



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

### PROPERTY (location of work)

Address 2325 VENABLE STREET  
Historic district UNION HILL

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

### APPLICANT INFORMATION

Name MARIO DIMARCO  
Company MARIO DIMARCO ARCHITECTS  
Mailing Address 4020 CLINTON AVE  
RICHMOND, VA 23227

Phone 804-564-6307  
Email mario@dimarcoarchitects.com  
Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify):

### OWNER INFORMATION (if different from above)

Name MICHAEL MAGNES  
Mailing Address 448 SOUTH ARDEN BLVD  
LOS ANGELES, CA 90020-4736

Company EASTERN EDGE DEVELOPMENT  
Phone 323 -251-0502  
Email mmzoid@sbcglobal.net

### PROJECT INFORMATION

Review Type:  Conceptual Review  Final Review

Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

#### Project Description: (attach additional sheets if needed)

A 2,200 SF SINGLE FAMILY RESIDENCE- DETACHED STRUCTURE. ALL SETBACKSWILL MEET OR EXCEED REQUIREMENTS. THE BUILDING IS TWO STORYWOOD FRAMEDSTRUCTURE W/ FRONT PORCH AND REAR DECKS ON EACH FLOOR. THERE IS NO ALLEY ACCESSFOR PARKING ON THE PROPERTY. A PRIVATE ALLEY OF 3' BOUNDS THE REAR OF THE PROPERTY. THE REARYARD OF THE PROPERTY WILL BE BOUNDED BY A PRIVACYFENCE.

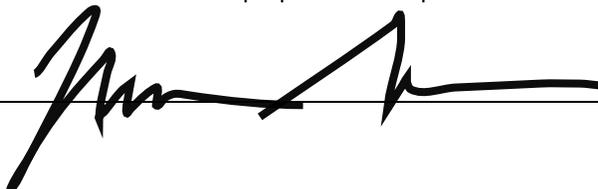
PLEASE SEE ATTACHED SHEETS FOR MORE DETAILED DESCRIPTION AND SUPPORTING INFORMATION.

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner 

Date 09-25-20



# CERTIFICATE OF APPROPRIATENESS

## NEW CONSTRUCTION CHECKLIST

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**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** \_\_\_\_\_

### NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

### DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

### WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

### PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

## **2325 VENABLE STREET**

09-25-20 Submission 1 - PRE- CONCEPTUAL REVIEW

### **DETAILED DESCRIPTION OF PROPOSED WORK**

The proposed building is a 2,200 sf two story detached single family dwelling. The dwelling shall be located on the vacant corner lot of 2325 Venable Street at the intersection of Pink Street in Richmond's Historic Union Hill Neighborhood. As stated in the handbook, the goal of this design is that it shall be compatible with surrounding structures, while still representing the modern time in which it will be constructed. This property will share similar massing and design of other new construction projects in the Union Hill District, and specifically the homes that exist on the block presently. The style of the homes shall be greek revival that is common for the neighborhood.

### **SITING**

According to page 44 of the Old & Historic Districts of Richmond, Virginia: Handbook and Design Review Guidelines, "New residential infill construction should respect the prevailing front and side yard setback patterns of the surrounding block." Building face shall align with the other houses along the street. The resulting street wall will be reinforced by the addition of this new structure. The Handbook also suggests that, "New buildings should face the most prominent street bordering the site." The proposed building will face Venable Street. Further, it has been mentioned that the Commission recognizes the correlation between prominent outdoor porches as influential to the safety and well-being of the community. This design uses the front and rear porches/decks to promote outdoor interaction between the residence and the neighbors. The present state of the rear private alley is in disarray and doesn't seem to be a functioning alley right of way.

### **FORM**

The Handbook states that, "New construction should use a building form compatible with that found elsewhere in the historic district." The massing, size, symmetry, proportions, projections and roof shapes follow that of other buildings in the historic

neighborhood. The windows, the front door and the covered front porches on the prominent street follow the same pattern and proportion of other buildings in the surrounding neighborhood, as well as, with other approved new construction in the District. The proposed two-story building uses the front porches that are seen throughout Church Hill.

#### HEIGHT, WIDTH, PROPORTION + MASSING

According to page 45 of the Handbook, "New residential construction should respect the typical height of surrounding residential buildings." The height of the proposed building will be minimized as much as possible. The front facade shall respect the District by positioning its windows in groups similar to other properties, and will provide a cornice that will respect a greek revival style appropriate for the neighborhood.

#### MATERIALS + COLORS

The Handbook states that, "Materials used in new residential construction should be visually compatible with original materials used throughout the district." The materials proposed include a white membrane roof (not visible), a flat seam metal roof (visible) as well as, smooth cement lap board siding with an accent trim color at windows, doors and corner boards. The proposed colors are a medium blue for the body of the building with white trim. The colors will be picked from the standard pre-approved selections. The lap board siding will be a pre-finished "Hardie Board" product - color Evening Blue. All trim, columns, headers, railings shall be wood composite - white SW-7008. Windows shall be Anderson 100 single-hung (double hung appearance) in a standard white color. Painted wood, or painted wood composite shall be utilized for all miscellaneous trims. All door and window trim shall be painted wood or painted wood composite in dimensional wood sizes. All porch construction shall be the same.

#### DOORS + WINDOWS

The Handbook states that, "The size, proportion, and spacing patterns of doors and window openings on free standing, new construction should be compatible with patterns established within the district." The windows and doors of the proposed home are compatible with those of the other homes in the District. Windows shall be Anderson

100 single-hung (double hung appearance) in a standard white color. The exterior doors will be wood stained with a transom aligning to adjacent windows. The window and door headers will be aligned.

#### PORCHES + PORCH DETAILS + FENCE

According to page 46 of the Handbook, "New porch railing designs, compatible with the overall design of the building, will also be considered," and, "Porch roofs are encouraged to utilize 1' wide panel flat-lock metal seam roofs that are hand-seamed, or closely approximate hand-seaming." The front and rear porches will be constructed of wood or painted wood or wood composite equivalent dimension lumber and the floors will be a composite t&g decking board. The porches will be surrounded by a white "Richmond Rail". The standing seam porch roof will approximate a copper patina with SW-6207, with white coping and a gutter with round downspouts. The porch floor shall be neutral stone color SW-0023, and the porch ceilings will be light blue SW-6478.

MISCELLANEOUS: The proposed building will provide a screened rear of the property for privacy with direct access at the rear alley. The HVAC condenser units will be installed on the ground and within the privacy fence boundary which will act as a screen for the mechanical units. The roof will drain to the rear of the property into a gutter with square downspouts.

## **962 - 964 PINK STREET**

04-08-19      Submission 1 - REVISION AFTER CONCEPTUAL REVIEW

### **DETAILED DESCRIPTION OF PROPOSED WORK**

The proposed building is a pair of 2,030 sf two story attached single family dwellings. The dwellings shall share a common wall which will also delineate the property boundary. The shall be located on the vacant lot of 962-964 Pink Street in Richmond's Historic Union Hill Neighborhood. As stated in the handbook, the goal of this design is that it shall be compatible with surrounding structures, while still representing the modern time in which it will be constructed. This property will share similar massing and design of other new construction projects in the Union Hill District, and specifically the homes that exist on the block presently. The style of the homes shall be greek revival that is common for the neighborhood.

