

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1110 North 35th Street and identified as Tax Parcel No. E000-1106/015 in the 2020 records of the City Assessor, being more particularly shown on a survey entitled “Improvements on PID: E000-1106/015, #1110 North 35th Street, City of Richmond, Virginia,” prepared by Balzer & Associates, and dated November 15, 2019, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of two single-family detached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “1108 N 35th St.,” prepared by River Mill Development, and dated May 6, 2020; “3134 Parkwood Ave,” prepared by River Mill Development, and dated February 7, 2020; and “421 N 32nd St.,” prepared by River Mill Development, and dated February 12, 2019, hereinafter referred to together as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as two single-family detached dwellings, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed the height as shown on the Plans.

(c) All building materials and elevations shall be substantially as shown on the Plans. Siding materials shall consist of cementitious siding or similar materials.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(e) A minimum of one off-street parking space shall be provided for each dwelling at the rear of each dwelling.

(f) Prior to the issuance of any certificate of occupancy for the Special Use, the establishment of two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining approval from the City of the division of the existing lot into two lots and by recording the appropriate plats among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as

amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

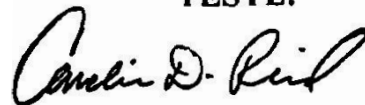
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Amelia D. Reed". The signature is written in a cursive style with a large initial 'A'.

City Clerk

Item Request
File Number: PRE.2020.049

O & R Request

DATE: April 27, 2020

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)  5/21/2020
(This in no way reflects a recommendation on behalf of the Mayor.)

THROUGH: Lenora G. Reid, Acting Chief Administrative Officer  5/1/2020

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning 

FROM: Mark A. Olinger, Director, Department of Planning and Development Review 

RE: To authorize the special use of the property known as 1110 North 35th Street for the purpose of two single-family detached dwellings, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 1110 North 35th Street for the purpose of two single-family detached dwellings, upon certain terms and conditions.

REASON: The subject property is located in the R-5 Single-Family Residential District. Single-family dwellings are allowed on properties that provide at least 50 feet of lot width and 6,000 square feet of lot area. The subject property contains a single-family dwelling that is under renovation. The proposal is to subdivide the property in order to allow the construction of a new single-family dwelling. Once subdivided, neither parcel will meet the minimum lot width or area required in the R-5 Single-Family Residential District. Therefore a special use permit is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its June 15, 2020, meeting.

BACKGROUND: The subject property consists of a 7,500 SF parcel of land and is improved with a single-family dwelling. It is located in the Oakwood Neighborhood within the City's East Planning District, and is located on North 35th Street midblock between Blakey and R Streets.

The lot is 60 feet wide and 125 feet deep. The existing dwelling is 20.4 feet wide and set 3.7 feet off the east side yard property line. The subdivision will result in the creation of two parcels, each 30 feet wide by 125 feet deep. The lot area of each lot will be 3,750 square feet. An alley provides rear yard access and off-street parking will be provided for both properties.

The City of Richmond's Master Plan designates the subject property for Single-Family (Low Density) uses. Primary use is single-family detached dwellings at densities up to seven units per acre. Includes residential support uses such as schools, places of worship, neighborhood parks and recreation facilities, and limited public and semi-public uses. The density of the parcel if developed as proposed would be a ratio of approximately 12 units per acre. There are also a variety of general housing goals contained in the Master Plan Neighborhoods and Housing chapter that are applicable to the request. These goals include, among other things, desire for neighborhoods to provide a variety of housing choices.

All properties surrounding the subject property are located within the same R-5 Single-Family Residential zoning district. Within the area of the subject property, those properties with improvements contain a mixture of single-family detached and single-family attached structures.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: May 11, 2020

CITY COUNCIL PUBLIC HEARING DATE: June 8, 2020

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
June 15, 2020

AFFECTED AGENCIES: Office of Chief Administration Officer
Law Department (for review of draft ordinance)

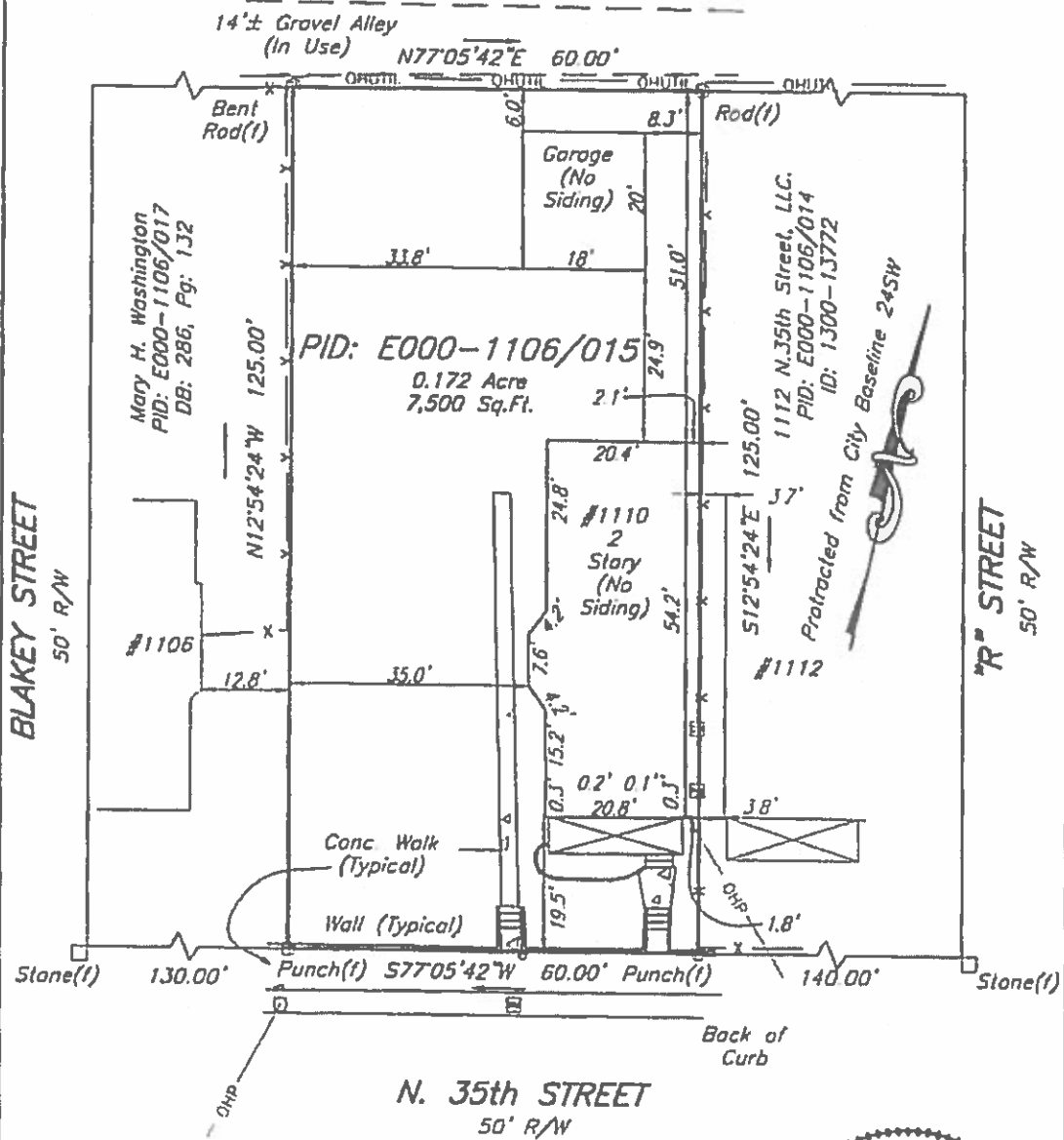
RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Application Form, Applicant's Report, Draft Ordinance, Plans, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036

