



CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
BOARD OF ZONING APPEALS

May 7, 2021

Cava Capital LLC
5310 Markel Road, Suite 104
Richmond, Virginia 23230

Baker Development Resources
1519 Summit Avenue, Suite 102
Richmond, VA 23230
Attn: Mark Baker

To Whom It May Concern:

RE: **BZA 35-2021**

You are hereby notified that the Board of Zoning Appeals will hold an electronic public hearing on Wednesday, June 2, 2021 due to the disaster represented by the spread of COVID-19 pursuant to and in compliance with Ordinance 2020-232 to consider an application for building permits to construct two new single-family detached dwellings at 1725 & 1727 NORTH 28th STREET (Tax Parcel Numbers E000-0951/062 & 077), located in an R-5 (Single-Family Residential) District.

Please be advised that the applicant or applicant's representative is required to participate in the electronic public hearing by calling 804-316-9457 and entering code 392 755 966# beginning at 1:00 p.m. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2021 drop-down, click meeting details for June 2, 2021 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at William.Davidson@richmondgov.com for assistance. In accordance with Ordinance No. 2020-232, please be advised that an inability to access one of the enumerated public hearing through video means shall not be considered a prerequisite for participating in the subject public hearing. It will be necessary for you to stay on the line until such time as your case is called. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

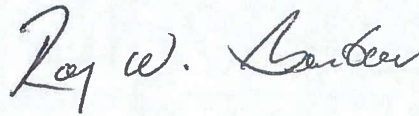
Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 35-2021
Page 2
May 7, 2021

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups> . Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in dark ink, reading "Roy W. Benbow". The signature is fluid and cursive, with the first name "Roy" being the most prominent.

Roy W. Benbow, Secretary
Phone: (804) 240-2124
Fax: (804) 646-5789
E-mail: Roy.Benbow@richmondgov.com

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

A Solodar Properties LLC
6804 Patterson Ave #c
Richmond, VA 23226

Aramin Real Estate LLC
2840 Braidwood Rd
Richmond, VA 23225

Cava Capital LLC
5310 Markel Rd #104
Richmond, VA 23230

Cava Theodore F & Rhonda Lee F
4905 Kensington Cir
Coral Springs, FL 33076

Cowart Marlene
1812 N 29th St
Richmond, VA 23223

Edmunds Richard C Jr
1500 Westbrook Ct. Apt 3129
Richmond, VA 23227

Eleven Eleven 25th LLC
919 E Main St #950
Richmond, VA 23219

Good Shepherd Baptist Church
1127 N 28th Street
Richmond, VA 23223

Hanover Presbytery Inc Tr
1728 N 28th St
Richmond, VA 23223

Jones Kelly O
1008 Telegraph Station Ln
Glen Allen, VA 23068

Jordan Adell C
1739 N 28th St
Richmond, VA 23223

Miller Betty And Roddy
1801 N 29th St
Richmond, VA 23223

Mulatu Meskerem
6161 Glen Eagles Ct
Falls Church, VA 22044

Mulatu Yemeserach
2909 Willston Place #101
Falls Church, VA 22044

Pernik LLC
3006 Lincoln Ave
Henrico, VA 23228

Qos Llc And He.r.d LLC
Po Box 29034
Henrico, VA 23242

Selleck Aimee Pauline
1806 N 29th St
Richmond, VA 23223

Seuffert Lynn P
1808 N 29th St
Richmond, VA 23223

Shulman Mark H And Ileana E
13256 Barwick Lane
Richmond, VA 23238

Sofia LLC
3006 Lincoln Ave
Richmond, VA 23228

Taylor Mark C
1731 N 28th St
Richmond, VA 23223

Williams Erika P
1733 N 28th St
Richmond, VA 23223

Property: 1725 N 28th St Parcel ID: E0000951062**Parcel**

Street Address: 1725 N 28th St Richmond, VA 23223-
Owner: CAVA CAPITAL LLC
Mailing Address: 5310 MARKEL RD #104, RICHMOND, VA 23230
Subdivision Name : VALENTINE HECHLER PLAN
Parent Parcel ID:
Assessment Area: 328 - Fairfield
Property Class: 101 - R Single Family Vacant (R1-R7)
Zoning District: R-5 - Residential (Single Family)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2021
Land Value: \$30,000
Improvement Value:
Total Value: \$30,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 3900
Acreage: 0.0895
Property Description 1: 0030.00X0130.00 0000.090 AC LOT 49
State Plane Coords(?): X= 11800863.425308 Y= 3723067.951225
Latitude: 37.54288044 , **Longitude:** -77.403332

Description

Land Type: Residential Lot B
Topology:
Front Size: 30
Rear Size: 130
Parcel Square Feet: 3900
Acreage: 0.0895
Property Description 1: 0030.00X0130.00 0000.090 AC LOT 49
Subdivision Name : VALENTINE HECHLER PLAN
State Plane Coords(?): X= 11800863.425308 Y= 3723067.951225
Latitude: 37.54288044 , **Longitude:** -77.403332

Other

Street improvement:
Sidewalk:

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2021	\$30,000	\$0	\$30,000	Reassessment
2020	\$20,000	\$0	\$20,000	AdminCorrect
2019	\$18,000	\$0	\$18,000	Reassessment
2018	\$18,000	\$0	\$18,000	Reassessment
2017	\$18,000	\$0	\$18,000	Reassessment
2016	\$18,000	\$0	\$18,000	Reassessment
2015	\$29,000	\$0	\$29,000	Reassessment
2014	\$29,000	\$0	\$29,000	Reassessment
2013	\$29,000	\$0	\$29,000	Reassessment
2012	\$29,000	\$0	\$29,000	Reassessment
2005	\$10,000	\$75,900	\$85,900	Reassessment
2004	\$4,000	\$0	\$4,000	Reassessment
2003	\$3,800	\$0	\$3,800	Reassessment
2002	\$3,700	\$15,900	\$19,600	Reassessment
1998	\$3,600	\$15,400	\$19,000	Not Available

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
03/16/2018	\$20,850	MYRIE LLC	ID2018-5023	1 - VALID SALE-Valid, Use in Ratio Analysis
07/31/2000	\$0	BROOKS ARLENE F	ID2000-18048	
12/29/1975	\$0	Not Available	00111-0000	

Planning

Master Plan Future Land Use: NH-MU
Zoning District: R-5 - Residential (Single Family)
Planning District: East
Traffic Zone: 1038
City Neighborhood Code: WDV L
City Neighborhood Name: Woodville
Civic Code:
Civic Association Name:
Subdivision Name: VALENTINE HECHLER PLAN
City Old and Historic District:
National historic District:
Neighborhoods in Bloom:
Redevelopment Conservation Area: Woodville/Creighton Conservation Area

Economic Development

Care Area: -
Enterprise Zone:

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	1003	0203001	020300
1990	106	0203001	020300

Schools

Elementary School: Woodville
Middle School: Martin Luther King Jr
High School: Armstrong

Public Safety

Police Precinct: 1
Police Sector: 113
Fire District: 11
Dispatch Zone: 107A

Public Works Schedules

Street Sweep: TBD
Leaf Collection: TBD
Refuse Collection: Thursday
Bulk Collection: TBD

Government Districts

Council District: 7
Voter Precinct: 701
State House District: 70
State Senate District: 16
Congressional District: 4

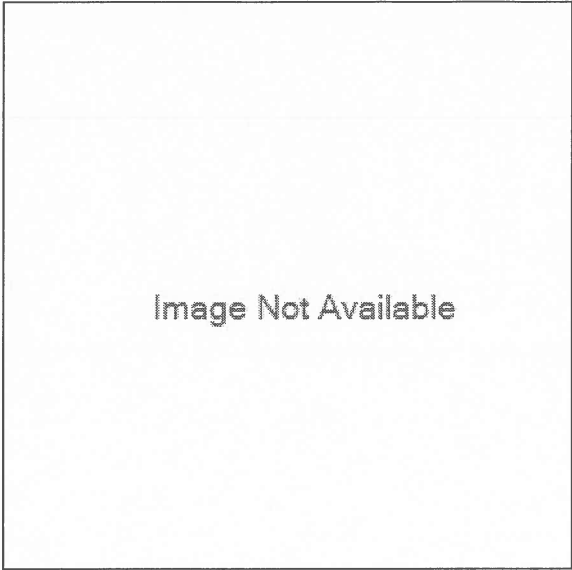
Property Images

Name:E0000951062 Desc:

[Click here for Larger Image](#)

Sketch Images

Name: Desc:



Property: 1727 N 28th St Parcel ID: E0000951077**Parcel**

Street Address: 1727 N 28th St Richmond, VA 23223-
Owner: CAVA CAPITAL LLC
Mailing Address: 5310 MARKEL RD #104, RICHMOND, VA 23230
Subdivision Name : VALENTINE HECHLER PLAN
Parent Parcel ID: E0000951062
Assessment Area: 328 - Fairfield
Property Class: 101 - R Single Family Vacant (R1-R7)
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Parcel Square Feet: 3900
Acreage: 0.0895
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State Plane Coords(?): X= 11800881.389511 Y= 3723091.935757
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Street improvement:
Sidewalk:

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2020	\$20,000	\$0	\$20,000	AdminCorrect

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
10/25/2019	\$0	CAVA CAPITAL LLC	ID2019-22167	2 - INVALID SALE-Relation Between Buyer/Seller

Planning

Master Plan Future Land Use: NH-MU
Zoning District: R-5 - Residential (Single Family)
Planning District: East
Traffic Zone: 1038
City Neighborhood Code: WDV L
City Neighborhood Name: Woodville
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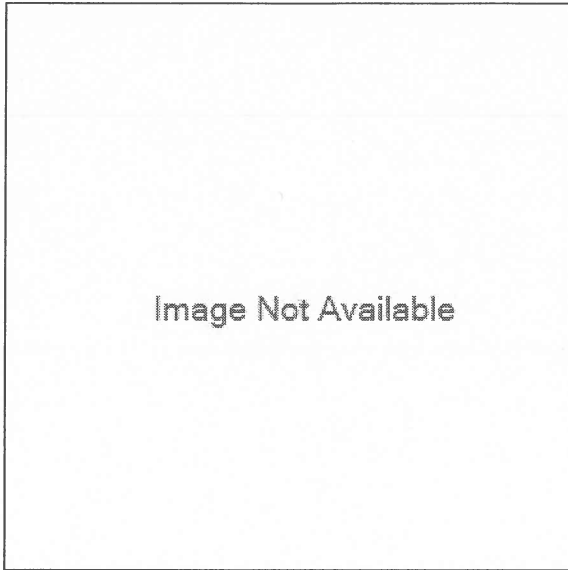
Property Images

Name:E0000951077 Desc:

[Click here for Larger Image](#)

Sketch Images

Name: Desc:



RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

BZA 35-2021

TO BE COMPLETED BY THE APPLICANT

PROPERTY

OWNER: Cava Capital LLC PHONE: (Home) () (Mobile) ()
ADDRESS: 5310 Markel Road, Suite 104 FAX: () (Work) ()
Richmond, Virginia 23230 E-mail Address:

PROPERTY OWNER'S

REPRESENTATIVE: Baker Development Resources PHONE: (Home) () (Mobile) (804) 874-6275
(Name/Address) 1519 Summit Avenue, Suite 102 FAX: () (Work) (804) 822-5428
Richmond, VA 23230 E-mail Address: markbaker@bakerdevelopmentresources.com
Attn: Mark Baker

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 1725 & 1727 North 28th Street

TYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER

ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-1040.2(a)

APPLICATION REQUIRED FOR: Building permits to construct two new single-family detached dwellings.

TAX PARCEL NUMBER(S): E000-0951/062 & 077 ZONING DISTRICT: R-5 (Single-Family Residential)

REQUEST DISAPPROVED FOR THE REASON THAT: The plans are not in compliance with the previous approval (BZA 14-2019). The previous approval granted a special exception from the lot area and lot width requirements, subject to substantial compliance with the plans submitted to the Board and provision of cementitious siding. The previous approval granted the construction of two new one-story single-family detached dwellings containing two bedrooms and two bathrooms. The proposal is to construct two new two-story single-family detached dwellings containing three bedrooms and one and a half (1.5) bathrooms.

DATE REQUEST DISAPPROVED: April 16, 2021

FEE WAIVER: YES ☐ NO: ☒

DATE FILED: April 16, 2021 TIME FILED: 12:37 p.m. PREPARED BY: Brian Mercer RECEIPT NO. BZAR-090760-2021

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) _____ OF THE CHARTER OF THE CITY OF RICHMOND
SECTION 15.2 -2309.2 ☐ OF THE CODE OF VIRGINIA [OR]
SECTION 1040.3 PARAGRAPH(S) (2) OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter* ☒

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] DATE: 5/3/2021

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 35-2021 HEARING DATE: June 2, 2021 AT 1:00 P.M.

BOARD OF ZONING APPEALS CASE BZA 35-2021
150' Buffer

APPLICANT(S): Cava Capital LLC

PREMISES: 1725 & 1727 North 28th Street
(Tax Parcel Number E000-0951/062 & 077)

SUBJECT: Building permits to construct two new single-family detached dwellings.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-1040.2(a)
of the Zoning Ordinance for the reason that:
The plans are not in compliance with the previous approval (BZA 14-2019).





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (646-6340/6701). Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it absolutely essential that you discuss your case with your neighbors (notification letters are sent to property owners within a 150-foot radius of your property) as well as your neighborhood association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained from the City's website at <http://www.richmondgov.com/PlanningAndDevelopmentReview/civicasassociationgroupinformation.aspx>. Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.
4. **Please be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting.** It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. **The Board's Rules of Procedure require payment of a \$150.00 continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).**
4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow (804-240-2124) well before the hearing. The Secretary can be helpful by explaining the BZA public hearing process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: 

(Revised: 4/28/16)



April 12, 2021

Re: 1725 & 1727 N 27th St.

To Whom It May Concern:

I am writing concerning the revision to the above referenced submission. The original request referenced plans for a 2 bedroom/ 2 bath new home in this location. However, after careful review, we feel that there is a greater need in this specific area for an affordable 3 bedroom / 1.5 bath home. As you know, we are currently constructing new homes on existing lots that our company already owns in the Fairfield, Swansboro, Manchester, Churchill and Northside neighborhoods in an effort to continue to provide high quality, affordable housing in Richmond. Cava Companies works closely with the Richmond Redevelopment & Housing Authority as well as countless other organizations that issue & service section 8 housing choice vouchers, the majority of those vouchers, issued in the Richmond area currently, are for families that need 3 or more bedrooms and with the impending demolition of many public housing projects in the Richmond area, the number of 3 & 4 bedroom vouchers may actually increase significantly, very soon. Our goal is always to be a partner to these organizations, and we feel that constructing another 2 bedroom house in this area would be a disservice to those organizations, the people that they serve and the core of our business.

If necessary, I am happy to gather the relevant statistics to back up this information and justify this revision. I am also happy to provide you with data regarding our current portfolio of affordable homes in the City of Richmond. I think that you will find that whether it is a distressed property that we have renovated or a newly constructed property, Cava Companies has helped to revitalize and create opportunity in countless Richmond neighborhoods.

Thank you,

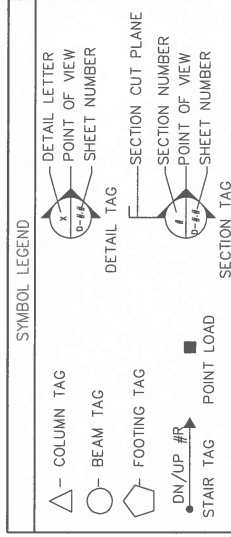
Cindy Clark
Property Manager
Cava Property Management, LLC

SINGLE FAMILY HOME

NORTH CHURCH HILL CORNER - RICHMOND, VA



Copyright © 2014. Copyrighted by PENN & COMPANY. THESE PLANS ARE THE PROPERTY OF PENN & COMPANY. NO PART OF THESE PLANS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION FROM PENN & COMPANY.