### **SITING**

According to page 44 of the Old & Historic Districts of Richmond, Virginia: Handbook and Design Review Guidelines, "New residential infill construction should respect the prevailing front and side yard setback patterns of the surrounding block." Building face shall align with the other houses along the street. The resulting street wall will be reinforced by the addition of this new structure. The Handbook also suggests that, "New buildings should face the most prominent street bordering the site." The proposed building will face Pink Street. Further, it has been mentioned that the Commission recognizes the correlation between prominent outdoor porches as influential to the safety and well-being of the community. This design uses the front and rear porches/"bay" to promote outdoor interaction between the residence and the neighbors. The present state of the adjacent alley is in disarray and no longer is properly situated within the alley right of way. It presently overlaps the property boundaries on both the side and rear of the property. This shall need to be corrected. Other adjacent neighbors are using this presently vacant land for their own purposes.

## FORM

The Handbook states that, “New construction should use a building form compatible with that found elsewhere in the historic district.” The massing, size, symmetry, proportions, projections and roof shapes follow that of other buildings in the historic neighborhood. The windows, the front door and the covered front porches on the prominent street follow the same pattern and proportion of other buildings in the surrounding neighborhood, as well as, with other approved new construction in the District. The proposed two-story building uses the front porches that are seen throughout Church Hill.

## HEIGHT, WIDTH, PROPORTION + MASSING

According to page 45 of the Handbook, “New residential construction should respect the typical height of surrounding residential buildings.” The height of the proposed building will be minimized as much as possible. The site is slightly higher than the adjacent property. An alley is bounding the sites opposite side. The house adjacent to 964 Pink St sits aligned roughly aligned with sidewalk grade, while 962-964 Pink St will be placed slightly above the sidewalk grade on a conventional crawl space that shall be constructed to help elevate the building to improve its relationship to the street. The front facade shall respect the District by positioning its windows in groups similar to other properties, and will provide a cornice that will respect a greek revival style appropriate for the neighborhood.

There was a recommendation during review that the building coping on the gutter side of the building be returned a certain distance (out of view from the street), to maintain a similar appearance on both sides of the building corners. A return of 15' has been added. A roof cricket will redirect water toward the gutter system which aligns with the return location and is not within view from the street.

## MATERIALS + COLORS

The Handbook states that, “Materials used in new residential construction should be visually compatible with original materials used throughout the district.” The materials proposed include a white membrane roof (not visible), a standing seam or flat seam metal roof (visible) as well a, smooth cement lap board siding with an accent trim color

at windows, doors and corner boards. The proposed colors are a medium blue for the body of the building with white trim. The colors will be picked from the standard pre-approved selections. The lap board siding will be a pre-finished "Hardie Board" product - color Evening Blue. All trim, columns, headers, railings shall be white SW-7008. Windows shall be Anderson 100 single-hung (double hung appearance) in a standard white color.

It was the staff's recommendation that all building materials are more consistent with historic materials. In lieu of PVC as originally identified, painted wood, or painted wood composite shall be utilized. All door and window trim shall be painted wood or painted wood composite in dimensional wood sizes. All porch construction shall be the same.

## DOORS + WINDOWS

The Handbook states that, "The size, proportion, and spacing patterns of doors and window openings on free standing, new construction should be compatible with patterns established within the district." The windows and doors of the proposed home are compatible with those of the other homes in the District. Windows shall be Anderson 100 single-hung (double hung appearance) in a standard white color. The exterior doors will be wood stained with a transom aligning to adjacent windows. The window and door headers will be aligned.

Staff recommended that there should be consideration to change the three ganged window on the front facade to a bay window configuration. After discussion it was reiterated a three ganged window is not consistent with the neighborhood. The new solution are three single windows spaced evenly across the facade. This can be found in many locations of the district, including the same street front. The change removed the three ganged window in place of a more common window fenestration. A window sample will be submitted for final approval of window unit.

Staff also recommended that the alley facing facade fenestration be simplified and have more order and regularity in the layout of the windows. The floor plan is in a narrow lot which dictates much of the floor plan organization and the windows relate directly to it. Windows have been removed or changed in size from the original design to simplify the side elevation as much as possible. The windows in the kitchen and second floor bathroom now align and are the same type. The stair window was removed. The

windows in the living room now match the type of the high window of the kitchen. The function of the space the window serves is not compatible with a single size window for the entire facade. Reduction of varying window sizes has been implemented and we believe the changes do reflect an improved side elevation appearance to the public view.

#### PORCHES + PORCH DETAILS + FENCE

According to page 46 of the Handbook, “New porch railing designs, compatible with the overall design of the building, will also be considered,” and, “Porch roofs are encouraged to utilize 1’ wide panel standing-or flat-lock metal seam roofs that are hand-seamed, or closely approximate hand-seaming.” The front and rear porches will be constructed of wood or painted wood or wood composite equivalent dimension lumber and the floors will be a composite t&g decking board. The porches will be surrounded by a white “Richmond Rail”. The standing seam porch roof will approximate a copper patina with SW-6207, with white coping and a gutter with round downspouts. The porch floor shall be neutral stone color SW-0023, and the porch ceilings will be light blue SW-6478.

Staff recommended one single porch in staff analysis. Concern was also made about the closeness of the two porches. The space has been increased between porches to alleviate any practical concerns with water flow off roof. During concept review there was mixed review on necessity of one single porch solution. A two porch solution was retained but with adjustments.

Staff recommended the 4’ tall privacy fence along property be made of painted wood. This change has been adopted.

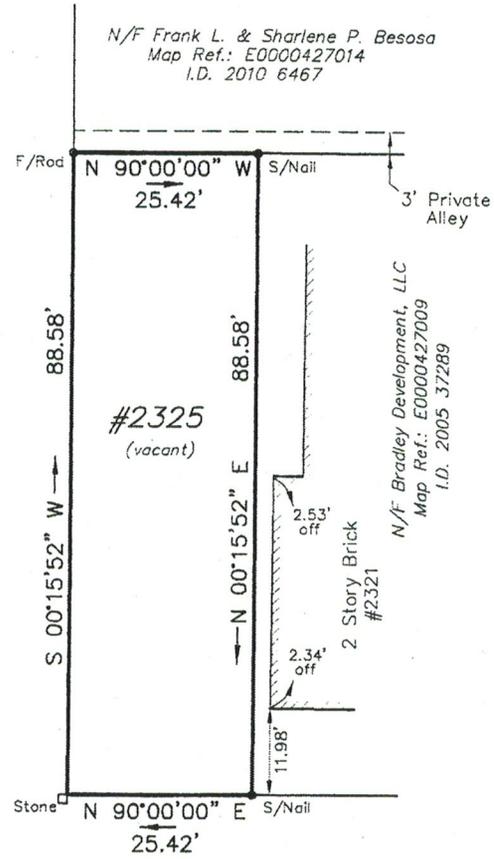
MISCELLANEOUS: The proposed building will provide a screened rear of the property for privacy with direct access at the rear alley. There shall be space for two dedicated parking spaces on the property. The HVAC condenser units will be installed on the ground and within the privacy fence boundary which will act as a screen for the mechanical units. The roof will drain to the rear of the property into a gutter with square downspouts.

