



CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
BOARD OF ZONING APPEALS

September 3, 2021

Xtreme Homes LLC
715 4th Street, Suite 16
Richmond, VA 23224

Nathan Beck
4202 Crestwood Road
Richmond, Virginia 23227

To Whom It May Concern:

RE: **BZA 51-2021**

You are hereby notified that the Board of Zoning Appeals will hold an electronic public hearing on Wednesday, October 6, 2021 due to the disaster represented by the spread of COVID-19 pursuant to and in compliance with Ordinance 2021-181 to consider an application for a building permit to renovate an existing building and construct a second story addition at 2308 NORTH LOMBARDY STREET (Tax Parcel Number N000-0684/012), located in a UB-2 (Urban Business) District.

Please be advised that the applicant or applicant's representative is required to participate in the electronic public hearing by calling 804-316-9457 and entering code 601 258 242# beginning at 1:00 p.m. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2021 drop-down, click meeting details for October 6, 2021 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at William.Davidson@richmondgov.com for assistance. In accordance with Ordinance No. 2021-181, please be advised that an inability to access one of the enumerated public hearing through video means shall not be considered a prerequisite for participating in the subject public hearing. It will be necessary for you to stay on the line until such time as your case is called. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

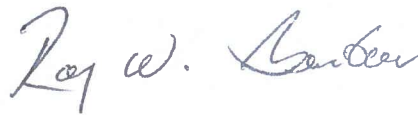
Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 51-2021
Page 2
September 3, 2021

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in blue ink that reads "Roy W. Benbow". The signature is fluid and cursive, with the first name "Roy" being the most prominent.

Roy W. Benbow, Secretary
Phone: (804) 240-2124
Fax: (804) 646-5789
E-mail: Roy.Benbow@richmondgov.com

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Crawford Daniel L 2339 Brook Rd Richmond, VA 23220	Duty Thomas J Iii 2400 N Lombardy St Richmond, VA 23220	Hoitt Land Llc C/o Susan Thweatt 310 S Hill Carter Parkway Ste A Ashland, VA 23005
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J & L Lombardy LLC 4107 Hermitage Rd Richmond, VA 23227	Lacy Brent E And Thakur Tanvi K 2341 Brook Rd Richmond, VA 23220	Lrw Properties LLC P O Box 26136 Richmond, VA 23260
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Lubetkin Jacob M And Mollie 2337 Brook Rd Richmond, VA 23220	Miller Solomon 2333 Brook Rd Richmond, VA 23220	Perry Christopher M 2315 N Lombardy St Richmond, VA 23220
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Robinson Earnest L Jr
317 Highland Road
Pittsburgh, PA 15235

Property: 2308 N Lombardy St Parcel ID: N0000684012**Parcel**

Street Address: 2308 N Lombardy St Richmond, VA 23220-
Owner: XTREME HOMES LLC
Mailing Address: 715 4TH ST STE 16, RICHMOND, VA 23224
Subdivision Name : CHAMBERLAYNE COURT
Parent Parcel ID:
Assessment Area: 430 - North Side
Property Class: 409 - B Commercial Shell
Zoning District: UB-2 - Urban Business
Exemption Code: -

Current Assessment

Effective Date: 01/01/2021
Land Value: \$34,000
Improvement Value: \$15,000
Total Value: \$49,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 5437.13
Acreage: 0.125
Property Description 1: CHAMBERLAYNE COURT L84 BC
Property Description 2: 0071.79X0151.50 IRG0000.000
State Plane Coords(?): X= 11788008.857186 Y= 3730598.210771
Latitude: 37.56394445 , **Longitude:** -77.44730663

Description

Land Type: Commercial S2
Topology:
Front Size: 71
Rear Size: 151
Parcel Square Feet: 5437.13
Acreage: 0.125
Property Description 1: CHAMBERLAYNE COURT L84 BC
Property Description 2: 0071.79X0151.50 IRG0000.000
Subdivision Name : CHAMBERLAYNE COURT
State Plane Coords(?): X= 11788008.857186 Y= 3730598.210771
Latitude: 37.56394445 , **Longitude:** -77.44730663

Other

Street improvement:
Sidewalk:

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2022	\$72,000	\$17,000	\$89,000	Reassessment
2021	\$34,000	\$15,000	\$49,000	Reassessment
2020	\$34,000	\$15,000	\$49,000	Reassessment
2019	\$34,000	\$15,000	\$49,000	Reassessment
2018	\$33,000	\$15,000	\$48,000	Reassessment
2017	\$33,000	\$15,000	\$48,000	Reassessment
2016	\$33,000	\$15,000	\$48,000	Reassessment
2015	\$31,000	\$20,000	\$51,000	Reassessment
2014	\$31,000	\$20,000	\$51,000	Reassessment
2013	\$31,000	\$20,000	\$51,000	Reassessment
2012	\$31,000	\$20,000	\$51,000	Reassessment
2011	\$31,000	\$20,000	\$51,000	CarryOver
2010	\$31,000	\$20,000	\$51,000	Reassessment
2009	\$30,900	\$19,700	\$50,600	Reassessment
2008	\$30,900	\$19,700	\$50,600	Reassessment
2007	\$30,900	\$30,200	\$61,100	Reassessment
2006	\$30,000	\$28,000	\$58,000	Reassessment
2005	\$36,200	\$24,200	\$60,400	Reassessment
2004	\$32,900	\$22,000	\$54,900	Reassessment
2003	\$28,600	\$20,000	\$48,600	Reassessment

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
02/12/2018	\$39,000	R DANA LLC	ID2018-2792	1 - VALID SALE-Asmnt/Sale Desc Doesn't Match
12/08/2015	\$0	MANSON RICHARD D	ID2015-23243	2 - INVALID SALE-Relation Between Buyer/Seller
06/16/2015	\$42,500	JOBB L EUGENE	ID2015-10611	1 - VALID SALE-DO NOT USE
08/15/2012	\$0	GJ 2308 LLC	ID2012-16051	2 - INVALID SALE-Relation Between Buyer/Seller
08/14/2007	\$50,000	LSR GROUP LLC	ID2007-27655	1 - VALID SALE-Asmnt/Sale Desc Doesn't Match
12/08/2006	\$40,000	FLEMING LOMBARDY STREET PROP	ID2006-42245	2 - INVALID SALE-4-Multi Parcel Sale
11/28/2005	\$0	FLEMING MILDRED M	ID2005-41318	
11/26/2001	\$0	FLEMING CHARLES A & MILDRED M	ID2001-1188	
03/07/1979	\$22,500	Not Available	00749-0439	

Planning

Master Plan Future Land Use: C-MU
Zoning District: UB-2 - Urban Business
Planning District: North
Traffic Zone: 1016
City Neighborhood Code: VUU
City Neighborhood Name: Virginia Union
Civic Code: 4002
Civic Association Name: Edgehill Chamberlayne Court Civic Association
Subdivision Name: CHAMBERLAYNE COURT
City Old and Historic District:
National historic District:

Neighborhoods in Bloom:**Redevelopment Conservation Area:****Economic Development**

Care Area: - Lombardy/Chamberlayne
Enterprise Zone: III

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	2009	0111002	011100
1990	201	0111002	011100

Schools

Elementary School: Linwood Holton
Middle School: Henderson
High School: Marshall

Public Safety

Police Precinct: 4
Police Sector: 412
Fire District: 14
Dispatch Zone: 073A

Public Works Schedules

Street Sweep: TBD
Leaf Collection: TBD
Refuse Collection: Monday
Bulk Collection: TBD

