGS AND PIPING MUST COMPLY WITH 2015 VERSION OF THE INTERNATIONAL PLUMBING CODE
- ALL PRIVATE WATERLINE PIPE IS TO BE SCHEDULE 40 PVC COMPLYING WITH ASTM STANDARD D-1785
- ALL PRIVATE WATERLINE FITTINGS ARE TO BE PVC COMPLYING WITH ASTM STANDARD D-2464

SITE NOTES

- COORDINATE SIDEWALK JOINT PATTERN WITH ARCHITECTURAL SITE PLAN.
- ALL WORK IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO PAVEMENT RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF RICHMOND RIGHT OF WAY EXCAVATION AND RESTORATION MANUAL.
- PER SECTION 30-710.3:1 OF THE CITY OF RICHMOND ZONING ORDINANCE, DRIVE ISLE WIDTHS HAVE BEEN REDUCED FROM 25 FT. TO 23 FT. AND PARKING SPACE DIMENSIONS ARE 8 FT x 17.5 FT.

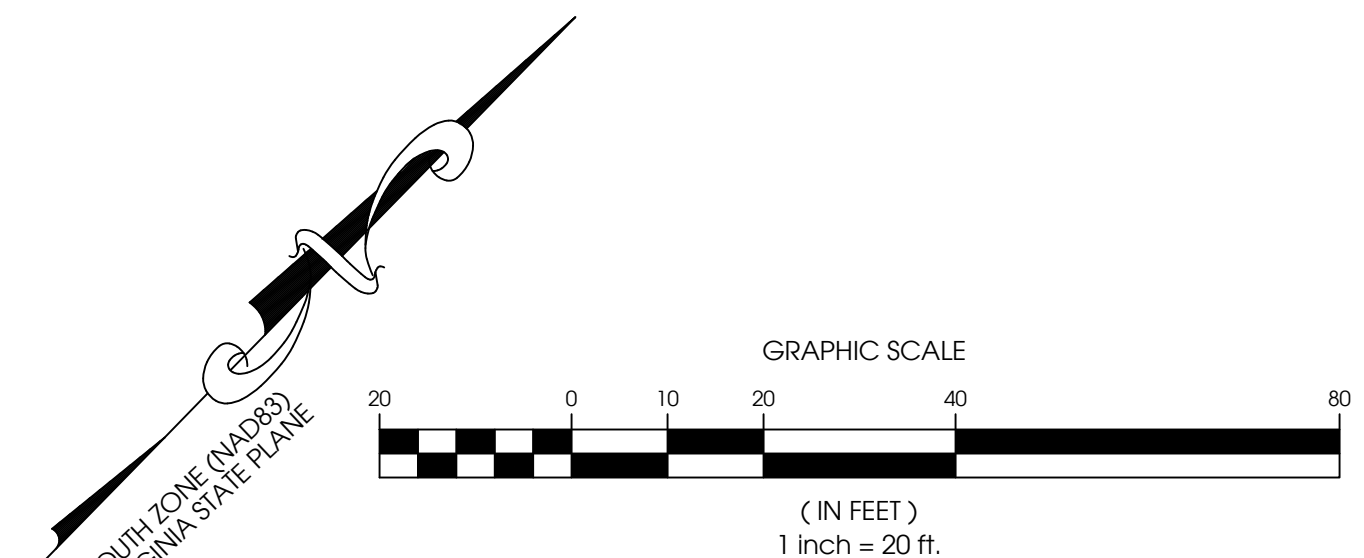
** 8" MINIMUM SIDEWALK FROM FACE OF BUILDING TO BACK OF CURB SHALL BE PROVIDED. A 6.5' SIDEWALK FROM BACK OF CURB TO PROPERTY LINE IS EXISTING WITHIN THE PUBLIC R/W. A MINIMUM OF 1.5' SHALL BE PROVIDED ON THE PRIVATE SIDE OF THE R/W.

UTILITY NOTE

FOR ALL PROPOSED TIE-INS FOR STORM SEWER OR SANITARY SEWER TO EXISTING LINES, AND PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL POT-HOLE THE APPROPRIATE LOCATION TO FIELD VERIFY THE ACTUAL INVERT TO CONFIRM THE DESIGN SHOWN ON THE PLAN OR PROFILE. SHOULD ANY DISCREPANCY BE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY TO MAKE ANY APPROPRIATE ADJUSTMENTS.