Purchaser: Eastern Edge Development, LLC  
 Current Owner: Mitchell Jay  
 Map Ref.: E0000427013  
 I.D. 201311423

Note: Bearings protracted from City  
 Baseline sheet 9 NE.



**PINK STREET**



N/F Frank L. & Sharlene P. Besosa  
 Map Ref.: E0000427014  
 I.D. 2010 6467

N/F Bradley Development, LLC  
 Map Ref.: E0000427009  
 I.D. 2005 37289

**VENABLE STREET**



Survey and Plat of  
**The Property Known as  
 #2325 Venable Street in  
 the City of Richmond, VA**

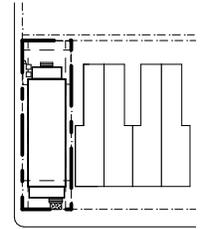
This is to certify that on 05/19/14 I made an accurate field survey of the premises shown hereon that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than shown hereon. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY OR REPORT.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 5101290041D effective date of 04/02/09. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.



**Edwards, Kretz, Lohr & Associates, PLLC**  
 Land Surveyors-Planners  
 Virginia-North Carolina  
 1900 Byrd Avenue, Suite 203  
 Richmond, Virginia, 23230  
 Phone (804) 673-9666  
 Fax (804) 673-9990

Scale: 1"=20'  
 Drawn: TCJ  
 Job: 1140-14  
 Date: 05/19/14  
 Checked: JAL



PHOTO

SCALE: 1" = 100'



SK-10

9/25/20

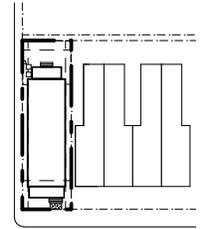
PROJECT NO.: 20002

EXISTING CONDITIONS - FRONT - VENABLE STREET

2325 VENABLE STREET

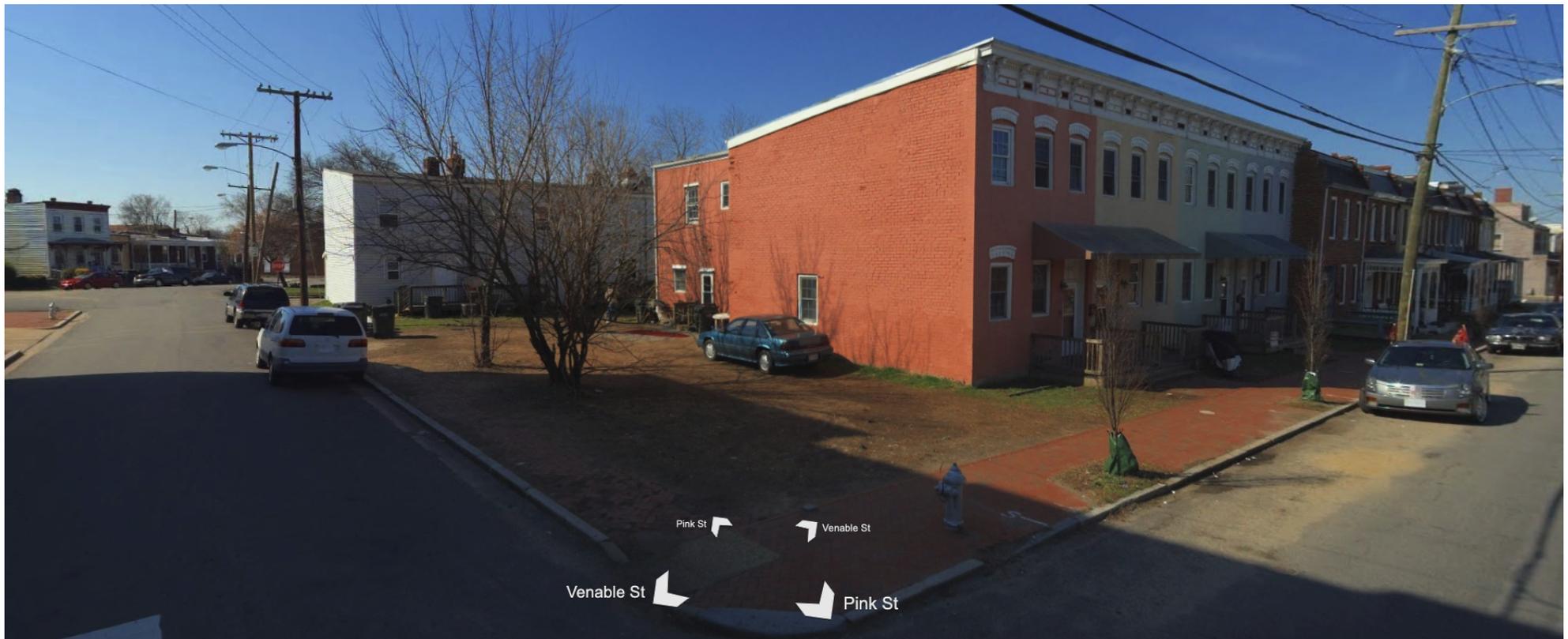
RICHMOND, VIRGINIA





# PHOTO

SCALE: 1" = 100'



SK-11

9/25/20

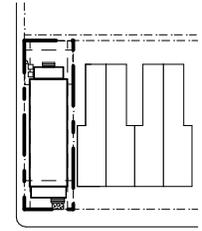
PROJECT NO.: 20002

EXISTING COND. - STREET - FRONT LEFT CORNER

2325 VENABLE STREET

RICHMOND, VIRGINIA





PHOTO

SCALE: 1" = 100'