Government Districts

Council District: 3
Voter Precinct: 306
State House District: 71
State Senate District: 9
Congressional District: 4

Extension 1 Details

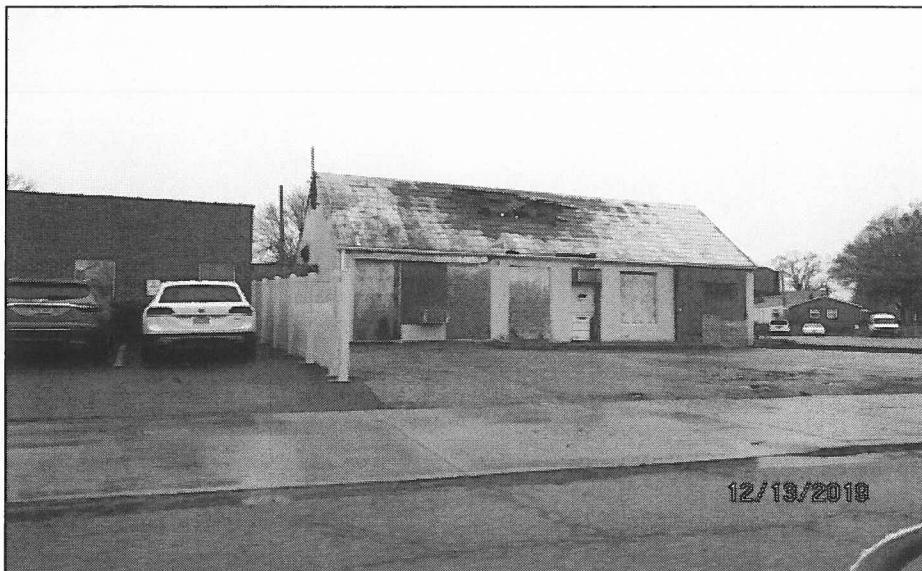
Extension Name: C01 - Repair Shop/Stg
Year Built: 1900
Stories: 1
Units: 0
Number Of Rooms: 0
Number Of Bed Rooms: 0
Number Of Full Baths: 0
Number Of Half Baths: 0
Condition: poor for age
Foundation Type:
1st Predominant Exterior:
2nd Predominant Exterior: N/A
Roof Style: 1
Roof Material:
Interior Wall:
Floor Finish:
Heating Type: 1574 sf
Central Air: N
Basement Garage Car #: 0
Fireplace: N
Building Description (Out Building and Paving Yard Items) :

Extension 1 Dimensions

Finished Living Area: 1574 Sqft
Attic: 0 Sqft
Finished Attic: 0 Sqft
Basement: 0 Sqft
Finished Basement: 0 Sqft
Attached Garage: 0 Sqft
Detached Garage: 0 Sqft
Attached Carport: 0 Sqft
Enclosed Porch: 0 Sqft
Open Porch: 0 Sqft
Deck: 0 Sqft

Property Images

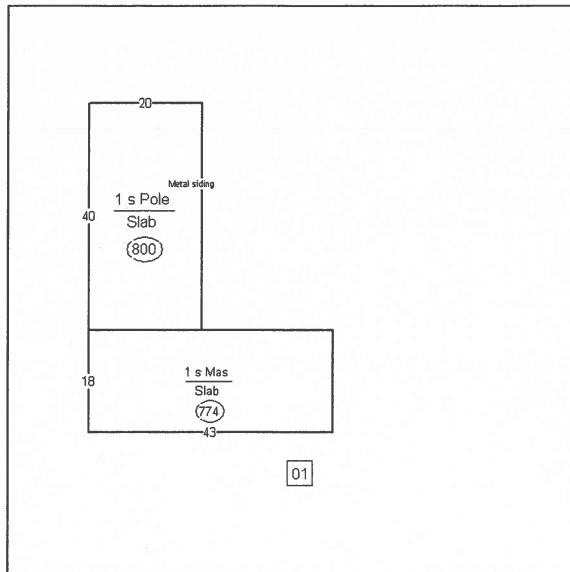
Name:N0000684012 Desc:C01



[Click here for Larger Image](#)

Sketch Images

Name:N0000684012 Desc:C01



RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT

PROPERTY
OWNER: Xtreme Homes LLC
PHONE: (Home) () (Mobile) ()

ADDRESS 715 4th Street, Suite 16
FAX: () (Work) ()

Richmond, VA 23224
E-mail Address: _____

PROPERTY OWNER'S
REPRESENTATIVE: Nathan Beck
PHONE: (Home) () (Mobile) (304) 405-1161

(Name/Address) 4202 Crestwood Road
FAX: () (Work) ()

Richmond, VA 23227
E-mail Address: nbeck@beckstates.com

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 2308 North Lombardy Street
TYPE OF APPLICATION: ☒ VARIANCE ☐ SPECIAL EXCEPTION ☐ OTHER _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300, 30-433.13(1)c & 30-433.15(a)
APPLICATION REQUIRED FOR: A building permit to renovate an existing building and construct a second story addition.
TAX PARCEL NUMBER(S): N000-0684/012 **ZONING DISTRICT:** UB-2 (Urban Business District)

REQUEST DISAPPROVED FOR THE REASON THAT: The proposed feature requirements are not permitted as the previous nonconforming feature rights have expired. Vertical expansion of the building, which is nonconforming with regard to yard requirements, is not permitted. The front yard (setback) requirement is not met. A front yard of no greater than ten (10) feet is required; 31.55'± is proposed. Parking areas located between the main building and the street line are not permitted; parking is proposed between the main building and the street.

DATE REQUEST DISAPPROVED: May 24, 2021
FEE WAIVER: YES ☐ NO: ☒
DATE FILED: August 13, 2021 **TIME FILED:** 4:00 p.m. **PREPARED BY:** Josh Young **RECEIPT NO.** BZAR-095506-2021
AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:
SECTION 17.20 PARAGRAPH(S) _____ **OF THE CHARTER OF THE CITY OF RICHMOND**
SECTION 15.2 -2309.2 ☒ **OF THE CODE OF VIRGINIA** [OR]

SECTION 1040.3 PARAGRAPH(S) _____ **OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND**

TO BE COMPLETED BY APPLICANT

I have received the handouts, Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter ☒
I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.
SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature]
DATE: 8-29-21

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 51-2021 **HEARING DATE:** October 6, 2021 **AT** 1:00 **P.M.**

