

CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
BOARD OF ZONING APPEALS

August 6, 2021

Robert P. and Allison J. Whittemor
211 Old Orchard Lane
Richmond, Virginia 23226

Baker Development Resources
1519 Summit Avenue, Suite 102
Richmond, Virginia 23230
Attn: Mark Baker

To Whom It May Concern:

RE: **BZA 48-2021**

You are hereby notified that the Board of Zoning Appeals will hold an electronic public hearing on Wednesday, September 1, 2021 due to the disaster represented by the spread of COVID-19 pursuant to and in compliance with Ordinance 2021-181 to consider an application for a building permit to construct an addition on an existing single-family detached dwelling at 211 OLD ORCHARD LANE (Tax Parcel Number W022-0133/012), located in an R-1 (Single-Family Residential) District.

Please be advised that the applicant or applicant's representative is required to participate in the electronic public hearing by calling 804-316-9457 and entering code 442 165 267# beginning at 1:00 p.m. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2021 drop-down, click meeting details for September 1, 2021 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at William.Davidson@richmondgov.com for assistance. In accordance with Ordinance No. 2021-181, please be advised that an inability to access one of the enumerated public hearing through video means shall not be considered a prerequisite for participating in the subject public hearing. It will be necessary for you to stay on the line until such time as your case is called. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

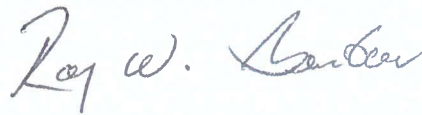
Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 48-2021
Page 2
August 6, 2021

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups> . Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in blue ink that reads "Roy W. Benbow". The signature is fluid and cursive, with the first name "Roy" being the most prominent.

Roy W. Benbow, Secretary
Phone: (804) 240-2124
Fax: (804) 646-5789
E-mail: Roy.Benbow@richmondgov.com

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Baker William G Jr And Amy B
200 Poplar Lane
Richmond, VA 23226

Christenbury Leila
214 Old Orchard Ln
Richmond, VA 23226

Foster Merritt W Iii
209 Old Orchard Ln
Richmond, VA 23226

Hadeed Grace J
2910 Monument Ave
Richmond, VA 23221

Loving Stephen And Sharon
202 Poplar Ln
Richmond, VA 23226

Monbouquette Brian J And Deborah J
211 W Hillcrest Ave
Richmond, VA 23226

Phillips George G Iii And Ann H
213 Old Orchard Ln
Richmond, VA 23226

Schutt E Christopher & Jeanne G
204 Poplar Lane
Richmond, VA 23226

Smith Daniel R And Hoffman Karen
213 W Hillcrest Ave
Richmond, VA 23226

Winter Joan E
2910 Monument Ave
Richmond, VA 23221

Property: 211 Old Orchard Lane **Parcel ID:** W0220133012**Parcel**

Street Address: 211 Old Orchard Lane Richmond, VA 23226-
Owner: WHITTEMORE ROBERT P AND ALLISON J
Mailing Address: 211 OLD ORCHARD LANE, RICHMOND, VA 23226
Subdivision Name : HILLCREST
Parent Parcel ID:
Assessment Area: 132 - Amphill/Hmptn Hlls/Hillcrest
Property Class: 120 - R Two Story
Zoning District: R-1 - Residential (Single Family)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2021
Land Value: \$315,000
Improvement Value: \$544,000
Total Value: \$859,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 32556
Acreage: 0.747
Property Description 1: HILLCREST L5PT4 BB
Property Description 2: 0153.47X0217.06 IRG0000.000
State Plane Coords(?): X= 11768994.50 Y= 3730021.570333
Latitude: 37.56314890 , **Longitude:** -77.51301362

Description

Land Type: Residential Lot A
Topology:
Front Size: 153
Rear Size: 217
Parcel Square Feet: 32556
Acreage: 0.747
Property Description 1: HILLCREST L5PT4 BB
Property Description 2: 0153.47X0217.06 IRG0000.000
Subdivision Name : HILLCREST
State Plane Coords(?): X= 11768994.50 Y= 3730021.570333
Latitude: 37.56314890 , **Longitude:** -77.51301362

Other

Street improvement:
Sidewalk:

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2021	\$315,000	\$544,000	\$859,000	Reassessment
2020	\$315,000	\$523,000	\$838,000	Reassessment
2019	\$315,000	\$508,000	\$823,000	Reassessment
2018	\$315,000	\$486,000	\$801,000	Reassessment
2017	\$315,000	\$458,000	\$773,000	Reassessment
2016	\$315,000	\$458,000	\$773,000	Reassessment
2015	\$315,000	\$453,000	\$768,000	Reassessment
2014	\$315,000	\$450,000	\$765,000	Reassessment
2013	\$315,000	\$497,000	\$812,000	Reassessment
2012	\$350,000	\$505,000	\$855,000	Reassessment
2011	\$350,000	\$532,000	\$882,000	CarryOver
2010	\$350,000	\$532,000	\$882,000	Reassessment
2009	\$350,000	\$532,000	\$882,000	Reassessment
2008	\$350,000	\$532,000	\$882,000	Reassessment
2007	\$350,000	\$532,000	\$882,000	Reassessment

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
04/08/2013	\$755,000	BELK KATHLEEN C	ID2013-7359	1 - VALID SALE-Valid, Use in Ratio Analysis
05/19/2004	\$0	BELK JAMES P & KATHLEEN C	ID2004-16340	
01/05/1983	\$125,000	Not Available	00805-1877	
06/02/1976	\$80,000	Not Available	000707-01968	

Planning

Master Plan Future Land Use: R
Zoning District: R-1 - Residential (Single Family)
Planning District: Far West
Traffic Zone: 1127
City Neighborhood Code: WLTN
City Neighborhood Name: Wilton
Civic Code: 3010
Civic Association Name: Westhampton Citizens Association
Subdivision Name: HILLCREST
City Old and Historic District:
National historic District:
Neighborhoods in Bloom:
Redevelopment Conservation Area:

Economic Development

Care Area: -
Enterprise Zone:

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	2008	0506002	050600
1990	214	0506002	050600

Schools**Elementary School:** Mary Munford**Middle School:** Hill**High School:** Jefferson**Public Safety****Police Precinct:** 3**Police Sector:** 311**Fire District:** 19**Dispatch Zone:** 055A**Public Works Schedules****Street Sweep:** TBD**Leaf Collection:** TBD**Refuse Collection:** Monday**Bulk Collection:** TBD**Government Districts****Council District:** 1**Voter Precinct:** 106**State House District:** 68**State Senate District:** 10**Congressional District:** 4