SK-12

9/25/20

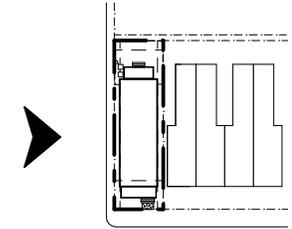
PROJECT NO.: 20002

EXISTING COND. - STREET - FRONT RIGHT CORNER

2325 VENABLE STREET

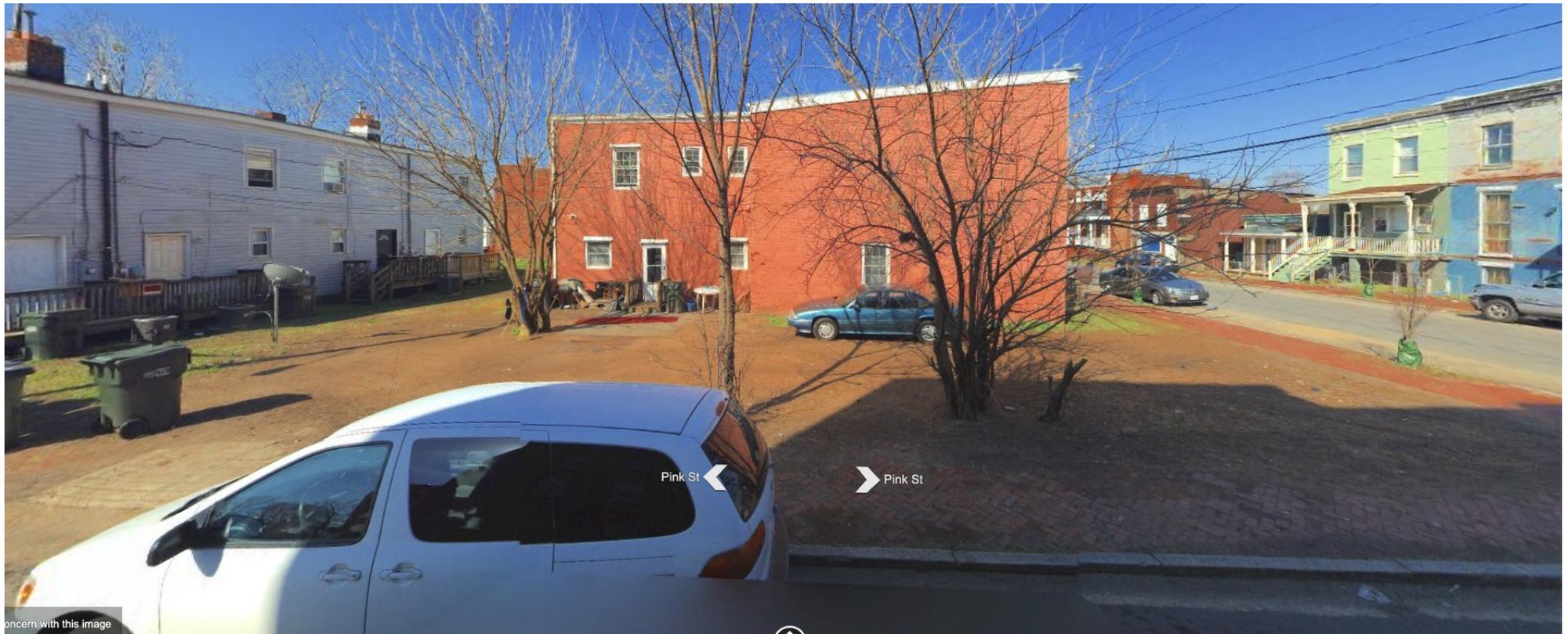
RICHMOND, VIRGINIA





# PHOTO

SCALE: 1" = 100'



SK-13

9/25/20

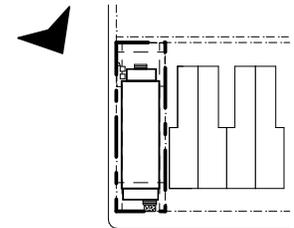
PROJECT NO.: 20002

EXISTING CONDITIONS - SIDE

2325 VENABLE STREET

RICHMOND, VIRGINIA





# PHOTO

SCALE: 1" = 100'



SK-14

9/25/20

PROJECT NO.: 20002

EXISTING CONDITIONS - SIDE - ALLEY - REAR CORNER

2325 VENABLE STREET

RICHMOND, VIRGINIA



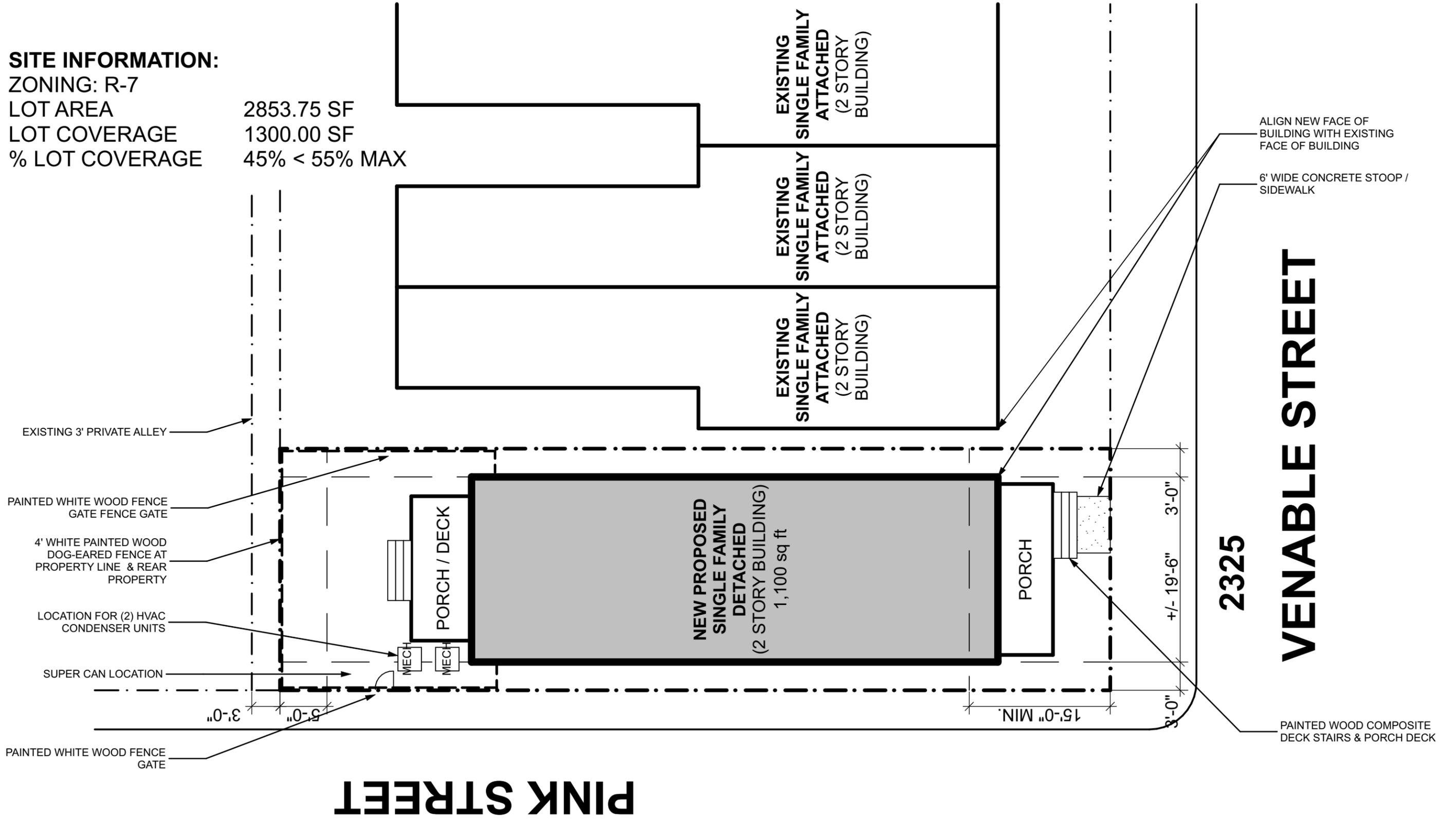
**SITE INFORMATION:**

ZONING: R-7

LOT AREA 2853.75 SF

LOT COVERAGE 1300.00 SF

% LOT COVERAGE 45% < 55% MAX



SK-01

9/25/20

PROJECT NO.: 20002

**PROPOSED SITE PLAN**

2325 VENABLE STREET

RICHMOND, VIRGINIA

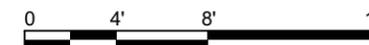




1

**PROPOSED STREET SCAPE**

SCALE: 1/8" = 1'-0"



