

518 W. 26TH STREET ADDITION

518 W. 26TH STREET RICHMOND, VA 23225



GENERAL NOTES

- DESIGN WAS PERFORMED IN ACCORDANCE WITH THE 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE
- EXISTING CONDITIONS INDICATED WERE DETERMINED BY LIMITED FIELD OBSERVATIONS. NOTIFY ARCHITECT IF ACTUAL CONDITIONS VARY FROM THOSE INDICATED.
- PROJECT SUMMARY:
WORK DESCRIBED HEREIN GENERALLY CONSISTS OF THE CONSTRUCTION OF AN ADDITION TO AN EXISTING RESIDENCE. ADDED SPACES INCLUDE A FIRST-FLOOR MASTER SUITE WITH BEDROOM, BATHROOM, LIVING SPACE, KITCHENETTE AND SUNROOM CONNECTOR. CONSTRUCTION METHODS INCLUDE MASONRY FOUNDATIONS AND WOOD-FRAMED WALLS AND ROOFS. EXTERIOR MATERIALS INCLUDE FACE BRICK, FIBER-CEMENT SIDING AND TRIMWORK, INSULATED WINDOWS AND ASPHALT SHINGLES.
- BUILDING AREA:
EXISTING: +/- 2,000 SF
NEW: 626 SF
TOTAL +/- 3,100 SF
- PROJECT ADDRESS:
518 W. 26TH STREET
RICHMOND, VA 23225
- OWNER:
JESSICA RICHARDS AND JEREMY WUSTNER-BROWN
202-417-5999
- ARCHITECT:
KYLAN SHIRLEY, AIA
540-818-6043

DRAWING INDEX

NUMBER	SHEET NAME
A0	COVER SHEET
A1	FLOORPLANS
A2	ELEVATIONS
A3	ENLARGED PLANS
A4	SECTIONS AND DETAILS
A5	WINDOWS AND DOORS
A6	FRAMING PLANS
A7	BRACED WALL PLAN

REVISIONS:
1. 1/15/2021 - CODE REVIEW RESPONSE
2. 3/1/2021 - CODE REVIEW RESPONSE
3. 6/7/2021 - CODE REVIEW RESPONSE

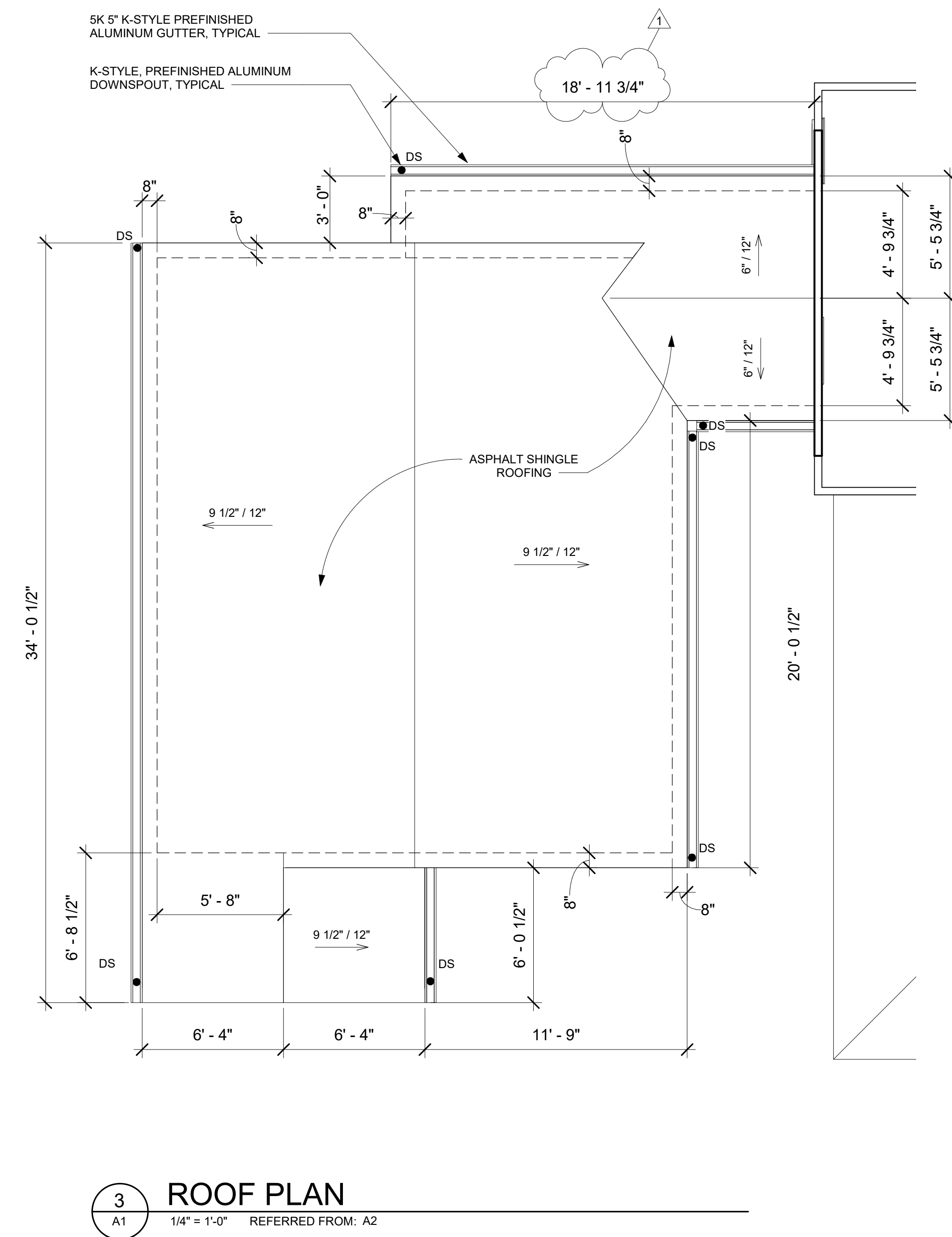
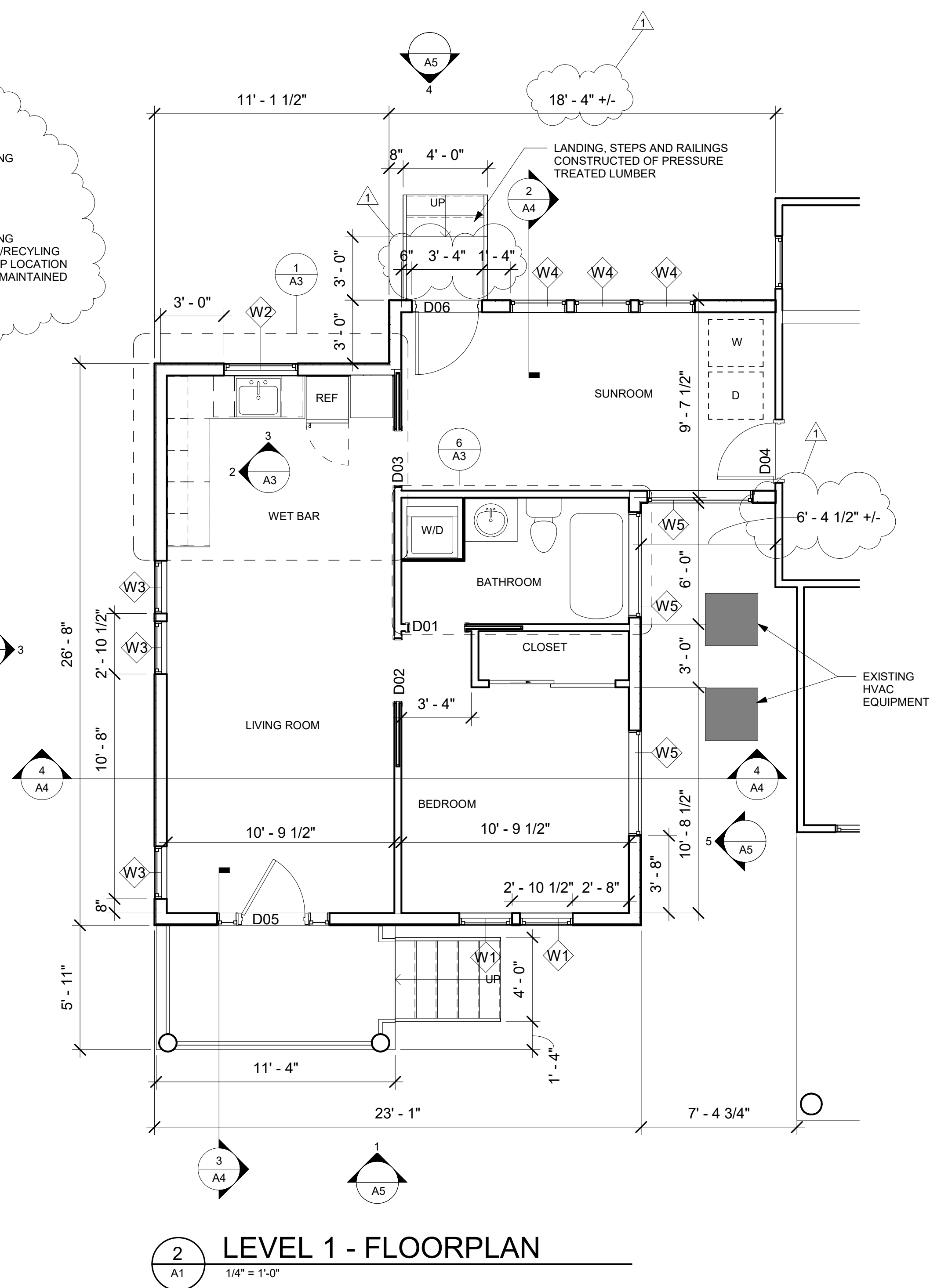
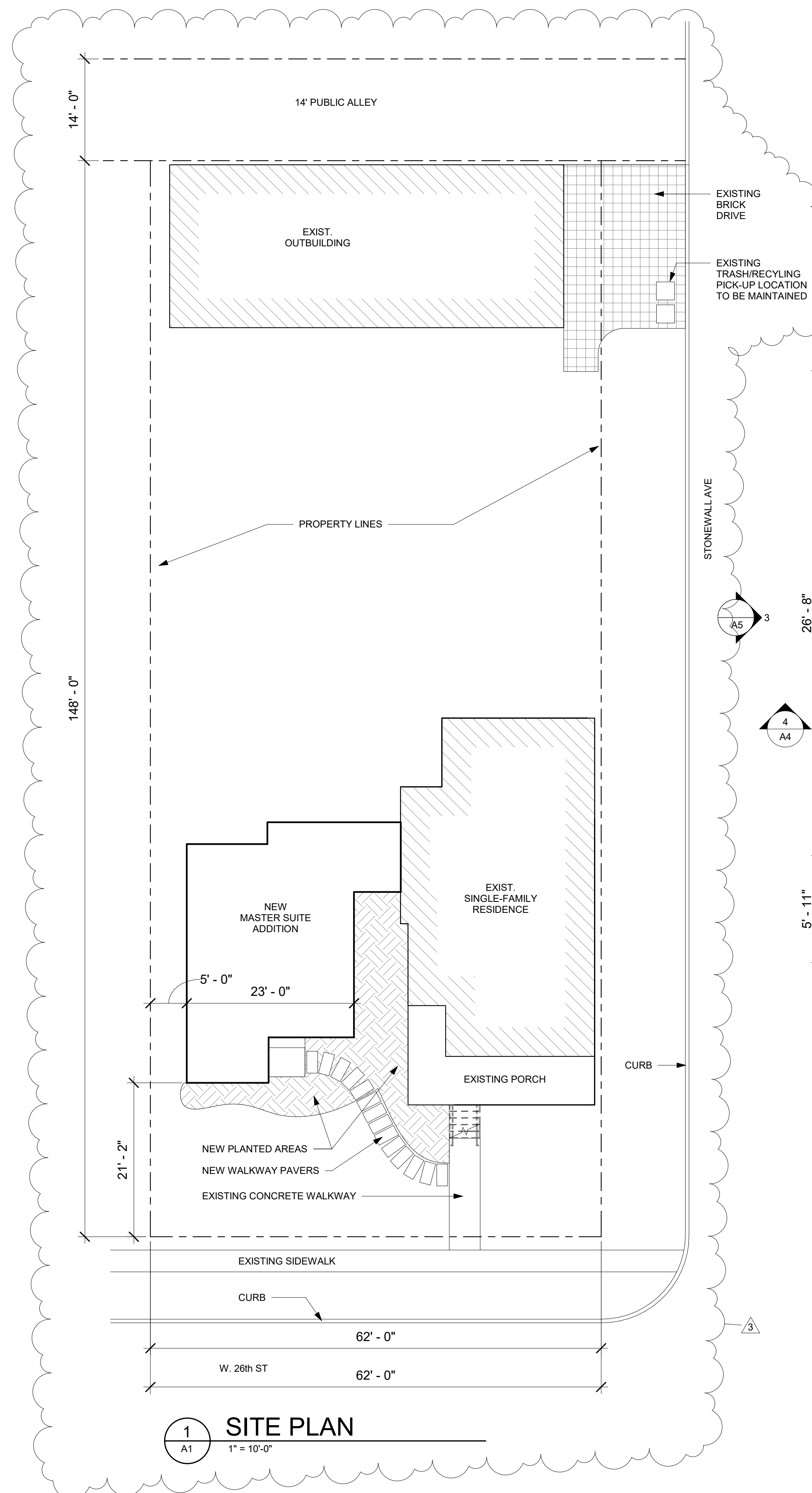


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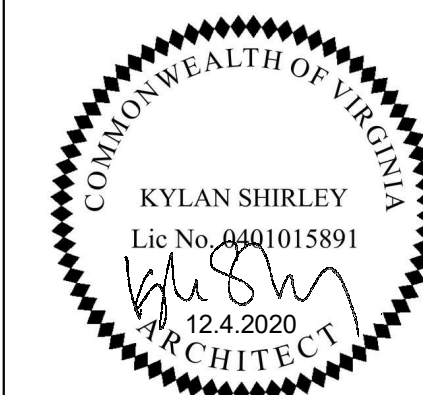
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A0 - COVER SHEET