BOARD OF ZONING APPEALS CASE BZA 51-2021
150' Buffer

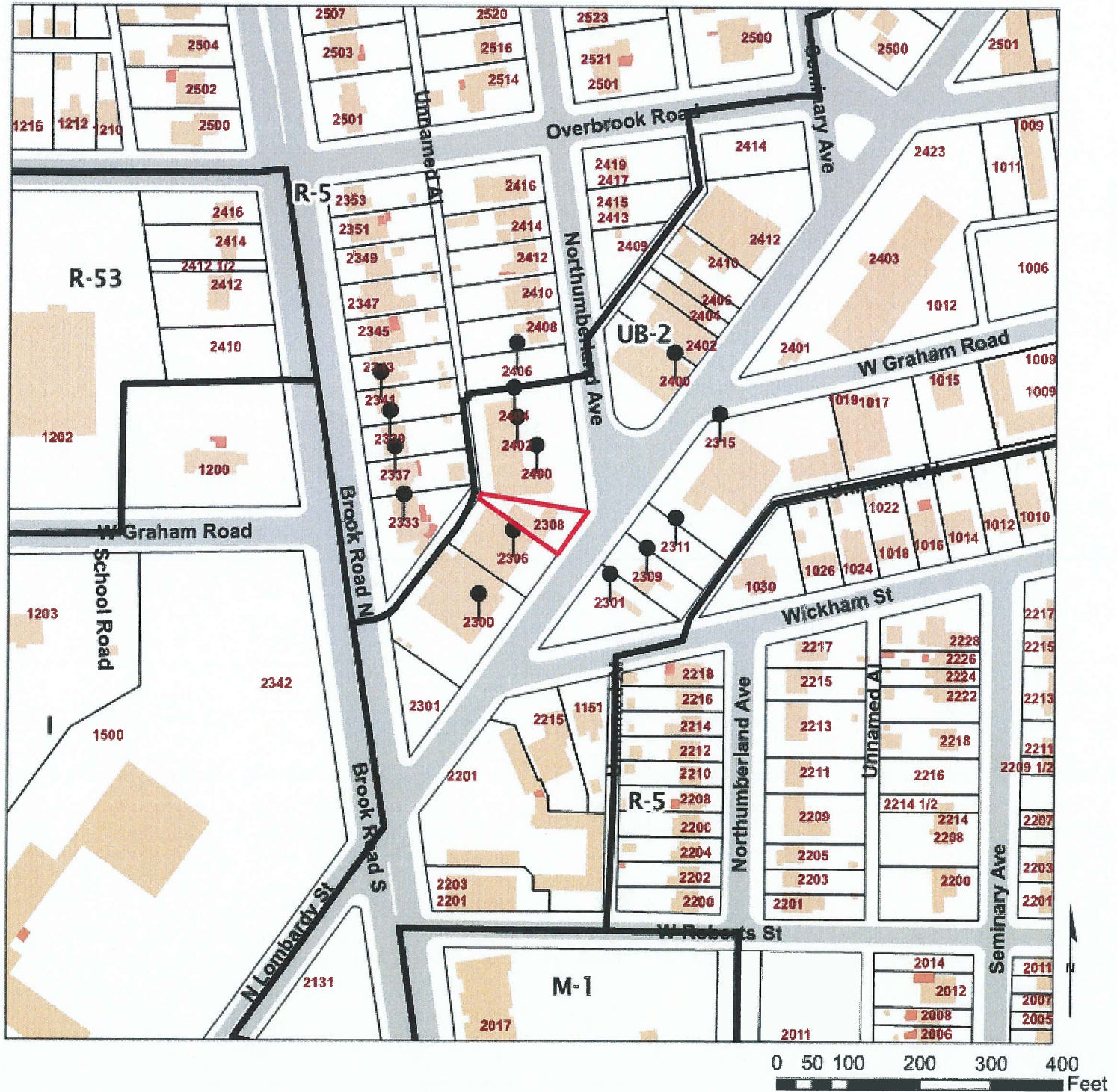
APPLICANT(S): Xtreme Homes LLC

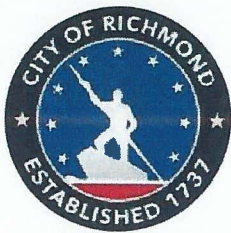
PREMISES: 2308 North Lombardy Street
(Tax Parcel Number N000-0684/012)

SUBJECT: A building permit to renovate an existing building and construct a second story addition.

REASON FOR THE REQUEST: Based on Sections 30-300, 30-433.13(1)c & 30-433.15(a)
of the Zoning Ordinance for the reason that:

The front (setback) requirement, parking or circulation of vehicles requirement,
and proposed feature requirements are not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

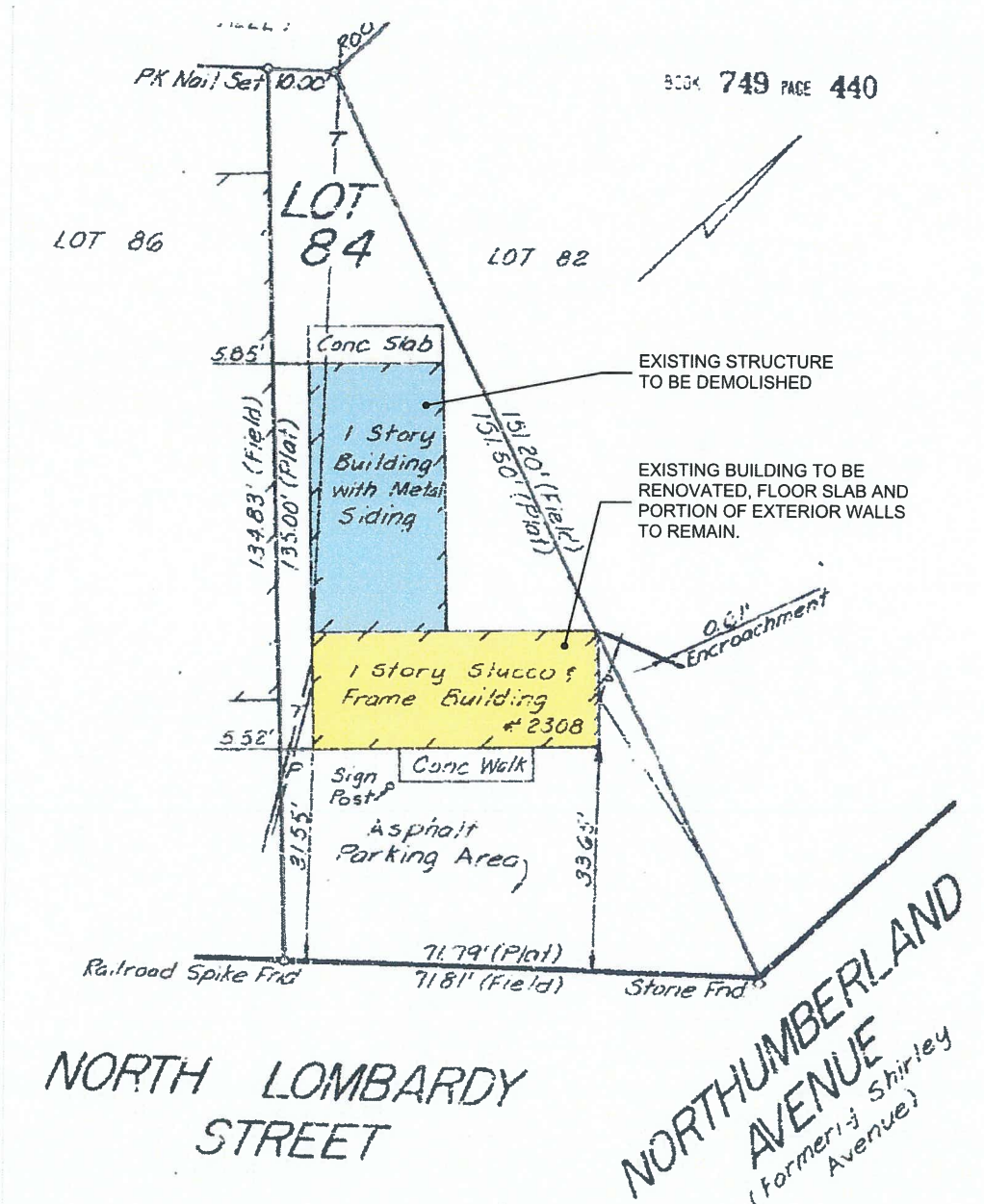
4. **You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing.** The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: _____

W J Beck 8/13/21

August 20, 2021

2308 North Lombardy Street, Richmond, VA
Zoning Assessment



Survey and Map Showing Improvements Thereon
 of Lot 84, Portion of Block C, Chamberlayne Court,
 in the City of Richmond, Virginia

