



CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
BOARD OF ZONING APPEALS

February 5, 2021

Kiwi Realty LLC
1704 Avondale Avenue
Richmond, VA 23227

Baker Development Resources
1519 Summit Avenue, Suite 102
Richmond, VA 23230
Attn: Mark Baker

To Whom It May Concern:

RE: **BZA 14-2021**

You are hereby notified that the Board of Zoning Appeals will hold an electronic public hearing on Wednesday, March 3, 2021 due to the disaster represented by the spread of COVID-19 pursuant to and in compliance with Ordinance 2020-232 to consider an application for a lot split and building permit to construct a new single-family detached dwelling at 2314 GORDON AVENUE (Tax Parcel Number S000-0645/005), located in an R-5 (Single-Family Residential) District.

Please be advised that the applicant or applicant's representative is required to participate in the electronic public hearing by calling 804-316-9457 and entering code 802 929 136# beginning at 1:00 p.m. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2021 drop-down, click meeting details for March 3, 2021 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at William.Davidson@richmondgov.com for assistance. In accordance with Ordinance No. 2020-232, please be advised that an inability to access one of the enumerated public hearing through video means shall not be considered a prerequisite for participating in the subject public hearing. It will be necessary for you to stay on the line until such time as your case is called. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

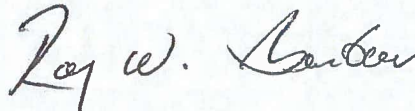
Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 14-2021
Page 2
February 5, 2021

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <http://www.richmondgov.com/PlanningAndDevelopmentReview/civicasociationgroupinformation.aspx>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in dark ink, appearing to read "Roy W. Benbow". The signature is fluid and cursive, with the first name "Roy" being the most prominent.

Roy W. Benbow, Secretary
Phone: (804) 240-2124
Fax: (804) 646-5789
E-mail: Roy.Benbow@richmondgov.com

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

39 Forever LLC
2111 W Main St
Richmond, VA 23220

B & E Holdings LLC
P O Box 23047
Richmond, VA 23223

Dc Rentals LLC
19199 Taylors Creek Rd
Montpelier, VA 23192

Fleming Timothy G Jr & Bo Y
1009 Richmond Hwy
Richmond, VA 23224

Ford Turner Joyce Marital Trust Shanon
T Turner Trustee
6019 Moonlight Dr
N Chesterfield, VA 23234

Harris Delores A
2313 Gordon Ave
Richmond, VA 23224

Jones Erwin E & Brenda J
2306 Gordon Ave
Richmond, VA 23224

Jones Martha I
3902 Hopkins Ct
Richmond, VA 23234

Keeve Helen E
782 Rock Shoals Court
College Park, GA 30349

Knight Shellie Y
2308 Gordon Ave
Richmond, VA 23224

L3t Home Buyer LLC
4213 Dapple Grey Dr
Richmond, VA 23223

Lim Byung S & Um J Lim-kim
12500 Caitlin Circle
Henrico, VA 23233

M & A Contracting LLC
2778 Rambling Rose Ct
Quinton, VA 23141

Martin Gary
8418 Bink Place
Mechanicsville, VA 23111

Moore Bobby G & Vernell B
2307 Gordon Ave
Richmond, VA 23224

Morgan Sarah And Killinger Dimitris
2305 Gordon Ave
Richmond, VA 23224

Murray Timothy Matthew
2511 Popkins Ln
Alexandria, VA 22306

Persaud Holdings LLC
2100 E Parham Rd #3181
Richmond, VA 23228

Purnell Robert A Jr And Hattie B
4037 Laurelwood Rd
Richmond, VA 23234

Quintanilla Oscar And Glenis
2506 Lancelot Ave
Richmond, VA 23234

Real Options LLC
Po Box 6 Irvington
Irvington, VA 22480

Rosso Justin
2310 Gordon Ave
Richmond, VA 23226

Washington Wallace V & Arlissa G
2307 Halifax Ave
Richmond, VA 23230

Whitney Rental li LLC
19156 Vantay Rd
Rockville, VA 23146

Wilson Ciara
2315 Halifax Ave
Richmond, VA 23224

Property: 2314 Gordon Ave **Parcel ID:** S0000645005**Parcel**

Street Address: 2314 Gordon Ave Richmond, VA 23224-
Owner: KIWI REALTY LLC
Mailing Address: 1704 AVONDALE AVE, RICHMOND, VA 23227
Subdivision Name : MASON PARK
Parent Parcel ID:
Assessment Area: 356 - Oak Grove
Property Class: 101 - R Single Family Vacant (R1-R7)
Zoning District: R-5 - Residential (Single Family)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2021
Land Value: \$20,000
Improvement Value:
Total Value: \$20,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 4719
Acreage: 0.108
Property Description 1: MASON PARK L31 B25
Property Description 2: 0033.00X0143.00 0000.000
State Plane Coords(?): X= 11788695.499985 Y= 3709490.080779
Latitude: 37.50597597 , **Longitude:** -77.44582651

Description

Land Type: Residential Lot A
Topology: Level
Front Size: 33
Rear Size: 143
Parcel Square Feet: 4719
Acreage: 0.108
Property Description 1: MASON PARK L31 B25
Property Description 2: 0033.00X0143.00 0000.000
Subdivision Name : MASON PARK
State Plane Coords(?): X= 11788695.499985 Y= 3709490.080779
Latitude: 37.50597597 , **Longitude:** -77.44582651

Other

Street improvement: Paved
Sidewalk: Yes

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2021	\$20,000	\$0	\$20,000	Reassessment
2020	\$15,000	\$0	\$15,000	Reassessment
2019	\$10,000	\$0	\$10,000	Reassessment
2018	\$10,000	\$0	\$10,000	Reassessment
2017	\$10,000	\$0	\$10,000	Reassessment
2016	\$10,000	\$0	\$10,000	Reassessment
2015	\$10,000	\$0	\$10,000	Reassessment
2014	\$10,000	\$0	\$10,000	Reassessment
2013	\$15,000	\$0	\$15,000	Reassessment
2012	\$16,000	\$0	\$16,000	Reassessment
2011	\$21,000	\$0	\$21,000	CarryOver
2010	\$21,000	\$0	\$21,000	Reassessment
2009	\$21,000	\$0	\$21,000	Reassessment
2008	\$21,000	\$0	\$21,000	Reassessment
2007	\$11,000	\$0	\$11,000	Reassessment
2006	\$9,000	\$0	\$9,000	Reassessment
2005	\$9,000	\$0	\$9,000	Reassessment
2004	\$5,500	\$0	\$5,500	Reassessment
2003	\$5,500	\$0	\$5,500	Reassessment
2002	\$5,400	\$0	\$5,400	Reassessment
2001	\$5,200	\$0	\$5,200	Reassessment
1998	\$5,000	\$0	\$5,000	Not Available

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
07/31/2020	\$15,000	DC RENTALS LLC	ID2020-16840	2 - INVALID SALE-Special Financing/Terms, etc.
05/09/2014	\$0	WHITLOW & ASSOCIATE	ID2014-7715	2 - INVALID SALE-Relation Between Buyer/Seller
12/23/1998	\$18,000	SECRETARY OF HOUSING AND URBAN DEV	ID1998-34654	2 - INVALID SALE-Sale Includes Multiple Parcels
07/28/1998	\$24,305	BYRD ODELL R EST	ID1998-19546	2 - INVALID SALE-Sale Includes Multiple Parcels
10/09/1996	\$0	BYRD ODELL R AND ROSA J	00037-2080	
12/02/1986	\$0	Not Available	000103-01878	

Planning

Master Plan Future Land Use: SF-LD
Zoning District: R-5 - Residential (Single Family)
Planning District: Old South
Traffic Zone: 1200
City Neighborhood Code: OKGR
City Neighborhood Name: Oak Grove
Civic Code: 4028
Civic Association Name: Oak Grove Civic Association
Subdivision Name: MASON PARK
City Old and Historic District:
National historic District:
Neighborhoods in Bloom:
Redevelopment Conservation Area:

Economic Development

Care Area: -
Enterprise Zone:

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	2006	0602002	060200
1990	217	0602002	060200