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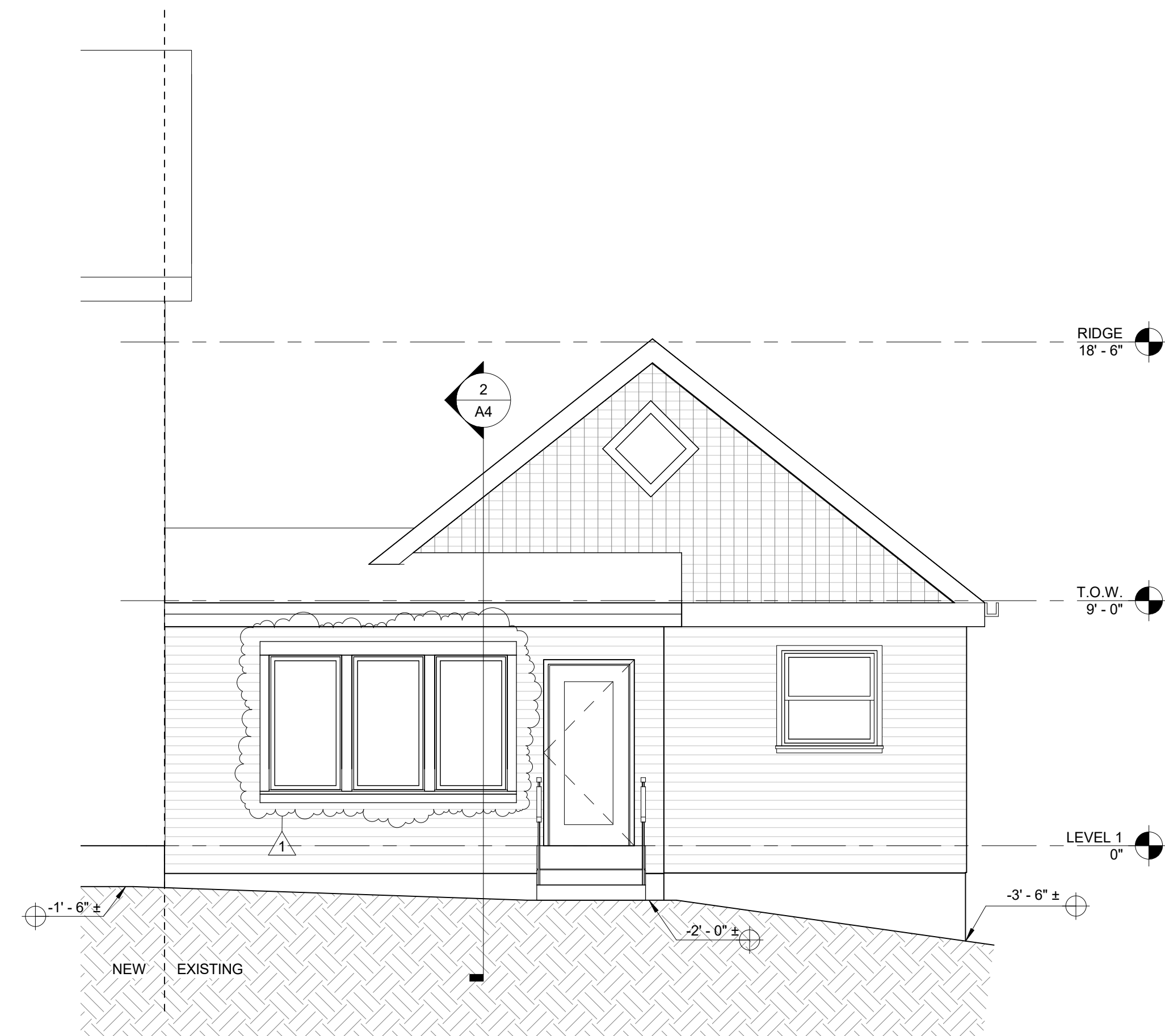
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A1 - SITE AND FLOORPLANS

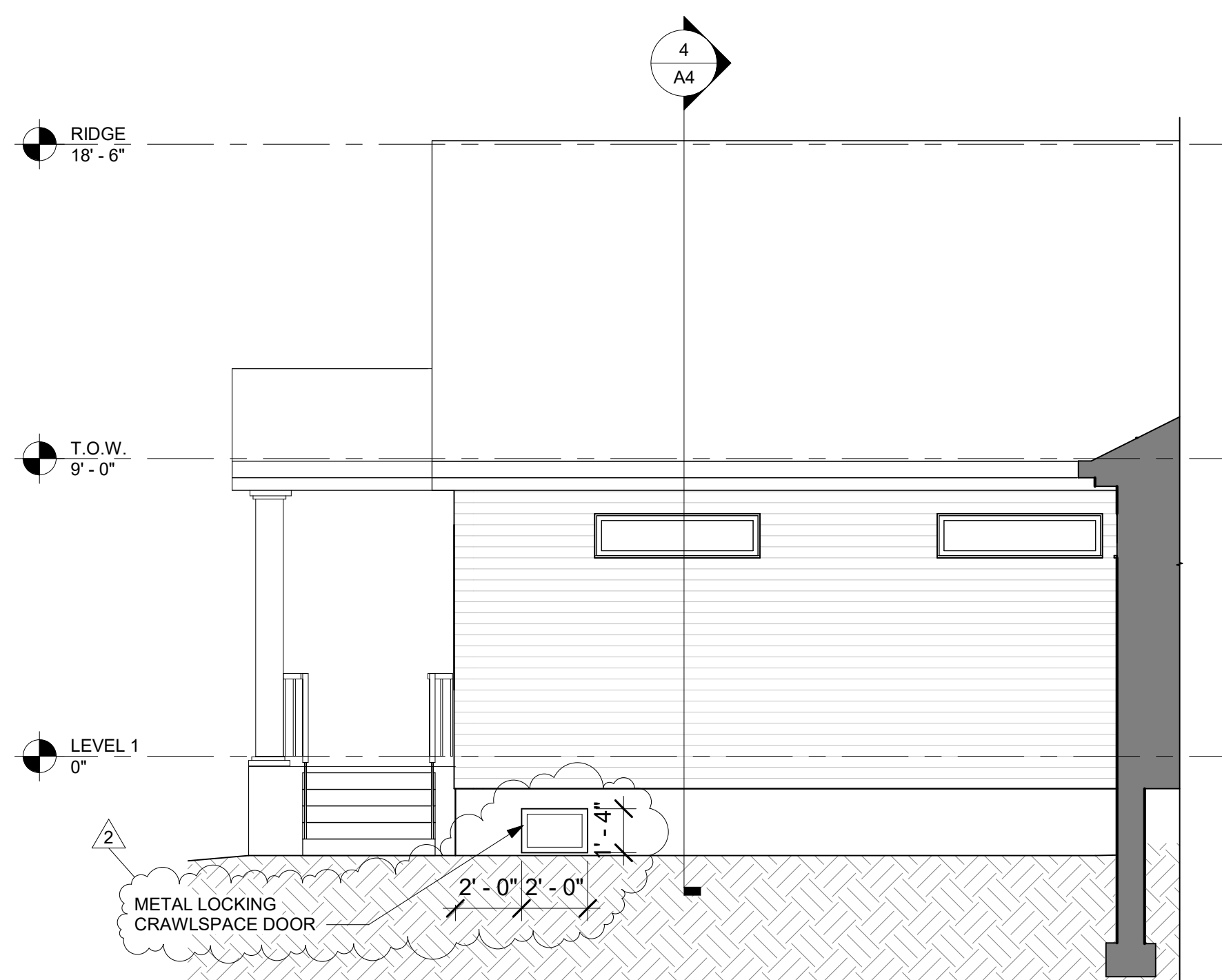


1
A2
ELEVATION - EAST
1/4" = 1'-0"

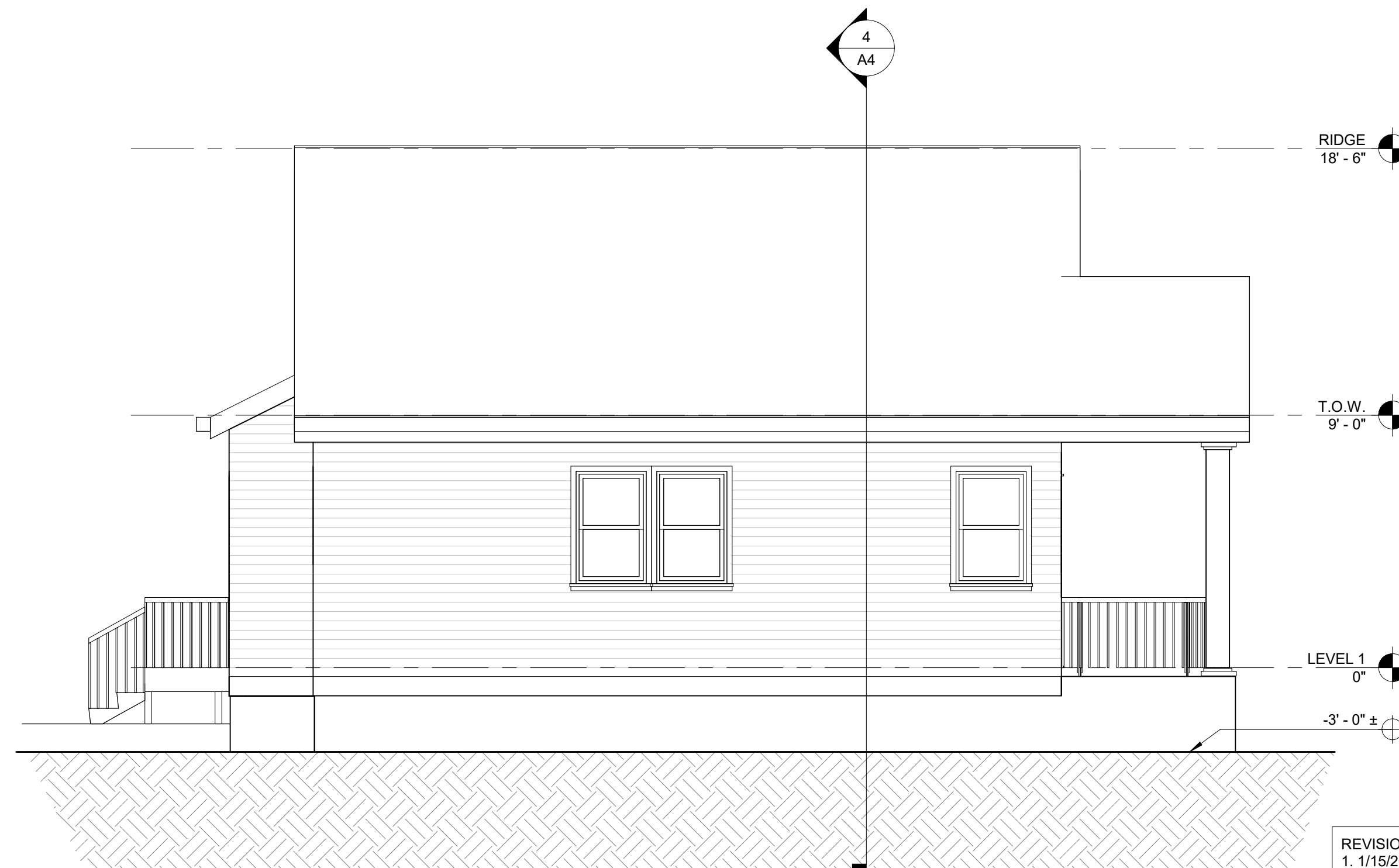
NOTE:
LINE OF FINISH GRADE SHOWN IS APPROXIMATE AND SHALL BE COORDINATED WITH
EXISTING GRADES AND OWNER AT TIME OF FINE GRADING. REFER TO INCLUDED SURVEY
AND SPOT ELEVATIONS FOR EXISTING GRADES. TYPICAL OF ALL ELEVATIONS THIS SHEET
AND SHEET A4 SECTIONS.