SK-02

9/25/20

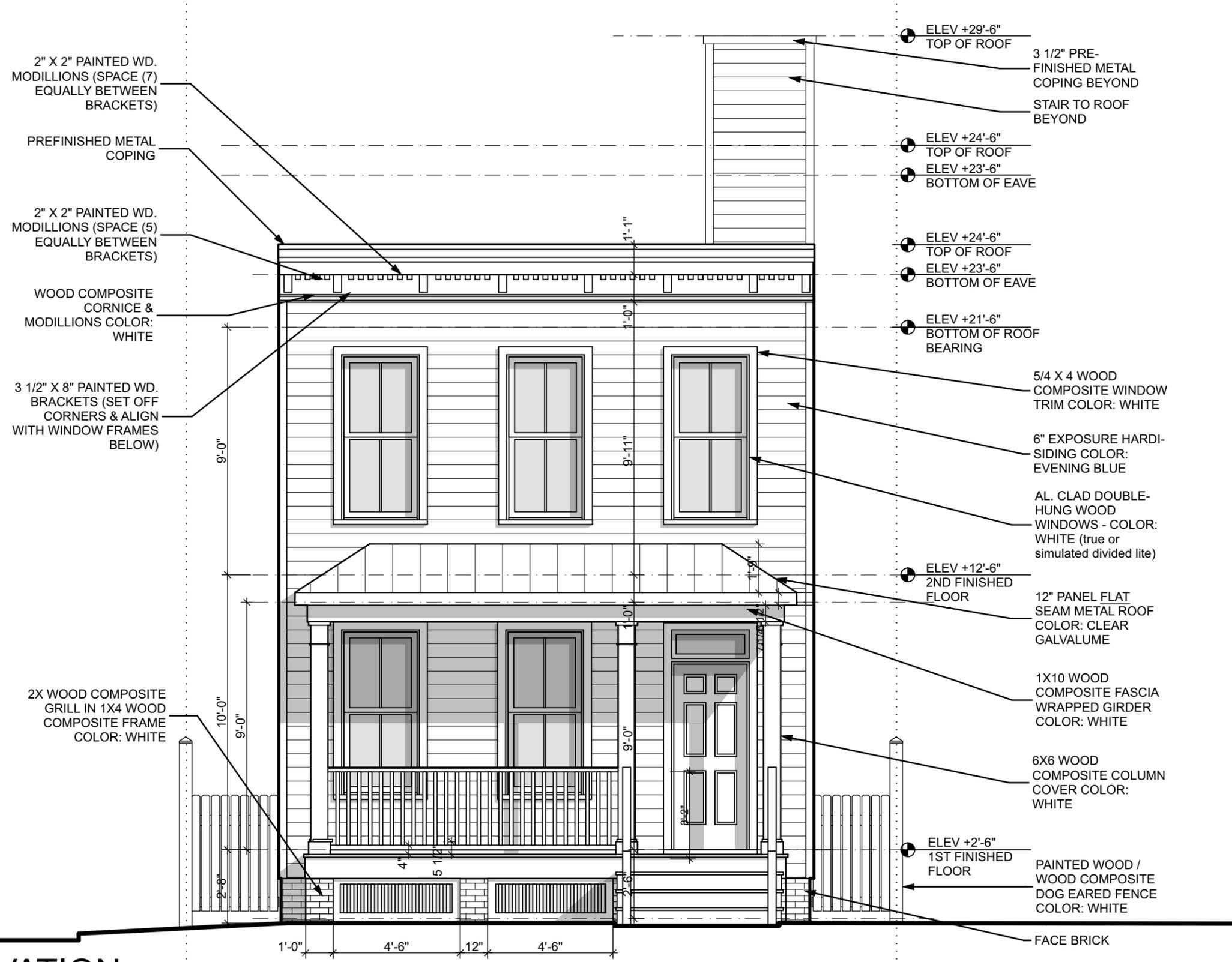
PROJECT NO.: 20002

**PROPOSED STREETSCAPE**

2325 VENABLE STREET

RICHMOND, VIRGINIA





2" X 2" PAINTED WD. MODILLIONS (SPACE (7) EQUALLY BETWEEN BRACKETS)

PREFINISHED METAL COPING

2" X 2" PAINTED WD. MODILLIONS (SPACE (5) EQUALLY BETWEEN BRACKETS)

WOOD COMPOSITE CORNICE & MODILLIONS COLOR: WHITE

3 1/2" X 8" PAINTED WD. BRACKETS (SET OFF CORNERS & ALIGN WITH WINDOW FRAMES BELOW)

2X WOOD COMPOSITE GRILL IN 1X4 WOOD COMPOSITE FRAME COLOR: WHITE

ELEV +29'-6" TOP OF ROOF

ELEV +24'-6" TOP OF ROOF

ELEV +23'-6" BOTTOM OF EAVE

ELEV +24'-6" TOP OF ROOF

ELEV +23'-6" BOTTOM OF EAVE

ELEV +21'-6" BOTTOM OF ROOF BEARING

ELEV +12'-6" 2ND FINISHED FLOOR

ELEV +2'-6" 1ST FINISHED FLOOR

3 1/2" PRE-FINISHED METAL COPING BEYOND  
STAIR TO ROOF BEYOND

5/4 X 4 WOOD COMPOSITE WINDOW TRIM COLOR: WHITE

6" EXPOSURE HARD-SIDING COLOR: EVENING BLUE

AL. CLAD DOUBLE-HUNG WOOD WINDOWS - COLOR: WHITE (true or simulated divided lite)

12" PANEL FLAT SEAM METAL ROOF COLOR: CLEAR GALVALUME

1X10 WOOD COMPOSITE FASCIA WRAPPED GIRDER COLOR: WHITE

6X6 WOOD COMPOSITE COLUMN COVER COLOR: WHITE

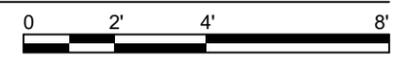
PAINTED WOOD / WOOD COMPOSITE DOG EARED FENCE COLOR: WHITE