This is to certify that this plat or map was prepared under my direction from an actual field survey without the benefit of a title report. Unless otherwise noted, to the best of my knowledge and belief all visible evidence of improvements, easements and apparent encroachments are shown hereon. Not all easements may be shown.



LEGEND

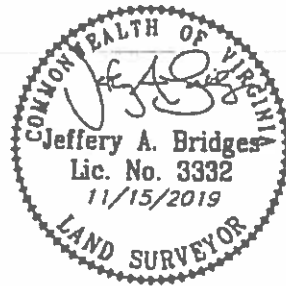
- ☐ Gas Meter
- ☐ Power Meter
- ☐ Water Meter
- Light Pole

Current Owner:
 EKS Realty Investments, LLC
 PID: E000-1106/015
 ID: 1900-12551

IMPROVEMENTS ON
PID: E000-1106/015
#1110 NORTH 35TH STREET
CITY OF RICHMOND, VIRGINIA

DATE: 11/15/2019
 SCALE: 1"=20'
 JOB NO.: 55190248.MS
 DRAWN BY: NWD
 CHECKED BY: JAB

PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
 ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
 15971 City View Drive, Suite 200 / Middletown, Virginia 23113 / Phone (804) 794-0571 / www.balzer.co





Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location _____
 Property Address 1110 N 35th ST RICHMOND VA 23223 Date 12/10/19
 Tax Map # E000106015 Fee _____
 Total area of affected site in acres .177 ACRES

(See page 6 for fee schedule please make check payable to the "City of Richmond")

Zoning
 Current Zoning: R-5 SINGLE FAMILY RESIDENTIAL
 Existing Use R-5

Proposed Use
 (Please include a detailed description of the proposed use in the required applicant's report)
SPLITTING LOT TO BUILD ADDITIONAL RESIDENTIAL PROPERTY
 Existing Use SINGLE-FAMILY

Is this property subject to any previous land use cases?

Yes No If Yes please list the Ordinance Number _____

Applicant/Contact Person: TRAVIS SMITH
 Company EKS REALTY INVESTMENT, LLC
 Mailing Address 940 NAILOR WAY
 City MIDDLETON State VA Zip Code 23114
 Telephone (804) 245-0673 Fax _____
 Email TDS804@GMAIL.COM

Property Owner: EKS REALTY INVESTMENTS LLC
 If Business Entity, name and title of authorized signee TRAVIS SMITH

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address 940 NAILOR WAY
 City MIDDLETON State VA Zip Code 23114
 Telephone (804) 245-0673 Fax _____
 Email TDS804@GMAIL.COM

Property Owner Signature: [Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Applicant's Report for 1110 N 35th St Richmond VA, 23223

To whom it may concern:

My name is Travis Smith. I am a Real Estate Investor that currently owns the property at 1110 N 35th St. I purchased this property to rehab it as I love the old houses in Richmond VA. As a native of Richmond, born and raised, I have always loved the city and everything it has to offer.

I fell in love with real estate and am looking to add value to the city by rehabbing properties as well developing new properties for single family and multi family housing. The property at 1110 N 35th St, has the potential to have an additional house built on the oversized lot that is available. With the subdivision of the lot and the special use permit, I would plan on building a house that matches the aesthetics of the rehabilitation efforts ongoing in the city. The house will have the same plans as the current renovation of N 35th St property with off street parking in the rear. This will eliminate additional parking needs on the street.

My construction company I use has a lot of experience in Church Hill and has renovated several properties within a mile or two of the property. They are a solid construction team and take the utmost precautions when working in the community and around other family's homes to ensure no damage is done to their property and that their safety is never in question.

Having the ability to build off-street parking will allow the team to use that portion of the land to place dumpsters, debris, etc. that may otherwise take up space in the street, thus not deterring traffic.

Lastly, building additional housing allows for more families to experience the city that I love as well as bring in additional income to the city.

I appreciate you taking the time to consider the Special Use Permit and look forward to working with you.

Best,

Travis Smith

EKS Realty Investments, LLC

804-245-0673

GENERAL NOTES AND DESIGN CRITERIA

FOLLOW LATEST BUILDING CODE: IRC 2015

DESIGN LOADS (MIN.):

FLOOR:	40 PSF LIVE LOAD 10 PSF DEAD LOAD	CEILING:	20 PSF LIVE LOAD 10 PSF DEAD LOAD
ROOF:	20 PSF LIVE LOAD 10 PSF DEAD LOAD	ROOF DESIGN WIND SPEED:	115 MPH
SLEEPING AREAS:	30 PSF LIVE LOAD	(TRUSSES: TC AND BC DEAD LOAD OF 10 PSF EACH)	

1108 N 35TH ST.

LOCATION:
RICHMOND, VA

SOIL BEARING ASSUMED CAPACITY: ASSUMED 1500 PSF
LIVE LOADS, DEAD LOADS, WIND LOADS, SNOW LOADS, LATERAL LOADS, SEISMIC ZONING, AND ANY OTHER SPECIALTY LOADING WILL NEED TO BE CONFIRMED BEFORE CONSTRUCTION AND DEALT WITH ACCORDINGLY.