BECK ESTATES REALTY BUILDING ALTERATION

08/24/2021

ZONING SUMMARY

ADDRESS:

2308 N LOMBARDY ST
RICHMOND, VA 23220

ZONING DISTRICT:

UB-2 - URBAN BUSINESS

PARKING SPACES:

REQUIRED 5 SPACES
PROVIDED 3 PUBLIC SPACES
2 EMPLOYEE SPACES

HEIGHT:

2 STORIES + OCCUPIABLE ROOF DECK
23'-6" BUILDING HEIGHT (10' FLOOR TO FLOOR)

BUILDING AREA:

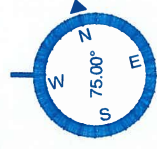
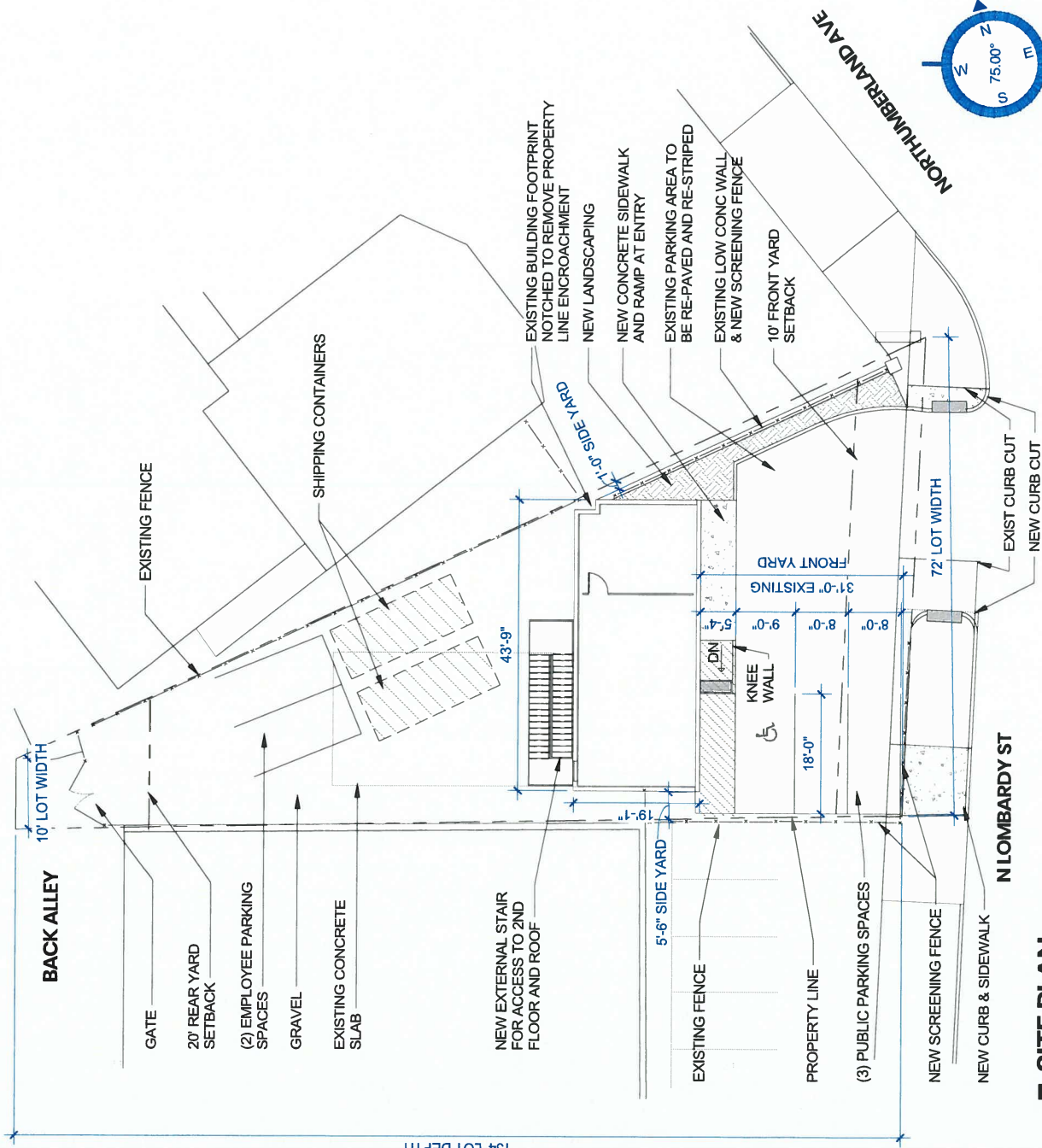
760 SF PER FLOOR

FENESTRATION:

1ST FLOOR 60% GLAZING
2ND FLOOR 31% GLAZING

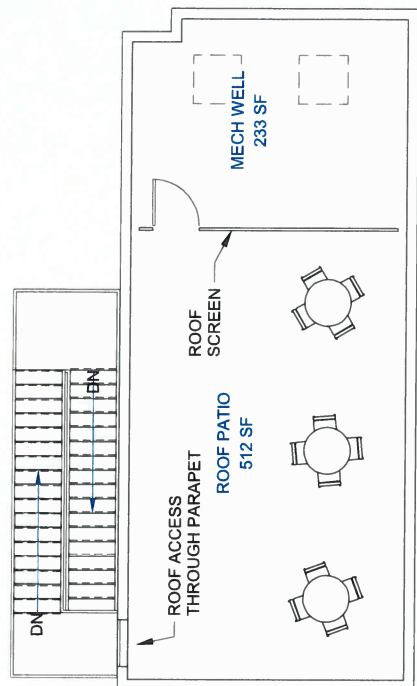
CONSTRUCTION:

1ST FLOOR (10'-0" HEIGHT)
EXISTING CONCRETE SLAB ON GRADE.
EXTERIOR WALLS ARE EXISTING CMU WITH
REPAIRS / WOOD FRAMING INFILL WHERE CMU
IS IN DISREPAIR.
2ND FLOOR AND ROOF (10'-0" HEIGHT + 3'-6"
PARAPET)
NEW 2X6 WOOD FRAMED WALLS, FLOOR AND
ROOF DECK ARE LVL JOISTS.



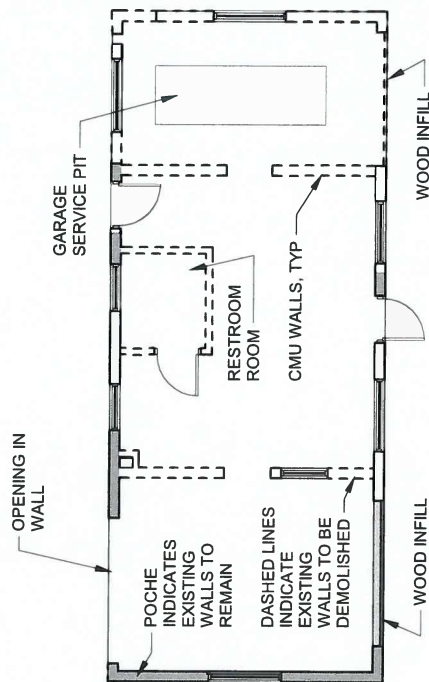
1 SITE PLAN

SCALE: 1/6" = 1'-0"