Extension 1 Details**Extension Name:** R01 - Residential record #01**Year Built:** 1938**Stories:** 2**Units:** 0**Number Of Rooms:** 10**Number Of Bed Rooms:** 4**Number Of Full Baths:** 2

1

Number Of Half Baths:**Condition:** good for age**Foundation Type:** 1/4 Bsmt, 3/4 Crawl**1st Predominant Exterior:** Brick**2nd Predominant Exterior:** N/A**Roof Style:** Gable**Roof Material:** Slate or tile**Interior Wall:** Plaster**Floor Finish:** Hardwood-std oak**Heating Type:** Hot water or steam**Central Air:** Y**Basement Garage Car #:** 0**Fireplace:** Y**Building Description (Out Building and
Yard Items) :****Extension 1 Dimensions****Finished Living Area:** 3159 Sqft**Attic:** 0 Sqft**Finished Attic:** 0 Sqft**Basement:** 420 Sqft**Finished Basement:** 0 Sqft**Attached Garage:** 0 Sqft**Detached Garage:** 0 Sqft**Attached Carport:** 0 Sqft**Enclosed Porch:** 0 Sqft**Open Porch:** 217 Sqft**Deck:** 0 Sqft

Property Images

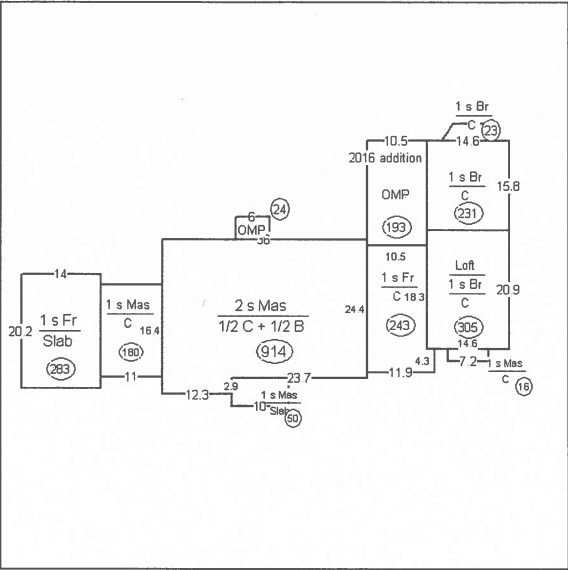
Name:W0220133012 Desc:R01



[Click here for Larger Image](#)

Sketch Images

Name:W0220133012 Desc:R01



RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT

PROPERTY Robert P. and Allison J. Whittemer PHONE: (Home) () (Mobile) ()

OWNER: 211 Old Orchard Lane FAX: (Home) () (Mobile) ()

(Name/Address) Richmond, VA E-mail Address: ()

OWNER'S Mark Baker/Charlie Wilson PHONE: (Home) () (Mobile) (804) 874-6275

REPRESENTATIVE Baker Development Resources FAX: (Home) () (Mobile) ()

(Name/Address) 530 E. Main Street Suite 730 E-mail Address: markbaker@bakerdevelopmentresources.com

Richmond Va 23219

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES): 211 Old Orchard Lane

TYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER ()

ZONING ORDINANCE SECTION NUMBERS(S): Sec. 30-300, Sec. 30-402.5(1) and 30-630.1(c)

APPLICATION REQUIRED FOR: building permit to construct an addition to an existing single-family dwelling.

TAX PARCEL NUMBER(S): W022-0133/012 ZONING DISTRICT: R-1 (Single-Family Residential)

REQUEST DISAPPROVED FOR THE REASON THAT: The front yard (setback) is not met. A front yard setback of thirty five feet (35') is required along Old Orchard Lane; 23.05' is proposed.

DATE REQUEST DISAPPROVED: 7/2/2021 FEE WAIVER: ☐ YES ☒ NO

DATE FILED: 07/16/2021 TIME FILED: 1:00 PREPARED BY: Andrea Cuffee RECEIPT NO. BZAR-095764-2021

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) () OF THE CHARTER OF THE CITY OF RICHMOND

SECTION 15.2 -2309.2 ☐ OF THE CODE OF VIRGINIA [OR]

SECTION 1040.3 PARAGRAPH(S) (1) OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter* ☒

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] DATE: 8/4/2021

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 48-2021 HEARING DATE: September 1, 2021 AT 1:00 P.M.

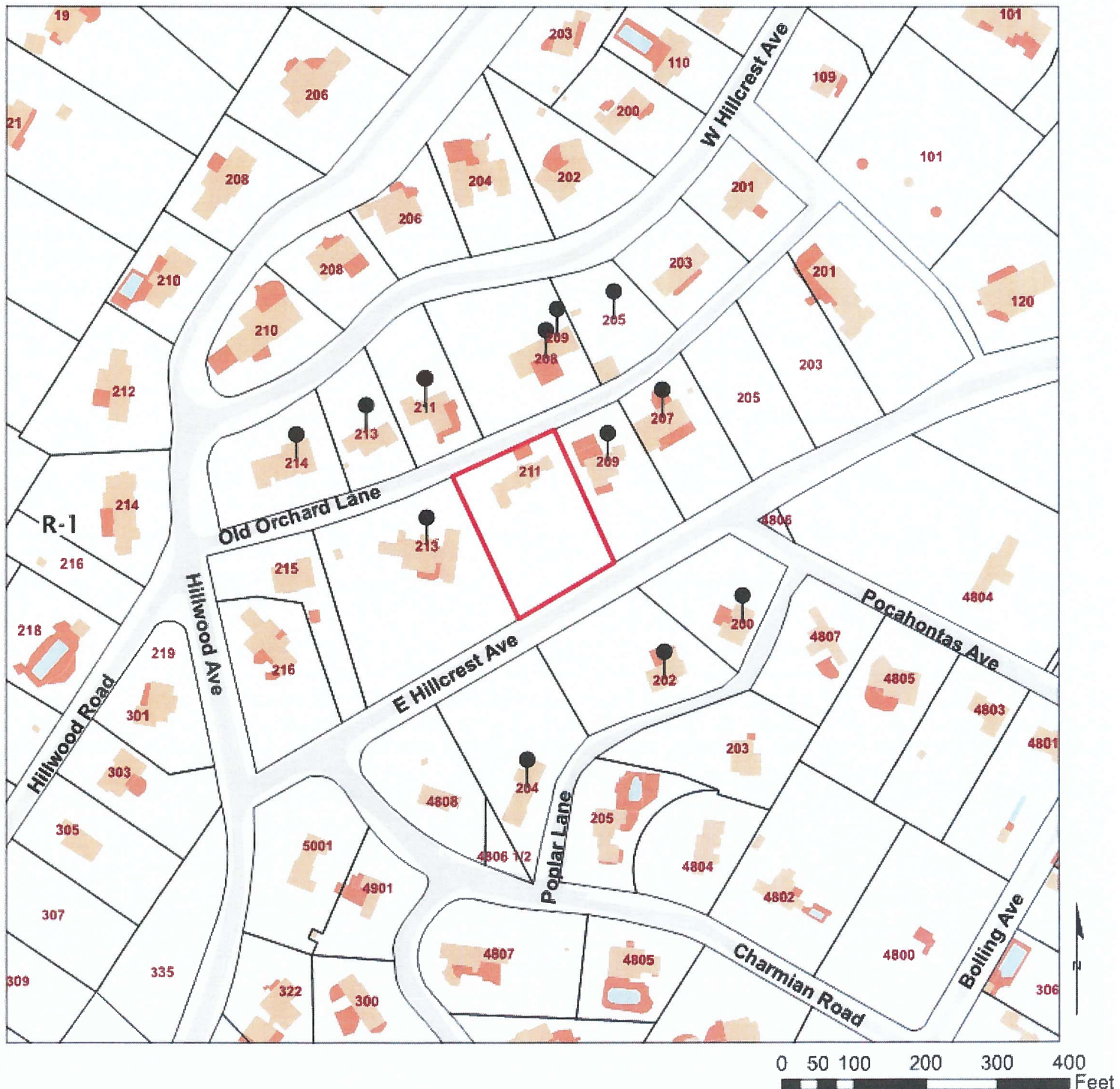
BOARD OF ZONING APPEALS CASE BZA 48-2021
150' Buffer