FRAMING MEMBERS:
UNLESS OTHERWISE NOTED, ALL FRAMING LUMBER TO BE #2 OR BETTER.
CONTRACTOR TO CONFIRM THE SIZE, SPACING, AND SPECIES OF ALL FRAMING AND STRUCTURAL MEMBERS.
ALL EXTERIOR WALLS AND CEILING/ROOF ARE TO BE INSULATED BY CODE.
ENGINEERED WOOD PRODUCTS TO BE ENGINEERED BY MANUFACTURER/SUPPLIER.
TRUSSES TO BE ENGINEERING BY TRUSS MANUFACTURER/SUPPLIER.
FOLLOW BRACING GUIDELINES SUBMITTED BY TRUSS MANUFACTURER.

CONCRETE AND FOUNDATIONS:
ALL SLABS ON GRADE SHALL BE 3000 PSI MIN.
ALL SLABS ON GRADE SHALL BEAR ON 4" COMPACTED GRANULAR FILL WITH 6X6 MIN. WELDED WIRE MESH (WWM).
INTERIOR SLABS SHALL HAVE A 6 MIL. AIR- PLOTETHYLENE VAPOUR BARRIER UNDERNEATH.
PROVIDE PROPER EXPANSION AND CONTROL JOINTS.
PROVIDE REINFORCING WHERE NEEDED ACCORDING TO LOCAL CODES, REQUIREMENTS, AND DESIGN.
FOUNDATION WALLS ARE NOT TO BE BACKFILLED UNTIL STRUCTURAL FRAMING IS COMPLETE.
VERIFY DEPTH OF FOOTINGS TO MAKE SURE IT IS BELOW FROST LINE.

STEEL:
ALL STRUCTURAL STEEL TO COMPLY WITH ASTM STANDARDS AND SPECIFICATIONS.

SAFETY GLAZING IS REQUIRED PER CODE INCLUDING BUT NOT LIMITED TO THE FOLLOWING: GLAZING IN SWINGING DOORS EXCEPT JALOUSIES, GLAZING IN FIXED AND SLIDING PANEL DOORS, GLAZING IN STORM DOORS, GLAZING IN ALL UN-FRAMED DOORS, GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS WHOSE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE, GLAZING IN PANELS ADJACENT TO AND WITHIN 24" OF THE EDGE OF A SWINGING DOOR, GLAZING LESS THAN 18" ABOVE THE FLOOR, GLAZING IN RAILINGS, GLAZING IN PEAKS OR WALLS ENCLOSING SWIMMING POOLS-HOT TUBS-SPAS, GLAZING IN STAIRWAYS-LANDINGS-RAMP, GLAZING WITHIN 60" OF THE BOTTOM TREAD OF A STAIRWAY.
PER CODE, A MIN. NET CLEAR OPENING OF 57 SQ. FT. (24" HIGH X 20" WIDE) AND A MAX. SILL HEIGHT OF 44" ABOVE FINISH FLOOR IS REQUIRED FOR ALL EMERGENCY ESCAPE AND RESCUE WINDOWS. THE WINDOW DIMENSIONS SHOWN ON THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. CONTRACTOR MUST VERIFY THE CHOSEN WINDOWS MEET THE EGRESS REQUIREMENTS. PROVIDE WINDOW WELLS AS REQUIRED. COMPLIANCE TO EMERGENCY EGRESS IS REQUIRED.
COMPLIANCE TO SECTION R310 FOR SMOKE & CO2 DETECTORS IS REQUIRED. SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH CURRENT UL AND HARDWIRED, INTERCONNECTED, AND ARC FAULT PROTECTED WITH A BATTERY BACKUP.
GARAGE WALLS ARE TO BE COVERED PER CODE. TYPICAL GARAGE WALLS AND ATTIC SPACE/CEILING ASSEMBLIES ARE TO BE COVERED WITH A MIN. 1/2" GYPSUM WALLBOARD. GARAGE RESIDENCE SEPARATION WALLS AND FLOOR/CEILING ASSEMBLIES ARE TO BE COVERED WITH A MIN. 5/8" TYPE 7X GYPSUM WALLBOARD. DOORS SEPARATING THE GARAGE AND RESIDENCE ARE TO BE MIN. 20-MINUTE FIRE RATED OR SOLID WOOD, NOT LESS THAN 1-3/8" THICK.

DESIGNER: NICK MEDLIN
POSITION: OWNER / OPERATOR
3713 WHITEWOOD RD. RICHMOND VA 23235

DRAWING INDEX

COVER PAGE	C1.0
SITE PLAN	A1.0
FLOOR PLANS	A1.1
ELEVATIONS	A2.1
ELEVATIONS	A2.2
FRAMING PLANS	A3.1
WALL BRACING	A3.2
SECTIONS / DETAILS	D1.0

BUILDING INFORMATION

1ST FL. HEATED S.F.	900
2ND FL. HEATED S.F.	862

COMPLIANCE IS REQUIRED FOR EXISTING DOOR STAIRS, RAMPS, AND LANDINGS. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXISTING DOOR EXCEPT WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. OF 36" IN DIRECTION OF TRAVEL.
COMPLIANCE IS REQUIRED FOR HANDRAILS (TYPE 1) AND GUARDRAILS. ALL INT. AND EXT. RAILINGS ARE TO BE A CONTINUOUS AND MIN. 36" IN HEIGHT. BE ABLE TO WITHSTAND 200 LBS OF FORCE AND NOT ALLOW A SPHERE GREATER THAN 4" IN DIAMETER TO PASS THROUGH. GUARDRAILS ARE TO BE 36" HIGH WITH MAX SPACING BETWEEN PICKETS OF LESS THAN 4". HANDRAILS ARE TO BE BETWEEN 34"-36" HIGH WITH MAX SPACING BETWEEN PICKETS NOT LESS THAN 4".
DRAFT STOPPING IS REQUIRED PER CODE WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED SO THAT THE CONCEALED SPACE DOES NOT EXCEED 1000 SF. DRAFT STOPPING SHALL BE INSTALLED SO AS TO DIVIDE THE SPACE EVENLY. DRAFT STOPPING IS REQUIRED IN SUSPENDED CEILINGS UNDER THE FLOOR SYSTEM AND WHEN THE FLOOR FRAMING IS CONSTRUCTED OF TRUSS TYPE OPEN WEB OR PERFORATED MEMBERS.
FIRE BLOCKING IS REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL) AND FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES.