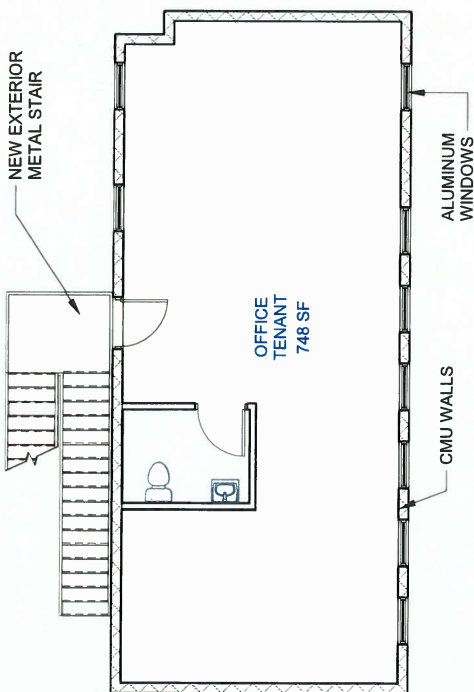
4 ROOF PLAN

SCALE: 1/8" = 1'-0"



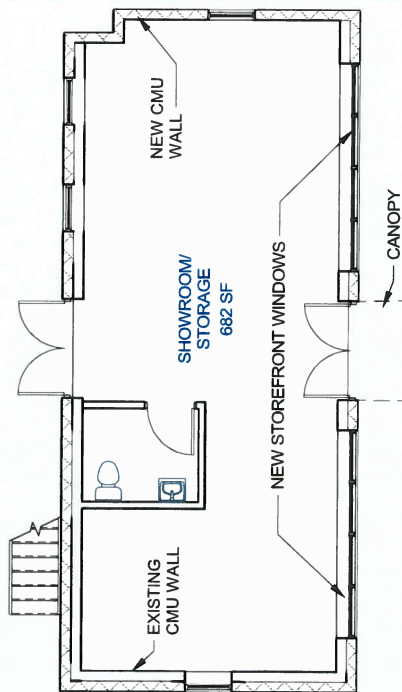
1 EXISTING PLAN

SCALE: 1/8" = 1'-0"



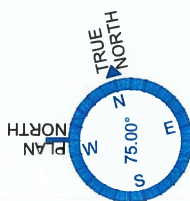
3 PROPOSED PLAN - 2ND FLOOR

SCALE: 1/8" = 1'-0"

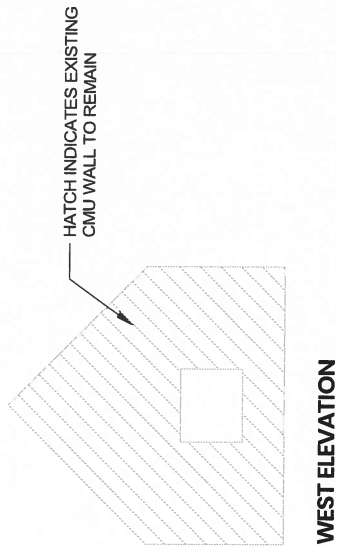
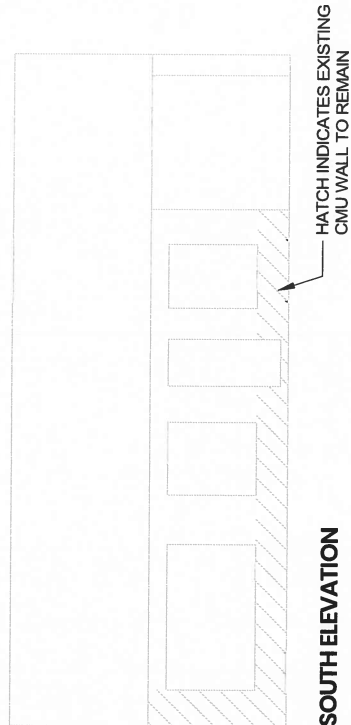
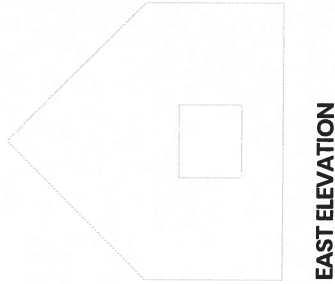
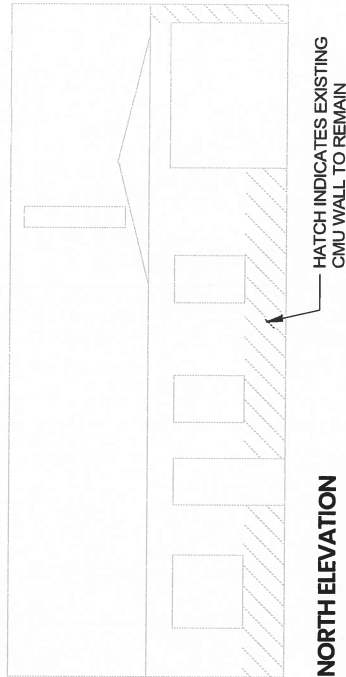


2 PROPOSED PLAN - 1ST FLOOR

SCALE: 1/8" = 1'-0"

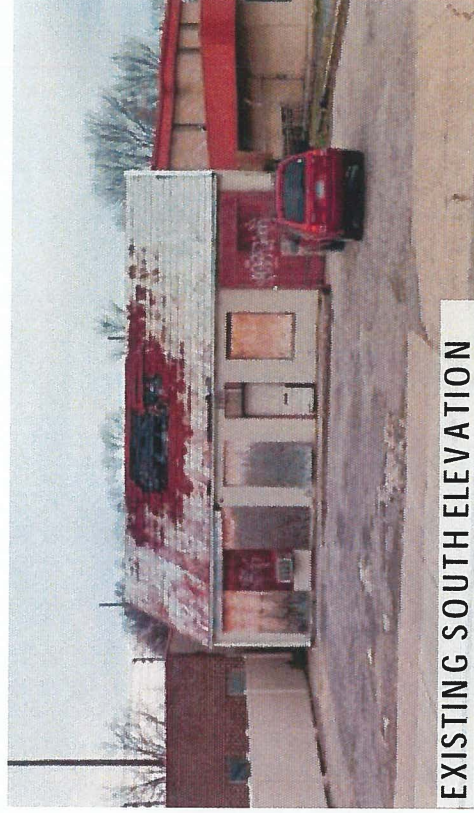
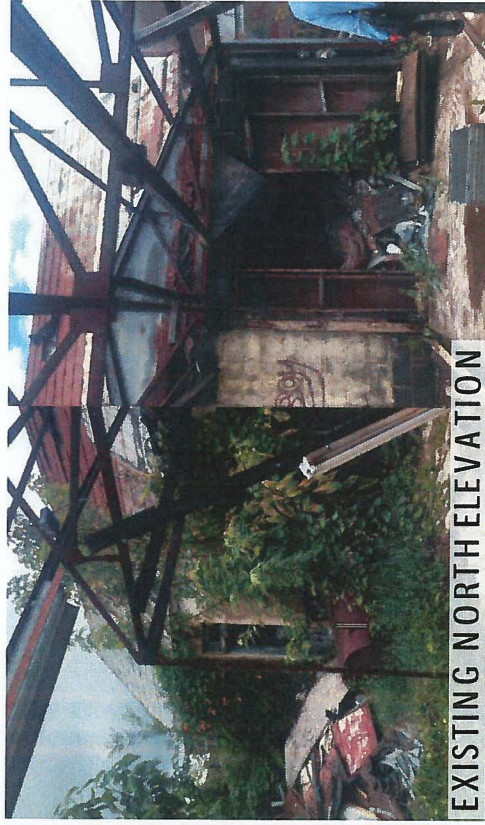
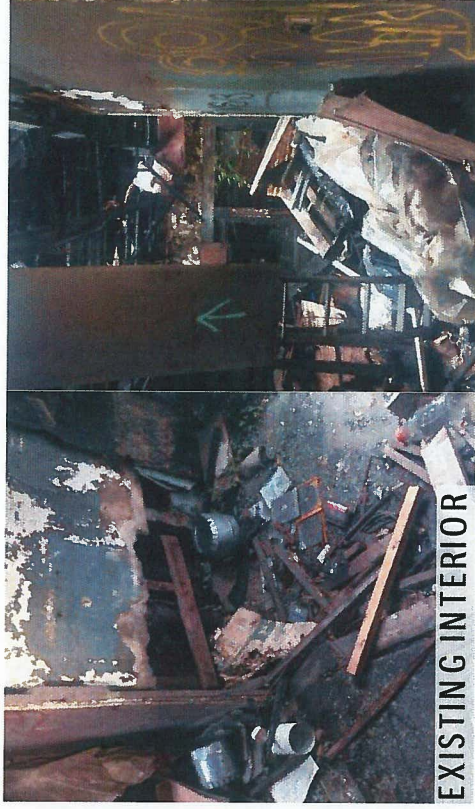
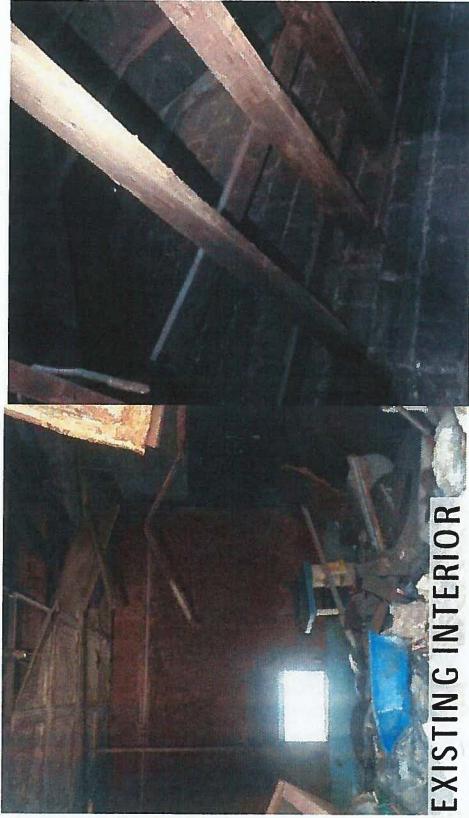