APPLICANT(S): Robert P. and Allison J. Whittemor

PREMISES: 211 Old Orchard Lane
(Tax Parcel Number W022-0133/012)

SUBJECT: A building permit to construct an addition on an existing single-family detached dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300, 30-402.5(1) & 30-630.1(c)
of the Zoning Ordinance for the reason that:
The front yard (setback) requirement is not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (646-6340/6701). Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it absolutely essential that you discuss your case with your neighbors (notification letters are sent to property owners within a 150-foot radius of your property) as well as your neighborhood association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained from the City's website at <http://www.richmondgov.com/PlanningAndDevelopmentReview/civicasassociationgroupinformation.aspx> Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.
4. **Please be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting.** It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a \$150.00 continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).
4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow (804-240-2124) well before the hearing. The Secretary can be helpful by explaining the BZA public hearing process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: 

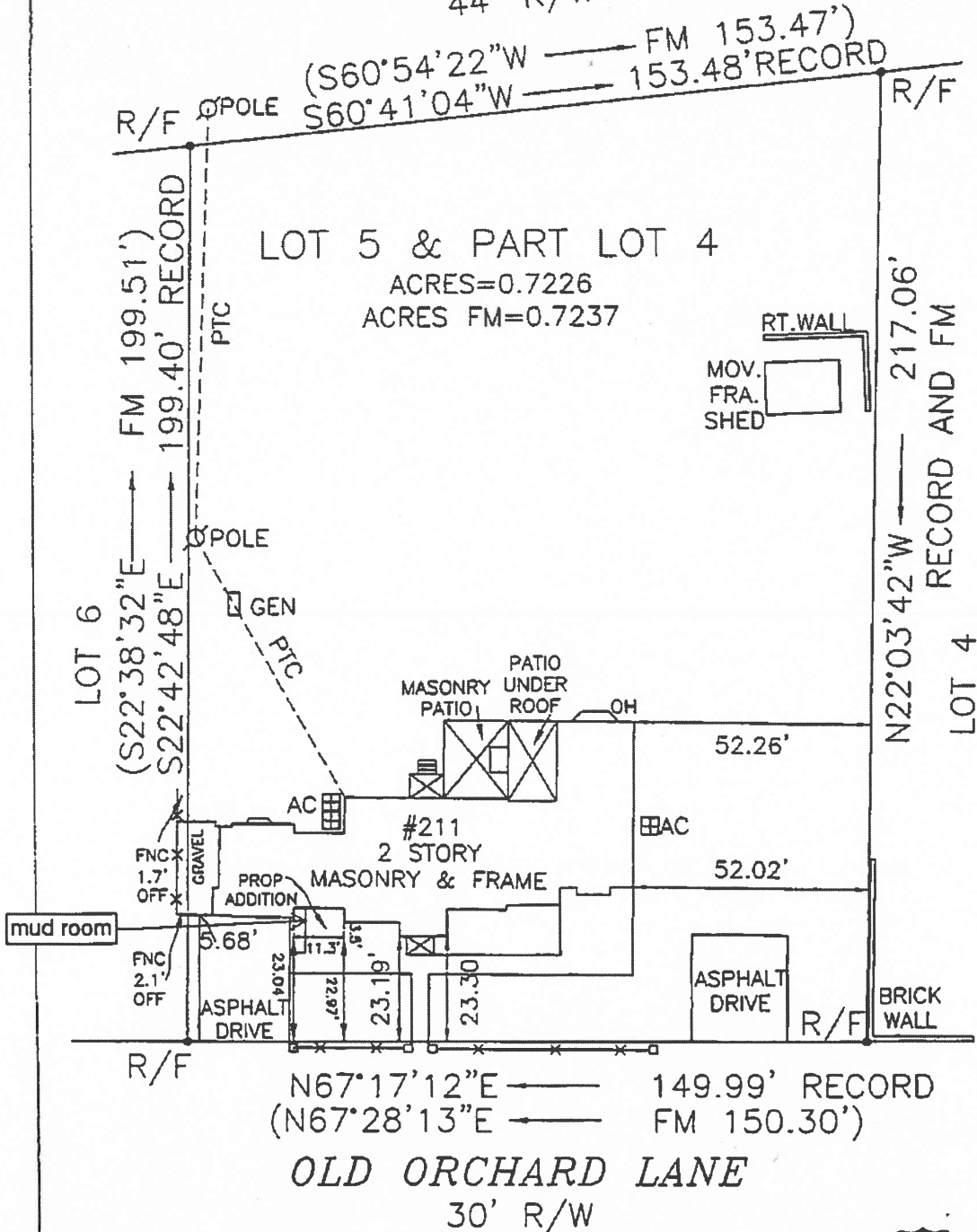
(Revised: 4/28/16)

THIS IS TO CERTIFY THAT ON 07-28-2020,
I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES
SHOWN HEREON AND THAT THERE ARE NO EASEMENTS
OR ENCROACHMENTS VISIBLE ON THE GROUND OTHER
THAN THOSE SHOWN HEREON.

THIS PROPERTY IS IN H.L.D. DEFINED FLOOD
HAZARD AREA, ZONE: X, AS SHOWN ON FIRM
COMMUNITY PANEL #5101280009D, DATED 04/02/2008.