Schools

Elementary School: Oak Grove
Middle School: Boushall
High School: Armstrong

Public Safety

Police Precinct: 1
Police Sector: 112
Fire District: 13
Dispatch Zone: 154B

Public Works Schedules

Street Sweep: TBD
Leaf Collection: TBD
Refuse Collection: Thursday
Bulk Collection: TBD

Government Districts

Council District: 8
Voter Precinct: 802
State House District: 71
State Senate District: 16
Congressional District: 4

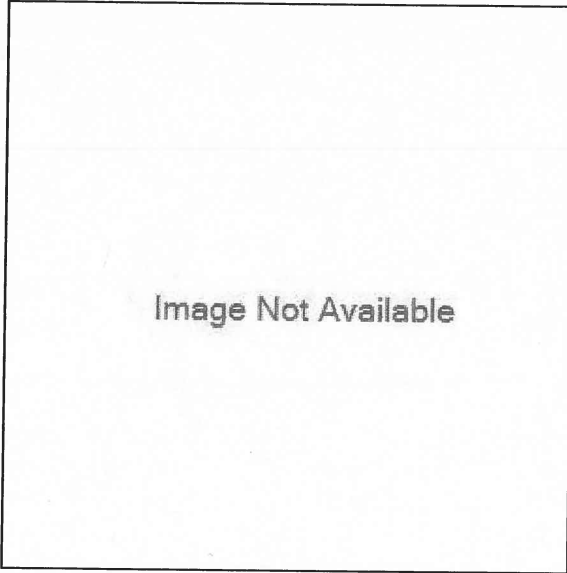
Property Images

Name:S0000645005 Desc:

[Click here for Larger Image](#)

Sketch Images

Name: Desc:



RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT

PROPERTY
OWNER: Kiwi Realty LLC
PHONE: (Home) () () (Mobile) (804) 869-8000

ADDRESS 1704 Avondale Avenue
FAX: () () (Work) () ()

Richmond, VA 23227
E-mail Address: casey@kiwidevelopmentva.com
PROPERTY OWNER'S
REPRESENTATIVE: Mark Baker
PHONE: (Home) () () (Mobile) (804) 874-6275

(Name/Address) 1519 Summit Avenue, Suite 102
FAX: () () (Work) () ()

Richmond, VA 23230
E-mail Address: markbaker@bakerdevelopmentresources

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 2314 Gordon Avenue
TYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-410.4
APPLICATION REQUIRED FOR: A lot split and building permit to construct a new single-family detached dwelling.
TAX PARCEL NUMBER(S): S000-0645/005 **ZONING DISTRICT:** R-5 (Single-Family Residential)

REQUEST DISAPPROVED FOR THE REASON THAT: The lot area and lot width requirements are not met. Lot areas of six thousand square feet (6,000 SF) and lot widths of fifty feet (50') are required. For zoning purposes, one (1) lot having a lot area of 9,438 square feet and a lot width of sixty-six feet (66') currently exists. A lot area of 4,719 square feet and width of 33.0 feet is proposed for No. 2312. A lot area of 4,719 square feet and width of 33.0 feet is proposed for No. 2314.

DATE REQUEST DISAPPROVED: December 23, 2020
FEE WAIVER: YES ☐ NO: ☒
DATE FILED: January 15, 2021 **TIME FILED:** 10:14 a.m. **PREPARED BY:** Josh Young **RECEIPT NO.** BZAR-085361-2021
AS CERTIFIED BY: William C. [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:
SECTION 17.20 PARAGRAPH(S) _____ **OF THE CHARTER OF THE CITY OF RICHMOND**
SECTION 15.2 -2309.2 ☒ **OF THE CODE OF VIRGINIA** [OR]

SECTION 1040.3 PARAGRAPH(S) 2 **OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND**

TO BE COMPLETED BY APPLICANT

I have received the handouts, Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter ☒
I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.
SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] **DATE:** 1/26/2021

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 14-2021 **HEARING DATE:** March 3, 2021 **AT** 1:00 **P.M.**

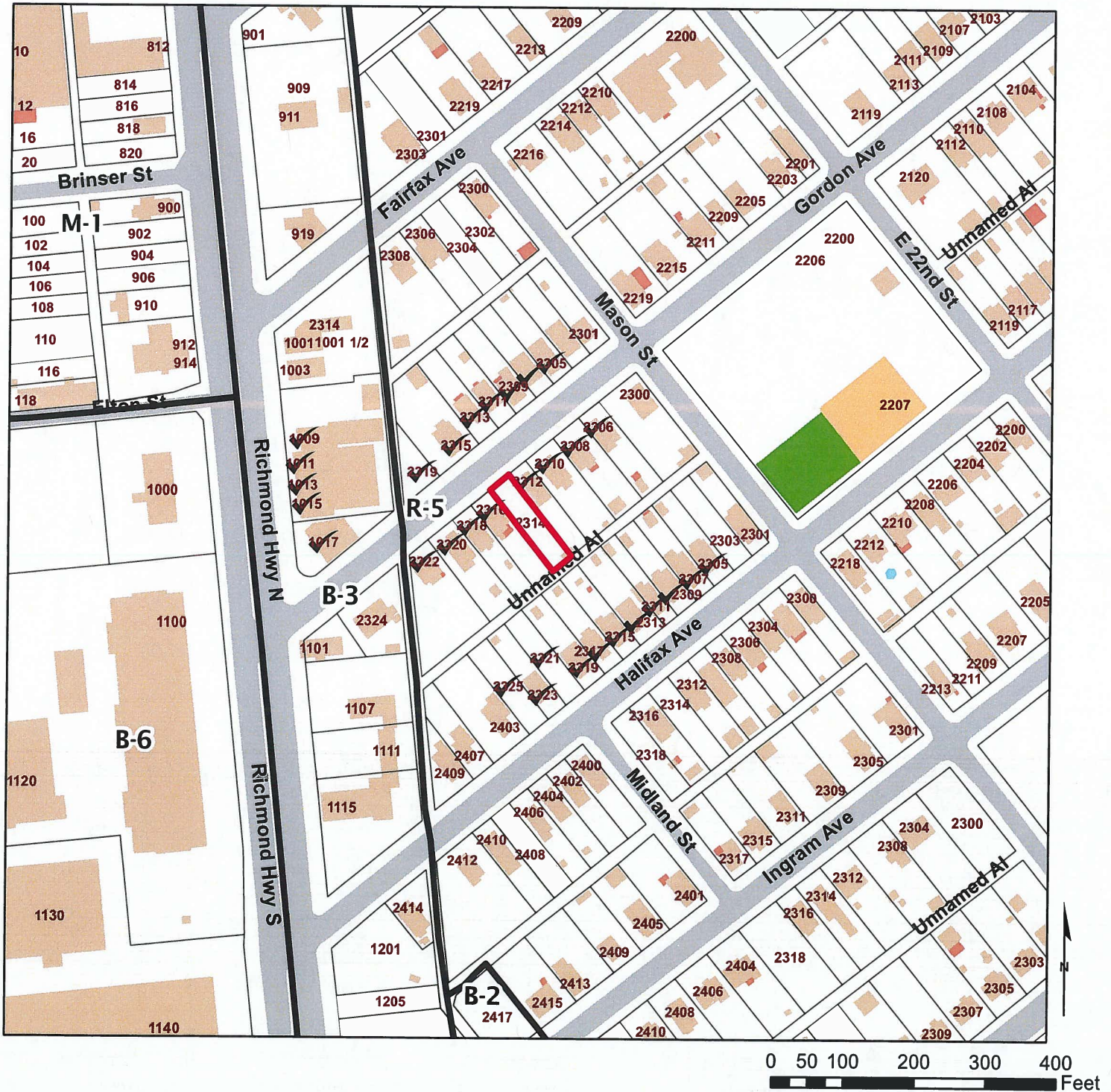
BOARD OF ZONING APPEALS CASE BZA 14-2021
150' Buffer

APPLICANT(S): Kiwi Realty LLC

PREMISES: 2314 Gordon Avenue
(Tax Parcel Number S000-0645/005)

SUBJECT: A lot split and building permit to construct a new single-family detached dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-410.4
of the Zoning Ordinance for the reason that:
The lot area and lot width requirements are not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