NOTE: SEE STRUCTURAL SURVEY FOR
OBSERVED DAMAGE TO EXISTING WALL



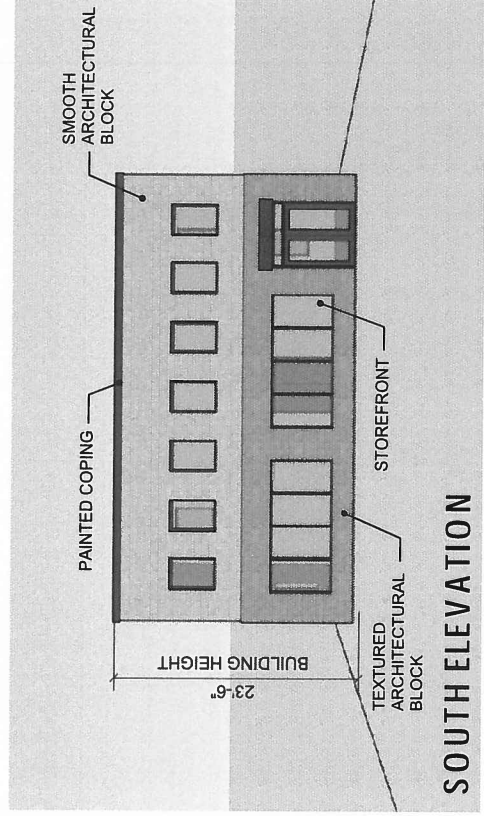
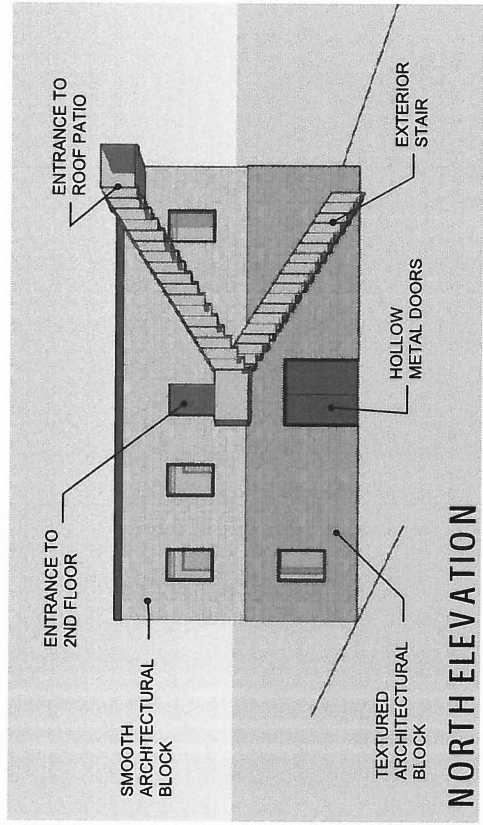
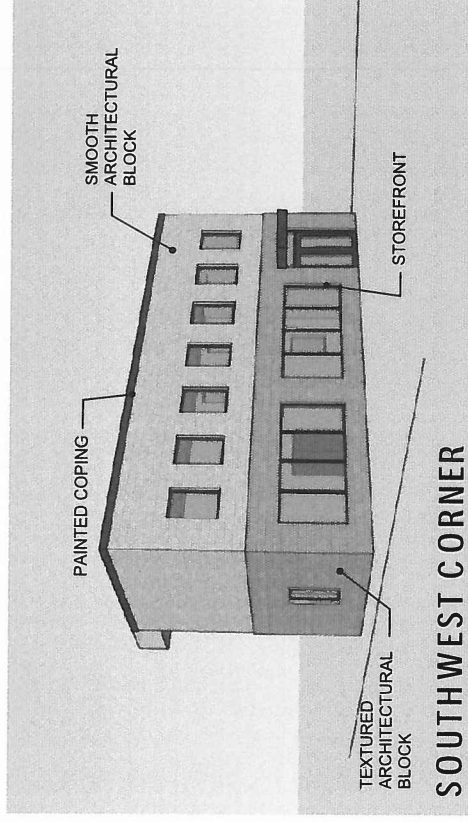
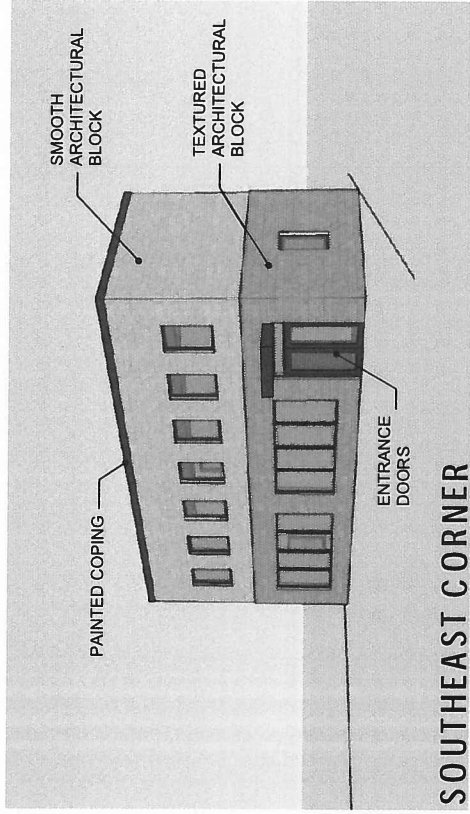
1 EXISTING ELEVATION DIAGRAMS