2
A2
ELEVATION - WEST
1/4" = 1'-0"

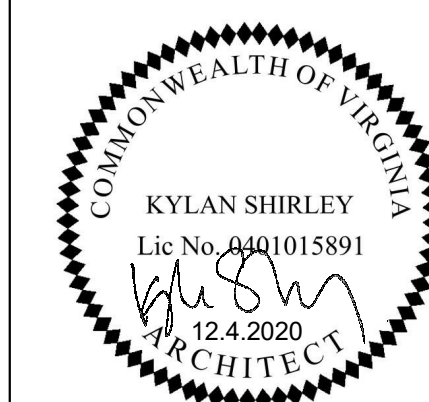


3
A2
ELEVATION - NORTH
1/4" = 1'-0"



4
A2
ELEVATION - SOUTH
1/4" = 1'-0"

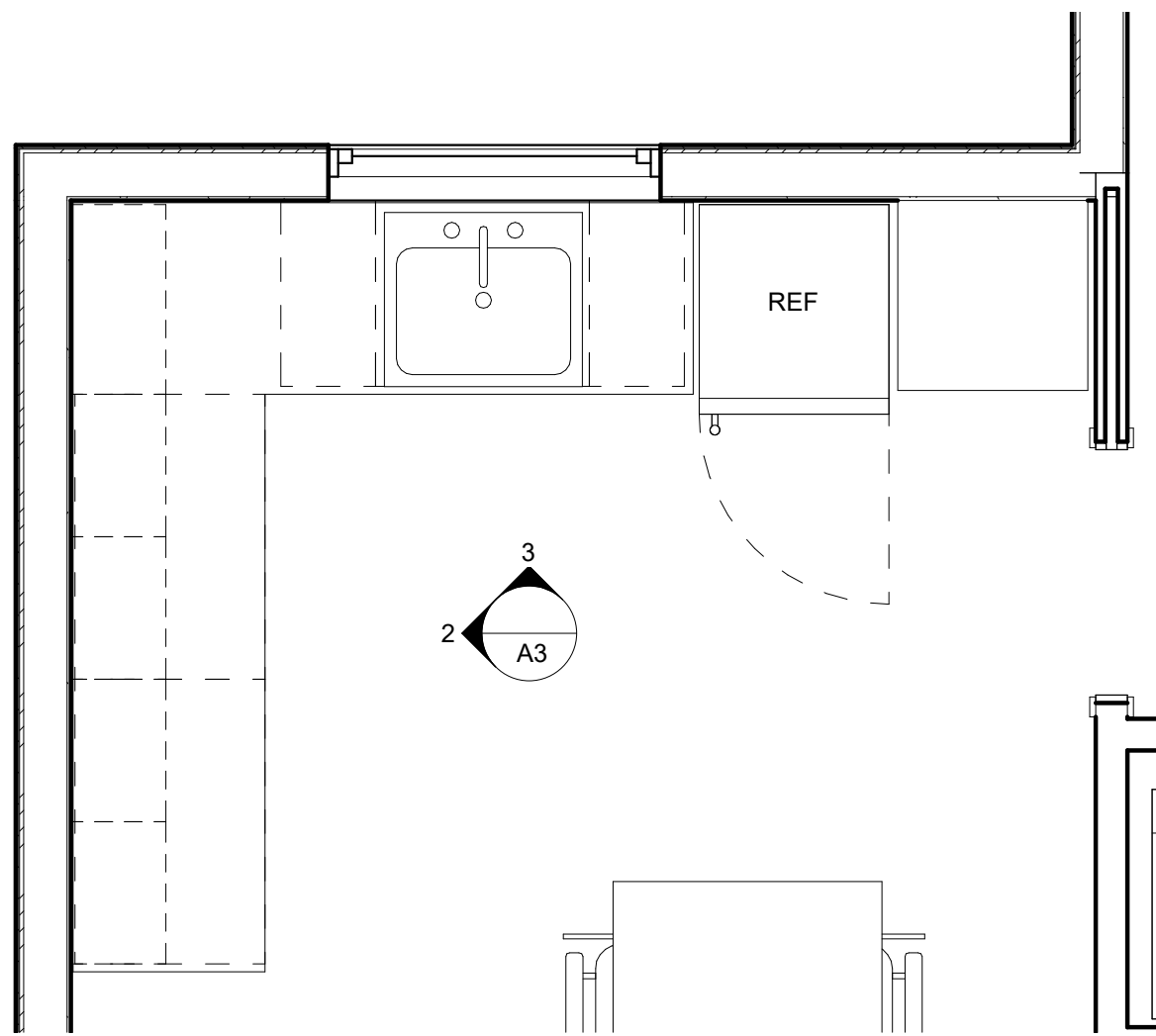
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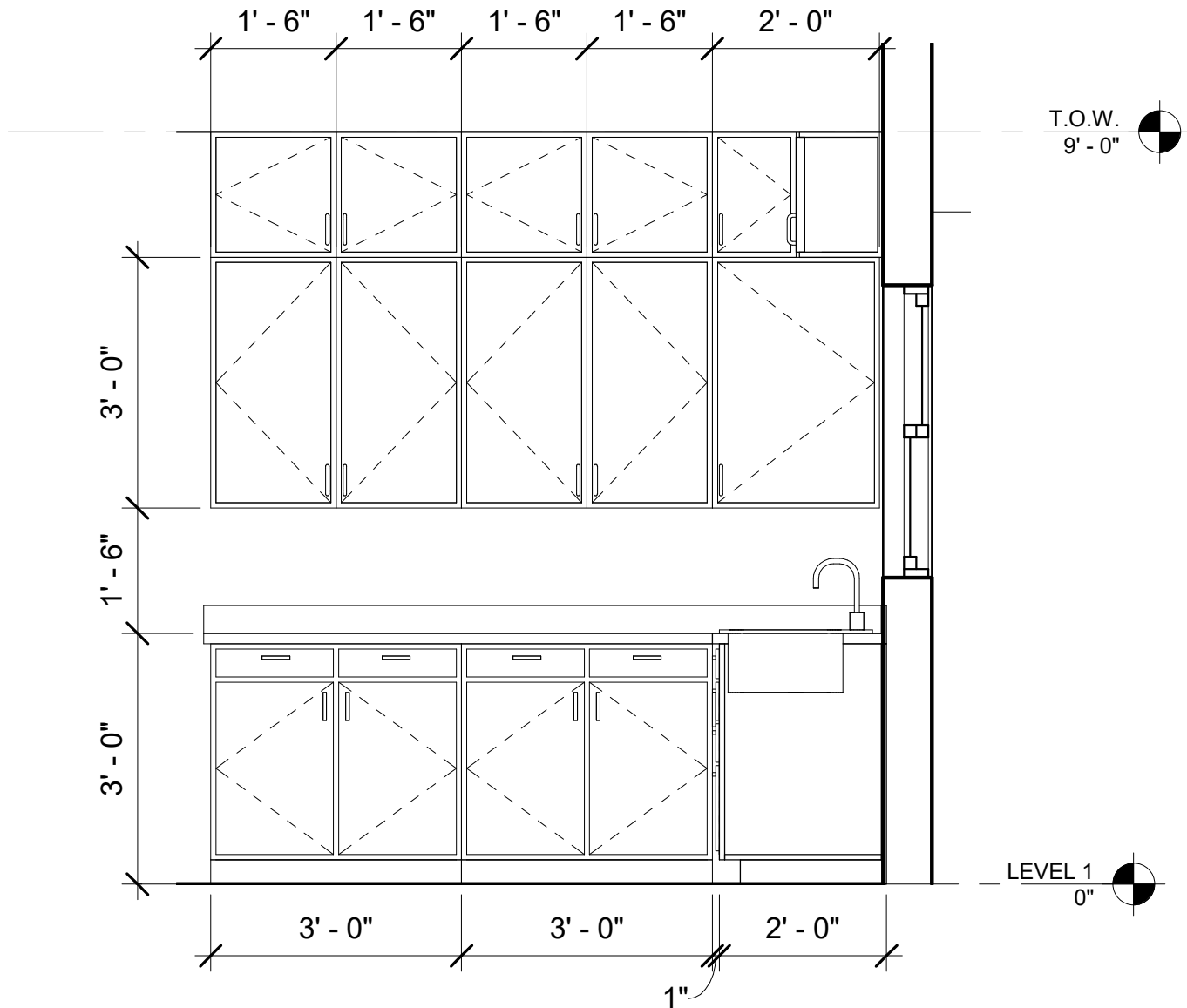
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A2 -ELEVATIONS

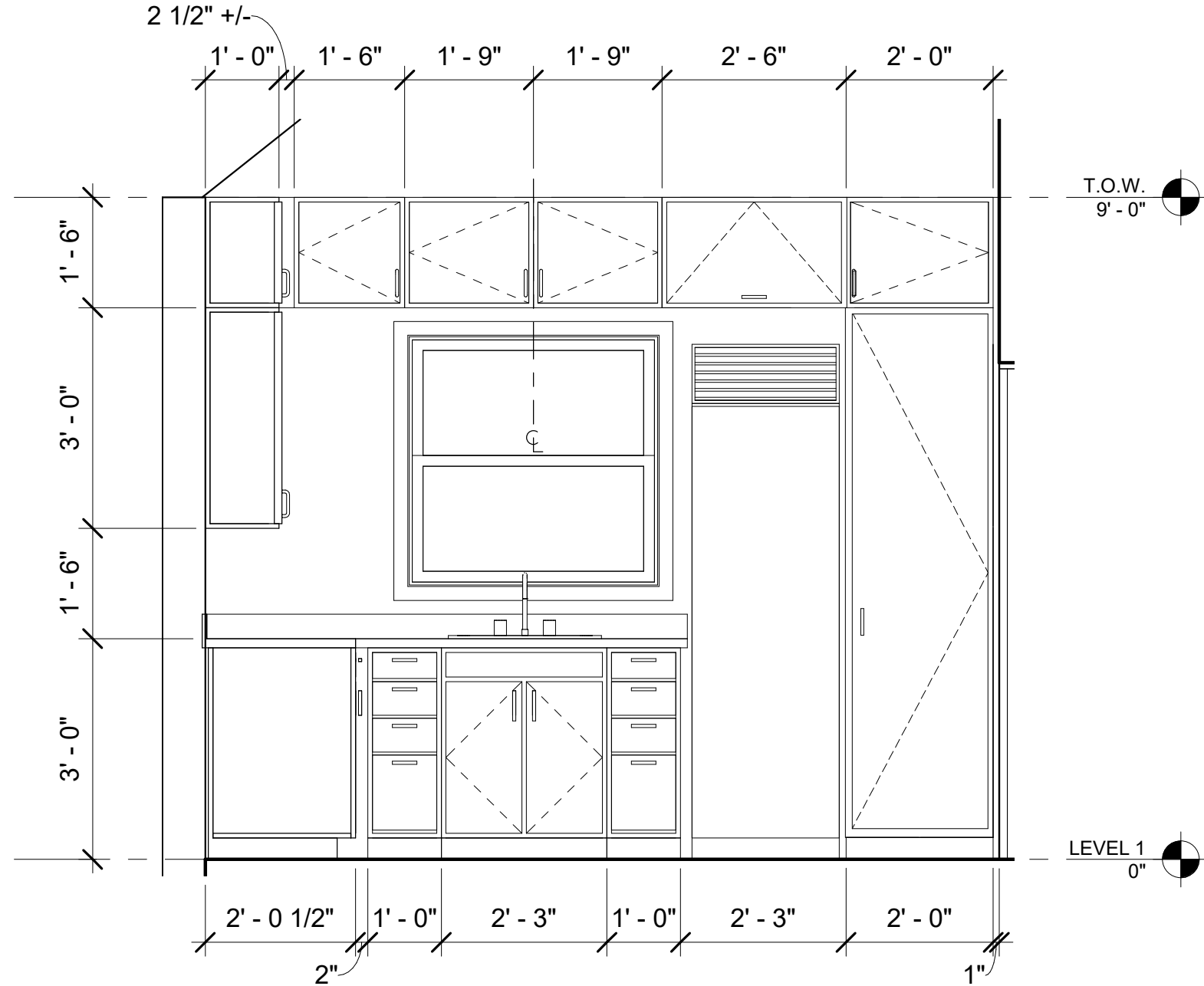


1 ENLARGED PLAN - WET BAR
A3 1/2" = 1'-0"



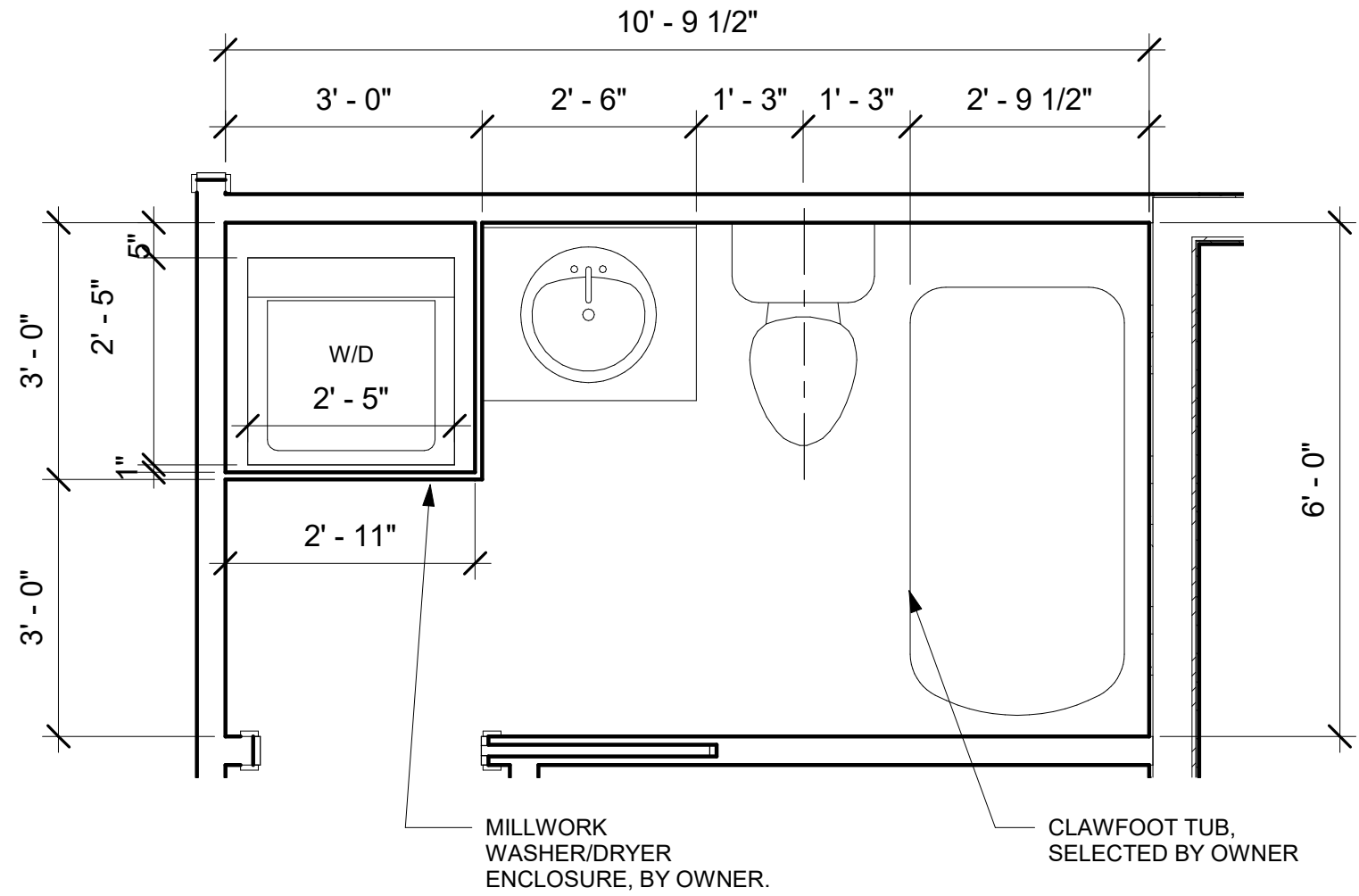
NOTE:
CABINETS ARE SHOWN FOR DIMENSIONS ONLY. CABINET FACE
STYLES AND HARDWARE ARE TO BE SELECTED BY OWNER, REFER
TO 'KITCHEN NOTES'

2 ELEVATION - WET BAR
A3 1/2" = 1'-0"



NOTE:
CABINETS ARE SHOWN FOR DIMENSIONS AND DOOR/DRAWER
LAYOUT ONLY. CABINET FACE STYLES AND HARDWARE ARE TO BE
SELECTED BY OWNER, REFER TO 'KITCHEN NOTES'