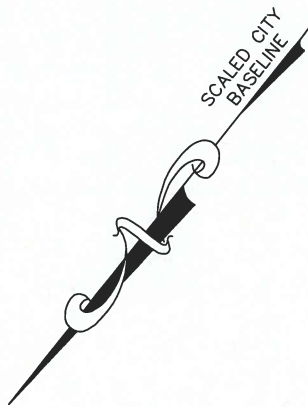
CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (646-6340/6701). Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it absolutely essential that you discuss your case with your neighbors (notification letters are sent to property owners within a 150-foot radius of your property) as well as your neighborhood association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained from the City's website at <http://www.richmondgov.com/PlanningAndDevelopmentReview/civicasassociationgroupinformation.aspx> Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.
4. **Please be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board.** The Board's Rules of Procedure require payment of a \$150.00 continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).
4. **You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow (804-240-2124) well before the hearing.** The Secretary can be helpful by explaining the BZA public hearing process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: _____

(Revised: 4/28/16)

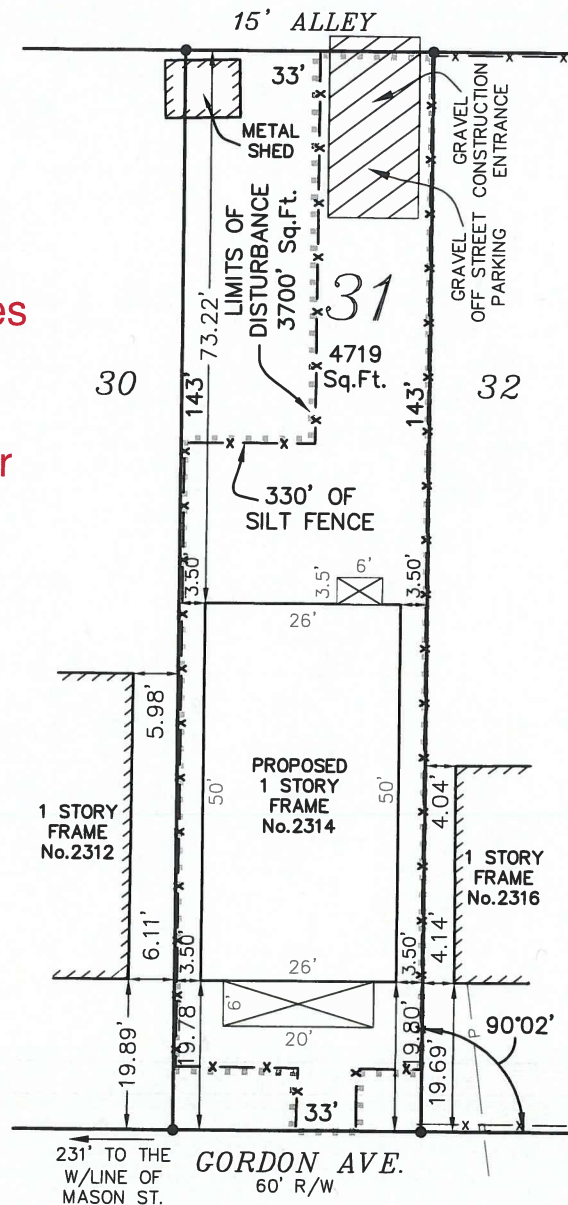


Use for metes
and bounds
only.
See Plans for
Site Plan.



Virginia Surveys

P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
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SKETCH SHOWING THE
PROPOSED IMPROVEMENTS
ON LOT 31, BLOCK 25,
"MASON PARK"

IN THE CITY OF RICHMOND, VA.

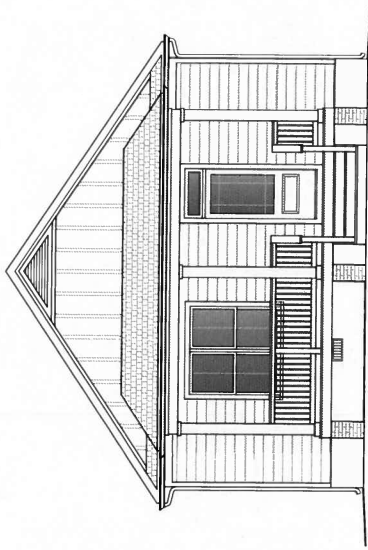
REVISED: 12-17-2020
DATE: 12-15-2020

CERTIFIED BY JEFFREY K. FLOYD

VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=20'

JOB NO. 200813579



NEW ONE-STORY SINGLE-FAMILY DETACHED HOUSE
IN RICHMOND'S OAK GROVE NEIGHBORHOOD

2314 GORDON AVE. HOUSE

2314 GORDON AVENUE
RICHMOND, VIRGINIA 23224

DRAWING SYMBOLS

MATERIAL PATTERNS SCALED FOR CLARITY

DRAWING NUMBER DESIGNATION

DRAWING TITLE

DRAWING SCALE

ROOM NAME

ROOM NAME & NUMBER ASSOCIATED WITH ROOM FINISH SCHEDULE

DOOR NUMBER ASSOCIATED WITH DOOR SCHEDULE

WINDOW NUMBER ASSOCIATED WITH WINDOW SCHEDULE

WALL NUMBER ASSOCIATED WITH WALL TYPE IN WALL SCHEDULE

NOTE ASSOCIATED WITH CORRESPONDING SCHEDULE

COLUMN CENTER LINE

REVISION CLOUD WITH REVISION NUMBER MARK

DRAWING NUMBER DESIGNATION, TYPICAL
ELEVATION MARK INDICATING ELEVATION VIEW DIRECTION WITH MARK INDICATION LOCATION OF ELEVATION DRAWING
SHEET DRAWING LOCATED ON, TYPICAL

SECTION MARK INDICATING SECTION LOCATION WITH MARK INDICATION LOCATION OF SECTION DRAWING

DETAIL MARK WITH MARK INDICATING LOCATION OF DETAIL DRAWING

BRICK (SECTION)

CONCRETE

GRAVEL FILL

EARTH OR COMPACTED FILL

CHU BLOCK

SPRAY FOAM INSULATION- SEE SPECIFICATIONS

RIGID INSULATION- SEE SPECIFICATIONS

WOOD SHEATHING- SEE SPECIFICATIONS

CONTINUOUS 2x WOOD

SOLID WOOD BLOCKING

DRAWING INDEX

DRAWINGS

NO. REVS SHEET TITLE

CS COVER SHEET

C1.1 ARCHITECTURAL SITE PLAN

A1.0 FOUNDATION PLAN

A1.1 FIRST FLOOR PLAN

A1.2 ROOF PLAN & TRUSS PROFILE DETAIL

A2.1 FRONT & LEFT SIDE EXTERIOR ELEVATIONS

A2.2 REAR & RIGHT SIDE EXTERIOR ELEVATIONS

A3.1 FRONT WALL SECTION & TYPICAL EAVE DETAIL

BW.1 LATERAL BRACING PLANS & TABLE (BY OTHERS)

DRAWING REVISIONS:

REVISION 01 01.14.2021

- MINOR SITE PLAN REVISIONS

- SIDING REVISED FROM VINYL TO CEMENTITIOUS/HARDIE

GENERAL NOTES & SPECIFICATIONS

SEE FULL SPECIFICATIONS PROVIDED BY OWNER

GENERAL CONTRACTOR NOTIFY ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES BETWEEN DRAWING SET AND FIELD CONDITIONS. OWNER-SUPPLIED SPECIFICATION, APPLICABLE CODES, OR STRUCTURAL ASPECTS DESIGNED BY OTHERS (TRUSSES, GEOTECHNICAL, ETC.)

PROVIDE INTERCONNECTED SMOKE & CARBON MONOXIDE ALARMS IN ACCORDANCE WITH IRC R314.

PROVIDE IFC-COMPLIANT FIRE EXTINGUISHER IN KITCHEN.

CODE/ORDINANCE ANALYSIS

BUILDING CODE: PROJECT SHALL CONFORM TO THE 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (2015 IRC)

BUILDING AREA: TOTAL CONDITIONED/ENCLOSED AREA: 1,300 S.F.

COVERED FRONT PORCH AREA: 120 S.F.