SUBJECT PARCEL:
CURRENT OWNERS: ROBERT P & ALLISON J WHITTEMORE
PAR ID: W0220133012
INST#ID: 2013-7359
ZONED: R-1 RESIDENTIAL SINGLE FAMILY
MIN F=35'
S=10'
R=10'

HILL CREST AVENUE
44' R/W



REV: 5/25/2021
REV: 5/25/2021

THIS SURVEY IS SUBJECT TO ANY EASEMENTS
OF RECORD AND OTHER PERTINENT FACTS
WHICH A TITLE SEARCH MIGHT DISCLOSE.

HARVEY L. PARKS, INC.
4508 W. HUNDRED ROAD
CHESTER, VA.
PHONE: 804-748-8641
EMAIL: SURVEYS@HARVEYL.PARKS.COM

DATE: JULY 30, 2020

DRAWN BY: H.L.J.

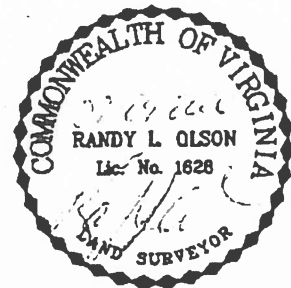
CHECKED BY: R.L.Q.

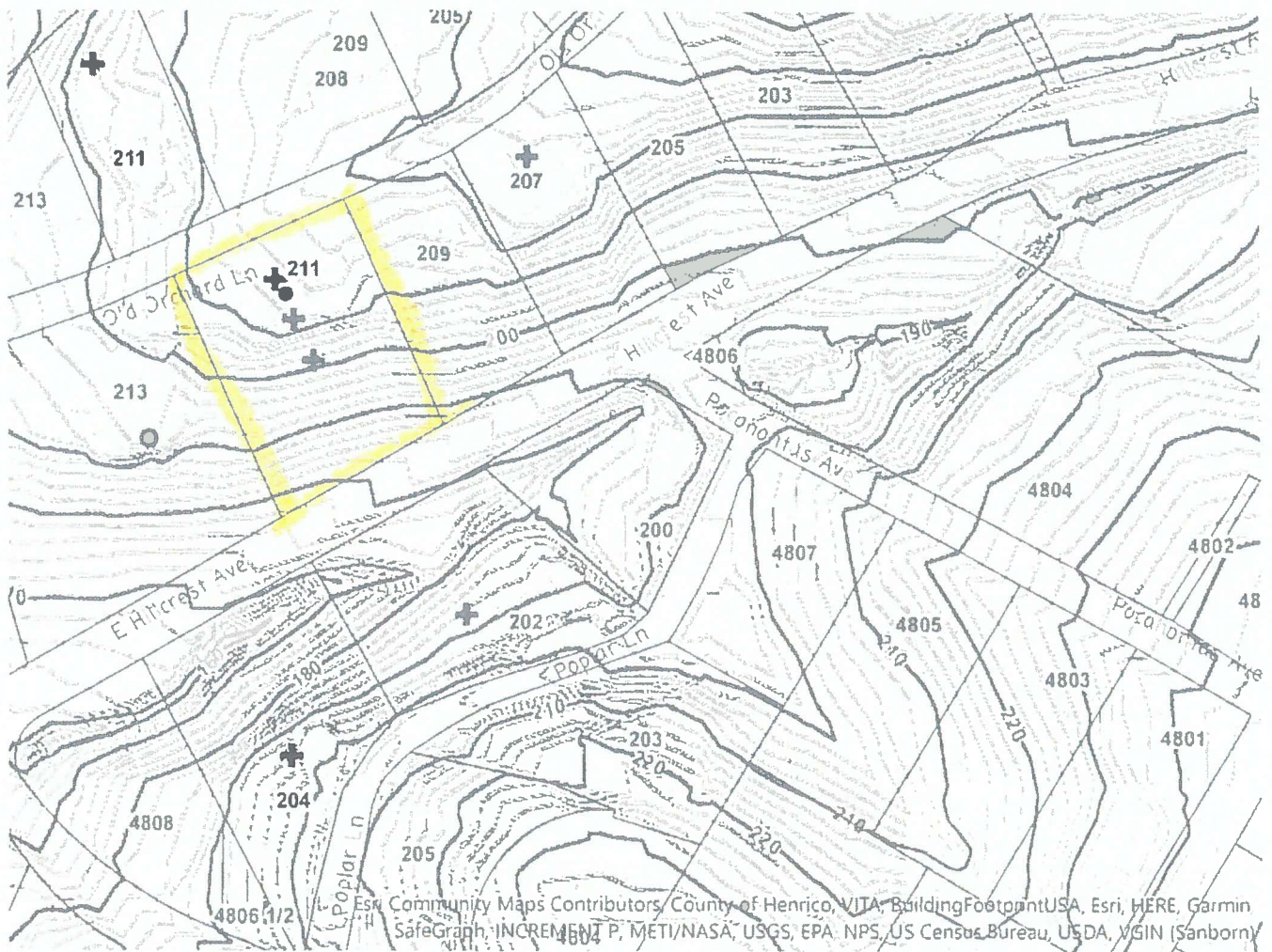
P.B.K.: 628, PG. 08

SCALE: 1"=30'

62808.dwg

PLAT SHOWING IMPROVEMENTS
AND A PROPOSED ADDITION
LOT 5 & PART LOT 4, BLOCK "B"
OF THE HILLCREST SUBDIVISION
IN THE CITY OF
RICHMOND, VIRGINIA





GENERAL NOTES

1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).
2. The contractor shall be responsible for obtaining all necessary permits and licenses for the work.
3. The contractor shall be responsible for the safety of the work and shall maintain safe access to the property at all times.
4. The contractor shall be responsible for the protection of the existing structure and shall repair any damage caused by the work.
5. The contractor shall be responsible for the disposal of all waste materials and shall maintain the property in a clean and sanitary condition at all times.
6. The contractor shall be responsible for the completion of the work within the specified time frame.
7. The contractor shall be responsible for the payment of all subcontractors and suppliers.

FOOTING & MAJOR NOTES

1. All footings shall be poured in place and shall be finished to a smooth surface.
2. The contractor shall be responsible for the placement and compaction of the footing material.
3. The contractor shall be responsible for the curing of the footing material.
4. The contractor shall be responsible for the protection of the footing material from weather and damage.
5. The contractor shall be responsible for the completion of the footing work within the specified time frame.
6. The contractor shall be responsible for the payment of all subcontractors and suppliers.

NON VENTED CRAWLSPACE NOTES

1. The contractor shall be responsible for the installation of the non-vented crawlspace system.
2. The contractor shall be responsible for the sealing of the crawlspace system.
3. The contractor shall be responsible for the protection of the crawlspace system from weather and damage.
4. The contractor shall be responsible for the completion of the crawlspace work within the specified time frame.
5. The contractor shall be responsible for the payment of all subcontractors and suppliers.