3 ELEVATION - WET BAR
A3 1/2" = 1'-0"



6 ENLARGED PLAN - BATHROOM
A3 1/2" = 1'-0"

WET BAR NOTES

- CABINETS:
A. BASE AND WALL CABINETS SHALL HAVE FRAMED BOXES W/ 3/4" SOLID WOOD FACE FRAMES
B. CABINET DOORS SHALL BE FULL OVERLAY STYLE. PANEL STYLE TO BE SELECTED BY OWNER.
C. HARDWARE TO BE SELECTED BY OWNER
- COUNTERS:
A. BASIS-OF-DESIGN: LG HI-MACS SOLID SURFACE 'QUARTZ' COUNTERTOP, OR EQUAL
B. THICKNESS: 3 CM
C. COLOR: TO BE SELECTED BY OWNER
D. STYLE: EASED EDGE
E. BACKSPLASH: 4" HIGH IN MATERIAL TO MATCH COUNTERTOP
- PLUMBING FIXTURES:
A. SINK:
a. BASIS-OF-DESIGN: MR DIRECT UNDERMOUNT STAINLESS STEEL SINGLE BOWL, OR EQUAL
b. DIMENSIONS: 23"W x 17 1/8"L X 9"D
B. FAUCET: TO BE SELECTED BY OWNER
- APPLIANCES:
A. REFRIGERATOR:
a. BASIS-OF-DESIGN: WHIRLPOOL 12.7 CU. FT. COUNTER-DEPTH BOTTOM FREEZER REFRIGERATOR WITH ICE-MAKER
b. MODEL #WRB543CMJZ

BATHROOM NOTES

- TUB SHALL BE CLAW-FOOT STYLE, MAKE AND MODEL SELECTED BY OWNER. BASIS-OF-DESIGN IS 5'-0"L x 2'-6"W
- TOILET SHALL BE SELECTED BY OWNER
- VANITY: SHALL BE SELECTED BY OWNER. BASIS-OF-DESIGN IS 30" WIDE
- WASHER/DRYER CABINET SHALL BE FULL HEIGHT MILLWORK PIECE TO BE FABRICATED BY OWNER AND INSTALLATION COORDINATED WITH CONTRACTOR

FINISH PLAN LEGEND

	ENGINEERED WOOD FLOORING
	CERAMIC TILE FLOORING

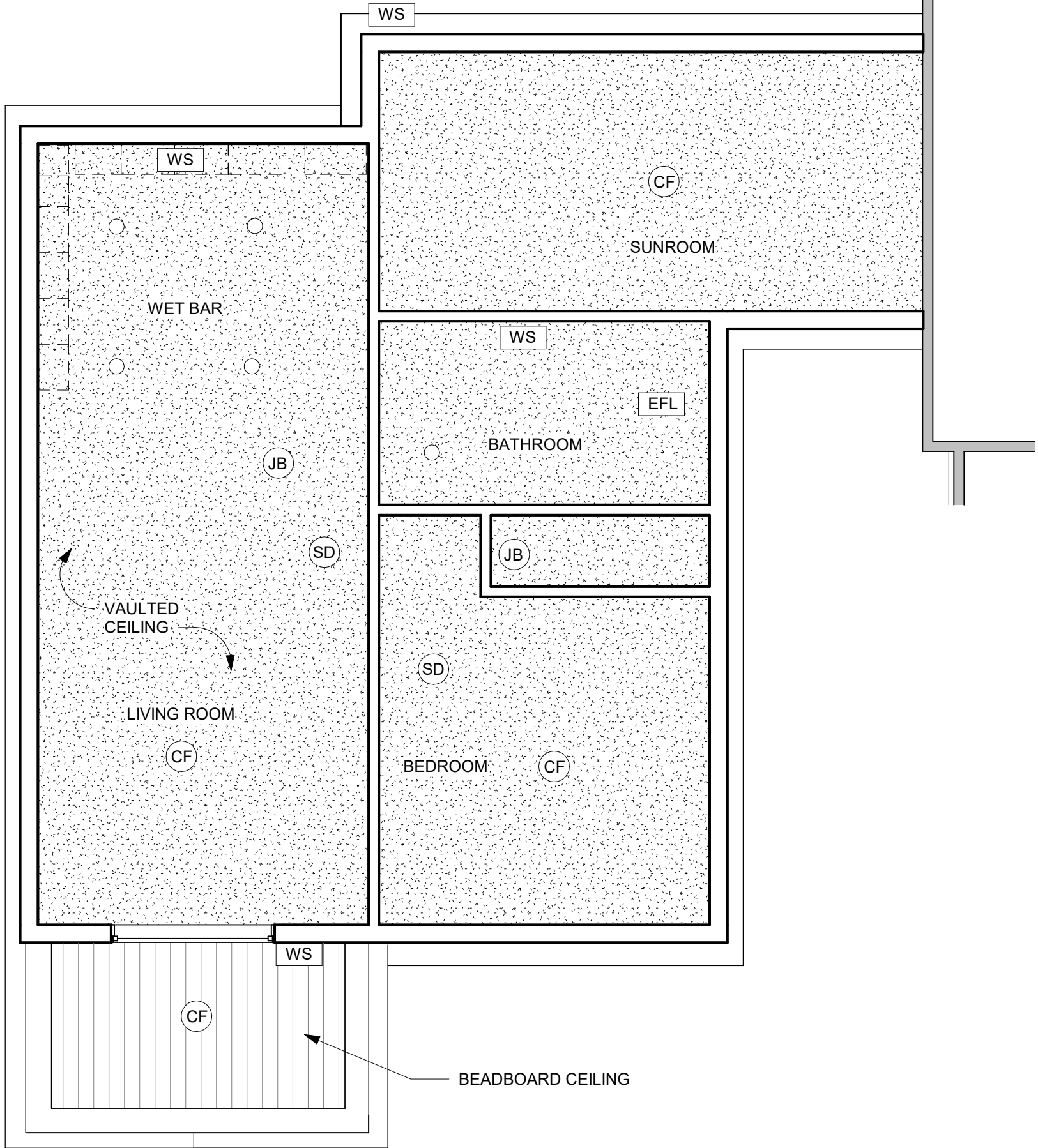
- NOTES:
- ENGINEERED WOOD FLOORING BASIS-OF-DESIGN:
A. PERGO MAX 5.36" ENGINEERED HARDWOOD FLOORING.
B. SPECIES TO BE SELECTED BY OWNER
 - CERAMIC FLOOR TILE BASIS OF DESIGN:
A. 12"x12" CERAMIC FLOOR TILE,
B. STYLE TO BE SELECTED BY OWNER
C. SUBSTRATE: SCHLUTER DITRA UNCOUPLING MEMBRANE OVER CEMENTBOARD
 - CERAMIC WALL TILE BASIS-OF-DESIGN:
A. 4" x 4" CERAMIC WALL TILE
B. STYLE TO BE SELECTED BY OWNER
C. SUBSTRATE: SCHULTER KERDI-BOARD WALL PANELS
 - BASE TRIM BASIS-OF-DESIGN:
A. AT ENGINEERED HARDWOOD FLOORS PROVIDE:
a. 5 1/4" YELLOW PINE BASEBOARD
b. 1/2" x 3/4" PINE 'QUARTER-ROUND' SHOE MOULDING
B. AT CERAMIC TILE FLOORS PROVIDE:
a. 3 1/2" YELLOW PINE BASEBOARD
b. 1/2" x 3/4" PINE 'QUARTER-ROUND' SHOE MOULDING
 - PROVIDE MARBLE SADDLE AT DOORWAYS WHERE CERAMIC TILE TRANSITIONS TO OTHER FINISH MATERIAL
 - PROVIDE WOOD SADDLES TO MATCH ENGINEERED HARDWOOD FLOORING FINISH AT ALL POCKETED DOORS BETWEEN ROOMS
 - TILE FINISHES SHALL BE INSTALLED SCHLUTER KERDI-BOARD

CEILING LEGEND

	GYPSUM WALL BOARD
	RECESSED DOWNLIGHT
	JUNCTION BOX FOR PENDANT LIGHT FIXTURE
	CEILING FAN
	SMOKE DETECTOR
	WALL SCONCE
	EXHAUST FAN WITH LIGHT



4 LEVEL 1 - FINISH PLAN
A3 1/4" = 1'-0"



- NOTES:
- CEILING PLAN SHOWS LIGHTING LAYOUT. FIXTURES AND FINAL LOCATIONS SHALL BE COORDINATED WITH OWNER.
 - ELECTRICAL RECEPTACLE AND OTHER ELECTRICAL WORK TO BE COORDINATED WITH OWNER.
 - PROVIDE (2) EXTERIOR DUAL-LAMP SPOTLIGHTS MOUNTED TO SOFFIT (NOT SHOWN), LOCATION TO BE COORDINATED WITH OWNER.

5 LEVEL 1 - REFLECTED CEILING PLAN
A3 1/4" = 1'-0"

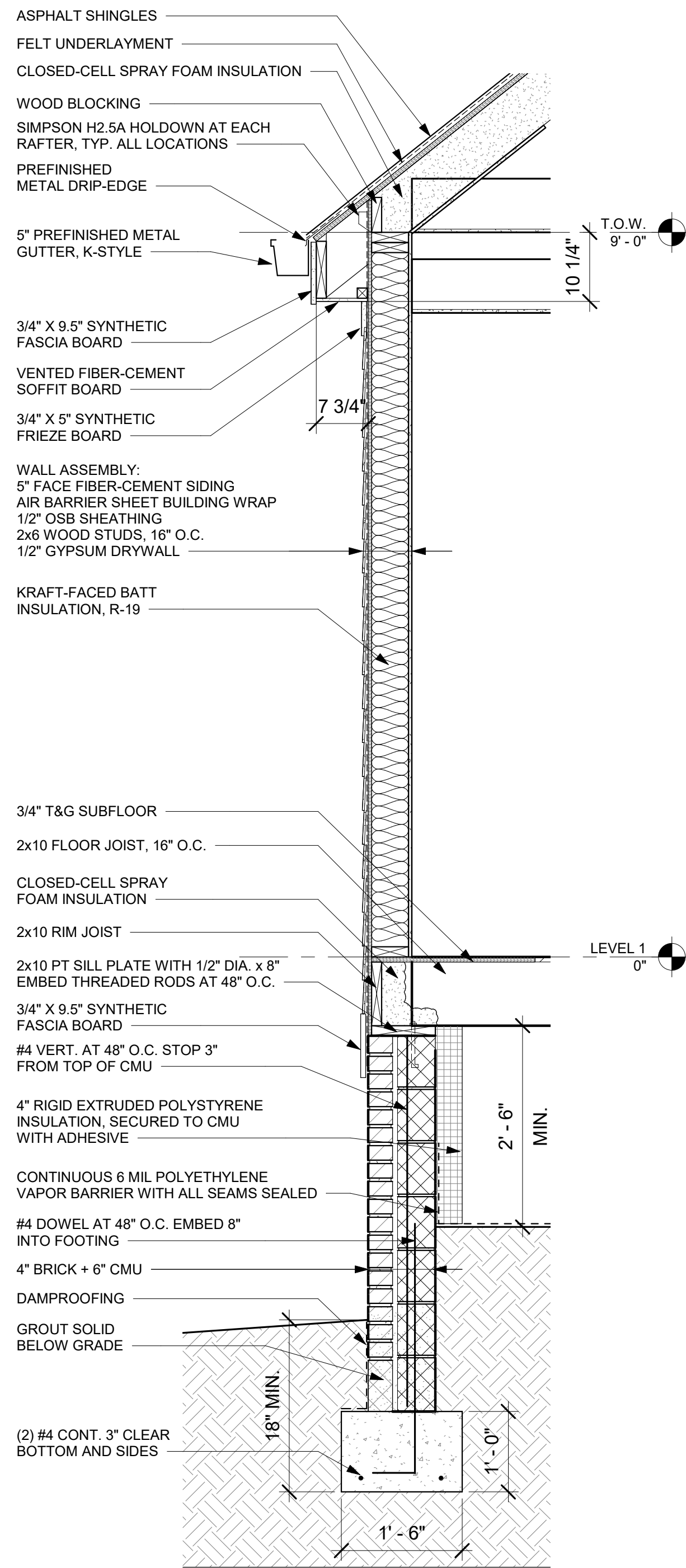
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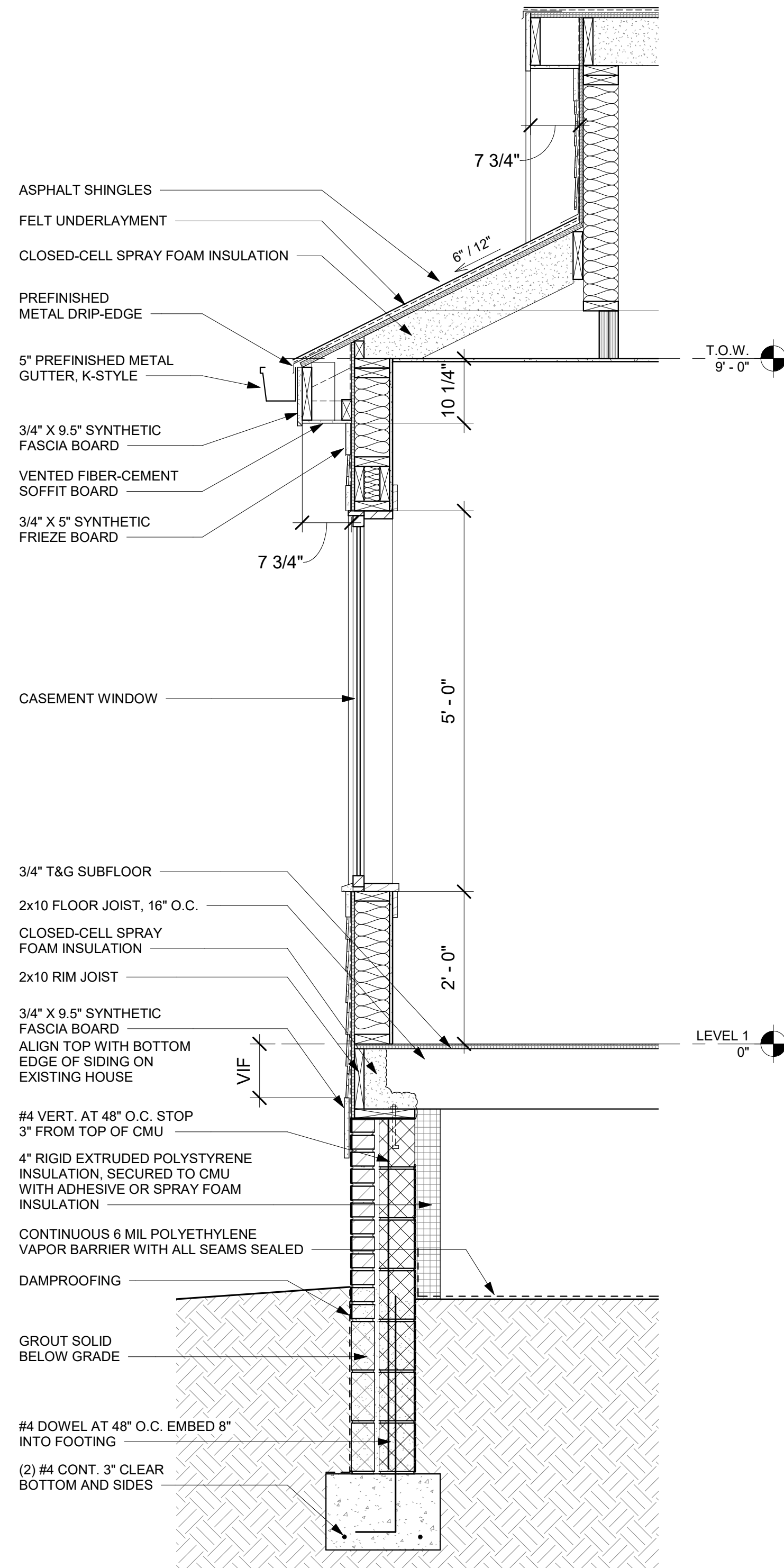
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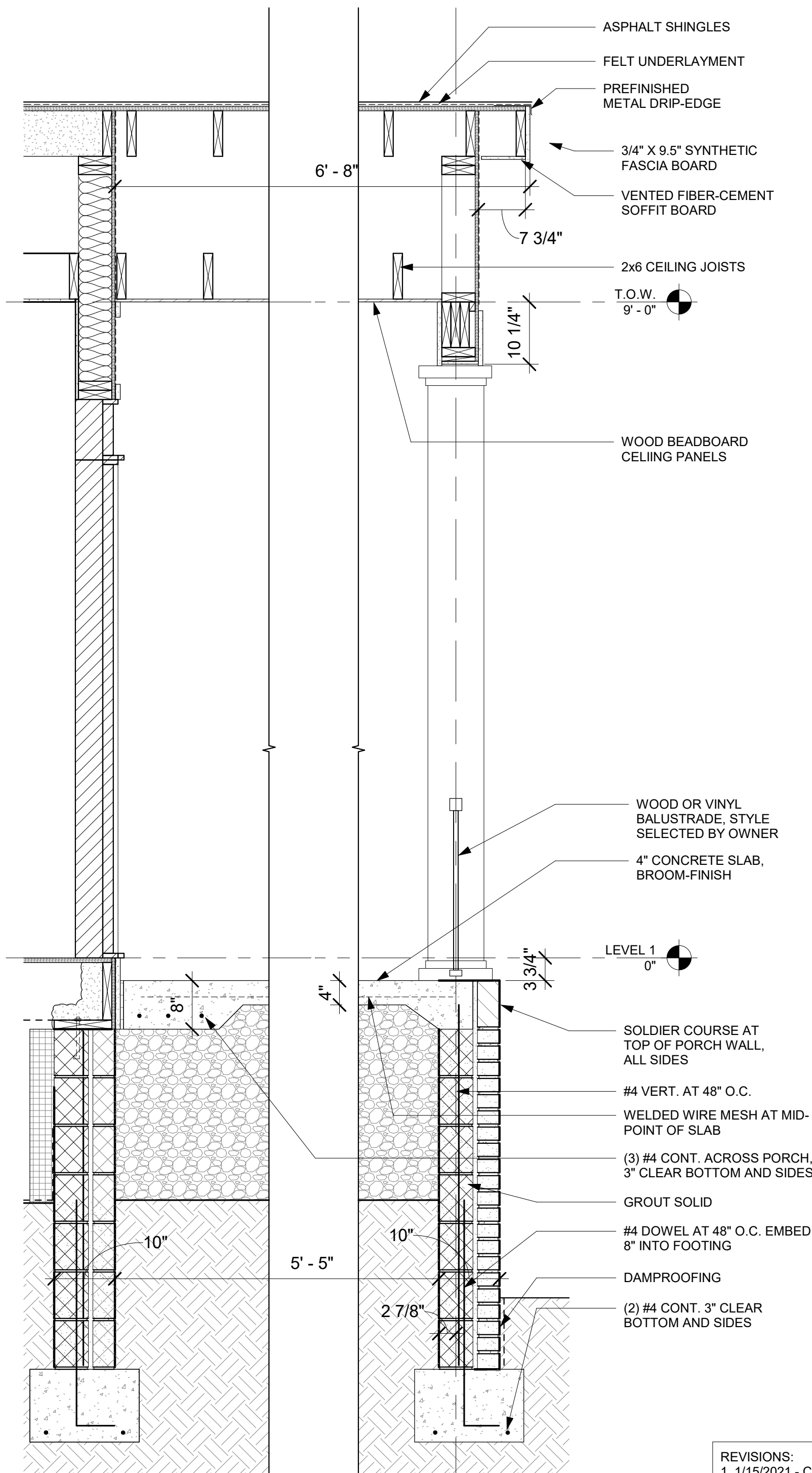
A3 - ENLARGED PLANS & DETAILS