RIVER MILL DEVELOPMENT

1108 N 35TH ST.

RIVER MILL DEVELOPMENT

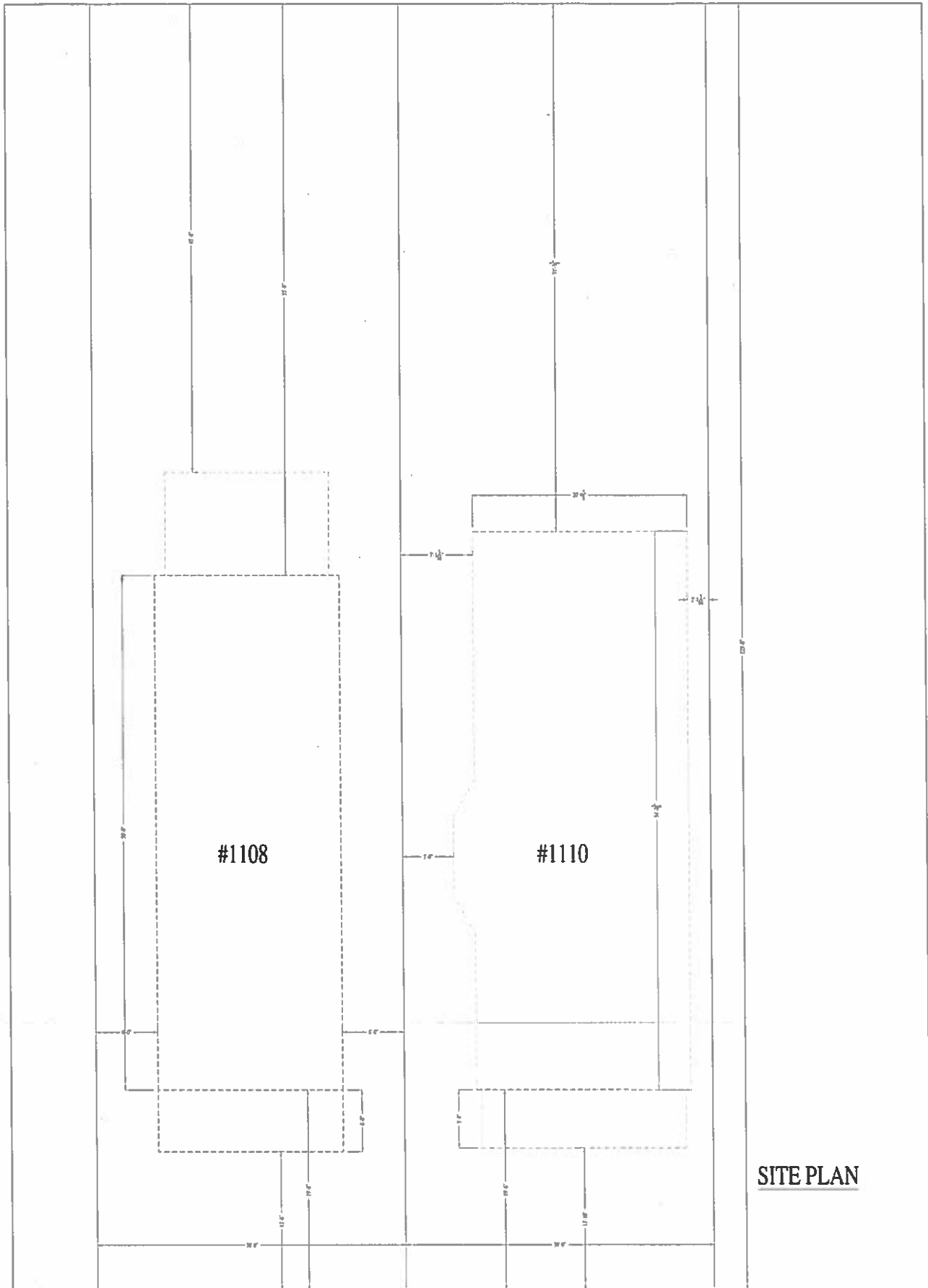
REVISION NOTES

NO.	DATE	DESCRIPTION

DATE: 5-06-2020

SHEET: C1.0

SCALE: N/A



SITE PLAN



SHEET:
A1.0

DATE:
5-06-2020

SCALE:
1/4" = 1'-0"

REVISION NOTES	

1108 N 35TH ST.
RIVER MILL DEVELOPMENT
RIVER MILL DEVELOPMENT INC. 2020 ©/TM

1ST FLOOR HEATED SQ. FOOTAGE: 900 S.F.
 2ND FLOOR HEATED SQ. FOOTAGE: 862 S.F.

CORNER DETAIL

Minimum 2x4 wood structural panel sheathing on 2x structural floor joist sheathing corner detail