P.O. BOX 4481
FAIRFAX, VA 22038
Phone: (703) 675-4592

BUILDING CODE:
PROJECT SHALL CONFORM TO THE 2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE

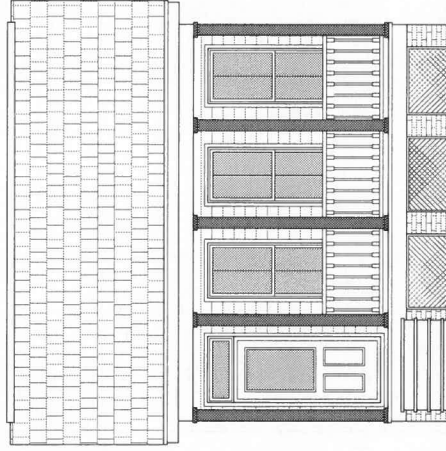
SQUARE FOOTAGE CALCULATIONS

ELEVATION:	ITALIANATE	AREA	FINISHED	AREA	UNFINISHED
1ST FLOOR			1188 SF	FRONT PORCH	216 SF
				REAR PORCH	288 SF
			1188 SF	TOTAL	504 SF

PAGE NUMBER	DESCRIPTION
C-001	COVER SHEET
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR AND ROOF PLAN
A-103	BUILDING SECTION
A-104	SCHEDULES AND PRE-WALL INFORMATION
A-201	ALL VIEWS ELEVATIONS
S-101	FIRST AND SECOND FLOOR FRAMING PLAN
S-102	ROOF FRAMING PLAN
S-103	FIRST AND SECOND FLOOR BRACED WALL PLAN
S-104	SECTIONS AND DETAILS AND BRACED WALL CALCULATIONS



VICINITY MAP



Approved BZA 14-2019

SINGLE FAMILY RESIDENCE		CITY OF RICHMOND, VIRGINIA		COVER SHEET	
NAME: [blank] PROJECT NO.: 14-2019 SHEET NO.: 001 DATE: 11-14-2019					
PENNS&CO. 1115 SOUTHERN TRAIL ROAD, SUITE 309 WESTON, VA 20187 (703) 675-4592					
CLIENT REVIEW DATE: 2-5-19					

C-001

GENERAL NOTES:

1. OWNER OF RECORD: CAVA CAPITOL LLC.
2. LEGAL REFERENCES: INST.
3. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT THERETO. THEREFORE, THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
4. THE SUBJECT PROPERTY IS WITHIN THE LIMITS OF FLOOD ZONE "X" AS SHOWN ON THE FEMA F.I.R.M. #5101290042D EFFECTIVE DATE OF APRIL 2, 2009. THIS DETERMINATION IS BASED ON SAID MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.

LEGEND

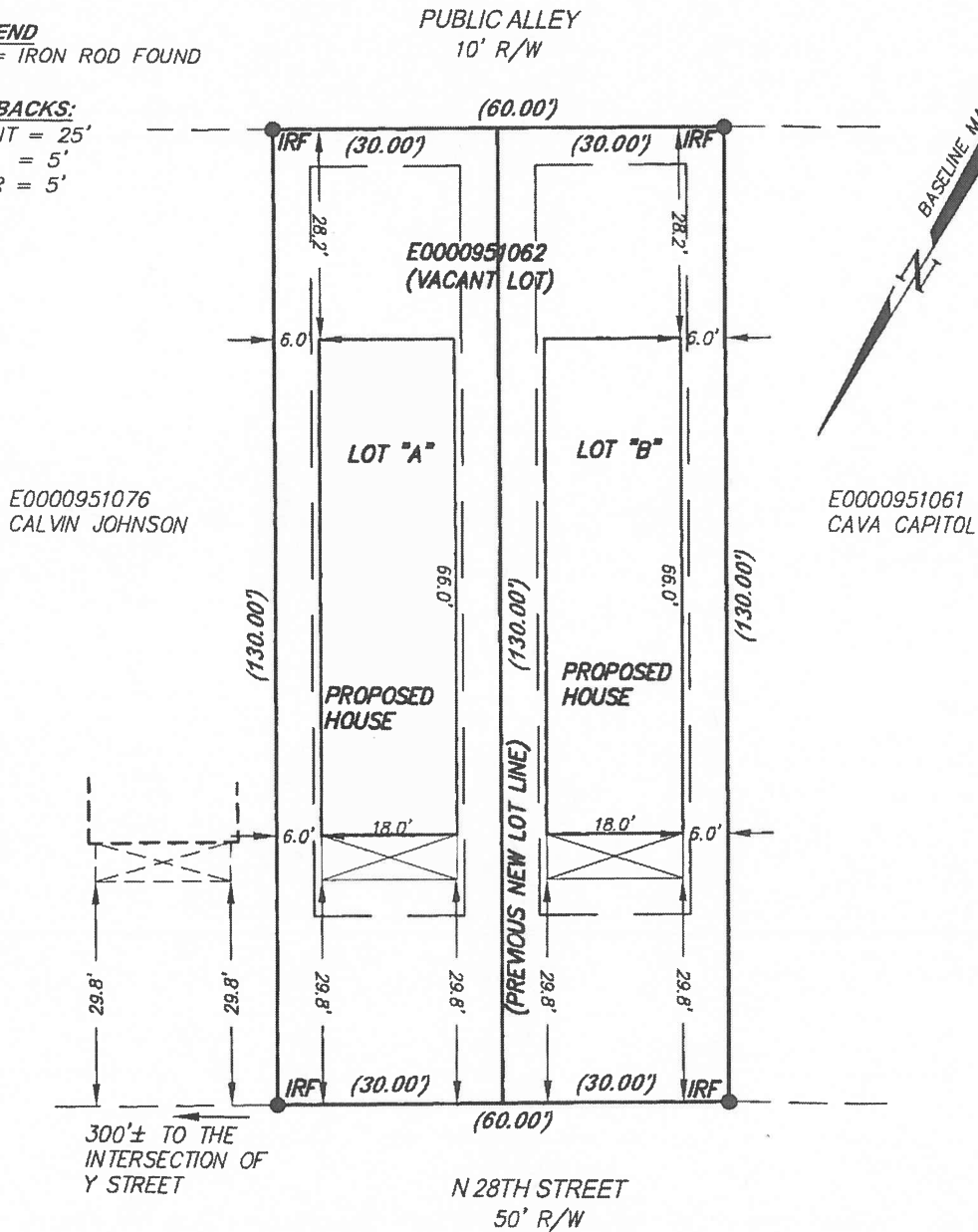
IRF = IRON ROD FOUND

SETBACKS:

FRONT = 25'

SIDE = 5'

REAR = 5'



PROPOSED LOT SPLIT
1727 N 28TH STREET

RICHMOND, VIRGINIA
 SCALE: 1"=20'

TAX #. E0000951062

DRAWN MGM

CALC. MGM CHK'D JCG

CLOSED: MGM



parker
 DESIGN GROUP, INC.

ENGINEERS * SURVEYORS * PLANNERS * LANDSCAPE ARCHITECTS

1915-B W. Cary Street
 Richmond, Virginia 23220

Phone: 804-358-2947

Fax: 804-359-9645

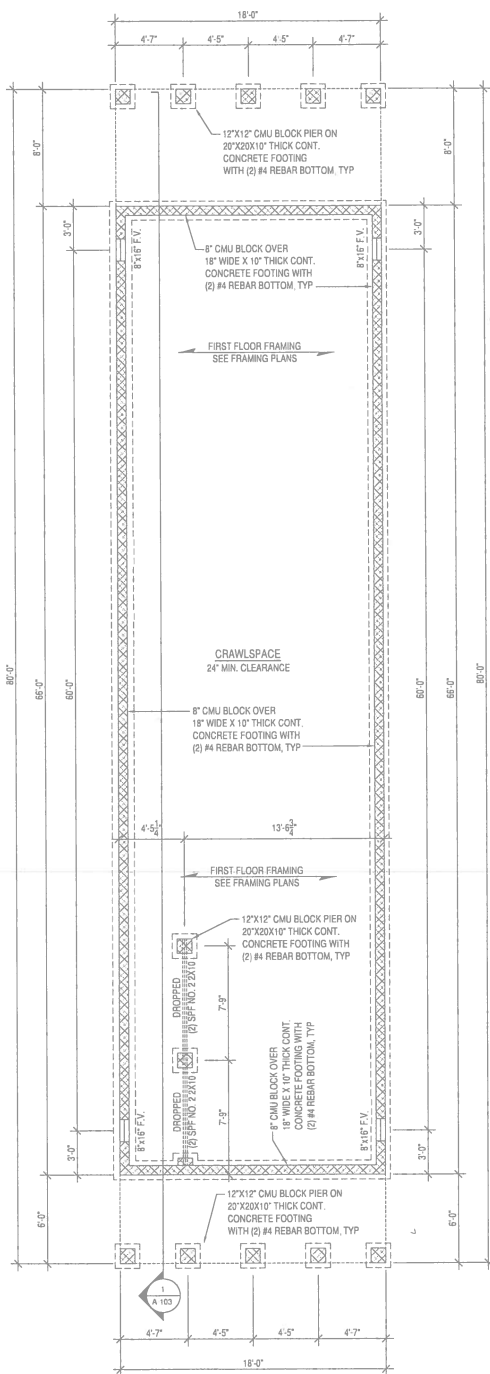
www.parkerdg.com

DATE: 8 FEBRUARY 2019

REV: 14 FEBRUARY 2019

N.B.