1 WALL SECTION
3/4" = 1'-0"

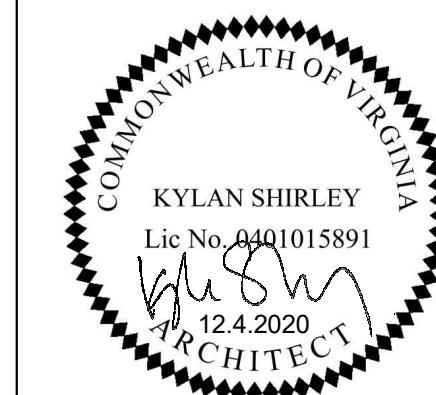
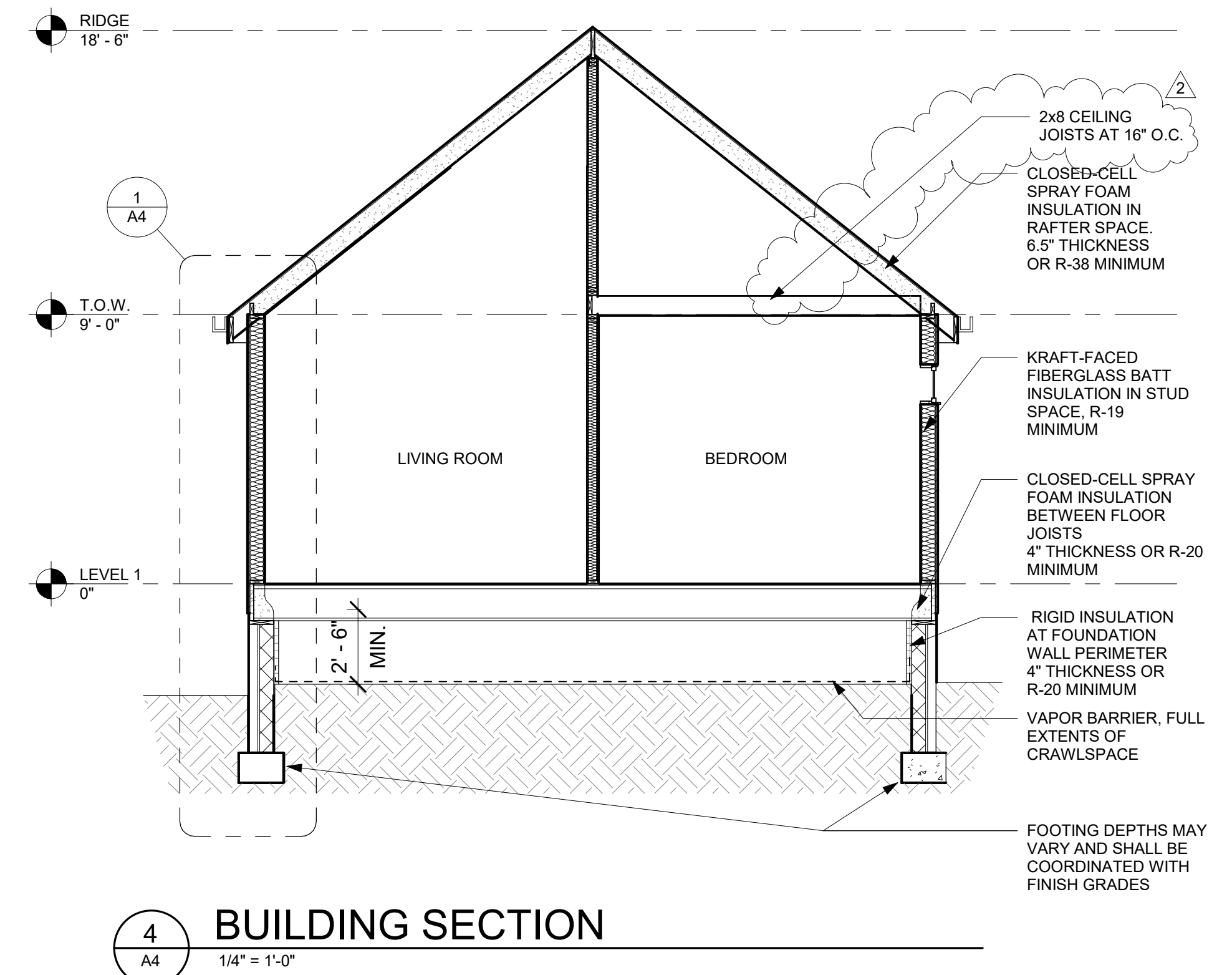