FACE BRICK

1

FRONT ELEVATION

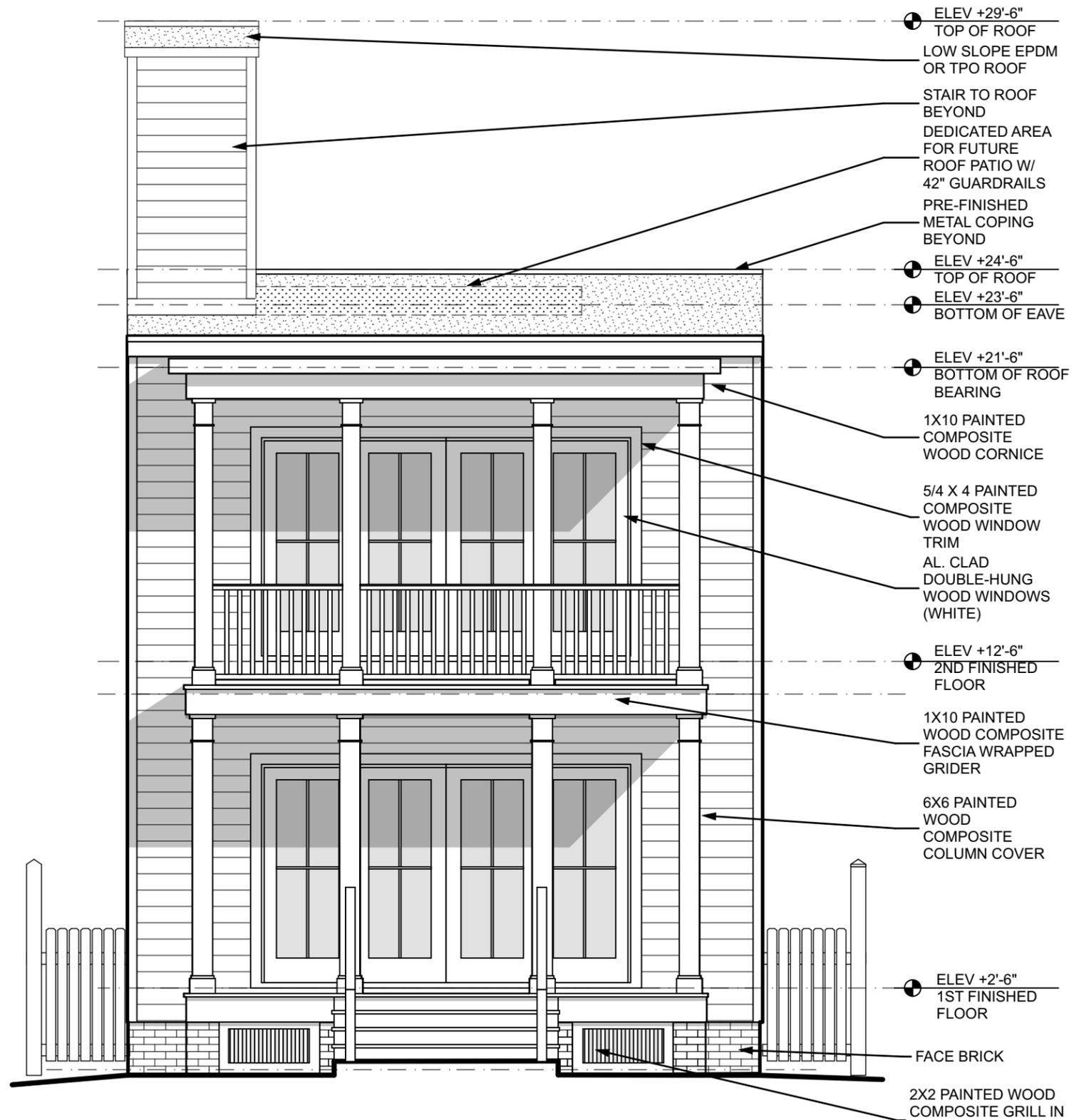
SCALE: 1/4" = 1'-0"



SK-03  
9/25/20  
PROJECT NO.: 20002

FRONT ELEVATION  
2325 VENABLE STREET  
RICHMOND, VIRGINIA





**1** REAR ELEVATION

SCALE: 1/4" = 1'-0"