RICHMOND CITY ORDINANCE: LOT ZONED R-3 (EXISTING NON-CONFORMING LOT)

SETBACKS (SEE SITE PLAN): DESIGNED FRONT YARD: 19.79' (AVERAGE OF NEIGHBORS)

DESIGNED REAR YARD: 73'-3"

DESIGNED SIDE YARD: 73'-3"

PERMITTED HEIGHT: 35'

LOT SIZE & COVERAGE: MIN. LOT WIDTH: 4,000 50'

MAX. LOT COVERAGE: 35%

ALLOWABLE COVERAGE: 1,651 S.F.

STRUCTURAL: SEISMIC DESIGN CATEGORY: B

DESIGN WIND SPEED: 110 MPH, 3 SECOND GUST

FROST DEPTH: 18"

SNOW LOAD: 20 PSF

FOUNDATION- SEE GEOTECHNICAL REPORT BY OTHERS.

HOUSE SHALL BE BRACED PER IRC R402.10. METHOD: CONTINUOUS WALL SHEATHING.

WOOD STRUCTURAL PANELS- FASTEN ALL WALL SHEATHING PER TABLE R602.10.2.1. (WSP)

SEE STRUCTURAL FRAMING DESIGN LETTER BY ENGINEER.

VENTILATION REQUIREMENTS: PROVIDE CRAWLSPACE VENTILATION PER IRC R408.1 AND R408.2

CRAWLSPACE VENTILATION: PROVIDE VAPOR BARRIER OVER ENTIRE CRAWLSPACE FLOOR & MIN. 8" UP WALLS

VENTILATE AT 1/1500 = 6 S.F. = 86 S.I. NET FREE AREA

TYPICAL SLOTTED VENT 36 S.I. NET FREE AREA

PROVIDE ONE VENT WITHIN 5' OF ALL CORNERS (4) PER FOUNDATION PLAN

PROVIDE ATTIC VENTILATION PER IRC R806.1 AND R806.2

ATTIC AREA = 1,300 S.F.

MINIMUM ATTIC VENTILATION: 1/300 = 4.33 S.F. = MIN. 624 S.I. NET FREE AREA (N.F.A.) REQ.

SOFFIT VENTS: OWNERS' CHOICE. MINIMUM: 1/600 = 2.0 S.F. = MIN. 300 S.I. NET FREE AREA (N.F.A.)

BRIDGE VENTS: 50' AT 1/10 S.I. NET FREE AREA = 1,000 S.I. NET FREE AREA (N.F.A.)

TOTAL N.F.A. PROVIDED = 1,900 S.I.

6. C. TO VERIFY ACTUAL NET FREE AREA OF PRODUCTS SELECTED & NOTIFY ARCHITECT OF DISCREPANCIES FROM CALCULATIONS ABOVE

DISCREPANCIES FROM CALCULATIONS ABOVE

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2314 GORDON AVENUE
RICHMOND, VIRGINIA 23224

2314 GORDON AVE. HOUSE

NEW ONE-STORY SINGLE-FAMILY DETACHED HOUSE
IN RICHMOND'S OAK GROVE NEIGHBORHOOD



SET/REVISION:
REVISION 01 SET

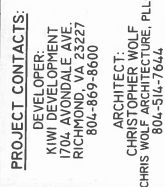
DATE/MARK:
01/14/2021

COVER SHEET

CS

PROJECT CONTACTS:
DEVELOPER:
KIWI DEVELOPMENT
1704 AVONDALE AVE
RICHMOND, VA 23227
804-869-8600
ARCHITECT:
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644





NEW ONE-STORY SINGLE-FAMILY DETACHED HOUSE
IN RICHMOND'S OAK GROVE NEIGHBORHOOD

2314 GORDON AVENUE
RICHMOND, VIRGINIA 23224



SET/REVISION:
REVISION 01 SET

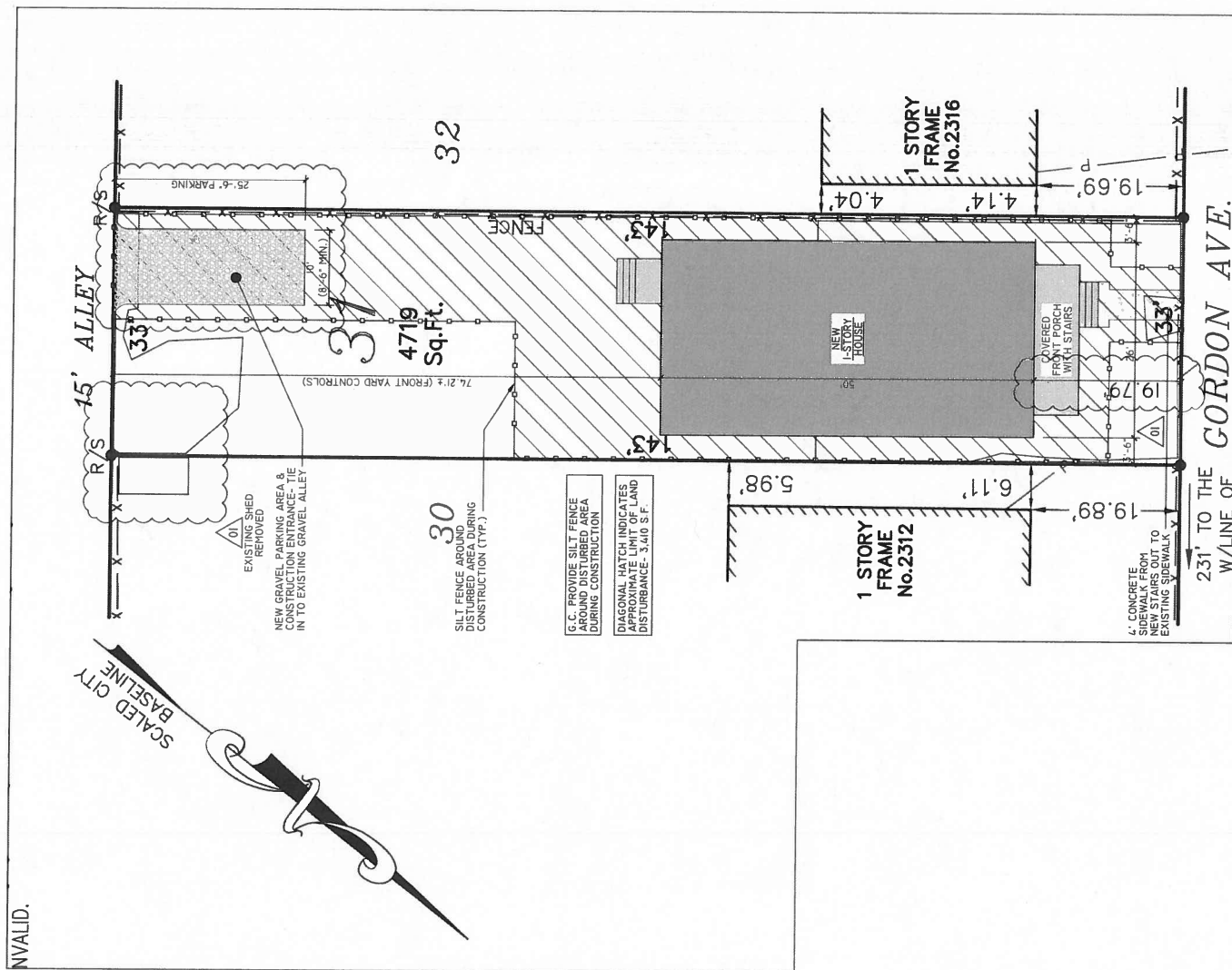
DATE/MARK: 01.14.2021

ARCHITECTURAL
SITE PLAN

01	ARCHI	$3/32^{\circ} = 1^{\circ}$
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01 | ARCHITECTURAL SITE PLAN

ARCHI
3/32" = 1"