1/4" and 1/2" x 8.31" x 11 1/2" joist

Optional unstructural fiber panel

See Table B602.3(1) for framing

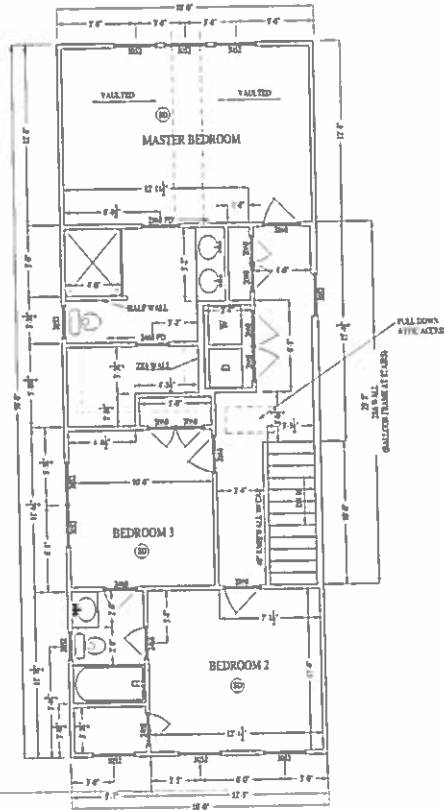


See Table B602.3(1) for framing

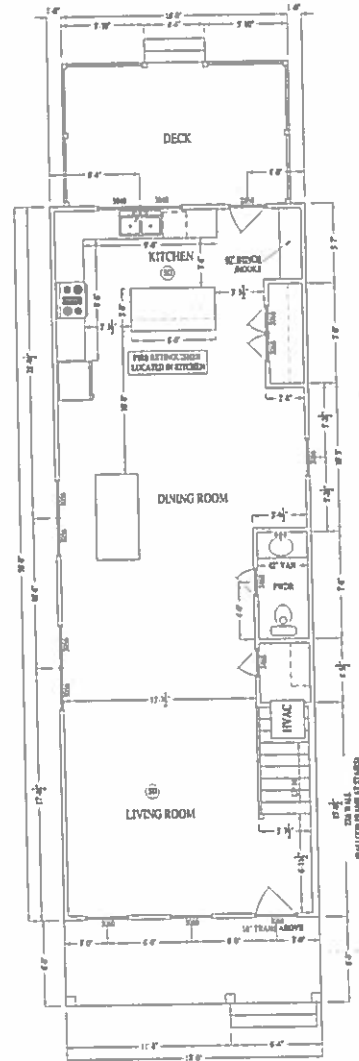
Orientation of nail may vary. See Figure B602.3(2).

Cypress will board as requested and installed in accordance with Chapter 7 (if the DEC)

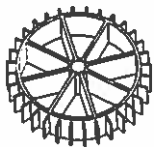
Continuous wood structural panel or structural floorboard board wall line



SECOND FLOOR PLAN



FIRST FLOOR PLAN



RIVER MILL DEVELOPMENT

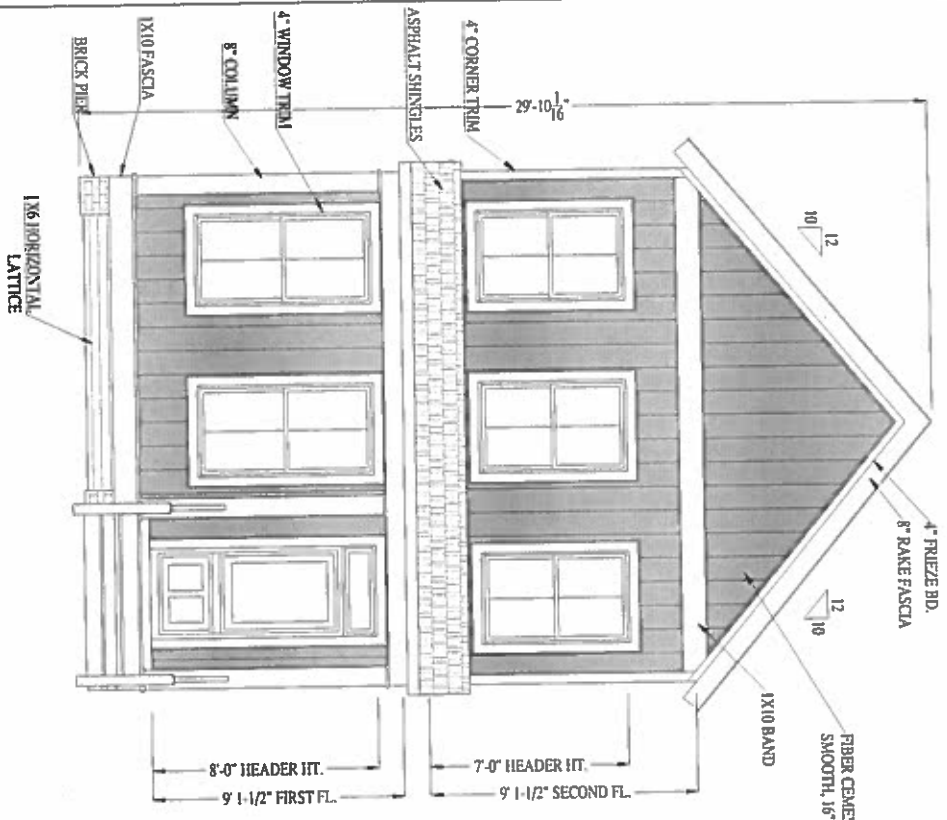
SHEET: A1.1

DATE: 5-05-2020

SCALE: 1/4" = 1'-0"