2 WALL SECTION
3/4" = 1'-0"



3 WALL SECTION
3/4" = 1'-0"

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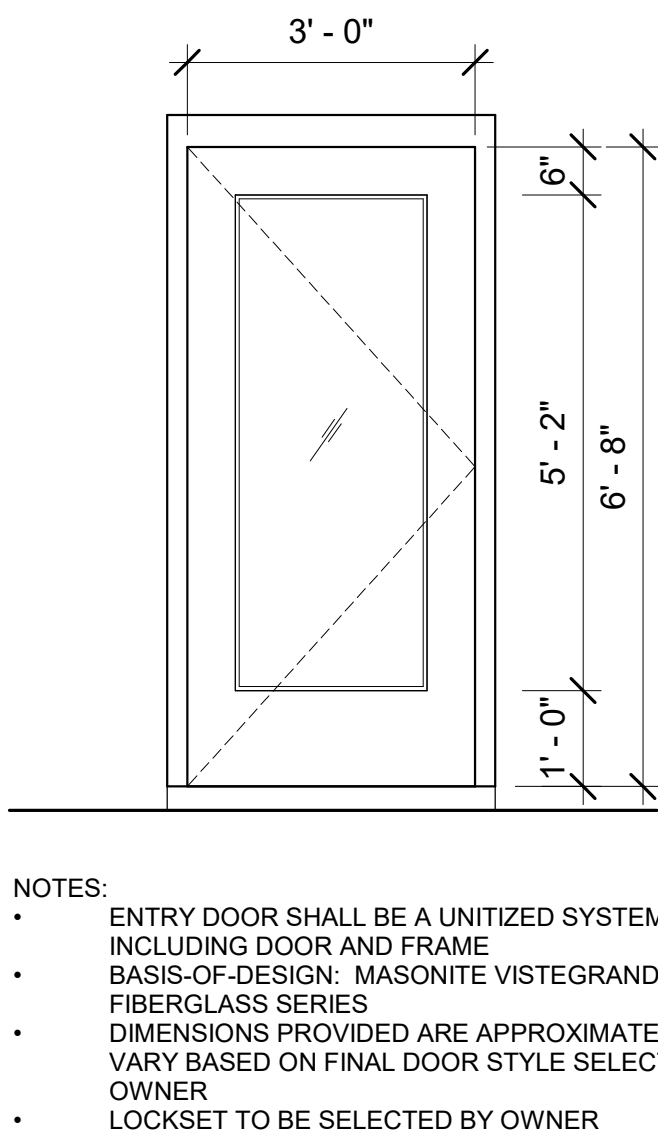
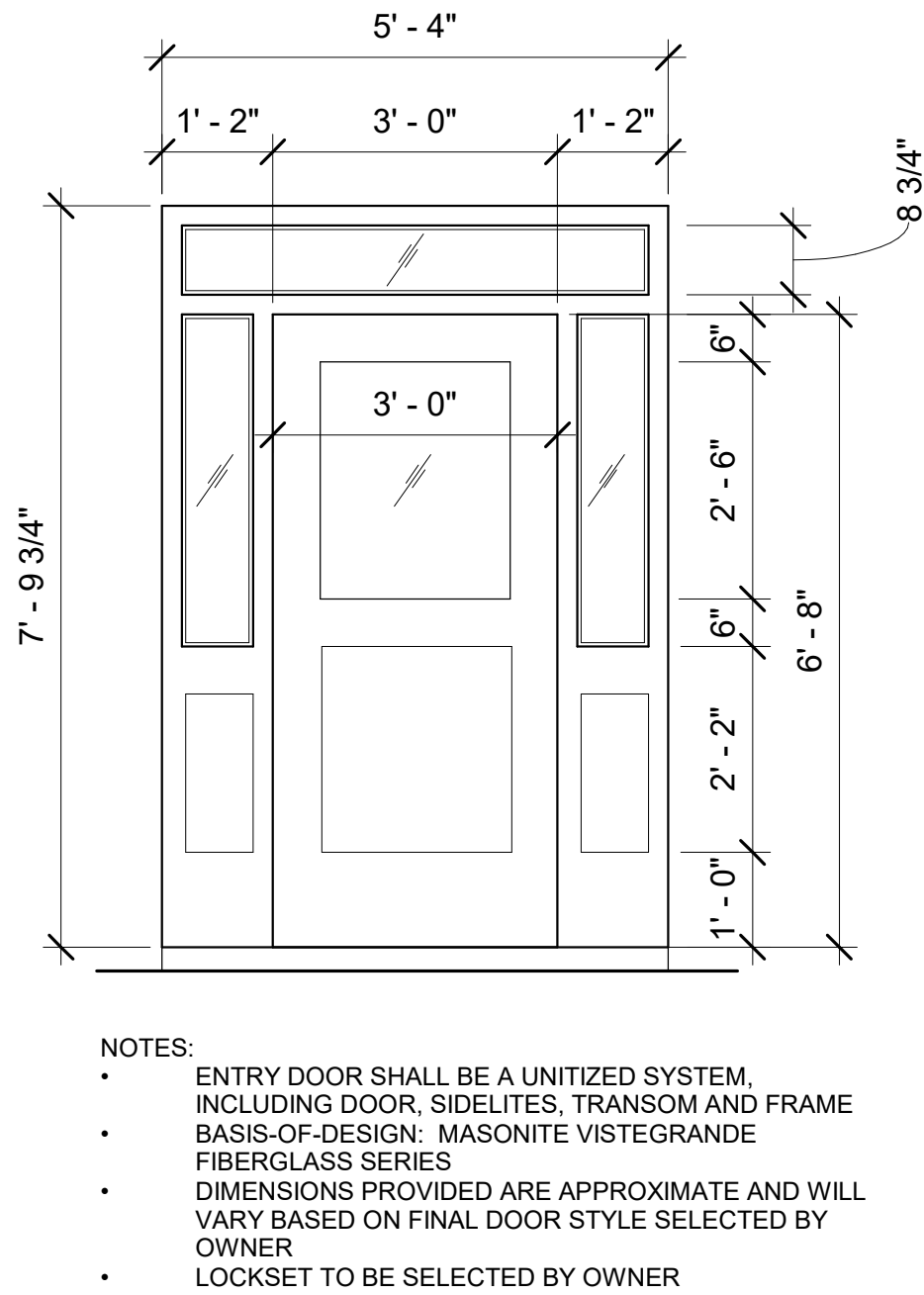
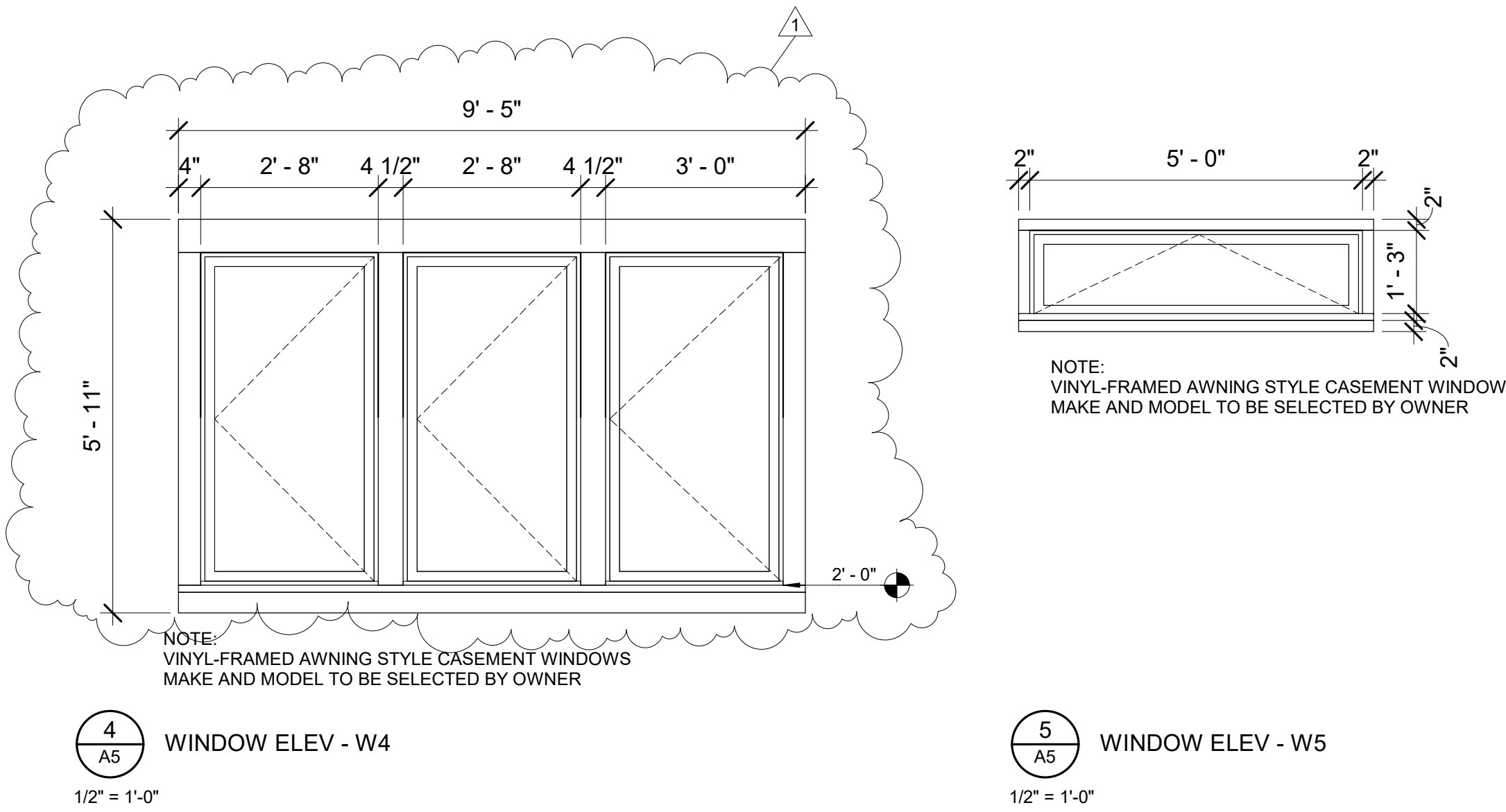
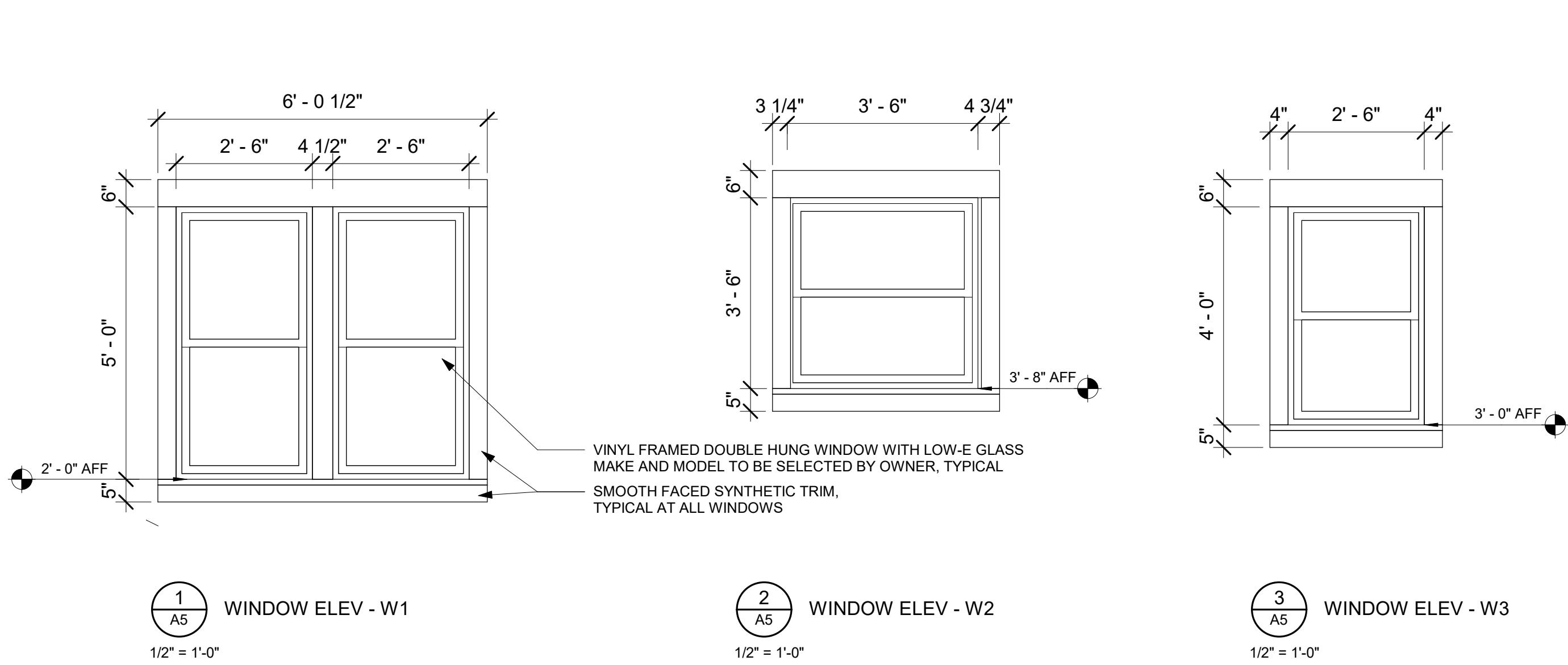


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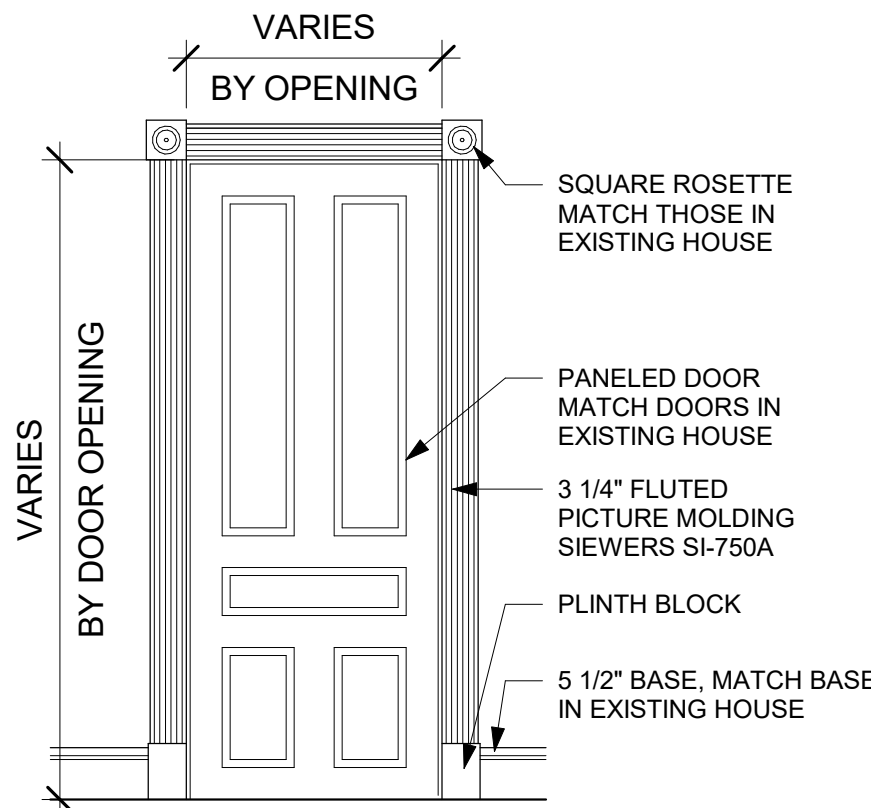
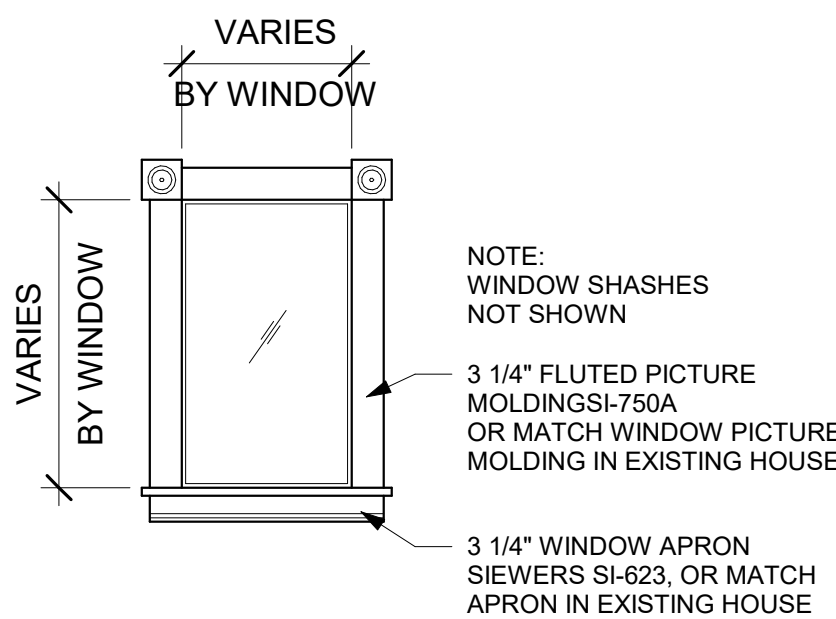
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A4 - SECTIONS & DETAILS



6
A5
FRONT DOOR
1/2" = 1'-0"

7
A5
REAR DOOR
1/2" = 1'-0"



8
A5
INTERIOR TRIM
1/2" = 1'-0" REFERRED FROM:

DOOR SCHEDULE			
LOCATION DOOR NUMBER	DOOR SIZE		NOTES
	W	H	
D01	2' - 8"	6' - 8"	POCKET DOOR
D02	3' - 0"	6' - 8"	POCKET DOOR
D03	2' - 8"	6' - 8"	POCKET DOOR, FLUSH DOOR W/ FULL GLASS LITE W/ FROSTED FILM
D04	2' - 8"	7' - 0"	NEW DOOR IN MODIFIED EXIST. WINDOW OPENING. OWNER TO SELECT DOOR TYPE. DIMS TO BE V.I.F.
D05	3' - 0"	6' - 8"	FRONT ENTRY DOOR
D06	3' - 0"	6' - 8"	REAR ENTRY DOOR
Grand total: 6			