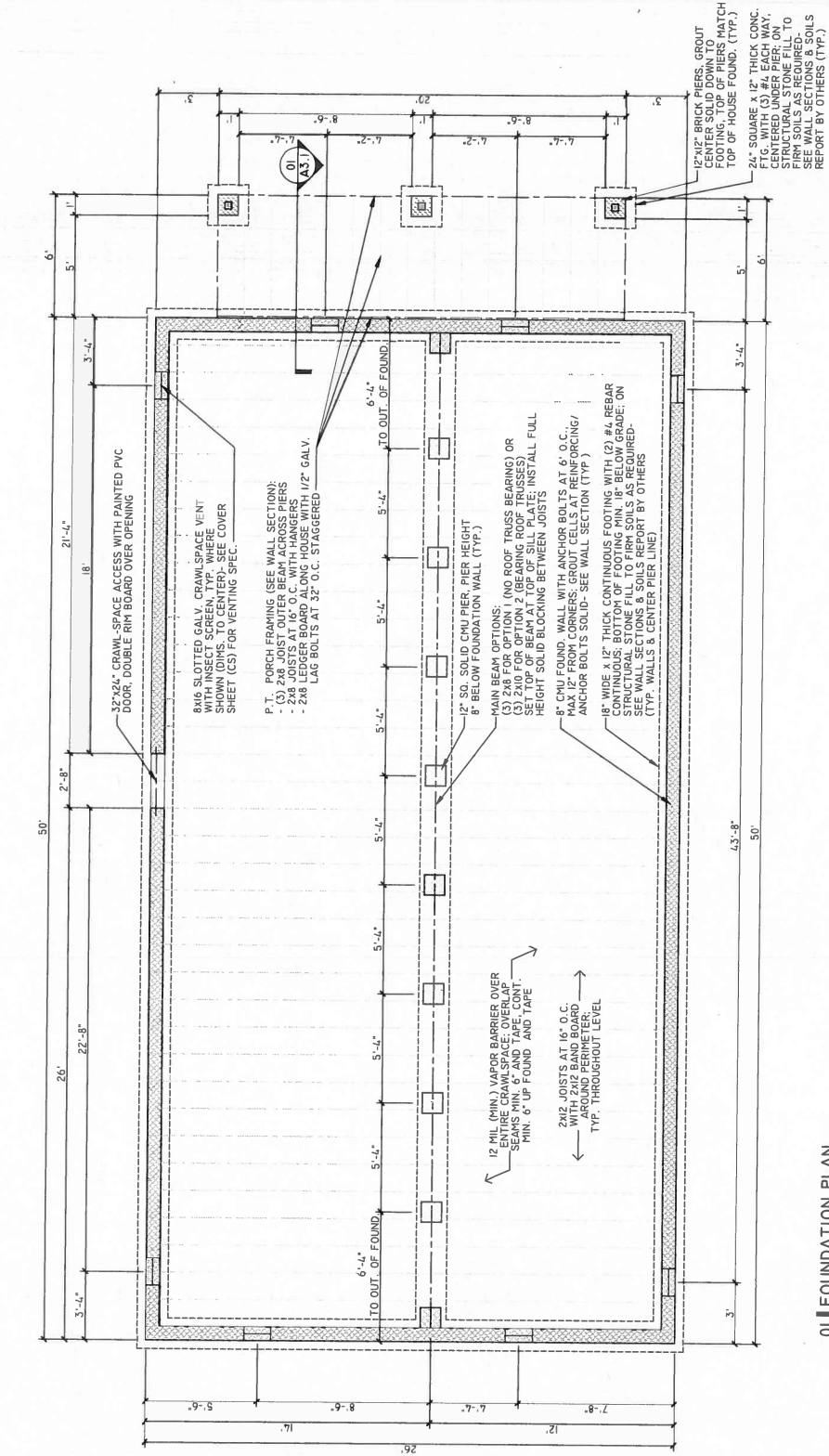


PROJECT CONTACTS:

DEVELOPER:
KIWI DEVELOPMENT
1704 AVONDALE AVE.
RICHMOND, VA 23227
804-869-8600

ARCHITECT:
CHRISTOPHER J. WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

- GENERAL FOUNDATION PLAN NOTES:
1. SEE SPECIFICATIONS AND GENERAL STRUCTURAL REQUIREMENTS ON COVER SHEET (CS) FOR FURTHER INFORMATION.
 2. EXTERIOR DIMENSIONS TO OUTSIDE OF FOUNDATION OR CENTER OF OBJECT UNLESS NOTED OTHERWISE.
 3. SEE WALL SECTIONS AND WALL SECTIONS FOR VENTED CRAWL SPACE REQUIREMENTS.
 4. SEE COVER SHEET FOR MIN. 18" BELOW FINAL GRADE 6 ON SOLID SOILS. SEE SOILS REPORT FOR FURTHER INFORMATION. SEE WALL SECTION.



01 FOUNDATION PLAN
1/4" = 1'

2314 GORDON AVE. HOUSE

NEW ONE-STORY SINGLE-FAMILY DETACHED HOUSE
IN RICHMOND'S OAK GROVE NEIGHBORHOOD

2314 GORDON AVENUE
RICHMOND, VIRGINIA 23224



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DATE/MARK:
01/14/2021

FOUNDATION PLAN
AI.0



PROJECT CONTACTS:
DEVELOPER:
KIWI DEVELOPMENT
1704 AVONDALE AVE
RICHMOND, VA 23227
804-869-8600
ARCHITECT:
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

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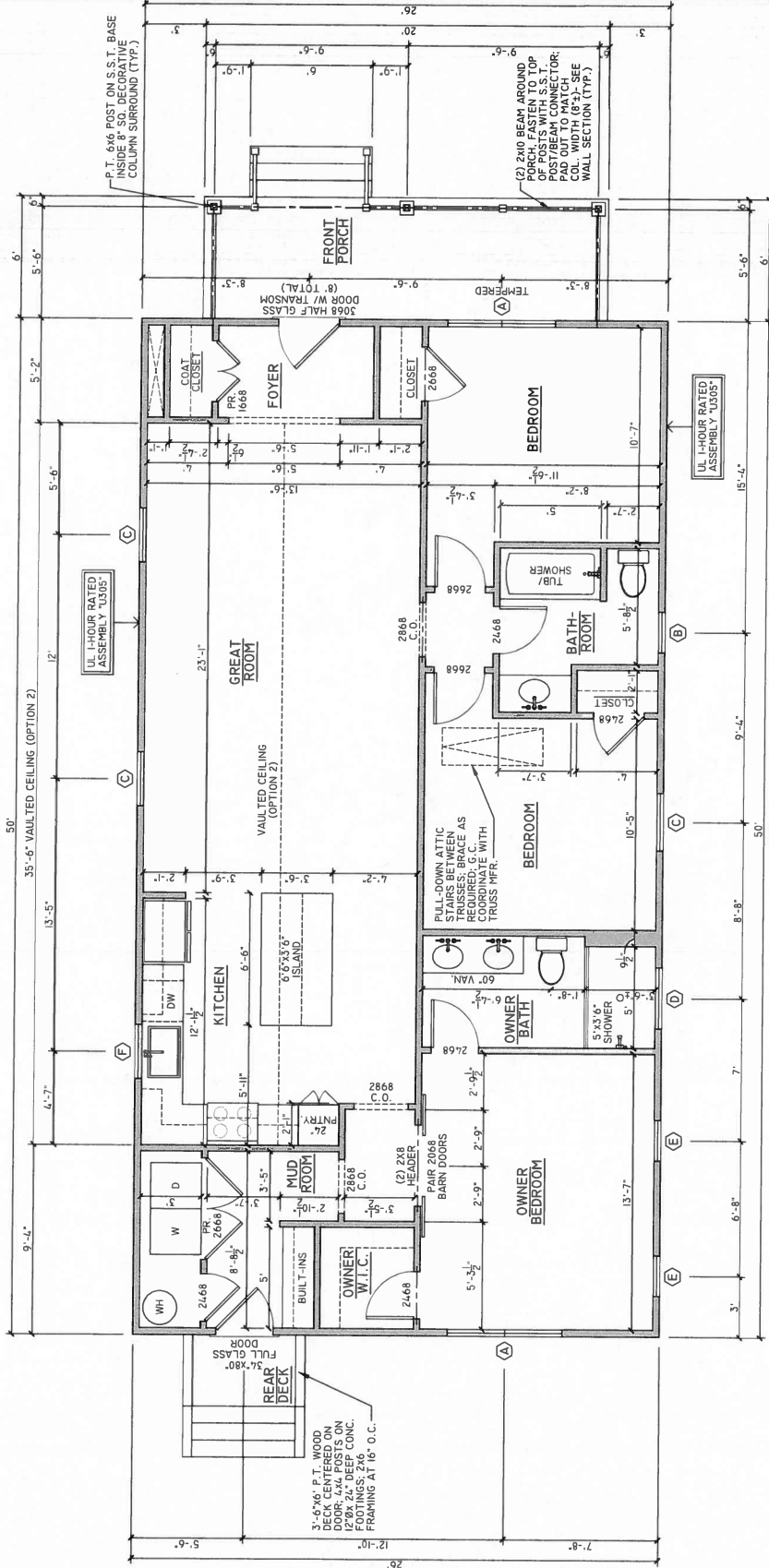
FIRST FLOOR PLAN
A1.1