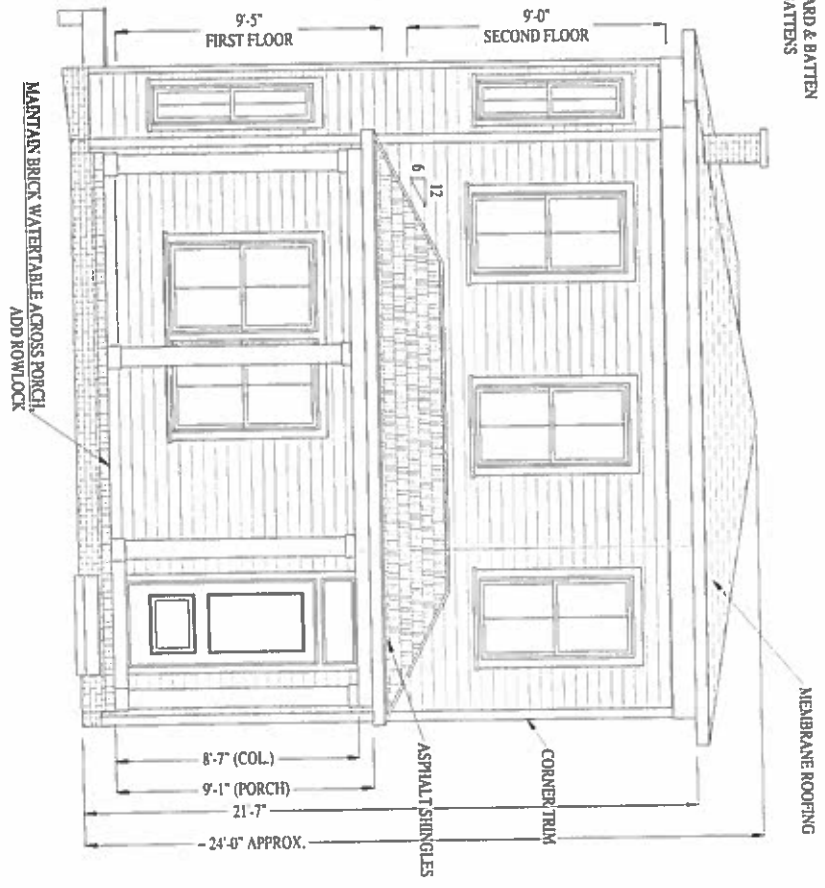
NO.	DATE	REVISION NOTES

1108 N 35TH ST.
RIVER MILL DEVELOPMENT
 RIVERSIDE DR 5411 NORTH ST. IN DENVER, CO 80216
 TEL: 303.733.8000



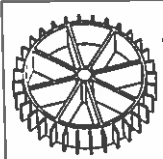
FRONT ELEVATION

1108 N 35TH ST.



FRONT ELEVATION

1110 N 35TH ST.



RIVER MILL
DEVELOPMENT

DATE:
5-06-2020

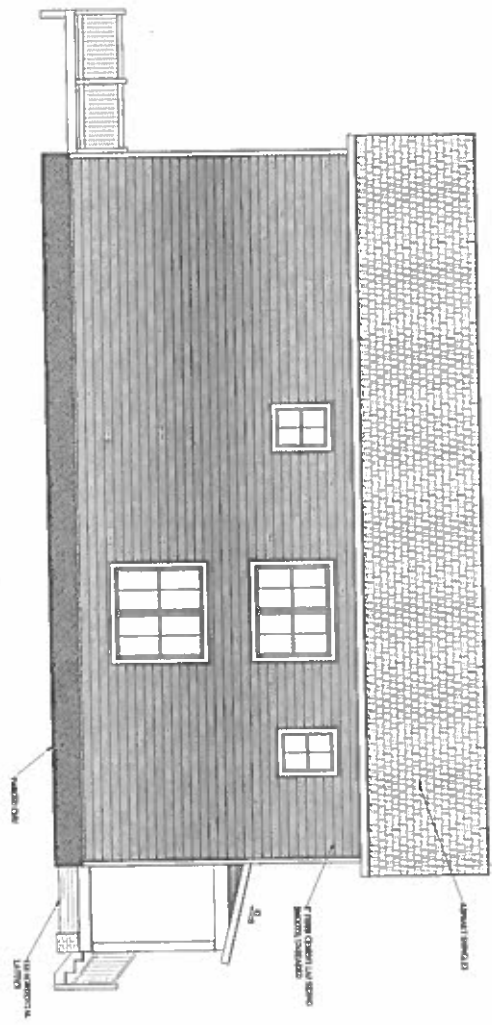
SHEET:
A2.1

REVISION NOTES	
NO.	DATE

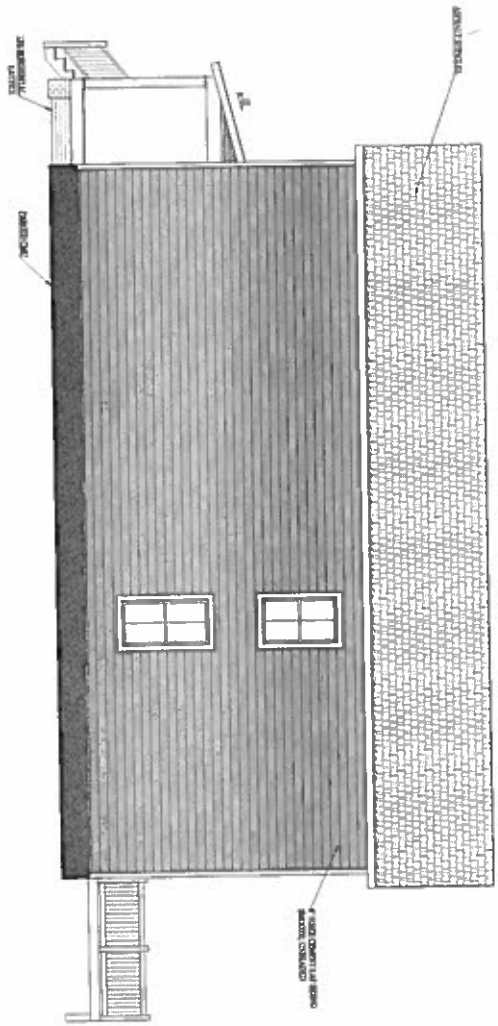
1108 N 35TH ST.

RIVER MILL DEVELOPMENT

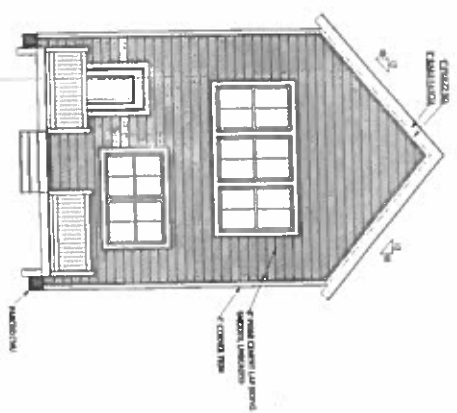
2020 RIVER MILL DEVELOPMENT LLC. ALL RIGHTS RESERVED. 1108 N 35TH ST. ST. PAUL, MN 55102-1108