SCALE: 1/8" = 1'-0"



BECK ESTATES REALTY BUILDING ALTERATION

08/20/2021





**TEXTURED ARCHITECTURAL
BLOCK**



**SMOOTH ARCHITECTURAL
BLOCK**



**DARK STOREFRONT AND
COPING**

1 EXTERIOR MATERIAL PALETTE

Louisa Engineering, Inc.
2800 N. Parham Road
Henrico, Virginia 23294

Cell: 804.512.4865

Email: john@louisaengineering.com

June 17, 2021

Mr. Jonah Margarella - Architect
Baskervill
1051 E. Cary Street
Richmond, VA 23219

RE: 2308 N Lombardy, Richmond, VA

At your request I made a site visit to the above captioned building house to perform a building condition assessment. The main building has dimensions of approximately 16' x 42'. There are the steel framing remains of an addition at the rear. The building appears to have been damaged by fire and is in poor condition. See Photo #1.

Reasonable care was taken to make observations and offer recommendations which are based on visual observations only.

Observations/Recommendations

Exterior

Front - The walls are typically 8" concrete masonry units (CMU). However, the left and right portions of the front wall are framed with wood. These might have been additions to the main building. The roof is wood framed and has metal roofing. The building has been burned as evidenced by a blackened hole in the roof. See photo #1.

Right side -- The right side is constructed of 8" CMU with stucco on the outside. The rear portion of the wall appears to be falling away from the building. See photo #2.

Rear -- The rear wall is constructed of 8" CMU. The wall is in poor condition. The lintel at the right rear of the wall is failed and falling down. There are other door openings that do not appear to have any structural lintels supporting them. There are also other cracks in the rear wall masonry. See Photo's #3 and #4.

Metal framing at rear -- There is a corroded metal frame at the rear of the building that is connected to the main building. The frame is missing at least 2 columns and is extremely corroded. We recommend to demolish it and replace the frame. See photo # 5.

Interior

The interior is also burned and is cluttered with a lot of debris so that it was difficult to maneuver around in the building. The interior wood framing is destroyed by fire. None of it can be reused. See photo's #6 and #7.

Discussion About Future Plans

I understand that the client wants to rebuild the existing structure and add a second story plus a deck on the roof. The ground floor is envisioned to be utilized as retail which is required by the Virginia Construction Code, 2015 to be constructed for a live load of 100 psf. The second floor is potential office space and must be constructed for 50 PSF plus 15 PSF for partitions. The roof would be required to be constructed for an assembly area live load of 100 PSF or a 2000-pound point load over a 2.5' x 2.5' area or a snow live load of 20 PSF.

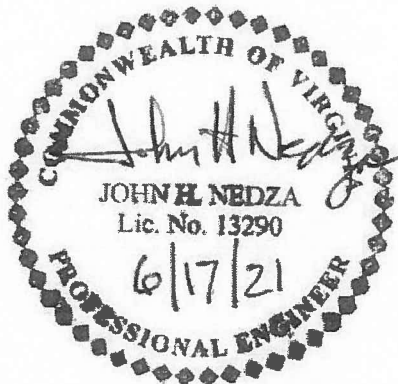
The existing superstructure can be rebuilt but the foundation must be capable of supporting all the loads listed above. A cursory footing calculation was performed based on the aforesaid loads along with dead load. The result was that the new footing loads would be approximately 2000 pounds per foot which is moderate. A typical 2' wide x 1' thick strip footing would be capable of supporting these loads. The soil report indicated an allowable soil bearing pressure of 2000 PSF. Therefore soil strength is adequate to support the building.

Conclusion

The condition of the existing structure is poor. The walls appear to be unstable and various lintels have failed. All of the interior wood framing is either burned or rotten due to exposure to fire and weather. All deteriorated wood framing along with cracked masonry or leaning walls would have to be reconstructed. Since at this point, we were not able to evaluate the foundation conditions we recommend to determine the physical characteristics of the existing footings which will require subsurface investigation. Information gained will be useful for future foundation design.

Sincerely,

John H. Nedza, PE
Structural Engineer, President



Photos Taken June 9, 2021



Photo #1- Front view.



Photo #2 – Right side wall appears to be falling away. Note crack in rear wall corner.



Photo #3 – Rear wall, horizontal cracks

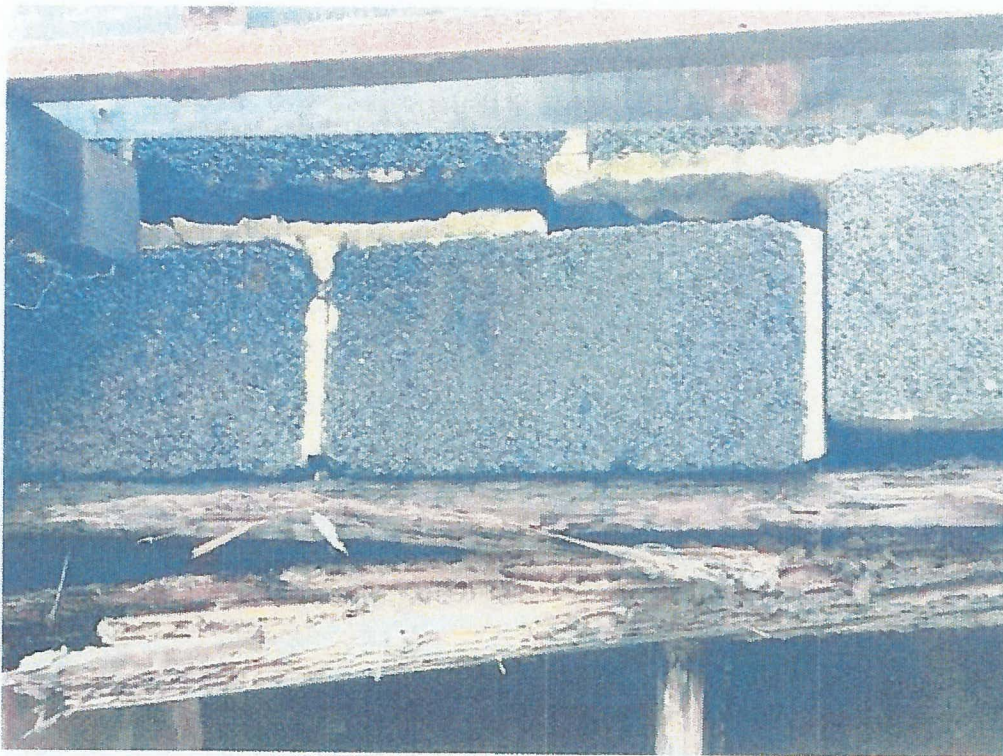


Photo #4- Rear wall - Failed lintel.



Photo #5 – Rear metal framing.



Photo #6 – Charred interior framing.



Photo #7 – Crack right rear wall.