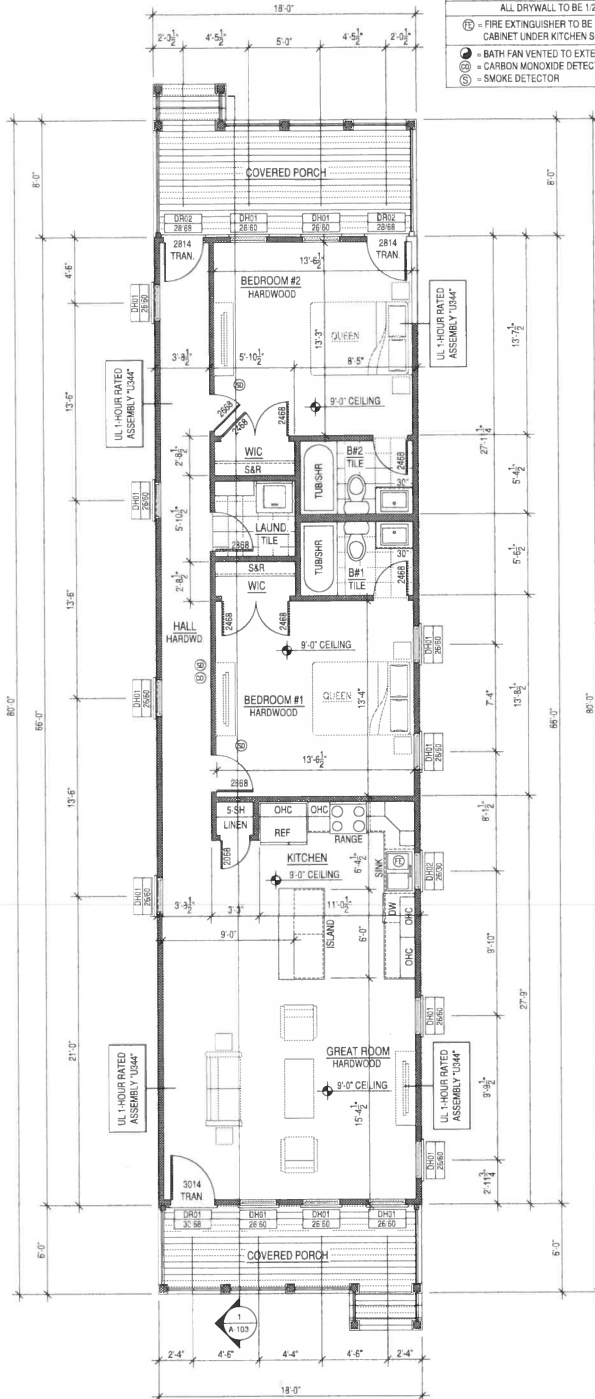
W.O.: 18-5002-1



FOUNDATION PLAN

FOUNDATION NOTES

1. SEE SOIL REPORT FOR FOOTING SIZE AND REINFORCEMENT.
2. CRAWL SPACE ACCESS DOOR TO BE FIELD LOCATED, HEADER FOR CRAWL DOOR TO BE (2) LVL FLUSH IN FLOOR SYSTEM WITH TOP MOUNT JOIST HANGERS
3. CRAWL SPACE INTERIOR GROUND SURFACE TO BE COVERED WITH 6 mil POLY VAPOR BARRIER



FIRST FLOOR PLAN

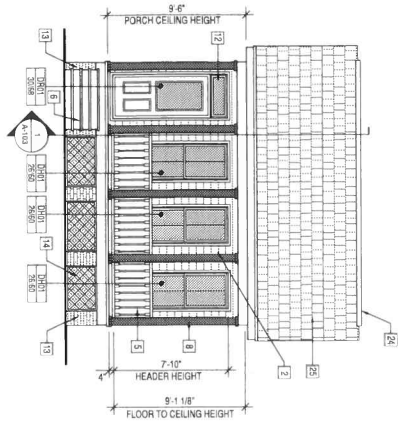
PLAN AND FRAMING NOTES

1. ALL WALL FRAMING TO BE 2X4S AT 16 inch OC UNLESS OTHERWISE NOTED.
2. ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2 inch THICK (FINISHED) UNLESS OTHERWISE NOTED.
3. ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
4. ADJACENT PERPENDICULAR WALL SURFACE COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
5. CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
6. DOOR SIZES PROVIDED AND WINDOWS DIMENSIONED ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER INSTALLERS REQUIREMENTS AND CLEARANCES.
7. PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETS LOCATIONS, REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVE AND WALL MOUNTED TV LOCATIONS.
8. CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE HAVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.

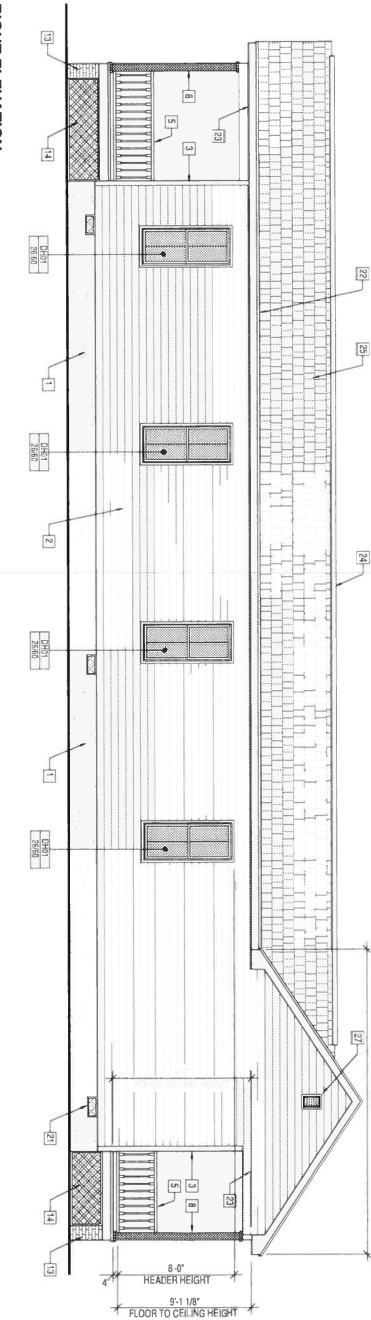
- STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE.
TREADS TO BE 9" MIN. WITH 1" NOSING
- HANDRAILS & PICKETS:
36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING
@ ALL BALCONIES. PICKETS SPACED TO NOT
ALLOW A 4" SPHERE TO PASS THROUGH.
- LABEL DRYER VENT LENGTH ON DUCT
- ALL DRYWALL TO BE 1/2"
- 15 = FIRE EXTINGUISHER TO BE LOCATED IN
CABINET UNDER KITCHEN SINK
- 16 = BATH FAN VENTED TO EXTERIOR
- 17 = CARBON MONOXIDE DETECTOR
- 18 = SMOKE DETECTOR