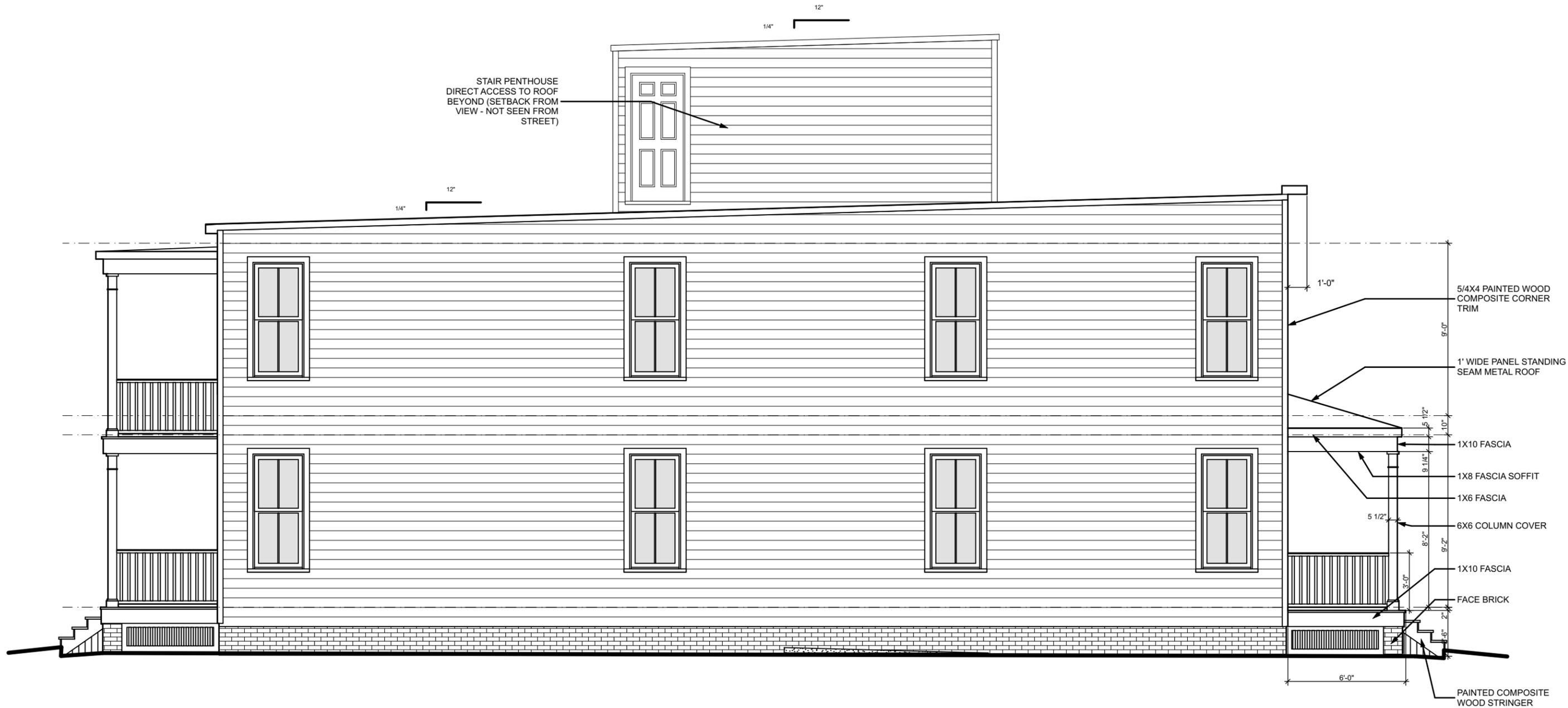


SK-04  
9/25/20

PROJECT NO.: 20002

REAR ELEVATION  
2325 VENABLE STREET  
RICHMOND, VIRGINIA





1

# LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



SK-05

9/25/20

PROJECT NO.: 20002

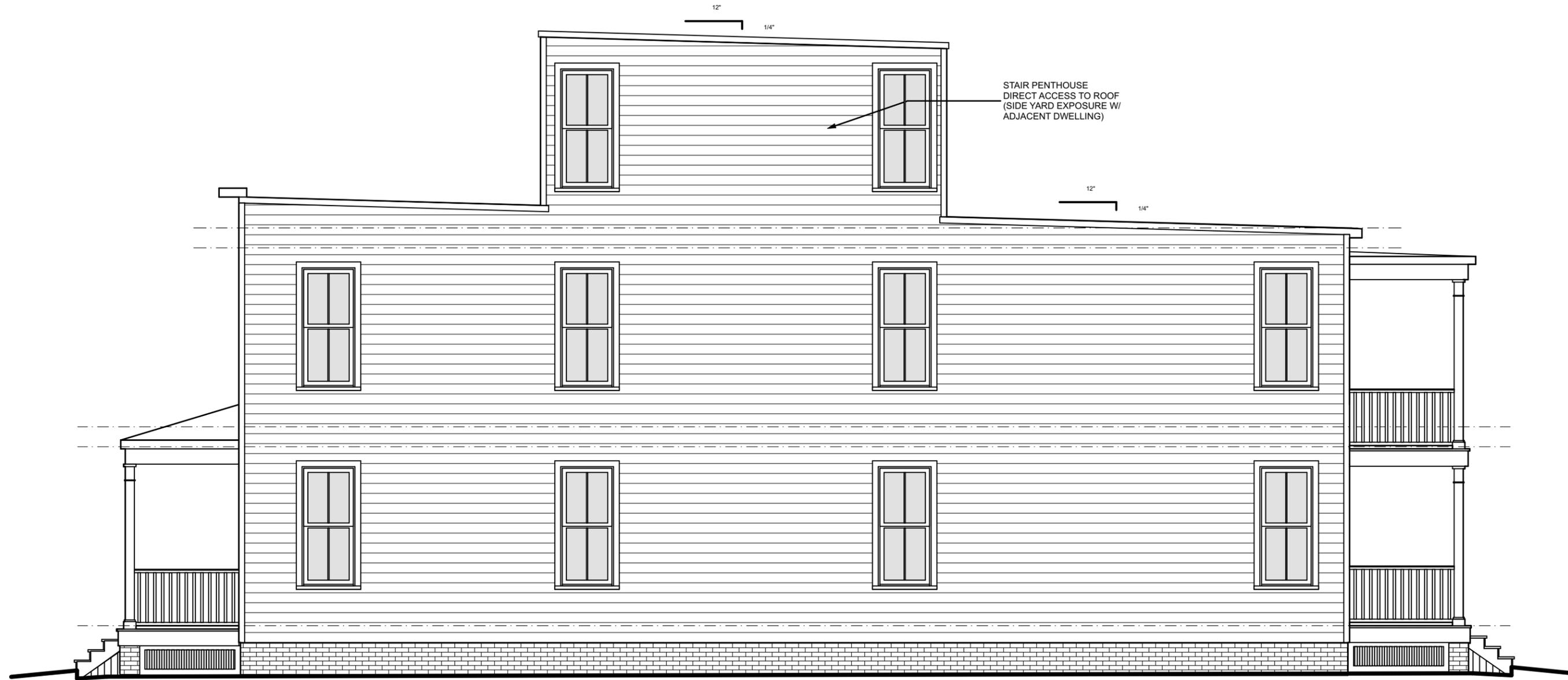
LEFT SIDE ELEVATION

2325 VENABLE STREET

RICHMOND, VIRGINIA



mario di marco  
ARCHITECTS



1

# RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



SK-06

9/25/20

PROJECT NO.: 20002

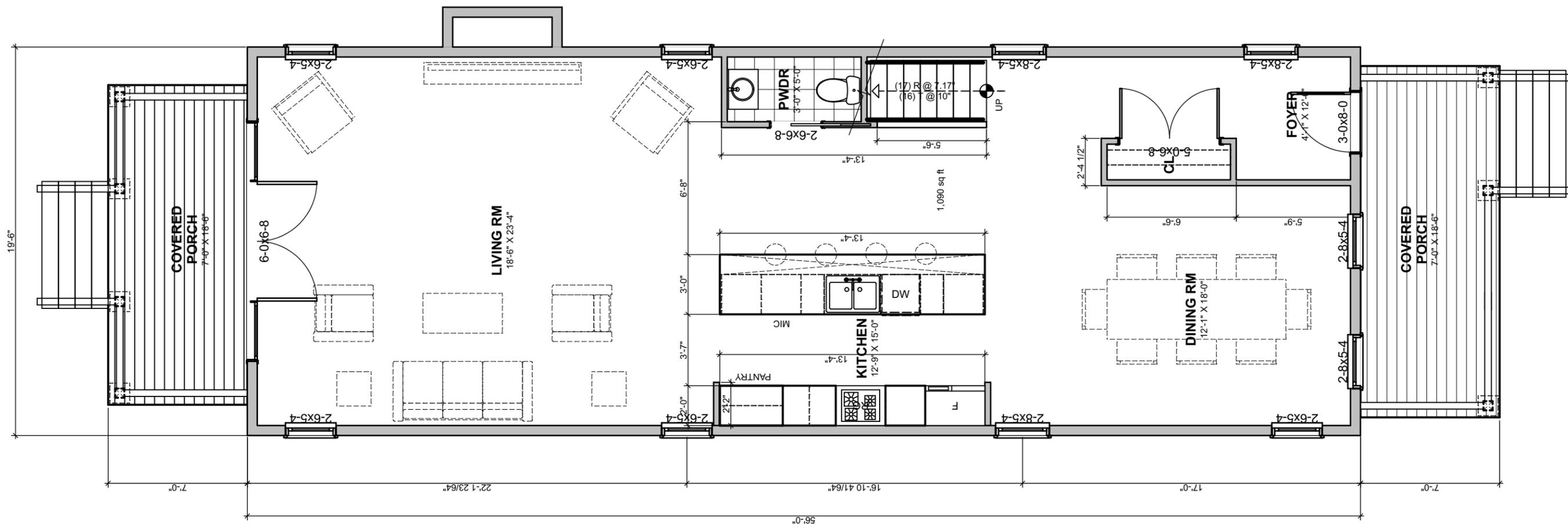
## RIGHT SIDE ELEVATION

2325 VENABLE STREET

RICHMOND, VIRGINIA



mario di marco  