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

1108 N 35TH ST.

RIVER MILL DEVELOPMENT

RIVERMILLDEVELOPMENT.COM
PHONE: 314.721.5555

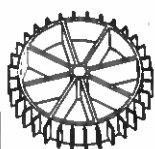
REVISION NOTES

NO.	DATE	DESCRIPTION

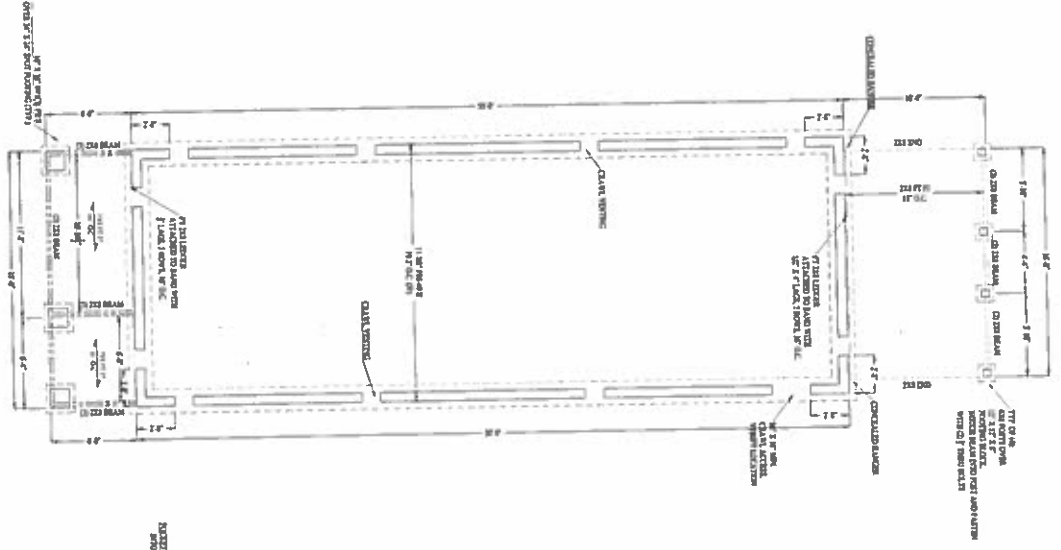
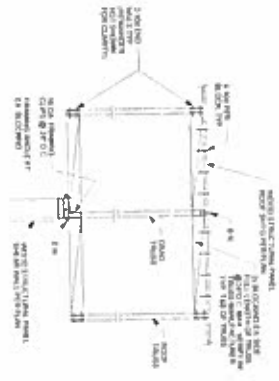
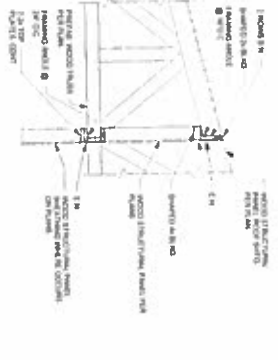
SCALE:
1/4" = 1'-0"

DATE:
5-05-2020

SHEET:
A2.2



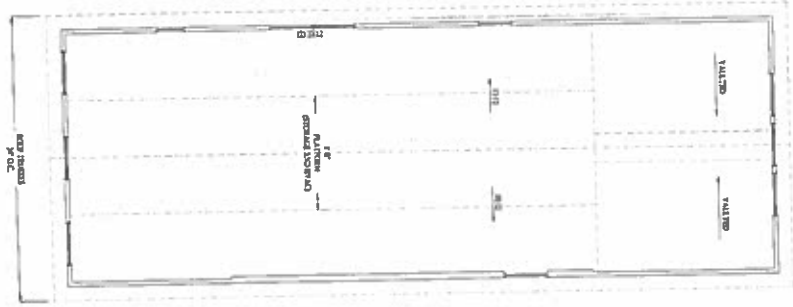
RIVER MILL
DEVELOPMENT



**FOUNDATION PLAN
& FIRST FLOOR FRAMING**
VERIFY SOIL BEARING CAPACITY.



SECOND FL. FRAMING



ROOF PLAN

3134 PARKWOOD AVE

RIVER MILL DEVELOPMENT

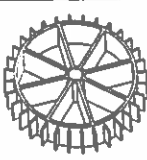
REVISION NOTES

NO.	DATE	DESCRIPTION

SCALE:
1/4" = 1'-0"