- WINDOW NOTES:**
1. G.C. SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING.
 2. SEE CONSTRUCTION NOTES FOR ADDITIONAL SPECIFICATIONS.
 3. ALL WINDOW SIZES NOMINAL. G.C. VERIFY ACTUAL SIZES & FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER. COORDINATE ACTUAL HEADER HEIGHT WITH WINDOW MANUFACTURER.
 4. ALL WINDOWS SHALL BE OPERABLE UNLESS NOTED OTHERWISE.
 5. ALL WINDOWS & DOORS SHALL BE INSTALLED PER TYVEK STANDARD INSTALLATION INSTRUCTIONS.
 6. VERIFY ALL WINDOWS & DOORS.
 7. 2ND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, 8 MIN. 5.7 S.F. NET CLEAR OPENING. G.C. VERIFY WITH MANUFACTURER & NOTIFY ARCHITECTS OF DISCREPANCIES PRIOR TO ORDERING OR FRAMING.

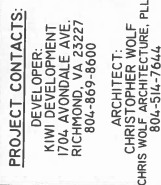
WINDOW TYPE SCHEDULE			
NO.	QTY	SIZE (NOM.)	TYPE
A	2	PR. 2'10"X5'6"	S.H.
B	1	2'X4'6"	S.H.
C	3	2'10"X5'6"	S.H.
D	2	2'X4'6"	S.H.
E	2	2'X4'6"	S.H.
F	1	2'10"X4'	S.H.

NO.	QTY	SIZE (NOM.)	TYPE	COLOR	REMARKS
A	2	PR. 2'10"X5'6"	S.H.	WHITE	EGRESS-COMPATIBLE (7) TEMPERED
B	1	2'X4'6"	S.H.	WHITE	EGRESS-COMPATIBLE (7) TEMPERED
C	3	2'10"X5'6"	S.H.	WHITE	EGRESS-COMPATIBLE (7) TEMPERED
D	2	2'X4'6"	S.H.	WHITE	EGRESS-COMPATIBLE (7) TEMPERED
E	2	2'X4'6"	S.H.	WHITE	EGRESS-COMPATIBLE (7) TEMPERED
F	1	2'10"X4'	S.H.	WHITE	VERIFY SIZE WITH COUNTER/CABINETS

- GENERAL FLOOR PLAN NOTES:**
1. SEE SPECIFICATIONS AND GENERAL STRUCTURAL REQUIREMENTS ON COVER SHEET (CS) FOR FURTHER INFORMATION.
 2. UNLESS NOTED OTHERWISE, ALL FINISHES SHALL BE AS NOTED ON COVER SHEET.
 3. INTERIOR STUD WALLS DRAWN/DIMENSIONED AS 4" (STUD-SHEATHING). INTERIOR STUD WALLS SHALL BE 3-1/2" THICK (STUD ONLY).
 4. EXTERIOR STUD WALLS SHALL BE 8" (STUD-SHEATHING) WITH (7) 2X4 BOTTOM PLATE & (2) 2X4 TOP PLATES UNLESS NOTED OTHERWISE.
 5. ALL WALLS SHALL BE SOUTHERN PINE #2 OR SUPERIOR.
 6. ALL STRUCTURAL WOOD SHALL BE SOUTHERN PINE #2 OR SUPERIOR.
 7. PROVIDE SCHED. FOR FLOORING FIXTURES, CABINETS, MECHANICAL SYSTEMS.
 8. INTERIOR DOOR LOCATIONS GENERALLY CENTERED. DOORS LOCATED AGAINST ADJACENT WALL NOT DIMENSIONED G.C. COORDINATE WITH SELECTED CASING.
 9. ADJACENT WALL DOORS IN BEARING WALLS (ALL EXT. WALLS) SHALL HAVE MIN. 10" CLEARANCE TO TOP OF DOOR.
 10. FIRE RATED EXTERIOR WALLS SHALL BE IRR RATED FROM FIRE EXPOSURE TO EITHER SIDE. CONSTRUCT PER UL ASSEMBLY. EXTERIOR SHEATHING SHALL BE 1/2" MIN. THICK GYP. BOARD OR 1/2" MIN. THICK GYP. BOARD (VAULTED CEILING) ONLY (SEE TRUSS DIAGRAM); IN OPTION 2, ALL DOOR HEADERS IN THIS WALL SHALL BE (2) 2X6 WITH MIN. (2) JACK STUDS U.N.O. ON PLANS.



01 FIRST FLOOR PLAN
1/4" = 1'



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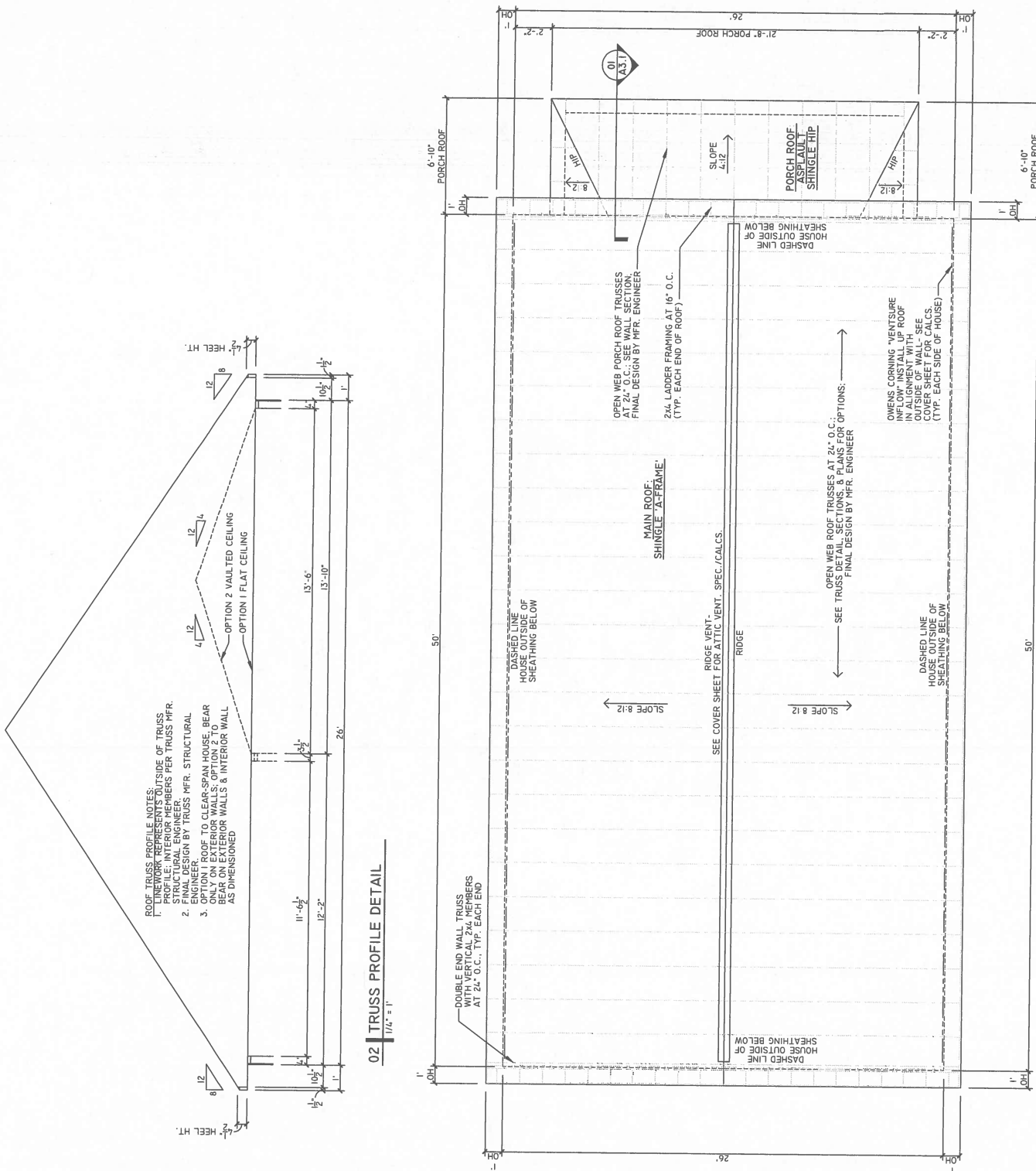