MISS UTILITY OF VIRGINIA

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ISO (Insurance Service Office) Method of Calculating NFF (Needed Fire Flow)

Project Name: Henry County Adult Detention Facility

Type of Construction: **Wood Frame Construction** (Class Factor F=1.5)

Ground Floor Area (GFA): **34,294** (Effective Area: **29,022**)

Fire Area Considered: **29,022**

Construction Factor: **C=1.8** (Class Factor F=1.5)

Occupancy Class: **Assembly** (Water Code Occupancy Factor: **0.8**)

Calculate Exposure (E) and Communication (C):

Distance (FT) to the Exposure Building: **150**

Quality of Facing Wall of Exposure Building: **0.5**

Base Wind: **10**

Exposure Building Class: **0**

Description of protection: **Unprotected**

Communication Type: **Open Fire-resistant, Noncombustible, or Stone-Burning Communications**

Length: **150**

Calculated FFI= **8**

Needed Fire Flow: **1,100**

Over Building Have Automatic Sprinklers: **0**

Reduction Factor (RF) x NFF= **920**

Required Fire Flow Total= **920**

Discharge Fire Flow= **920**

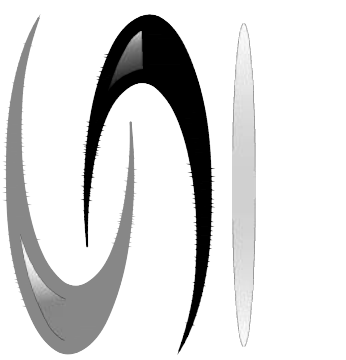
Number of Hydrants Required= **4**

Additional hydrants may be required based on 350' rule

Calculations of ISO Method Based on "Distribution System Requirements by Fire Protection"

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DATE : DECEMBER 11, 2020

REVISION BLOCK

DATE DESCRIPTION

2/23/2021 PER CITY COMMENTS

4/21/2021 PER CITY COMMENTS

510 ARCHITECTS, LLC

3330 W. LEIGH STREET, SUITE A

RICHMOND, VA 23230

C/O: MR. JOHN WHITE

SPECIAL USE PERMIT

DRAWINGS

1508-1512

BELLEVILLE STREET

CITY OF RICHMOND, VA

LAYOUT & UTILITY PLAN

SHEET NO.

C-103

PROJECT MANAGER : KEITH STANLEY

QUALITY ASSURANCE : STIG OWENS

SCALE : AS SHOWN

PROJECT NO. : 10481

UNIT MIX AND OPEN SPACE						
	STUDIO 700 SF avg	1-BR 750 SF avg	2-BR 900 SF avg	OVERALL 780 SF avg	TOTAL	OPEN SPACE SF
LEVEL 1	0	3	0		3	720
LEVEL 2	1	21	2		24	5,700
LEVEL 3	1	22	2		25	810
LEVEL 4	1	22	2		25	810
LEVEL 5	1	22	2		25	810
LEVEL 6	1	22	1		24	810
TOTAL	4%	89%	7%		126	9,660



1 LEVEL 2
A-1.1 1/8" = 1'-0"

1508-1512 BELLEVILLE STREET
MULTI-FAMILY BUILDING
1508-1512 BELLEVILLE STREET | RICHMOND, VA 23230

DATE	ISSUE	SUP SUBMISSION	NO.
12/11/2020	SUP SUBMISSION	09/23/2021	1

LEVEL 2 - TYP.
RESIDENTIAL
PODIUM



1508-1512 BELLEVILLE STREET
MULTI-FAMILY BUILDING
1508-1512 BELLEVILLE STREET | RICHMOND, VA 23230

12/11/2020	SUP SUBMISSION
04/22/2021	SUP REV 2
	2

PERSPECTIVE

A-2.0

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EXTERIOR MATERIAL LEGEND	
CO-1	EXPOSED CONCRETE
FB-1	FACE BRICK
GL-1	TRANSPARENT GLAZING
GL-2	FROSTED GLAZING
MT-1	METAL GUARDRAIL
MT-2	SECURITY FENCING / SCREEN
PS-1	STUCCO - WHITE / LIGHT GRAY
SD-1	CORRUGATED METAL SIDING
SD-2	FIBER-CEMENT SIDING
SD-3	ACM PANEL SIDING
WD-1	WOOD SIDING (CEDAR OR NICHHA)



1
A-2.1
SOUTHWEST ELEVATION - SUP
1/8" = 1'-0"



2
A-2.1
BELLEVILLE ST ELEVATION - SUP
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
CO-1	EXPOSED CONCRETE
FB-1	FACE BRICK
GL-1	TRANSPARENT GLAZING
GL-2	FROSTED GLAZING
MT-1	METAL GUARDRAIL
MT-2	SECURITY FENCING / SCREEN
PS-1	STUCCO - WHITE / LIGHT GRAY
SD-1	CORRUGATED METAL SIDING
SD-2	FIBER-CEMENT SIDING
SD-3	ACM PANEL SIDING
WD-1	WOOD SIDING (CEDAR OR NICHIA)



2
A-2.2
NORTHEAST ELEVATION - SUP
1/8" = 1'-0"



1
A-2.2
RAILWAY ELEVATION - SUP
1/8" = 1'-0"

DATE	ISSUE	SUP SUBMISSION	NO
12/11/2020	SUP SUBMISSION	1	1
04/22/2021	SUP REV 2	2	2

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