DATE:
2-07-2020

SHEET:
A3.1

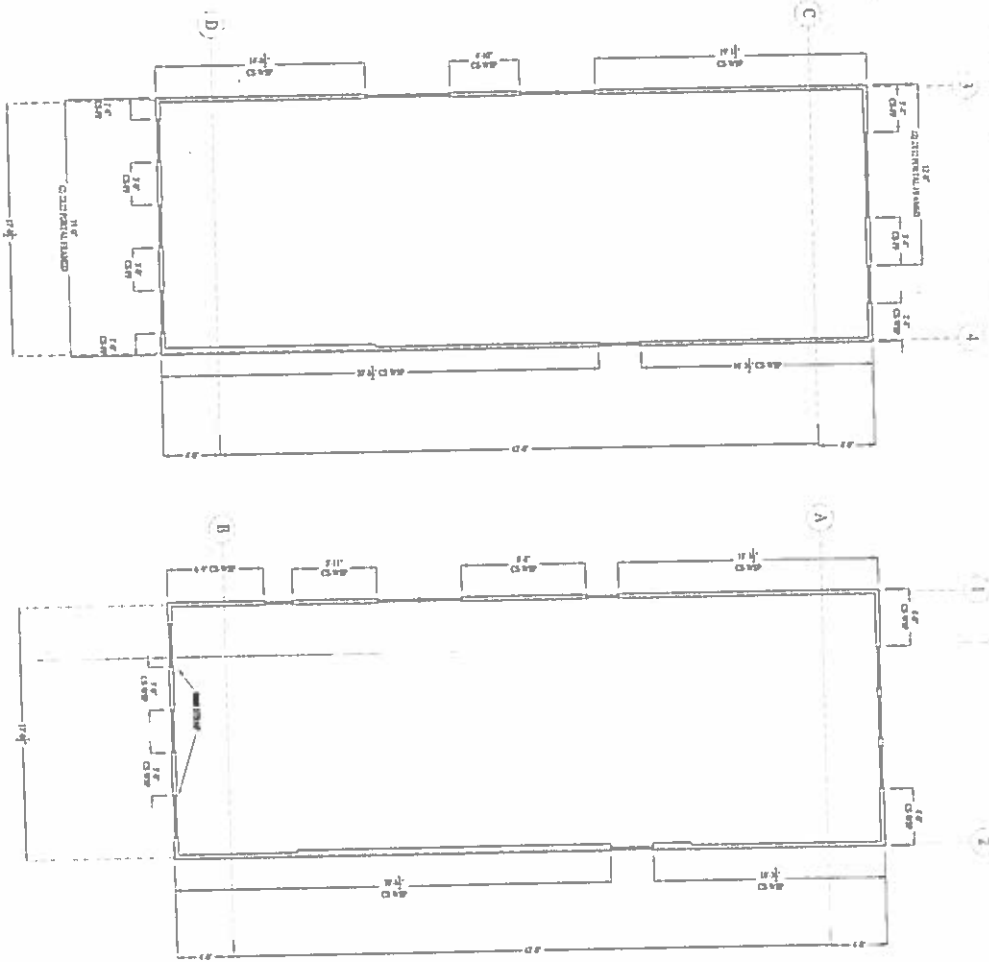


**RIVER MILL
DEVELOPMENT**

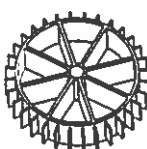
Member	Span	Support	Material	Size	Length	Volume	Weight	Area	Perimeter	Notes
1	12	1	CS-WSP	4x8	12	48	120	48	12	
2	12	2	CS-WSP	4x8	12	48	120	48	12	
3	12	3	CS-WSP	4x8	12	48	120	48	12	
4	12	4	CS-WSP	4x8	12	48	120	48	12	
5	12	5	CS-WSP	4x8	12	48	120	48	12	
6	12	6	CS-WSP	4x8	12	48	120	48	12	
7	12	7	CS-WSP	4x8	12	48	120	48	12	
8	12	8	CS-WSP	4x8	12	48	120	48	12	
9	12	9	CS-WSP	4x8	12	48	120	48	12	
10	12	10	CS-WSP	4x8	12	48	120	48	12	
11	12	11	CS-WSP	4x8	12	48	120	48	12	
12	12	12	CS-WSP	4x8	12	48	120	48	12	
13	12	13	CS-WSP	4x8	12	48	120	48	12	
14	12	14	CS-WSP	4x8	12	48	120	48	12	
15	12	15	CS-WSP	4x8	12	48	120	48	12	
16	12	16	CS-WSP	4x8	12	48	120	48	12	
17	12	17	CS-WSP	4x8	12	48	120	48	12	
18	12	18	CS-WSP	4x8	12	48	120	48	12	
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97	12	97	CS-WSP	4x8	12	48	120	48	12	
98	12	98	CS-WSP	4x8	12	48	120	48	12	
99	12	99	CS-WSP	4x8	12	48	120	48	12	
100	12	100	CS-WSP	4x8	12	48	120	48	12	

1ST FL. WALL BRACING

2ND FL. WALL BRACING



ALL WALL BRACING IS CS-WSP UNLESS NOTED OTHERWISE.
CS-PFIS 1.5X ACTUAL PER IRC 2012



RIVER MILL DEVELOPMENT

SHEET: A3.2

DATE: 2-07-2020

SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION

3134 PARKWOOD AVE
RIVER MILL DEVELOPMENT
 11111 RIVER MILL DRIVE, SUITE 100, RIVER MILL, NC 27157
 PHONE: 704.772.0000

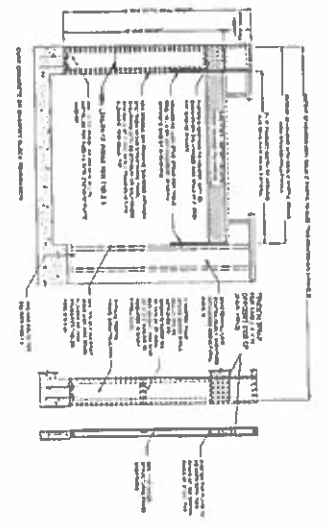


FIGURE 22: BRACED-WALL-PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

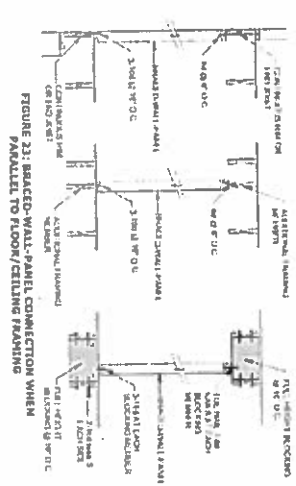
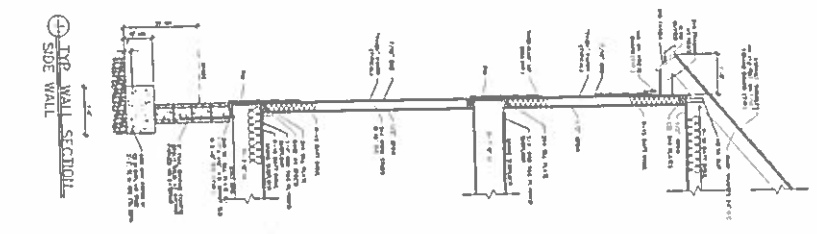
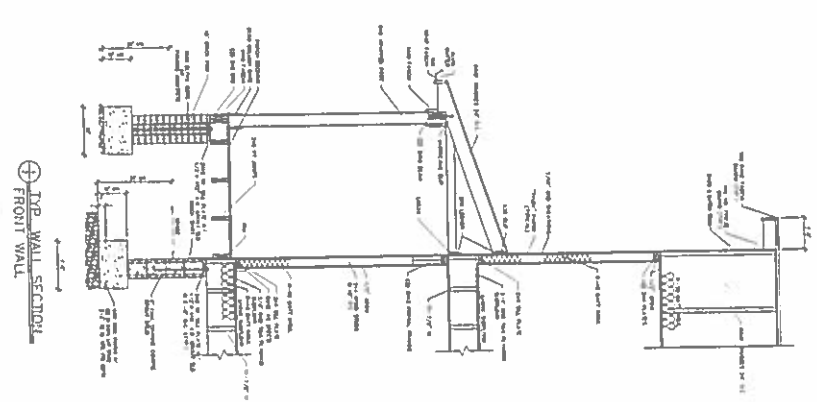
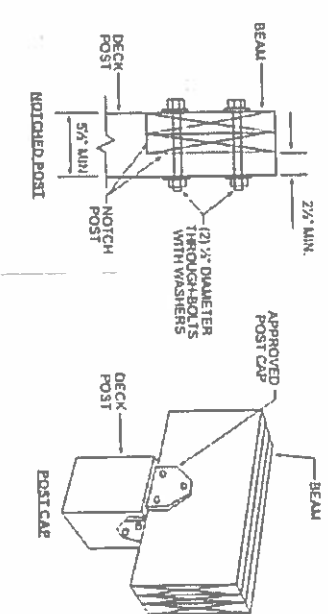
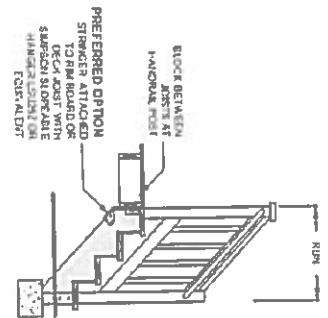
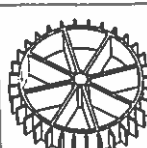


FIGURE 23: BRACED-WALL-PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING



 RIVER MILL DEVELOPMENT	DATE: 2.12.19	SCALE: 1/4" = 1'-0"	421 N 32ND ST. RIVER MILL DEVELOPMENT <small>REVISIONS: 01/15/19 02/12/19 03/12/19</small>
	SHEET: D1.0	REVISION NOTES	