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ROOF PLAN

Roof Plan



GENERAL ROOF PLAN NOTES:

1. ALL ROOF SECTIONS & ELEVATIONS. INSTALL PER MFR. SPECS
2. ALL ROOF SLOPES SHALL BE 1/4" PER FOOT DRAINAGE TO EDGE.
3. PLACE ROOF PENETRATIONS (EXHAUSTS, VENT STACKS, ETC.) IN AREAS PRACTICAL
4. INSTALL TRUSSING, UNDERLAMENT, EDGING, AND PENETRATIONS PER THESE DRAWINGS AND MANUFACTURER INSTALLATION DETAILS.
5. FINAL TRUSS DESIGN BY TRUSS MFR. ENGINEER, TO BE APPROVED BY ARCHITECT.
6. PROVIDE GUTTERS/DOWNSPOUTS TO COLLECT ALL ROOF WATER AND DRAIN TO GRADE.
7. PROVIDE DOUBLE END TRUSSES WITH VERTICAL MEMBERS AT 24" O.C. - SEE ROOF PLAN & WALL SECTION OR FURTHER NOTES/SPECS.



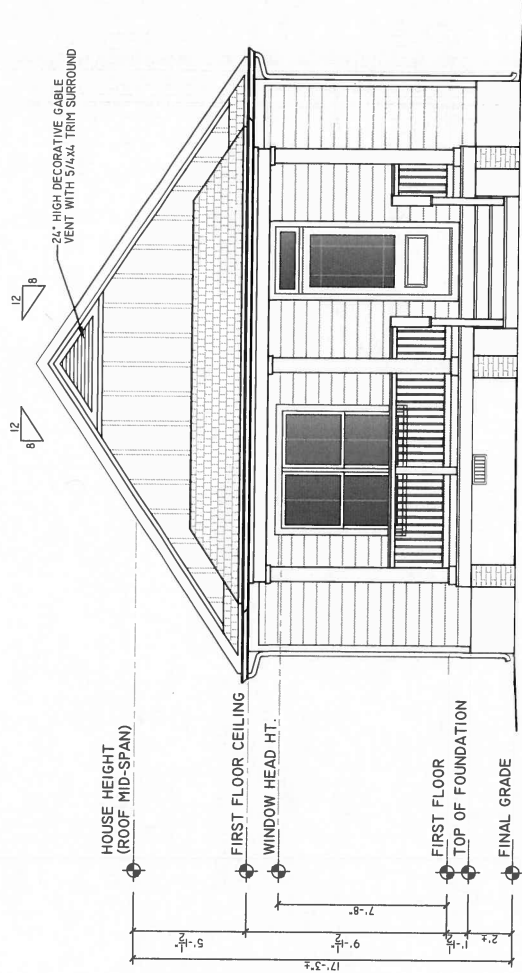
PROJECT CONTACTS:
DEVELOPER:
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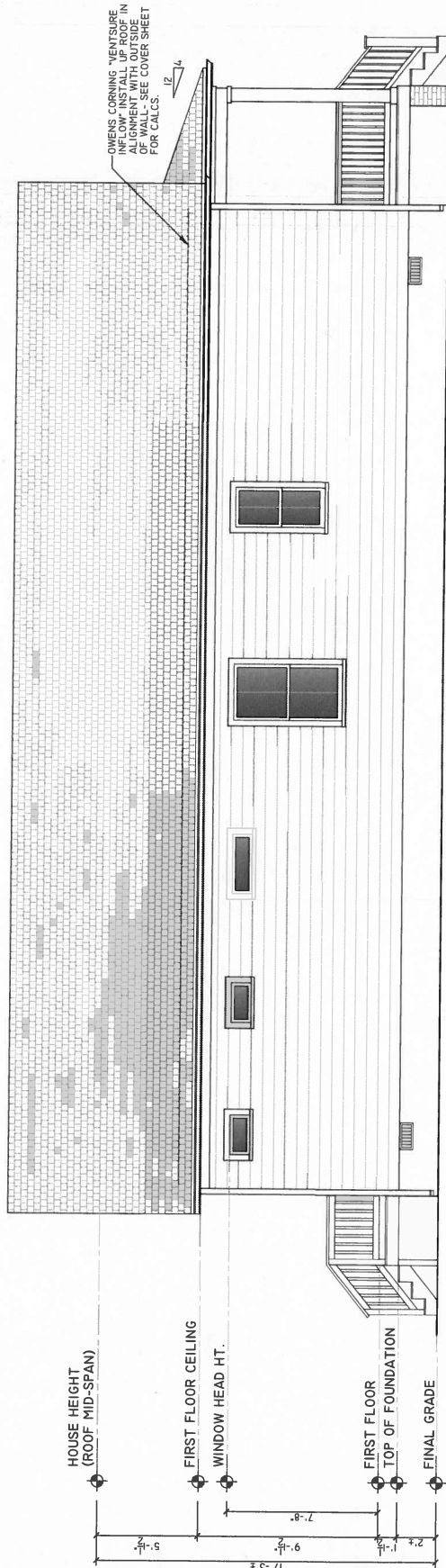


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FRONT & LEFT SIDE
EXTERIOR ELEVATIONS
A2.1



EXTERIOR FINISH SCHEDULE	
NO.	COMPONENT/MATERIAL
01	BRICK PERS.
02	BRICK PERS.
03	CEMENTitious SIDING (HARD OR SIMILAR)
04	COMPOSITE TRIM - SEE WALL SECTION
05	COMPOSITE SOFFIT
06	BOARD & BATTEN CABLE ENDS
07	ENTRY DOOR
08	5/4x4" COMPOSITE DOOR/WINDOW TRIM
09	8" SQUARE
10	8" SQUARE
11	8" SQUARE
12	COMPOSITE STAIRS/TRIM WITH WOOD DECKING
13	STEEL PORCH RAILING & HANDRAIL
14	TREATED WOOD REAR DECK/STAIRS/RAILING
15	NATURAL TREATED WOOD
16	ASPHALT SHINGLE ROOF

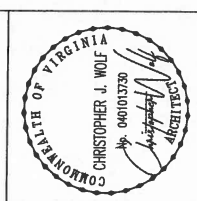
EXTERIOR FINISH NOTES:
1. EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS U.N.O.
2. GRADES SHOWN APPROXIMATE. V.I.F.
3. SEE SPECIFICATIONS BY OWNER