ARCHITECTS



1

# FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

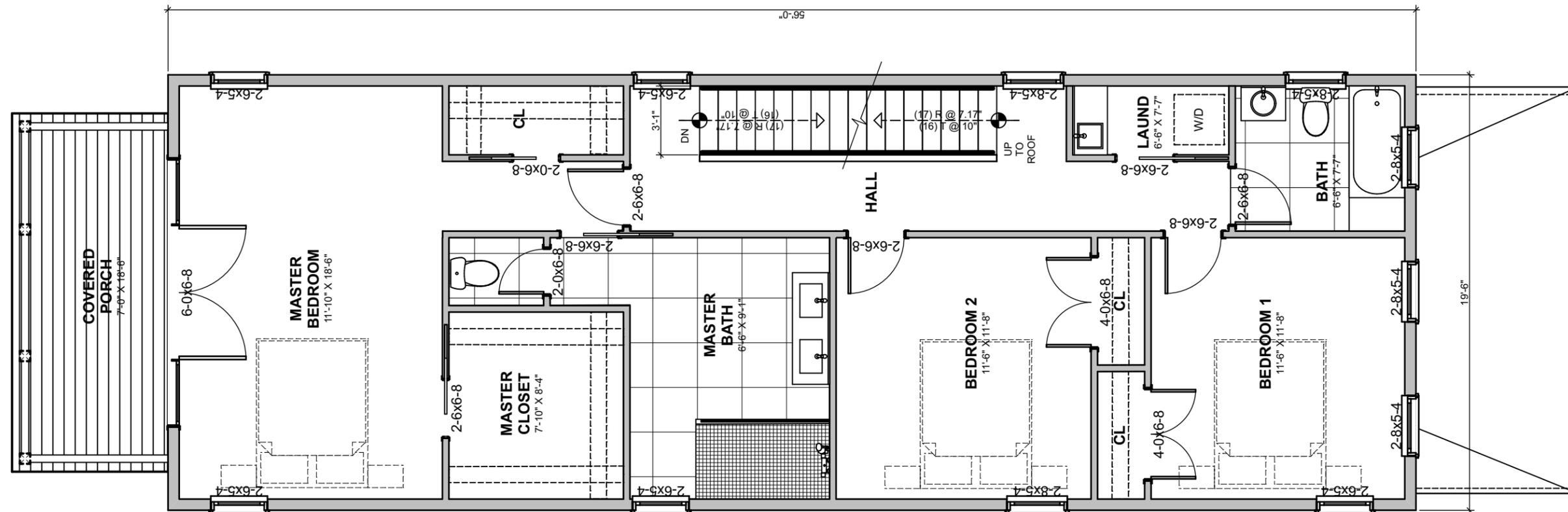


SK-07  
9/25/20

PROJECT NO.: 20002

PROPOSED FIRST FLOOR PLAN  
2325 VENABLE STREET  
RICHMOND, VIRGINIA





1

# SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

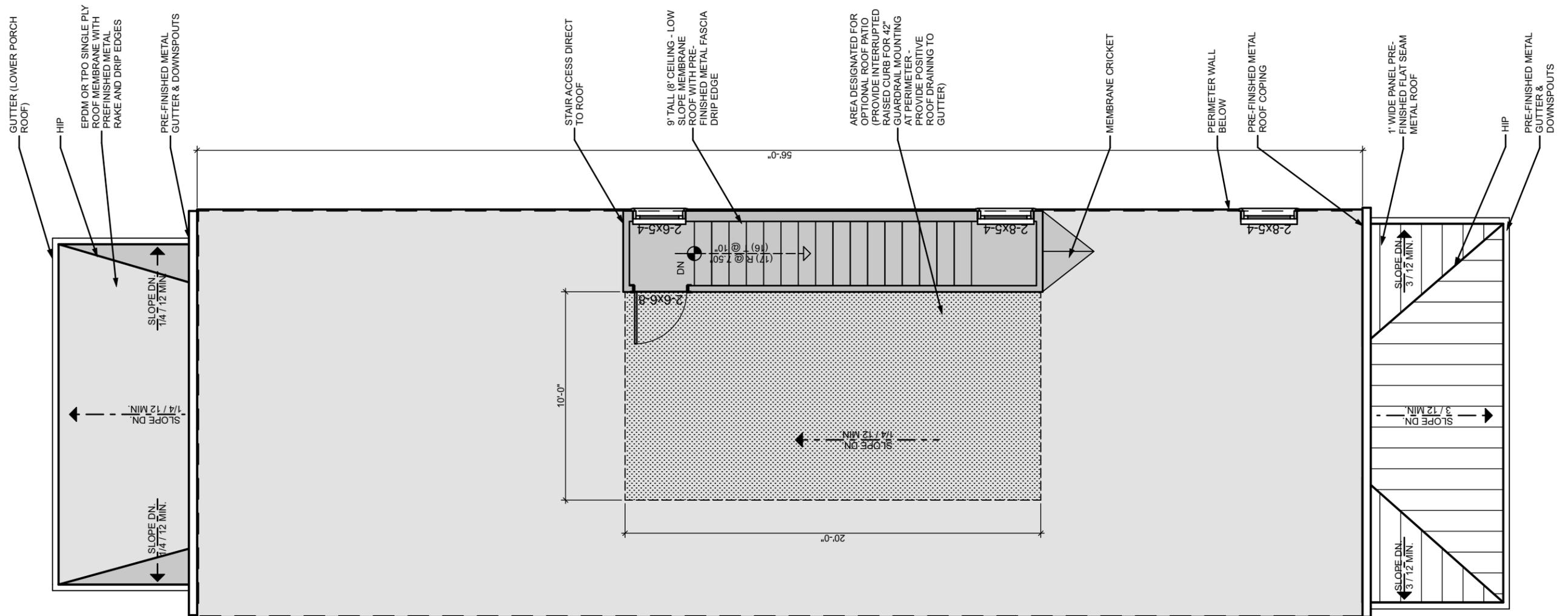


SK-08  
9/25/20

PROJECT NO.: 20002

PROPOSED SECOND FLOOR PLAN  
2325 VENABLE STREET  
RICHMOND, VIRGINIA





**1** ROOF PLAN

SCALE: 3/16" = 1'-0"



SK-09  
9/25/20  
PROJECT NO.: 20002

PROPOSED ROOF PLAN  
2325 VENABLE STREET  
RICHMOND, VIRGINIA