ROOFING NOTES

1. The contractor shall be responsible for the installation of the roofing system.
2. The contractor shall be responsible for the sealing of the roofing system.
3. The contractor shall be responsible for the protection of the roofing system from weather and damage.
4. The contractor shall be responsible for the completion of the roofing work within the specified time frame.
5. The contractor shall be responsible for the payment of all subcontractors and suppliers.

WINDOW & DOOR NOTES

1. The contractor shall be responsible for the installation of the window and door units.
2. The contractor shall be responsible for the sealing of the window and door units.
3. The contractor shall be responsible for the protection of the window and door units from weather and damage.
4. The contractor shall be responsible for the completion of the window and door work within the specified time frame.
5. The contractor shall be responsible for the payment of all subcontractors and suppliers.

FRAMING NOTES

1. The contractor shall be responsible for the installation of the framing system.
2. The contractor shall be responsible for the sealing of the framing system.
3. The contractor shall be responsible for the protection of the framing system from weather and damage.
4. The contractor shall be responsible for the completion of the framing work within the specified time frame.
5. The contractor shall be responsible for the payment of all subcontractors and suppliers.

CONCRETE SLAB NOTES

1. The contractor shall be responsible for the installation of the concrete slab system.
2. The contractor shall be responsible for the sealing of the concrete slab system.
3. The contractor shall be responsible for the protection of the concrete slab system from weather and damage.
4. The contractor shall be responsible for the completion of the concrete slab work within the specified time frame.
5. The contractor shall be responsible for the payment of all subcontractors and suppliers.

BRICK WALL REQUIREMENT NOTES

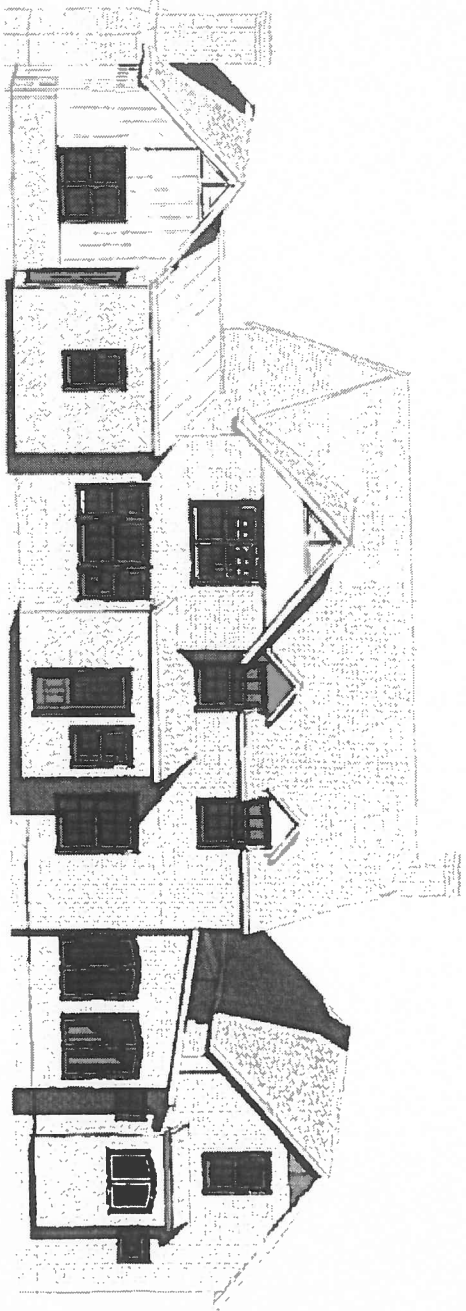
1. The contractor shall be responsible for the installation of the brick wall system.
2. The contractor shall be responsible for the sealing of the brick wall system.
3. The contractor shall be responsible for the protection of the brick wall system from weather and damage.
4. The contractor shall be responsible for the completion of the brick wall work within the specified time frame.
5. The contractor shall be responsible for the payment of all subcontractors and suppliers.

INTERIOR FINISHING NOTES

1. The contractor shall be responsible for the installation of the interior finishing system.
2. The contractor shall be responsible for the sealing of the interior finishing system.
3. The contractor shall be responsible for the protection of the interior finishing system from weather and damage.
4. The contractor shall be responsible for the completion of the interior finishing work within the specified time frame.
5. The contractor shall be responsible for the payment of all subcontractors and suppliers.

INSULATION NOTES

1. The contractor shall be responsible for the installation of the insulation system.
2. The contractor shall be responsible for the sealing of the insulation system.
3. The contractor shall be responsible for the protection of the insulation system from weather and damage.
4. The contractor shall be responsible for the completion of the insulation work within the specified time frame.
5. The contractor shall be responsible for the payment of all subcontractors and suppliers.