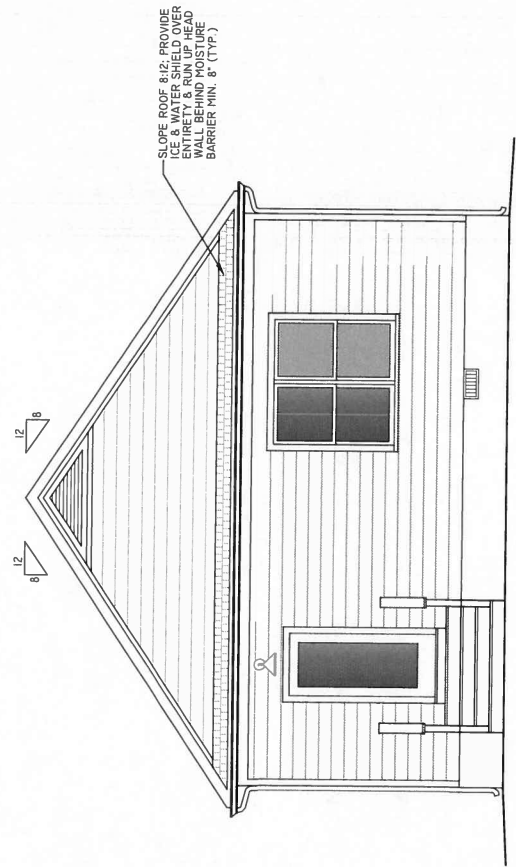


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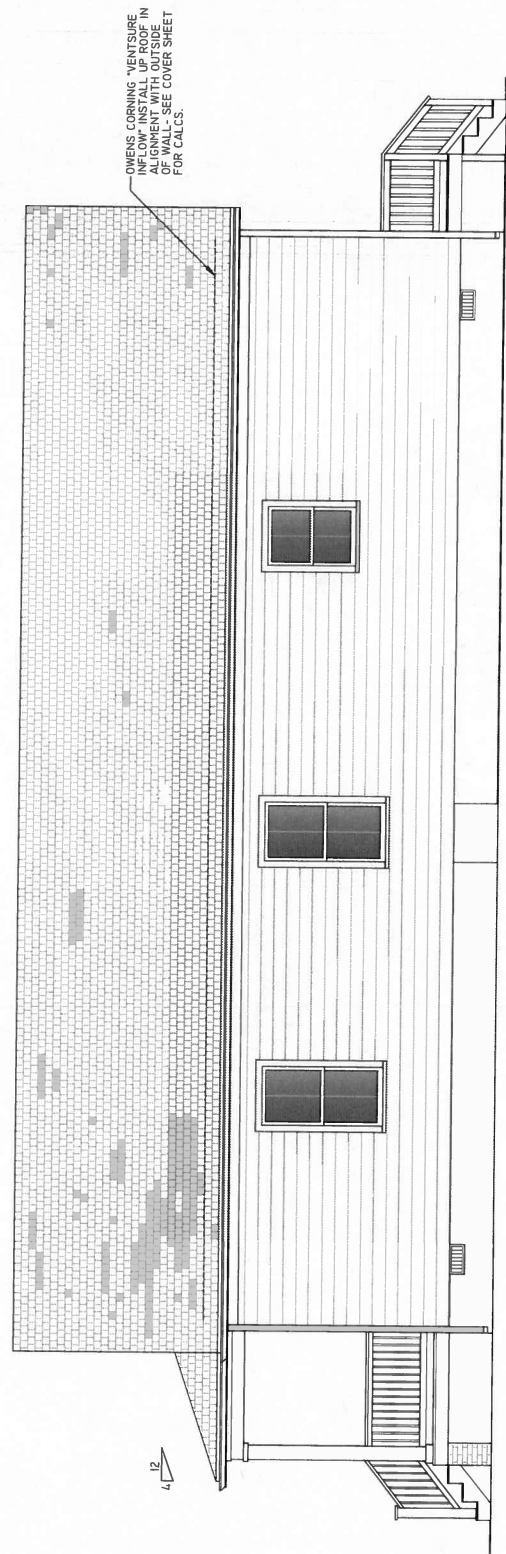
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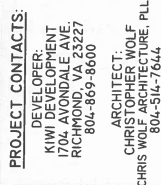
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**REAR & RIGHT SIDE
EXTERIOR ELEVATIONS**
A2.2



01 | REAR ELEVATION
1/2" = 1'



02 | RIGHT SIDE ELEVATION
1/2" = 1'



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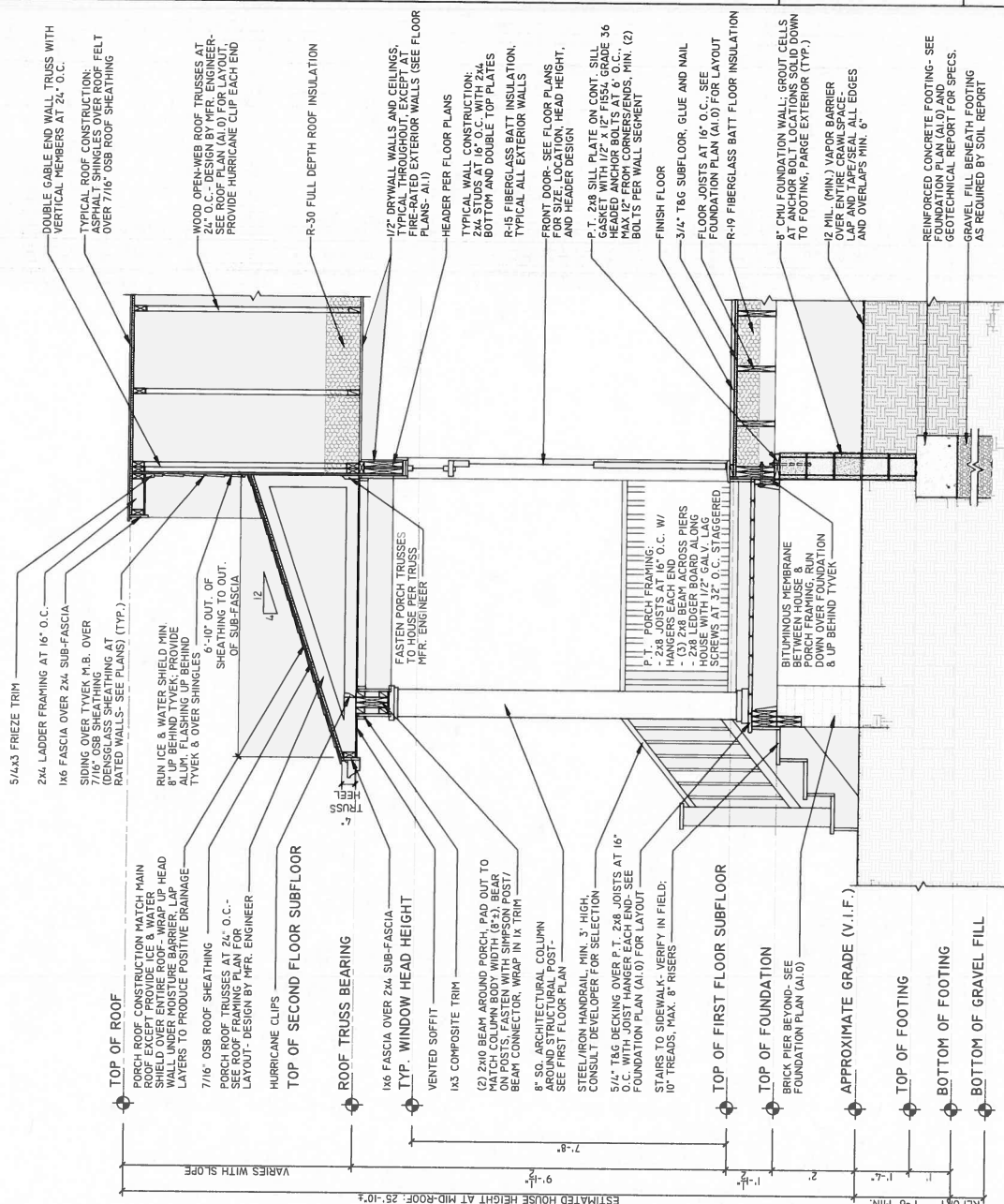


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WALL SECTION

A3.1



NOTE: SEE WALL SECTION
THIS SHEET FOR MORE
COMPLETE NOTES

WOOD OPEN-WEB ROOF
TRUSSES AT 24" O.C.- DESIGN
BY MFR. ENGINEER;
HURRICANE CLIPS EACH END

TYPICAL ROOF CONSTRUCTION
ASPHALT SHINGLES OVER ROOF
OVER 17/16" OSB ROOF SHEA

x6 COMPOSITE FASCIA —

5/8" DENSICLASS GOLD
4.7
TRUSS
HEEL

5/4x6 COMPOSITE FRIEZE TR

INTERIOR GWB PER FIRE-RATING _____
ASSEMBLY OPTIONS _____
SIDING OVER TYVEK _____

WALL UL 1-HOUR RATED
ASSEMBLY "U305" - SEE
GENERAL NOTES SHEET A1.

02 | EAVE DETAIL

01 FRONT WALL SECTION

01 LATERAL BRACING PLAN