<p>DATE: 11/11/2019 PROJECT: 2019-0001 DRAWN: J. B. BROWN CHECKED: J. B. BROWN DATE: 11/11/2019</p>	<p>SINGLE FAMILY RESIDENCE</p> <p>CITY OF RICHMOND, VIRGINIA</p> <p>FOUNDATION AND FIRST FLOOR PLAN</p>	<p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 11/11/2019</p>	<p>CAVA CAPITAL, LLC.</p> <p>1115 SUNSET HILL ROAD, SUITE 309 RESTON, VA 20191 817-513-3024</p>	<p>PENNECO</p> <p>4220 N. BROADWAY SUITE 100 DALLAS, TX 75245 (214) 343-1000</p>	<p>CLIENT REVIEW: 2-5-19</p> <p>DATE: 2-5-19</p> <p>APPROVED: [Signature]</p>
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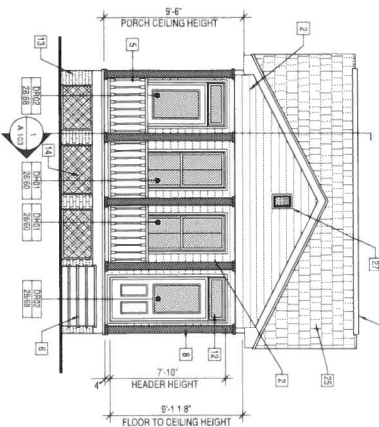
FRONT ELEVATION



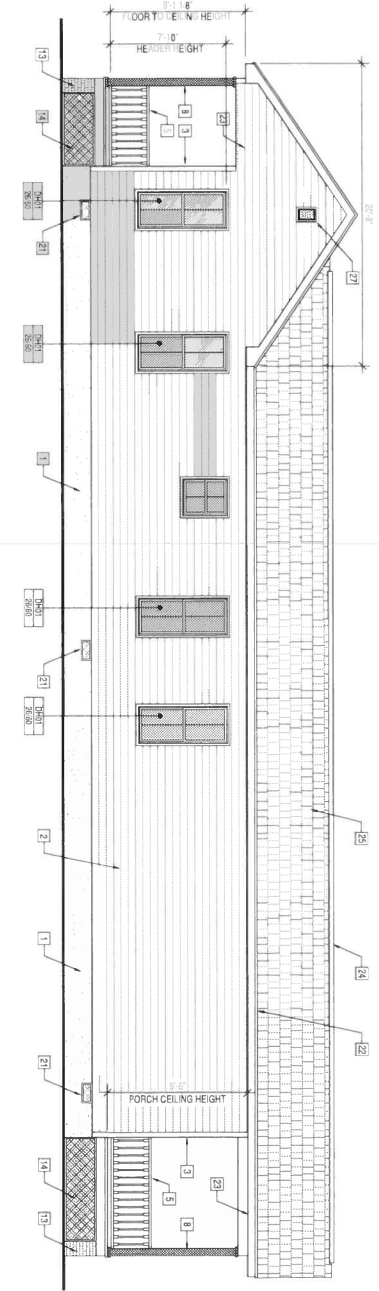
RIGHT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



- BLDG ELEVATION MATERIAL KEYNOTES**
- 1 PAVED FOUNDATION WALL, TYP
 - 2 5" EXPOSURE FIBER CEMENT HORIZONTAL LAP SIDING, PAINT FINISH
 - 3 FIBER CEMENT SIDING TRIM AT CORNERS
 - 4 PVC BRACKET BRT12X12BP
 - 5 WOOD TRICHONDRAIL, PAINT FINISH
 - 6 WOOD FRAMED PORCH AND STEPS, PAINTED
 - 7 1x4 WOOD DECKING IN PAINTED BUILT-UP TRIM AT PORCH SAND BOARD
 - 8 4x4 DECORATIVE WOOD PAINTED COLUMN
 - 9 1x6 PAINTED WOOD TRIM FASCIA
 - 10 FOUR PANEL WOOD DOOR WITH TRANSOM & MOLD SURROUND
 - 11 STEEL DOOR WITH TRANSOM AND PAINTED MOLDINGS SURROUND
 - 12 8x16 TPO ROOFING
 - 13 BRICK PIER, TYP
 - 14 WOOD LATTICE BELOW DECK
 - 15 DECORATIVE PLYCON WINDOW HEADER
 - 16 SPIND ROOFING AT PORCH ROOF
 - 17 BEADED VINYL SOFFIT, TYP
 - 18 PVC PICTURE FRAME MOLDINGS, TYP
 - 19 PVC DENTIL MOLDING PLYCON M.D354-12
 - 20 PVC BRACKET PLYCON BRT1X18
 - 21 VENTS, SEE FOUNDATION PLAN
 - 22 1x6 PAINTED BAKE BOARD
 - 23 PVC BEADED PORCH PANELING
 - 24 RIDGE VENTS
 - 25 ARCHITECTURAL SHINGLES
 - 26 12"x24" FOUNDATION VENT
 - 27 18"x24" GABLE VENT, TYP

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(860) 671-1100

CAVA CAPITAL, LLC.
1115 SUNSET HILL ROAD, SUITE 309
RESTON, VA 20191
(703) 441-1000

SINGLE FAMILY RESIDENCE
CITY OF RICHMOND, VIRGINIA
ALL VIEW ELEVATIONS

CLIENT REVIEW
DATE: 2-5-19
APPROVED: [Signature]
DATE: [Date]

A-201

THIS PROPERTY IS LOCATED IN ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL #5101290042D, EFFECTIVE DATE APRIL 2, 2009.

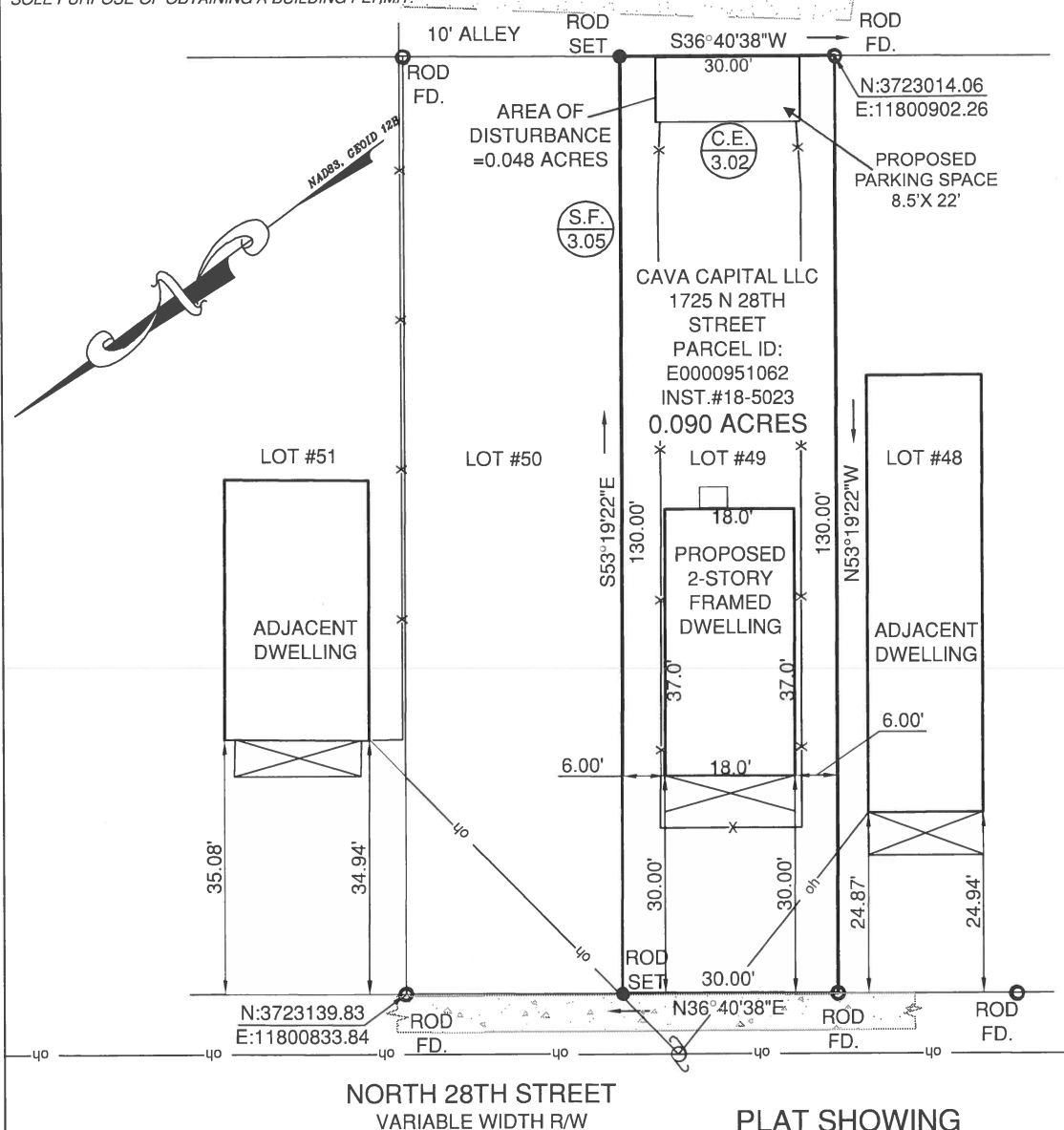
THIS SURVEY IS SUBJECT TO ANY EASEMENT OF RECORD OR OTHER PERTINENT FACTS THAT A CURRENT TITLE REPORT MIGHT IDENTIFY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