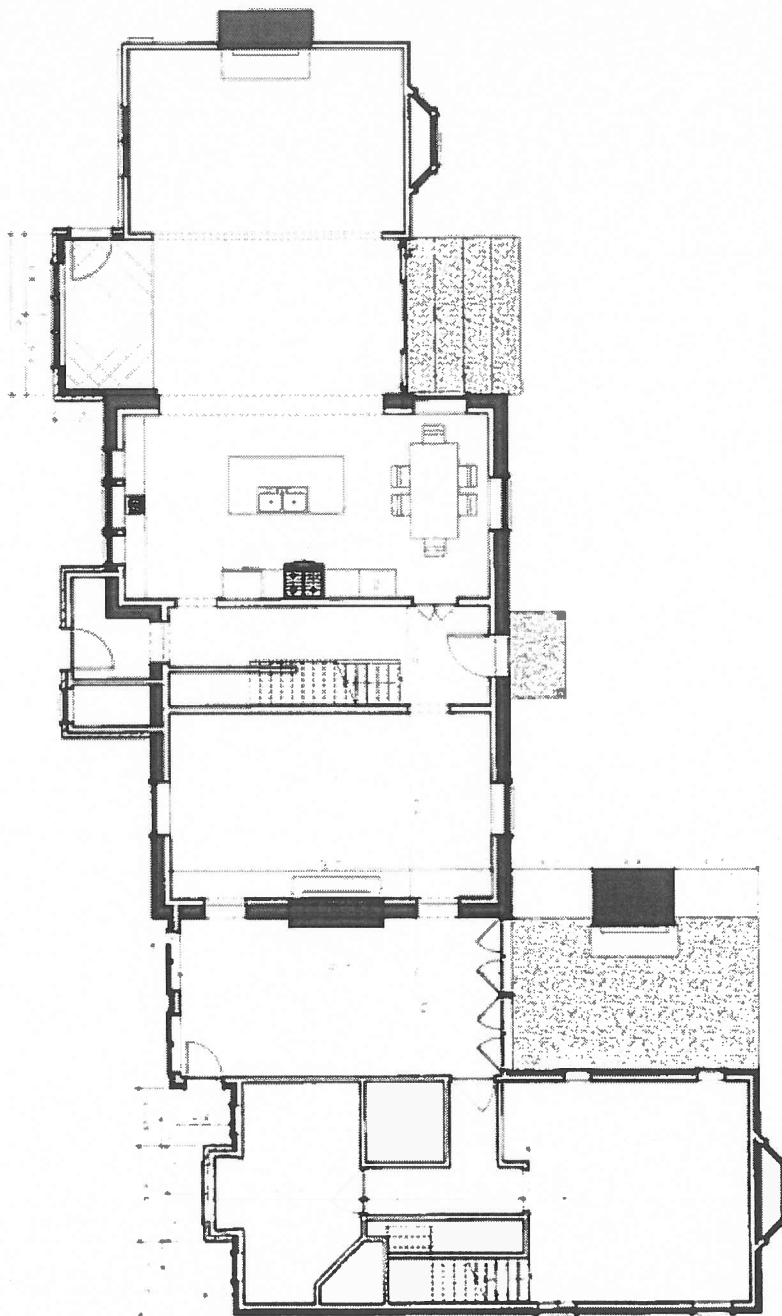


CarriageStone
COTTAGE & HOME DESIGN, LLC
P.O. Box 1821 Glen Allen, Virginia 22043 TEL: 804.734.1111
www.carriagestone.com

Whittemore Residence Remodel
Robert & Allison Whittemore
211 Old Orchard Lane
Richmond, VA 23226

CS1
Cover Sheet & Notes
Project Number: 200001
Date: 11.14.12

FIRST FLOOR
1/4" = 1'-0"



A3

First Floor Plan

Whittemore Residence Remodel

Robert & Allison Whittemore
211 Old Orchard Lane
Richmond, VA 23226

Drawn by: Elizabeth A. Jones, AIA
Date: 11/11/11
Scale: 1/4" = 1'-0"