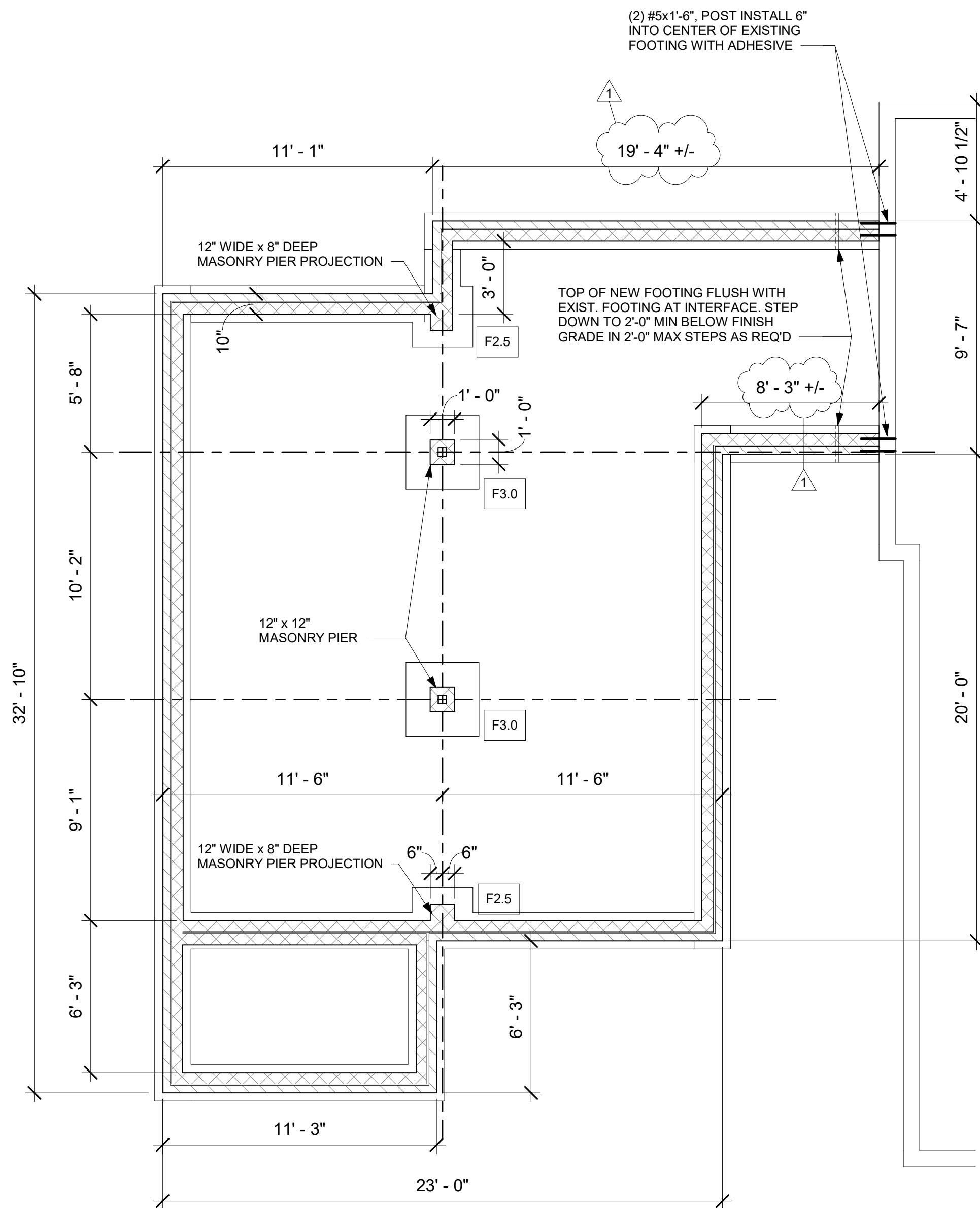
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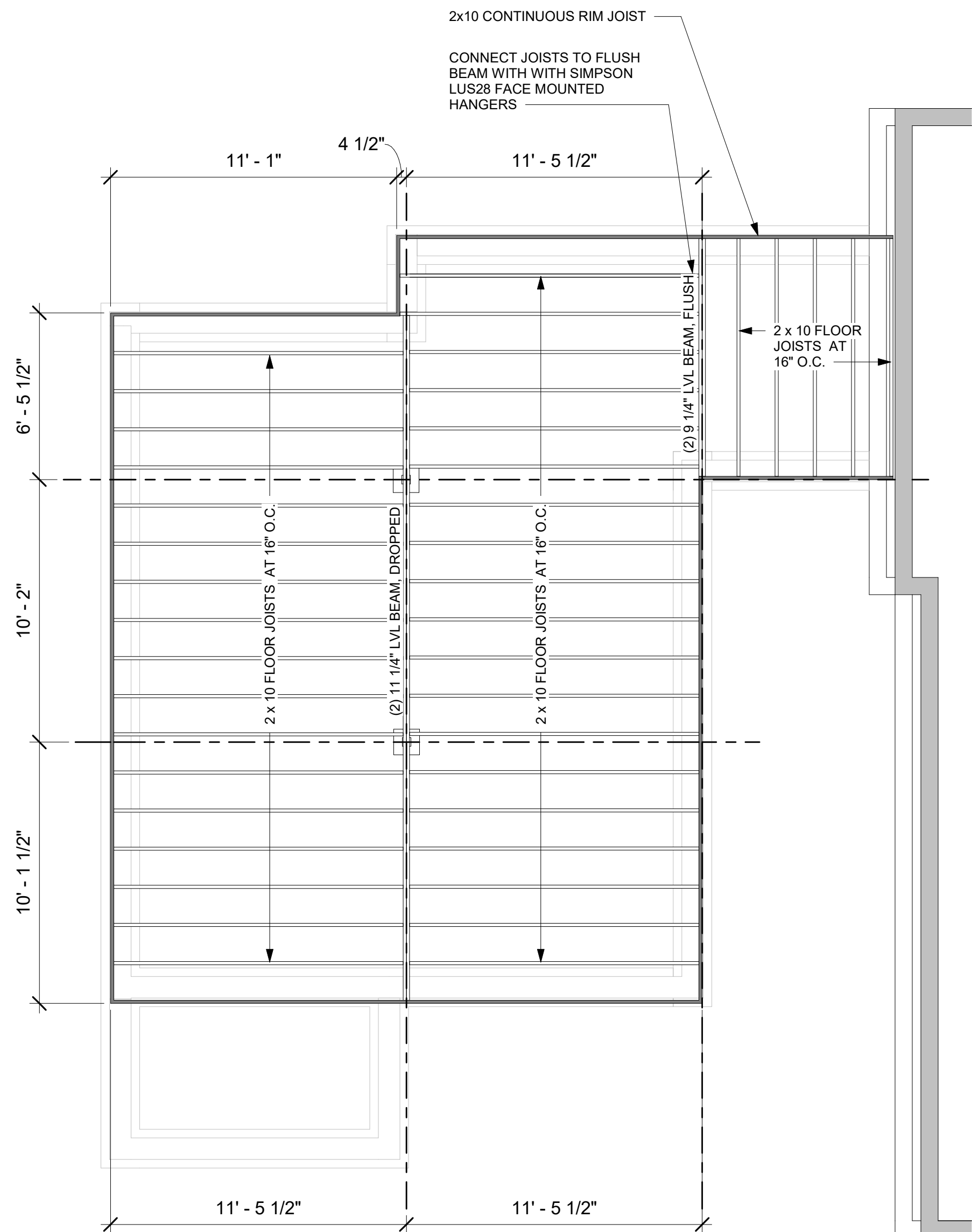
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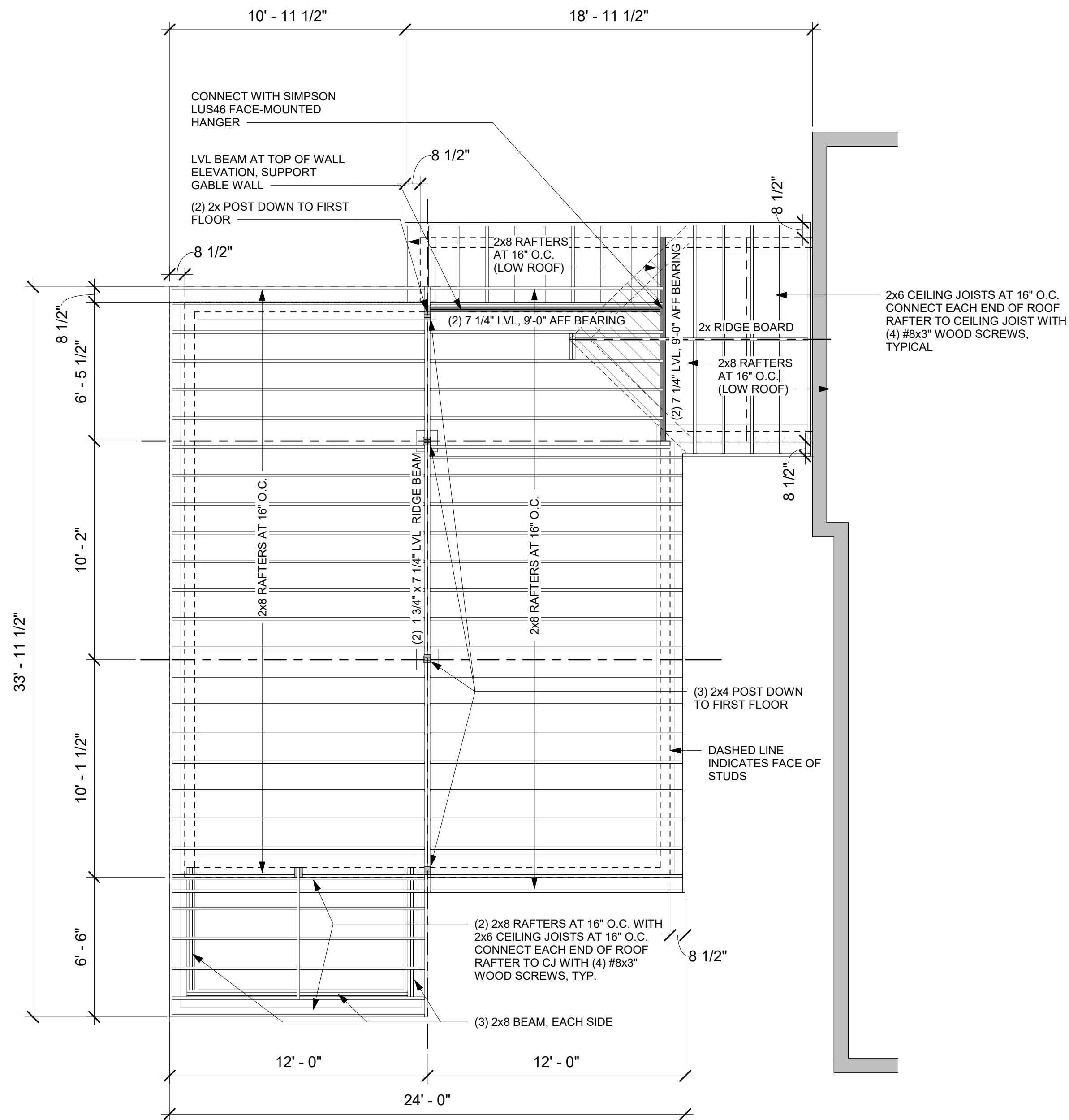
A5 - DOORS AND WINDOWS



1
A6
LEVEL 1 - FOUNDATION PLAN
1/4" = 1'-0" REFERRED FROM: A2



2
A6
LEVEL 1 - FRAMING PLAN
1/4" = 1'-0" REFERRED FROM: A2



3
A6
ROOF FRAMING PLAN
1/4" = 1'-0"

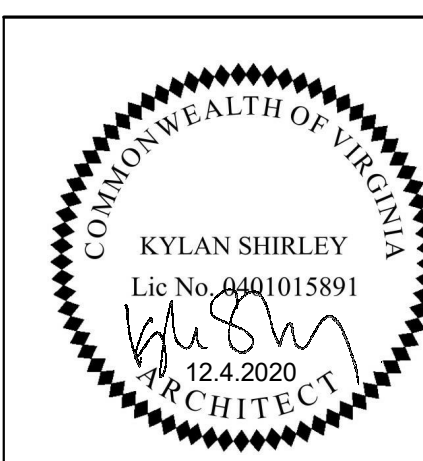
GENERAL NOTES

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- EXISTING CONDITIONS INDICATED WERE DETERMINED BY LIMITED FIELD OBSERVATIONS. NOTIFY ARCHITECT IF ACTUAL CONDITIONS VARY FROM THOSE INDICATED.
- LOADS AND ASSUMPTIONS:
 - FLOOR LIVE LOAD 40 PSF
 - ROOF LIVE LOAD 20 PSF
 - GROUND SNOW LOAD Pg 20 PSF
 - CONCRETE PER TABLE R402.2
 - MASONRY fm = 1,900 PSI
 - ASTM F1554 f_y=36 KSI (ANCHOR RODS)
 - ASTM C90 BLOCK
 - ASTM A615 GRADE 60 – TYPICAL REINFORCING BAR
- DO NOT DRILL, NOTCH, CUT (EXCEPT TO LENGTH), OR ALTER ENGINEERED LUMBER.
- ALL ROUGH CARPENTRY SHALL CONFORM TO THE REQUIREMENTS OF THE NDS-2015 'NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION' WITH 2015 SUPPLEMENT. PROVIDE NO. 2 SOUTHERN PINE WITH MAXIMUM 19% MOISTURE CONTENT FOR ALL FRAMING LUMBER INCLUDING JOISTS, RAFTERS, LINTELS, AND BEAMS UNLESS NOTED OTHERWISE. WALL STUDS AND PLATES MAY BE SPF NO.1/NO.2
- ALL FRAMING CONNECTIONS NOT SPECIFICALLY INDICATED ON THESE DRAWINGS SHALL COMPLY WITH THE MINIMUM ESTABLISHED REQUIREMENTS PER THE IRC.
- ALL NAILED CONNECTIONS (OF 2X MEMBERS) SPECIFICALLY INDICATED ON THE DRAWINGS ARE ASSUMED TO BE DONE WITH A MINIMUM NAIL SIZE OF 0.131" DIAMETER X 3" LONG UNLESS NOTED OTHERWISE.
- ALL BEAMS SHALL BE Laterally SUPPORTED BY BLOCKING OR OTHER MEANS AT ALL POINTS OF BEARING.
- PROVIDE MICROLAM VENEER LUMBER (LVL) WITH 2.0E MANUFACTURED BY TRUS JOIST OR APPROVED EQUAL.
- ALL LIGHT GAUGE STEEL PRE-FORMED CONNECTORS SHALL BE INSTALLED USING THE NUMBER OF NAILS AND NAIL TYPE LISTED FOR THAT CONNECTOR BY SIMPSON. ALL NAILS LISTED AS 1 1/2" LONG SHALL BE MADE BY SIMPSON. HANGERS USED ON PRESSURE TREATED LUMBER SHALL HAVE G185 MINIMUM ZINC COATING (ZMAX G185).
- ALL LUMBER IN CONTACT WITH MASONRY OR EXPOSED TO THE ELEMENTS SHALL BE PRESSURE TREATED PER IRC.

FOOTING LEGEND

F2.6	2'-6" x 2'-6" x 1'-0" WITH (3) #4 x 2'-0" EACH WAY AT BOTTOM; 3" CLEAR AT BOTTOM AND SIDES
F3.0	3'-0" x 3'-0" x 1'-0" WITH (3) #4 x 2'-6" EACH WAY, BOTTOM; 3" CLEAR AT BOTTOM AND SIDES

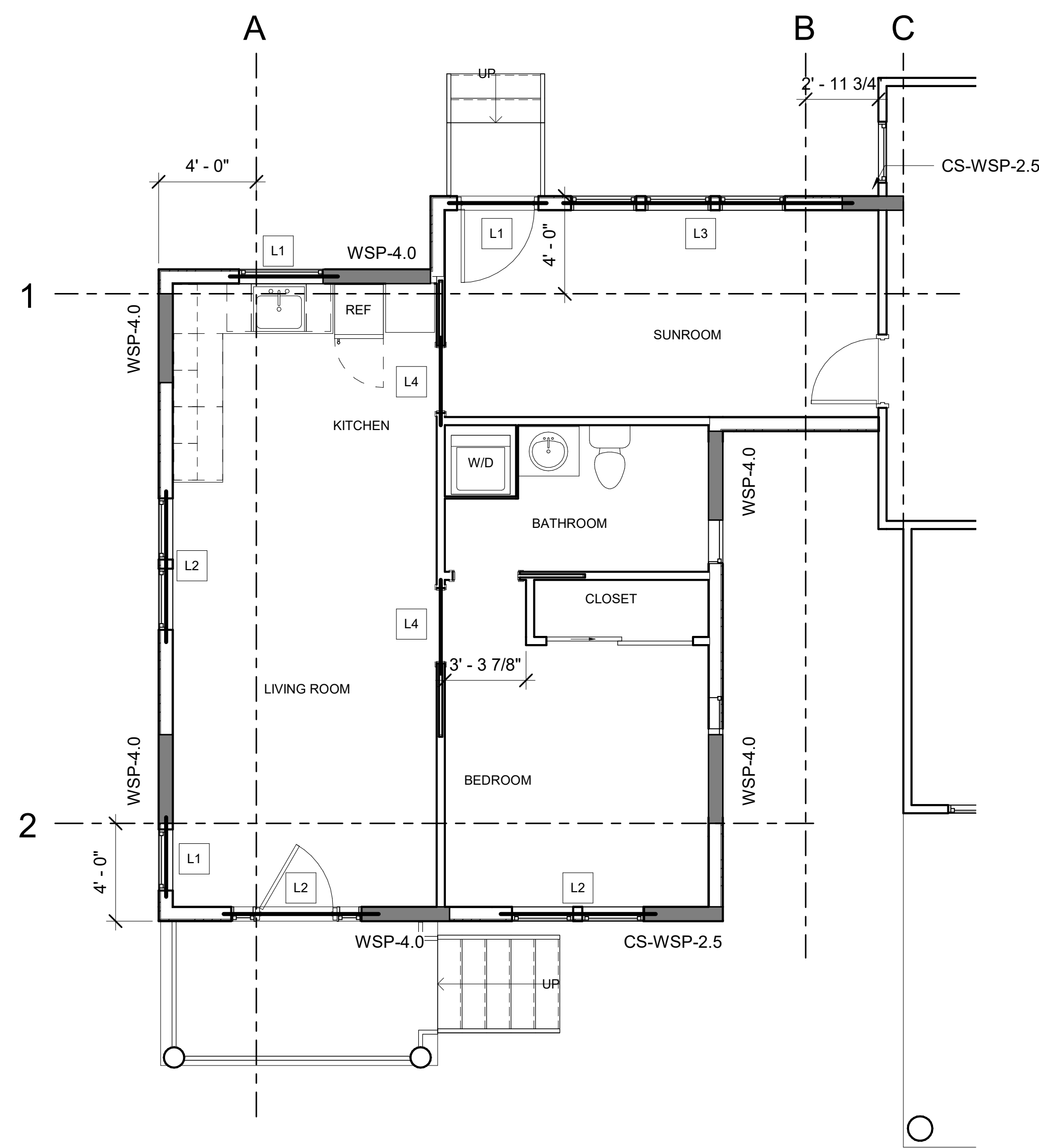
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A6 - FRAMING PLANS


















1
A7
BRACED WALL AND LINTEL PLAN
1/4" = 1'-0"

2015 CLASSIC WALL BRACING ANALYSIS

CONTRACTOR _____

PROJECT _____

WIND SPEED (MPH)		115		115		115		115		115		
STORY		  		  		  		  		  		
BWL NAME / IDENTIFIER		1		2		A		B		C		
AVG BWL SPACING (ft)		22		22		22.5		22.5				
BRACED WALL PANEL METHOD		CONTINUOUS		CONTINUOUS		INTERMITTENT		INTERMITTENT				
TABULAR REQUIRED (ft)		3.70		3.70		4.00		4.00				
ADJUSTMENT	EXPOSURE	B	1.00	B	1.00	B	1.00	B	1.00	B		
	EAVE-RIDGE HEIGHT (ft)	10.50	1.03	10.50	1.03	10.50	1.03	10.50	1.03			
	WALL HEIGHT (ft)	9	0.95	9	0.95	9	0.95	9	0.95			
	# BWLs	2	1.00	2	1.00	2	1.00	2	1.00			
	OMIT INTERIOR GB	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
	HORIZONTALLY BLOCKED	YES	1.00	YES	1.00	YES	1.00	YES	1.00			
	METHOD GB FASTEN @ 4" o.c	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
REQUIRED BWP LENGTH (ft)		3.62		3.62		3.91		3.91				
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
	SS-GB= 1/2 ACTUAL DS-GB= ACTUAL INTERMITTENT= ACTUAL CS-WSP = ACTUAL CS-PF = 1.5X ACTUAL (enter the contributing length)	1	WSP	4.00	WSP	4.00	WSP	4.00	WSP	4.00		
		2	CS-WSP	2.50	CS-WSP	3.00	WSP	4.00	WSP	4.00	EXISTING	
		3									BUILDING	
		4									LINE	
		5										
		6										
		7										
ACTUAL BWP LENGTH (ft)		6.50		7.00		8.00		8.00		0.00		
ACTUAL ≥ REQUIRED		YES		YES		YES		YES				
BWPs ≤ 20' APART		YES		YES		YES		YES				
LENGTH OF BWL (ft)		>16'		>16'		>16'		>16'				
≥1 BWP ≤ 16', OR ≥ 2 BWP > 16'		YES		YES		YES		YES				
BWP ≤ 10' OF CORNERS		YES	YES	YES	YES	YES	YES	YES	YES			
CONTINUOUS END CONDITION		4	1	4	1							
BWL COMPLIANCE (PASS-FAIL)		PASS		PASS		PASS		PASS				

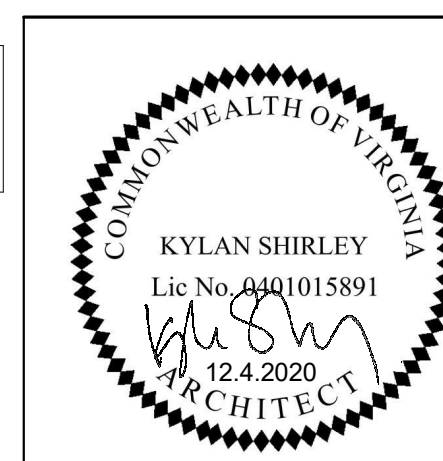
Chuck Bajnai, phone (804) 301-4600

Version 8-22-2019

LINTEL LEGEND

L1	(3) 2x6 VERTICAL WITH 2x6 FLAT ON TOP WITH (1) JACK STUD AND (1) KING STUD
L2	(3) 2x6 VERTICAL WITH 2x6 FLAT ON TOP WITH (1) JACK STUD AND (2) KING STUDS
L3	(3) 1 3/4" x 9 1/4" LVL VERTICAL WITH (2) JACK STUDS AND (4) KING STUDS
L4	(3) 1 3/4" x 9 1/4" LVL VERTICAL WITH (2) JACK STUDS AND (1) KING STUD

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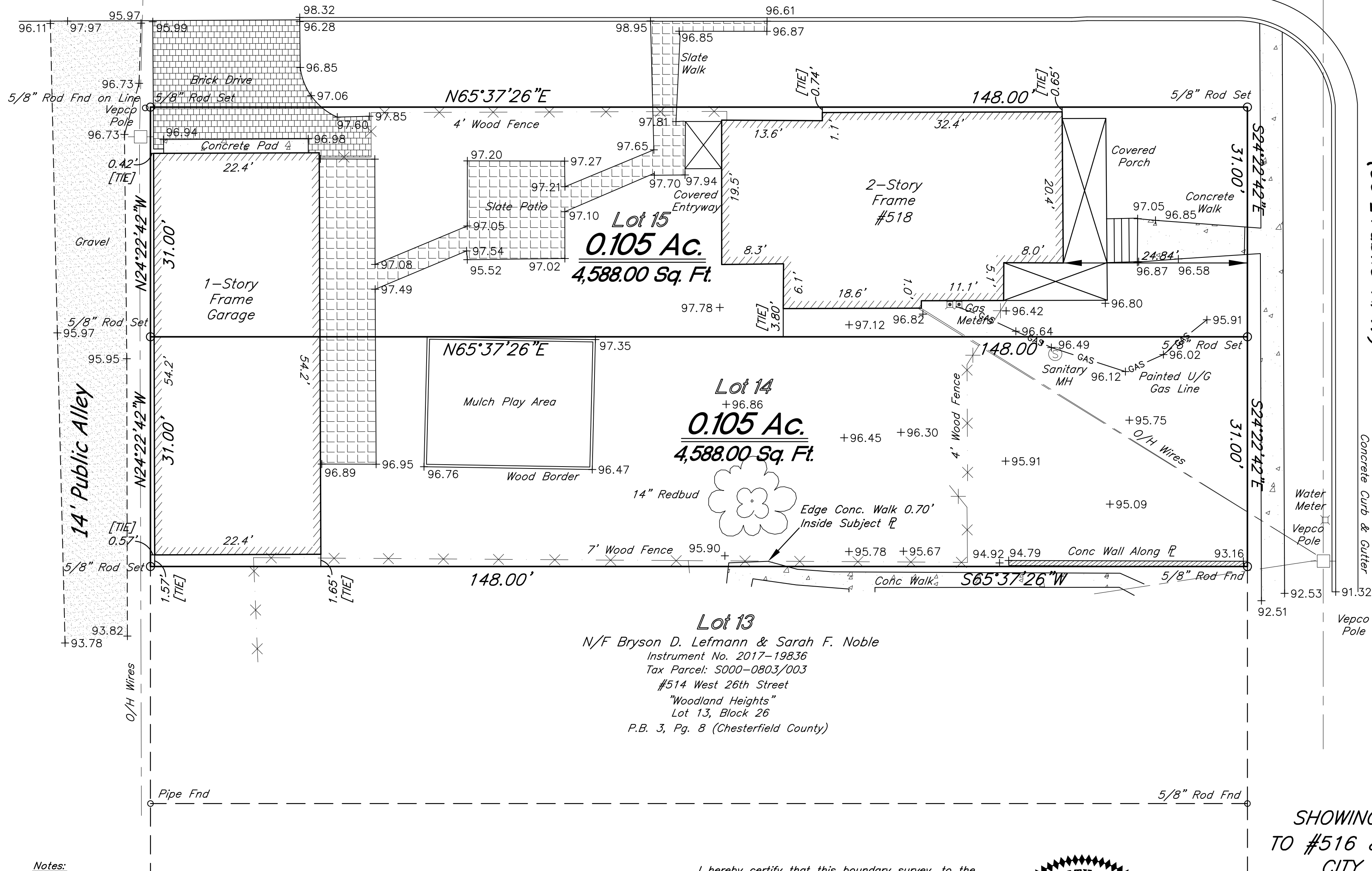
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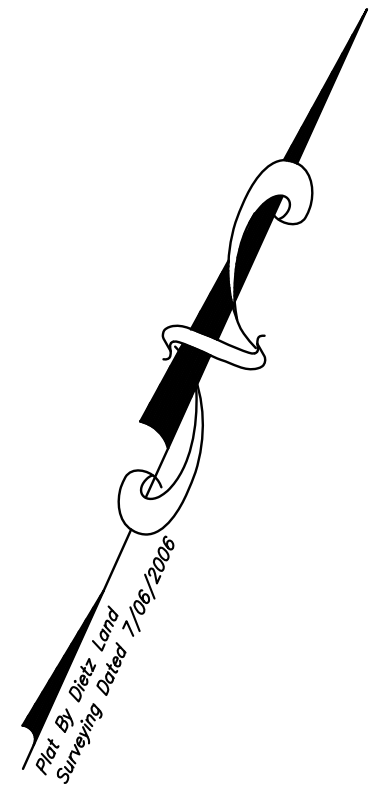
A7 - BRACED WALL PLAN

Springhill Avenue (50'± Public R/W)

Concrete Curb & Gutter



West 26th Street
(60'± Public R/W)



Legal References:

Lot 14:

Jeremy J. Wustner-Brown
& Jessica G. Richards
Instrument No. 2018-12831
Tax Parcel: S000-0803/002
#516 West 26th Street
"Woodland Heights" Lot 14, Block 26
P.B. 3, Pg. 8 (Chesterfield County)

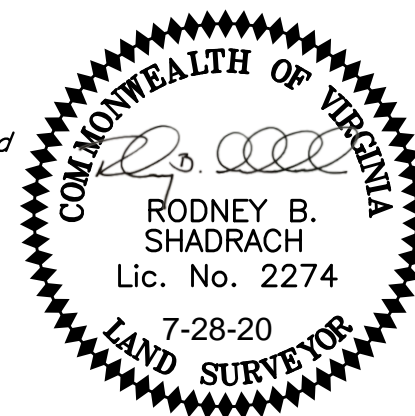
Lot 15:

Jeremy J. Wustner-Brown
& Jessica G. Richards
Instrument No. 2018-12831
Tax Parcel: S000-0803/001
#518 West 26th Street
"Woodland Heights" Lot 15, Block 26
P.B. 3, Pg. 8 (Chesterfield County)

Notes:

1. The subject property appears not to be located within the limits of the 100 Year Flood Plain Boundary as defined by The Federal Insurance Administration Community-Panel #510129-0039-E, effective date: July 16, 2014 (Zone X).
2. This survey plat represents a current and accurate field transit survey of the premises shown hereon.
Date of last physical survey: July 9, 2020
3. This survey was made without the benefit of a Title Report and therefore there may be encumbrances which are not reflected hereon.
4. Elevations shown hereon are based upon assumed FFE of #518 (100.00').

I hereby certify that this boundary survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors, and Certified Landscape Architects.



SURVEY PLAT
SHOWING EXISTING IMPROVEMENTS
TO #516 & #518 WEST 26TH STREET
CITY OF RICHMOND, VIRGINIA
DATE: JULY 28, 2020



Scale: 1"= 10'



Shadrach & Associates LLC

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