NOTE: THIS PLAT IS VOID IF CONSTRUCTION IS BEGUN PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THIS PLAT DOES NOT REPRESENT A CURRENT FIELD SURVEY AND IS FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT.

THIS SURVEY WAS MADE FOR THE PURPOSE OF IDENTIFYING LEGAL BOUNDARIES AND DOES NOT PURPORT TO IDENTIFY ENVIRONMENTAL FEATURES THAT AN ENVIRONMENTAL ASSESSMENT MIGHT IDENTIFY.

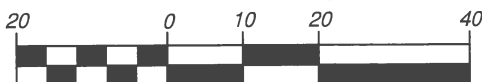
REFERENCE PLAT: PLAT SHOWING LOT SPLIT 1727 N 28TH STREET, LOTS 49 & 50 BLOCK 4 VALENTINE HECHLER'S ESTATE. DATED OCTOBER 7, 2019 BY J. CLAYTON GROGAN JR.

NOTE: CONSTRUCTION ENTRANCE TO BE USED AS REQUIRED PARKING SPACE



COMMONWEALTH OF VIRGINIA
CHARLES C. TOWNES, II
Lic. No. 2803
4/8/2021
LAND SURVEYOR

GRAPHIC SCALE



1 inch = 20 feet

PLAT SHOWING
PROPOSED DWELLING ON
LOT 49, BLOCK 4
VALENTINE HECHLER PLAN
SUBDIVISION

FOR
CAVA CAPITAL, LLC

CITY OF RICHMOND, VIRGINIA

DATE: APRIL 8, 2021

SCALE: 1"=20'



townes

consulting engineers, planners, and land surveyors

2463 boulevard
colonial heights, va 23834
telephone: 804.520.9015
facsimile: 804.520.9016
email: cctownes@townespc.com

DRAWN BY: T.S.G.

CHECKED BY:

ATTN: AMANDA SCHWARTZ

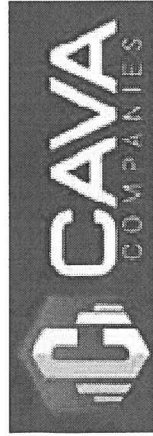
ATTN: AMANDA SCHWARTZ

CAVA COMPANIES

AREA CALCULATIONS

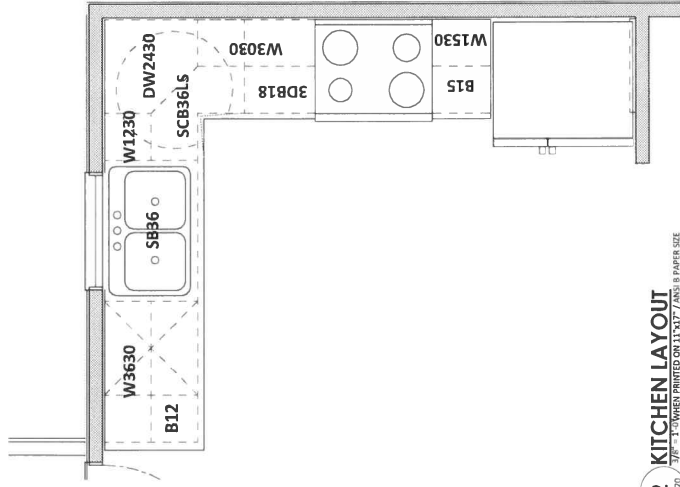
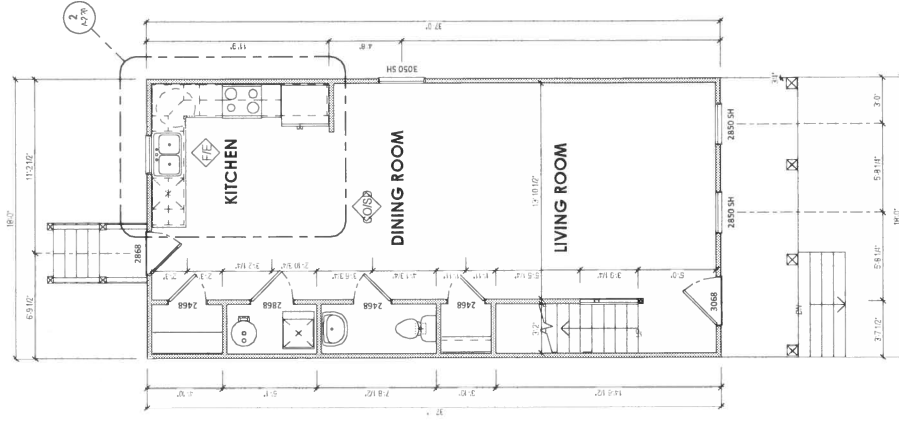
Heated Area	668 SF
1st Floor Livable	668 SF
2nd Floor Livable	1335 SF
Total	1335 SF

1725 N 28 th



APPROVAL SET

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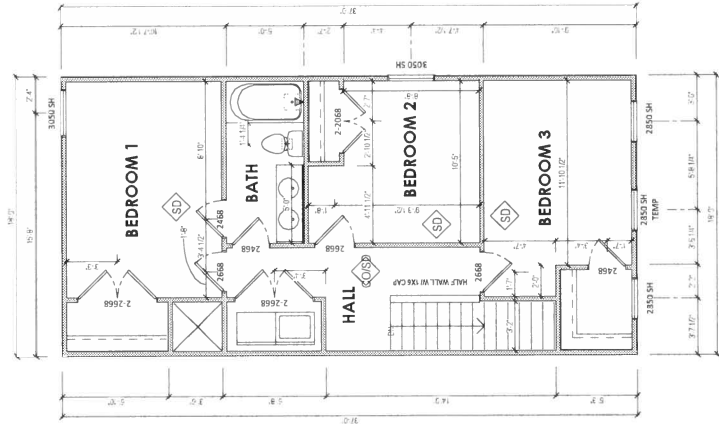
2 KITCHEN LAYOUT
A-2.20
1/8" = 1' WHEN PRINTED ON 11 X 17 / 24" X 36" PAPER SIZE

1 1ST FLOOR PLAN
A-2.20
1/8" = 1' WHEN PRINTED ON 11 X 17 / 24" X 36" PAPER SIZE



PROJECT THE RICHMOND		CLIENT CAVA COMPANIES
SHEET 2nd Floor Plan		ADDRESS 1725 N 28th
ISSUE DATE 3/31/21		DRAWN BY PINNACLE
DESIGN PINNACLE		SHEET NUMBER A-2.60

Per Section R310 of the 2015 VA Residential Code, basements, habitable attics, and every sleeping room must have at least one operable emergency escape and rescue opening. The sill height shall be not more than 44" to the bottom of the clear opening. Openings not on grade level shall have a min. net clear opening of 5.7sf. The min clear opening height shall be 24". The min clear opening width shall be 20".