CarriageStone

COTTAGE & HOME DESIGN, LLC

P.O. Box 1801, Glen Allen, Virginia 23060
Tel: 703.226.1111

www.carriagestone.com

BM SCHEDULE

BM 1 = 10Bx18

BM 2 = 1012x50

BM 3 = 1012x19

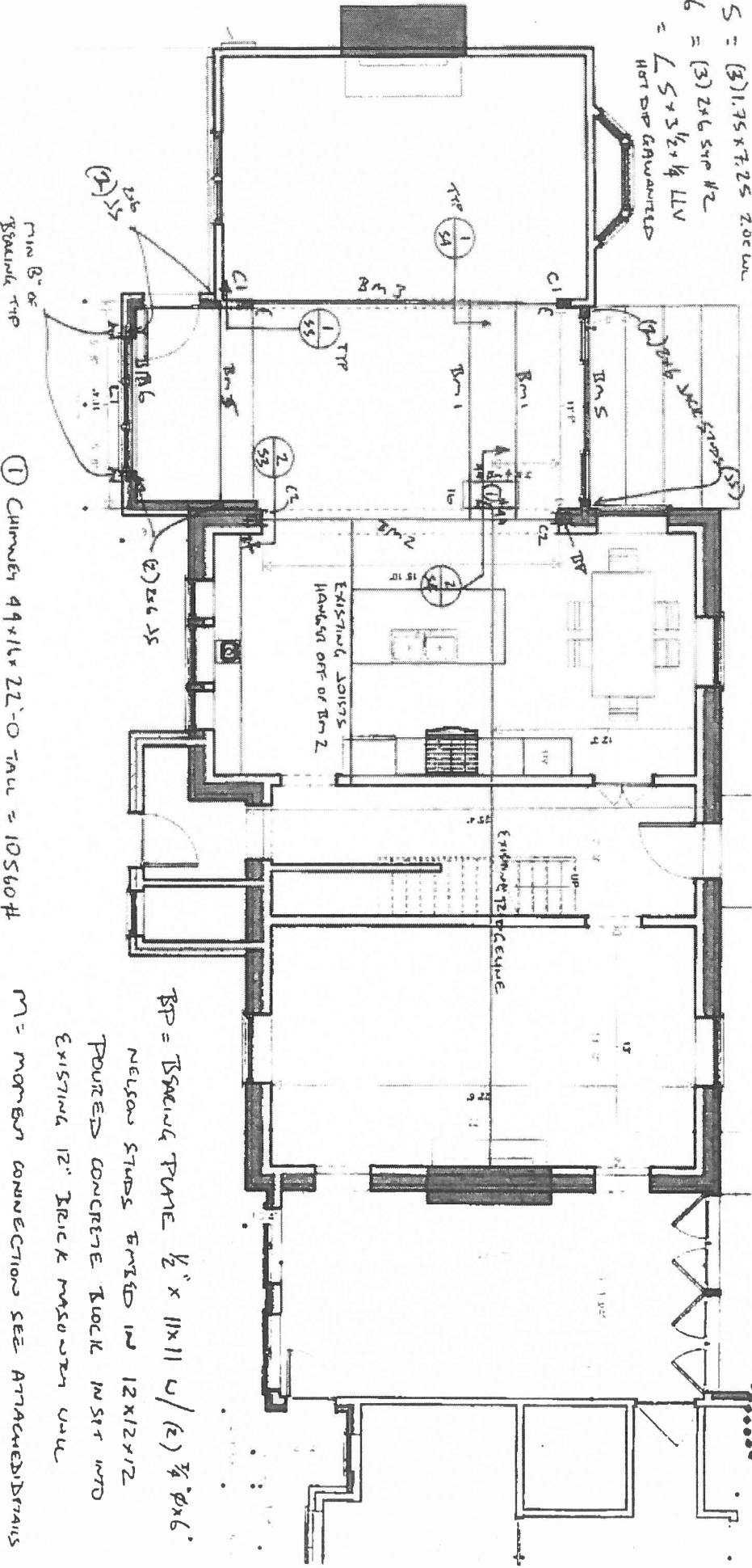
BM 4 = 10Bx10

BM 5 = (3) 1.75x7.25 200W

BM 6 = (3) 2x6 5HP #2

L1 = 45x3 1/2 x 1/4 LLV

HOT DIP GALVANIZED

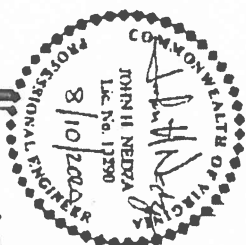


① CHIMNEY 49x16x22'-0" TALL = 10560#

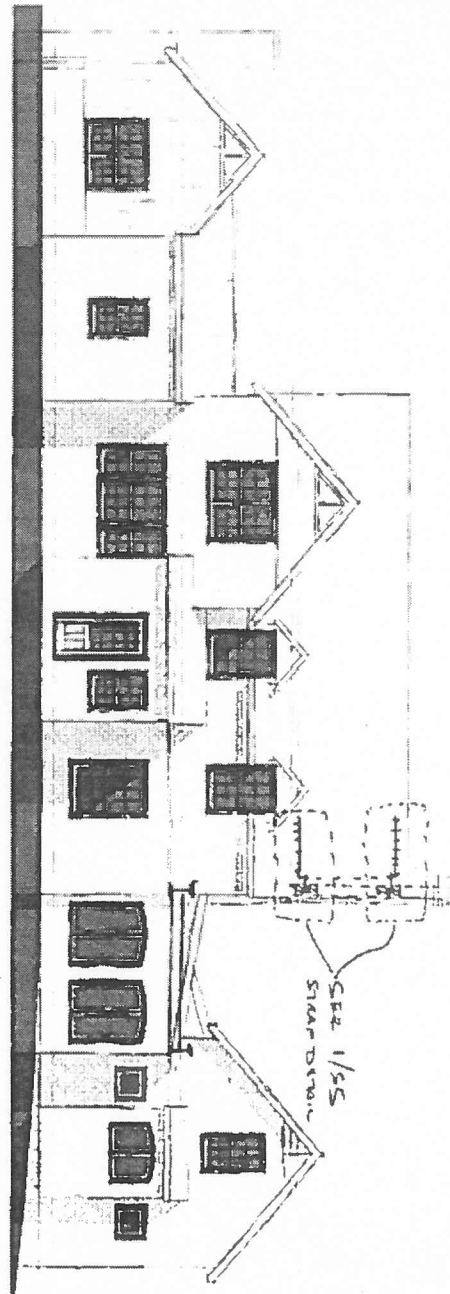
SECOND FLOOR TRIMMING PLAN

M = MORTAR CONNECTION SEE ATTACHED DETAILS
 C1 = 1012x14
 C2 = 1012x20.7 TOST

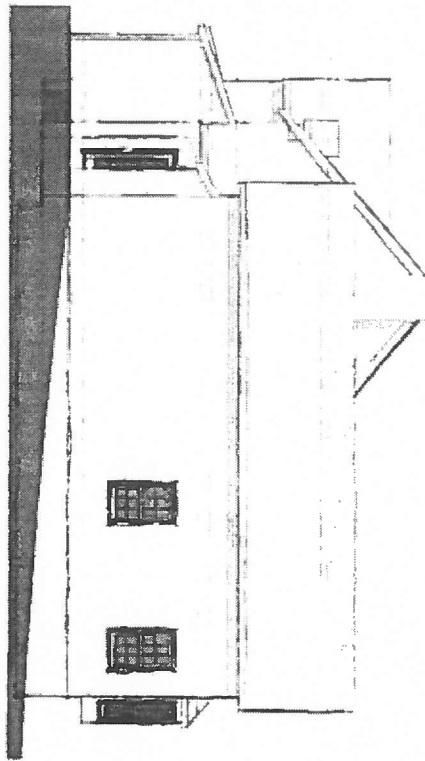
BP = BRACING PLY 1/2" x 11x11 w/ (2) 3/4" x 6"
 NUTS AND STUDS BORED IN 12x12x12
 POURED CONCRETE BLOCK IN SET INTO
 EXISTING 12" BRICK MASONRY WALL



Preliminary FRONT ELEVATION



Preliminary RIGHT ELEVATION



SCALE 1/4" = 1'-0"

A1

Front & Right
Elevations

Whittemore Residence Remodel

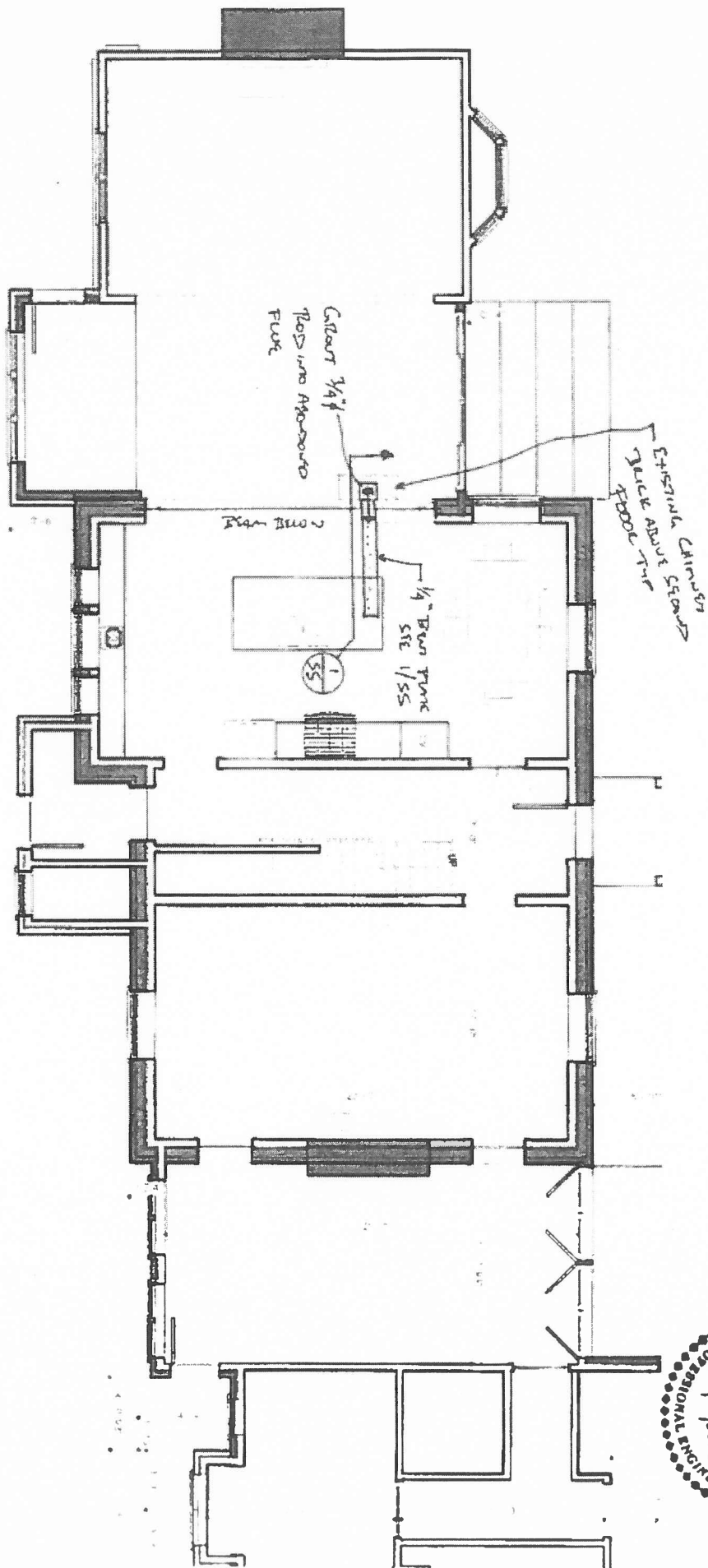
Robert & Allison Whittemore
211 Old Orchard Lane
Richmond, VA 23226

Architect
John H. Nedeja
8/10/2020

CarriageStone
COTTAGE & HOME DESIGN, LLC

P.O. Box 1805, Glen Allen, Virginia 23060 • TEL 804.436.8074
www.CarriageStone.com

ATTIC & ROOF LEVEL PLAN



CASE NO. 11-91

APPLICANT: James P. Belk

PREMISES: 211 Old Orchard Lane

SUBJECT: Building permit to construct an addition to a single family dwelling.

DISAPPROVED by the Zoning Administrator on January 30, 1991 under Sections 32.1-300, 32.1-402.5(1), 32.1-630.2(1)(b) and 32.1-810.1 of the zoning ordinance for the reason that: "R-1 Single Family Residential District. The front yard requirement is not met. Expansion of a building having a nonconforming feature is not permitted when the degree or extent of the nonconforming feature is increased. A 35 foot front yard is required; a 22.9 foot yard exists and a 26.45 front yard is proposed for the addition."

APPLICATION was filed with the Board on February 6, 1991 for a variance from the zoning ordinance based on Section 17.20(b) of the City Charter.

APPEARANCES:

For applicant: James P. Belk

Against Applicant: none

FINDINGS OF FACT: The Board finds from sworn testimony and exhibits offered in this case that the applicant has owned the subject property for seven or eight years. All of the lots on the south side of Old Orchard Lane run through to East Hill Crest Avenue and therefore are subject to front yard setbacks on both street frontages. At one time Old Orchard Lane was actually an alley running between East and West Hill Crest Avenues. A topographic survey was submitted which verified that only a small portion of the lot is buildable.

About one third of the existing house is already located within the required front yard. The proposed addition cannot be located anywhere else on the lot and would be no closer to the street than the existing house. There are no objections from the neighbors, some of whom have also obtained variances for additions.

The Board is satisfied that the property was acquired in good faith, that an exceptional situation exists whereby strict application of the front yard requirements unreasonably restricts its use and that the granting of a variance in this case will alleviate a clearly demonstrable hardship and will be in harmony with the intended spirit and purpose of the ordinance and the powers of the Board.

RESOLUTION: NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ZONING APPEALS that a variance from the front yard requirements be granted to James P. Belk for a permit for an addition to single family dwelling as proposed on the above described property.

ACTION OF THE BOARD: Granted (4 - 0)

Vote to Grant

affirmative: Johns, Rick, Richardson, Pully

negative: none

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MINUTES OF A REGULAR MEETING OF THE BOARD OF ZONING APPEALS
NOVEMBER 6, 1991

A regular meeting of the Board of Zoning Appeals of Richmond, Virginia, was held in the Fifth Floor Conference Room, 900 East Broad Street, on Wednesday, November 6, 1991, at 1:00 P.M., display notice having been published in the Richmond Times-Dispatch on October 23 and 30, 1991, and written notice having been sent to interested parties.

Members Present: Arild O. Trent, Vice-Chairman
John F. Rick
William R. Pully
Phyllis T. Shelton
W. S. Richardson, Jr.

Staff Present: Roger H. York, Secretary
Roy Benbow, Zoning Administrator
J. Neil Brooks, Senior Planner
Michele Gillette, Assistant City Attorney

CASE NO. 60-91

APPLICANT: James P. Belk

PREMISES: 211 OLD ORCHARD LANE

SUBJECT: Building permit for an addition to a single-family dwelling

DISAPPROVED by the Zoning Administrator on October 2, 1991, under Sections 32.1-300, 32.1-402.5(1), 3.1-630.2(1)(b) & 32.1-810.1 of the zoning ordinance for the reason that: "R-1 Single-Family Residential District. The front yard requirement is not met. Expansion of a building having a nonconforming feature is not permitted when the degree or extent of the nonconforming feature is increased. A thirty-five (35) foot front yard is required; a 22.9-foot yard exists and a 27.45 foot \pm yard is proposed for the addition."

APPLICATION was filed with the Board on October 9, 1991, for a variance from the zoning ordinance based on Section 17.20(b) of the City Charter.

APPEARANCES:

For Applicant: James P. Belk

Against Applicant: none

FINDINGS OF FACT: The Board finds from sworn testimony and exhibits offered in this case that the applicant has owned the subject property for eight years. All of the lots on the south side of Old Orchard Lane run through to East Hillcrest Avenue and, therefore, are subject to front yard setbacks on both street frontages. At one time, Old Orchard Lane was an alley running between East and West Hillcrest Avenues. The change in the designation of Old Orchard Lane resulted in the Old Orchard setback requirement increasing from 10 to 35 feet. The existing house on the property was constructed in 1938 when Old Orchard was an alley.

The topography of the subject property is severe, precluding any major additions on the East Hillcrest side of the house. Last March, the Board granted a variance for an addition on the south side of the house, noting that the proposed construction would be no closer to Old Orchard Lane than the existing house. Because of soil conditions, the approved addition cannot extend back as far as originally proposed. The applicant has modified his plans to provide for a wider, but shallower addition. This represents a greater encroachment within the required front yard than previously approved. The addition will not, however, be any closer to the street than was approved in March. In fact, the setback would be increased by a foot.

The Board is satisfied that the property was acquired in good faith and that an exceptional topographical condition and an exceptional situation exist whereby strict application of the front yard requirement unreasonably restricts its use and that the granting of a variance in this case will be in harmony with the intended spirit and purpose of the ordinance and the powers of the Board.

RESOLUTION: NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ZONING APPEALS that a variance from the front yard requirement be granted to James E. Belk for a building permit for an addition to a single-family dwelling as proposed at the above described premises.

ACTION OF THE BOARD: Granted (5-0)

Vote to Grant

affirmative: Pully, Richardson, Rick, Shelton, Trent

negative: none

CASE NO. 61-91

APPLICANT: Walter Sydnor

PREMISES: 1401 HOPKINS ROAD