LOUISA ENGINEERING, INC.
Structural Engineers

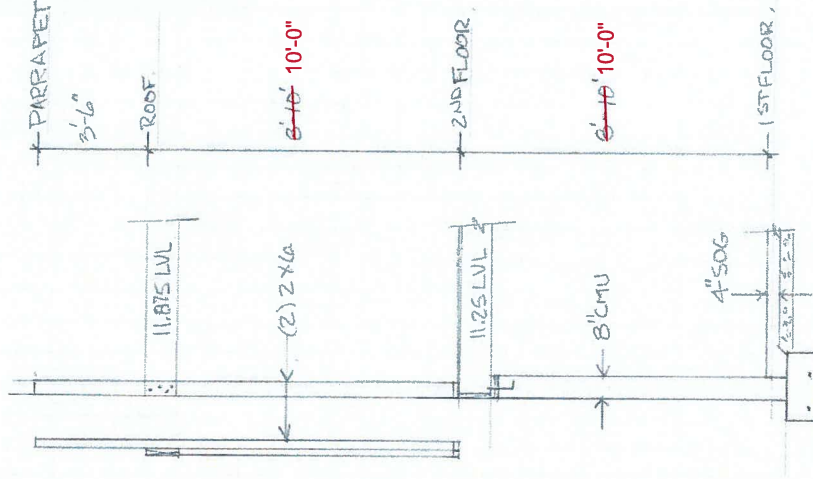
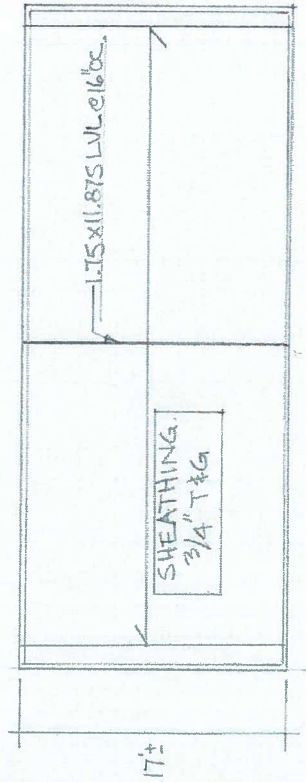
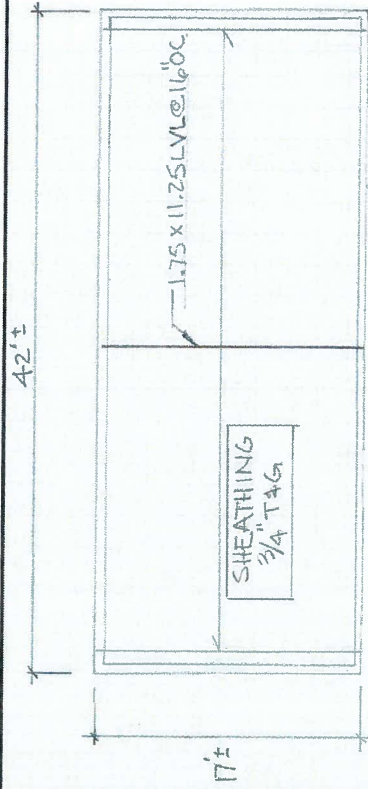
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PROJECT 2308 N. LOMBARDY

SUBJECT FRAMING

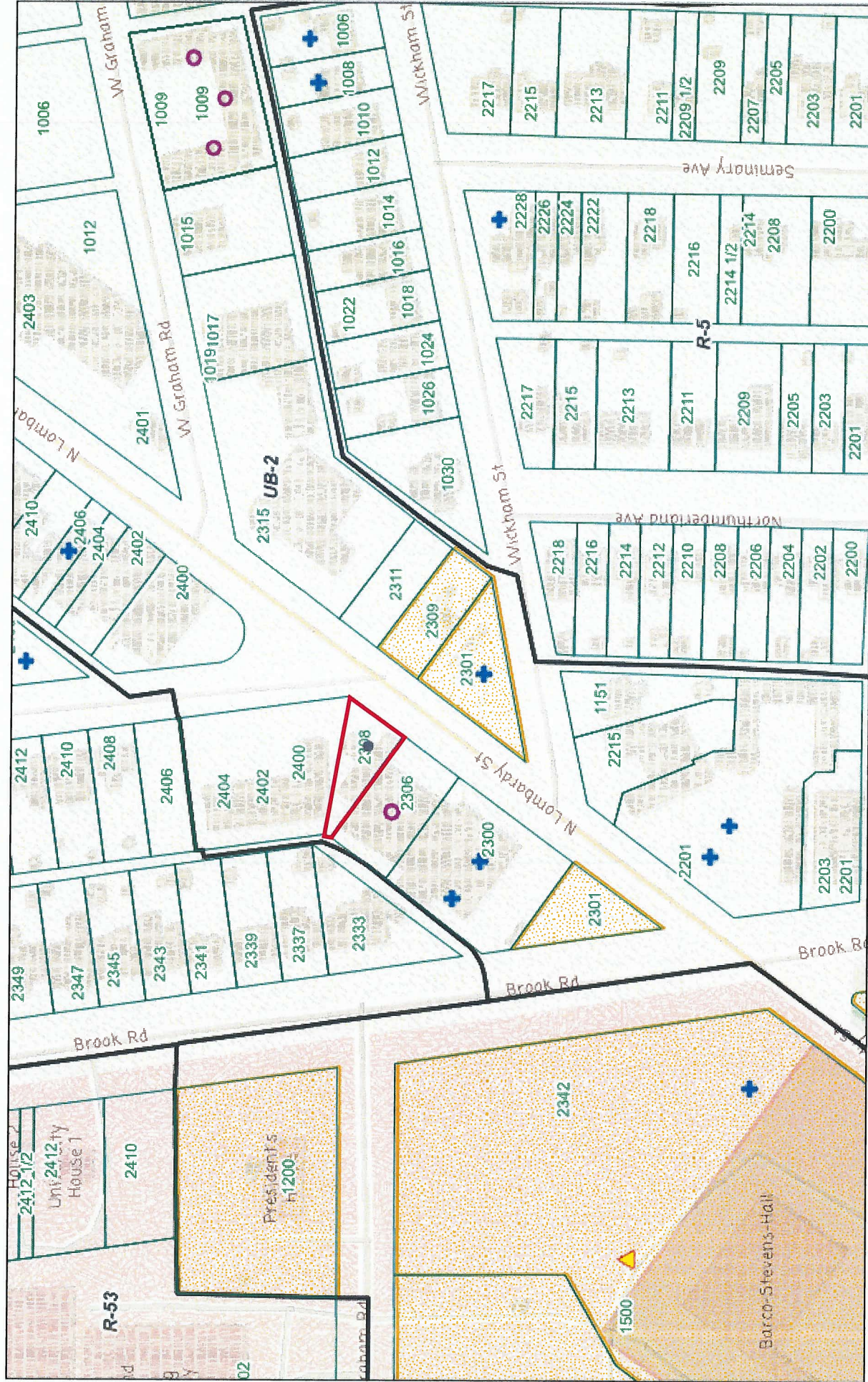
CALCULATED BY J. NEDZA DATE 6/17/21
CHECKED BY DATE
REvised 7/16/21

SHEET NO. 1 OF 1



WALL SECTION
ALL WALL BRACING CS-WSP.
SHEATHING 7/16" OSB

City of Richmond Zoning Map



6/24/2021, 11:47:26 AM

Address Labels

Board of Zoning Appeals

City Old And Historic District

Parcels

Zoning Confirmation Letters

Special Use Permits

Plan of Development

Citations appear in map service do not include Richmond. However, this map product is produced from a City of Richmond application source. The default map service is provided by ESRI and the City has no control over metadata tags appearing therein.

ESRI Community Maps Contributors, County of Henrico, VITA.

Google Maps 2308 N Lombardy St



Image capture: Jun 2018 © 2021 Google

Richmond, Virginia



Street View