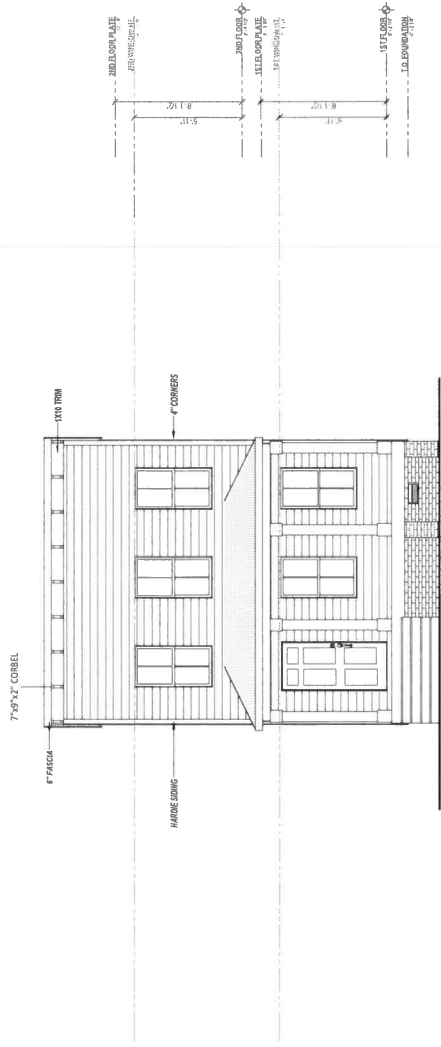
- NOTE:
1. ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD, U.N.O.
 2. ALL DOOR & WINDOW HEADERS IN EXTERIOR WALLS TO BE (2) 2X8 U.N.O.
 3. ALL INTERIOR DOOR HEADERS TO BE (2) 2X4 U.N.O.
 4. PROVIDE PRESSURE TREATED LUMBER @ HOUSE BAND WHERE ALL
- DECK, PORCH & APPURTENANCES ARE CONNECTED.

1 2ND FLOOR PLAN
A-2.60
1/8" = 1'-0" SHEET PRINTED ON 11"X17" / ANSI B PAPER SIZE

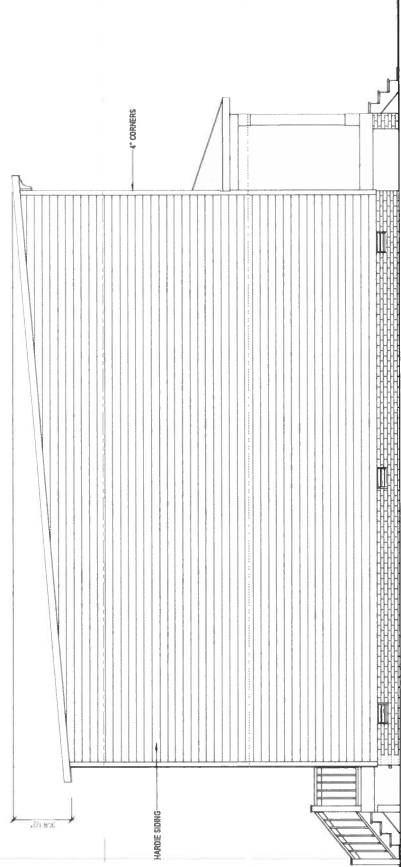
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PROJECT	THE RICHMOND	CLIENT	CAVA COMPANIES
SHEET	Elevations	ADDRESS	1725 N 28th
SCALE DATE	3/31/21	DRAWN BY	
PINNACLE DESIGN			
SHEET NUMBER	A-3.00		



1 FRONT VIEW
A-3.00
7/8" = 1'-0" WHEN PRINTED ON 11" x 17" / ANSI B PAPER SIZE

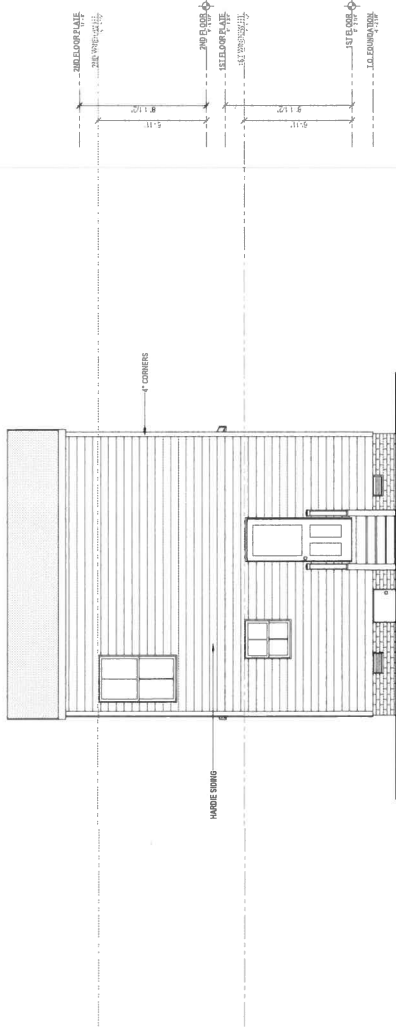


2 LEFT VIEW
A-3.00
7/8" = 1'-0" WHEN PRINTED ON 11" x 17" / ANSI B PAPER SIZE

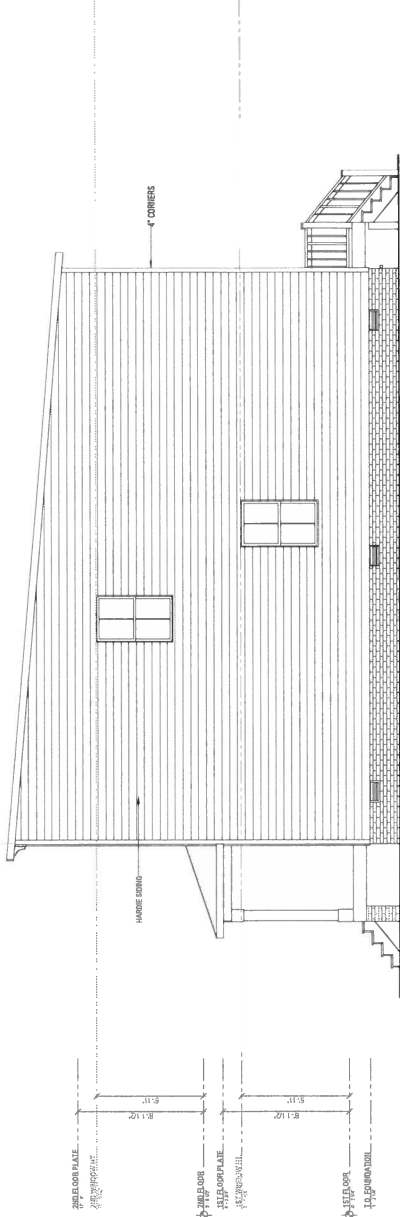
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PROJECT THE RICHMOND		CUSTOMER CAVA COMPANIES
SHEET Elevations		ADDRESS 1725 N 28th
ISSUE DATE 3/31/21		DESIGNED BY PINNACLE
DRAWN BY DESIGN		SHEET NUMBER A-3.10



1 REAR VIEW
A-3.10 / 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE



2 RIGHT VIEW
A-3.10 / 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

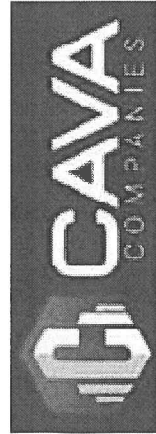
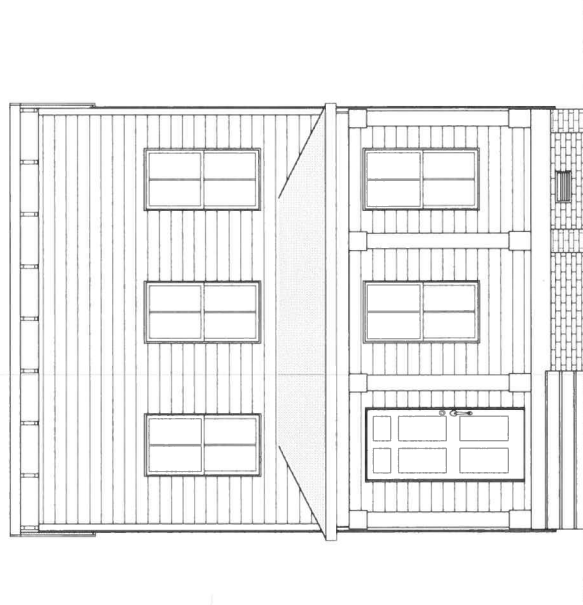
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CAVA COMPANIES

AREA CALCULATIONS

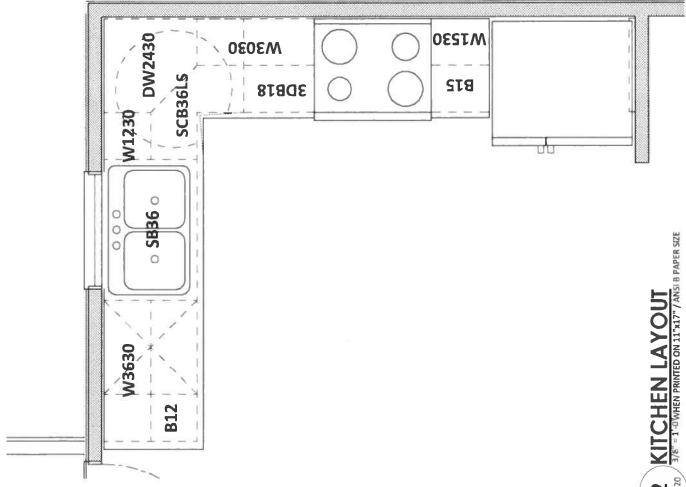
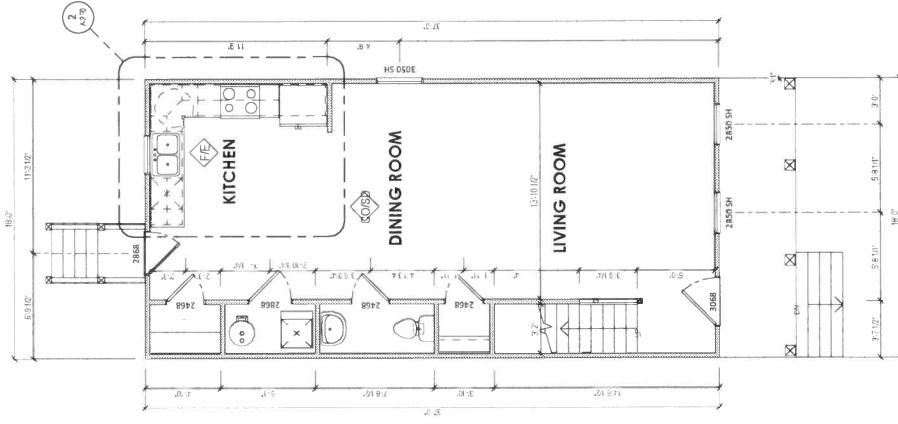
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Total	1335 SF

1727 N 28 th



APPROVAL SET

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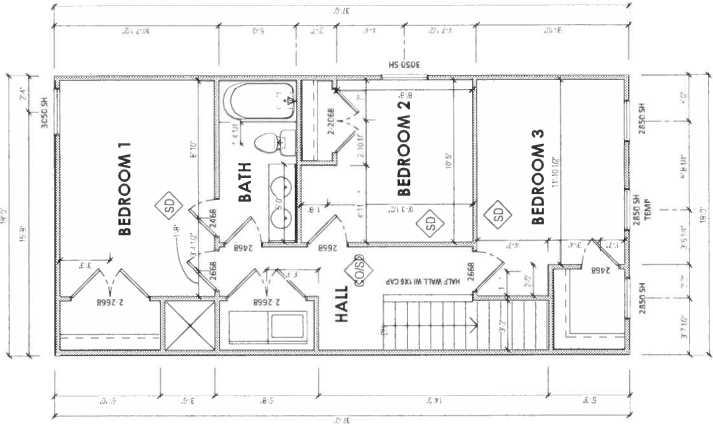
2 KITCHEN LAYOUT
A-2.20 / 3/8" = 1' WHEN PRINTED ON 11x17 / 36x48 PAPER SIZE

1 1ST FLOOR PLAN
A-2.20 / 7/8" = 1' WHEN PRINTED ON 11x17 / 36x48 PAPER SIZE



PROJECT		THE RICHMOND	CLIENT
SHEET		2nd Floor Plan	ADDRESS
ISSUE DATE		3/31/21	1727 N 28th
DRAWN BY		PINNACLE	
DESIGN		DESIGN	
SHEET NUMBER		A-2.60	

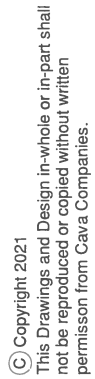
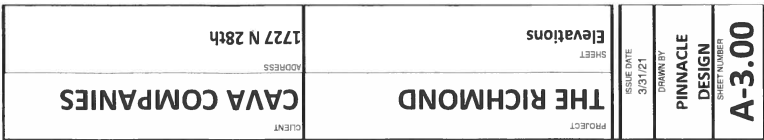
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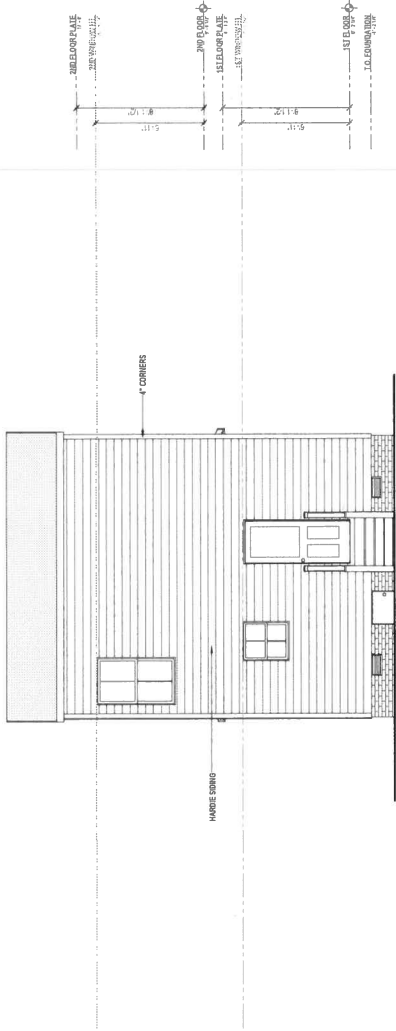
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1 2ND FLOOR PLAN
A-2.60
1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

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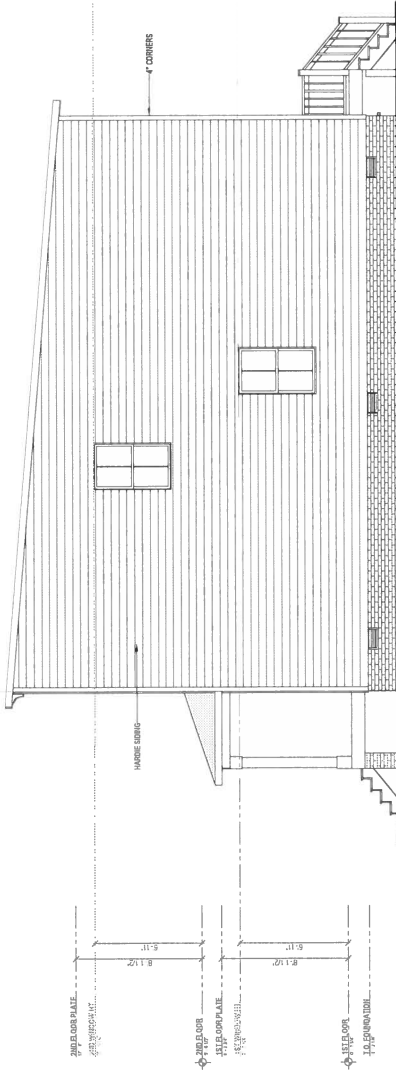


2 **LEFT VIEW**
A-3.00
1/8" = 1'-0" WHEN PRINTED



1 REAR VIEW

A-3.10 / 78" x 11" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE



2 RIGHT VIEW

A-3.10 / 37" x 17" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE