

1201-1201.5 N 31ST ST.

1201-1201.5 N 31ST ST., RICHMOND, VA, 23223

2-STORY 2-BEDROOM, 2-1/2 BATH, NEW CONSTRUCTION 2-FAMILY ATTACHED RESIDENCE



REVISIONS

#	DATE	DESCRIPTION
---	------	-------------

BUILDER NOTICE:

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.

CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE

COVER SHEET

DOCUMENT PHASE:

PERMIT SET

PLOT DATE:
4/2/2019
1:39:15 PM

DRAWN BY:
DUSTIN HETRICK

SCALE: SEE PLAN

SHEET

A0.1

1 OF 13

BUILDER NOTICE:
IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.
ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM

REVISION TABLE		
#	DATE	DESCRIPTION

PAGE #	TITLE	SHEET LIST
A0.1	COVER SHEET	
A0.2	GENERAL INFORMATION & SITE PLAN	
A1.1	FOUNDATION PLAN	
A1.2	1ST FLOOR PLAN	
A1.3	2ND FLOOR PLAN	
A2.1	ROOF PLAN	
A3.1	EXTERIOR ELEVATIONS	
A3.2	EXTERIOR ELEVATIONS	
A4.1	ENLARGED PORCH SECTION	
A4.2	CROSS SECTION THROUGH STAIRS	
A4.3	PARTY WALL SECTION	
BW1.1	WIND BRACING PLANS	
BW1.2	WIND BRACING SPREADSHEETS	

ABBREVIATIONS LEGEND

AB	ANCHOR BOLT
ABV	ADJUSTABLE
ADJ	ADJUSTABLE
AF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
APPROX	APPROXIMATE
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BO	BOTTOM OF
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS OR CONTINUE
CPT	CARPET
CT	CERAMIC TILE
EW	EXPANSION JOINT
EQ	EQUAL
ELEV	ELEVATION
EQUIP	EQUIPMENT
EXP	EXPOSED
EXT	EXTERIOR
FD	FLOOR DRAIN
FF	FINISH FLOOR
FIN	FINISH
FLR	FLOOR (OR FLOORING)
FO	FOUNDATION
FOC	FACE OF CONCRETE
FTG	FACE OF FRAMING
FOOTING	FOOTING
GYSM	GYPSUM
HB	HOSE BIB
HDR	HEADER
HGT	HEIGHT
HR	HANDRAIL
HVAC	HEATING / VENTILATING / AIR CONDITIONING
HW	HOT WATER
INSUL	INSULATION
INT	INTERIOR
JST	JOIST
JT	JOINT
LAV	LAVATORY
LVL	LAMINATED VENEER LUMBER
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MOLDG	MOLDING
MO	MASONRY OPENING
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVERHEAD
OSB	ORIENTED STRAND BOARD
PERF	PERFORATED
PGM	PLATE GLASS MIRROR
PL	PROPERTY LINE
PLY	PLYWOOD
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
PWD RM	POWDER ROOM
QTY	QUANTITY
REF	REFRIGERATOR
REINF	REINFORCED
REQD	REQUIRED
RM	ROOM
RO	ROUGH OPENING
SD	SMOKE DETECTOR
SF	SQUARE FEET
SHTG	SHEATHING
SIM	SIMILAR
STD	STANDARD
TONG & GROOVE	TONGUE & GROOVE
TBS	TO BE SELECTED
TEL	TELEPHONE
TEMP	TEMPERED
TO	TOP OF
TOB	TOP OF BEAM
TOS	TOP OF SILL
TPL	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VB	VAPOR BARRIER
VENT	VENTILATION
VERT	VERTICAL
W	WITH
WO	WITHOUT
WASH	WASHER
WD	WOOD
WIC	WALK-IN-CLOSET
WIND	WINDOW
WP	WATER PROOFING
WR	WATER RESISTANT

NOTE: IF AN ABBREVIATION IS FOUND IN THE SET OF PLANS, IS NOT LISTED ABOVE, AND THERE IS ANY QUESTIONS AS TO ITS INTENDED MEANING, NOTIFY NVISIONTEK, LLC IMMEDIATELY.

PROJECT INFORMATION

PROJECT NAME:
1201-1201.5 N 31st St
PROJECT # 2019.06

PROJECT ADDRESS:
1201-1201.5 N 31ST ST
RICHMOND, VA 23223

OWNER / CLIENT:
CENTER CREEK HOMES

DRAWN BY:
NVISIONTEK, LLC BIM SERVICES
CONTACT: DUSTIN HETRICK
T: (804) 372-0991
E: DHETRICK@NVISIONTEKBIM.COM

ARCHITECT:
CHRIS WOLF ARCHITECTURE, PLLC
CONTACT: CHRIS WOLF
T: (804) 514-7644
E: CHRIS@CENTERCREEKHOMES.COM

GENERAL CONTRACTOR / DEVELOPER:
CONTACT: GREG SHRON
11 S 12TH ST, SUITE 108
RICHMOND, VA 23219
T: (804) 982-1727
E: GREG@CENTERCREEKHOMES.COM

PROJECT DATA:
2-STORY 2-BEDROOM, 2-1/2 BATH, NEW CONSTRUCTION 2-FAMILY ATTACHED RESIDENCE

BUILDING AREA:	
FLOOR 1	708 SQ. FT.
FLOOR 2	708 SQ. FT.
TOTAL CONDITIONED AREA:	1,416 SQ. FT.
PORCH:	89 SQ. FT.
TOTAL UNCONDITIONED AREA:	89 SQ. FT.
GROSS TOTAL AREA:	1,505 SQ. FT. (EA. UNIT), 3,010 SQ. FT. BOTH UNITS

BUILDING CODE AND ZONING:
PROJECT SHALL CONFORM TO THE 2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND 2012 VIRGINIA INTERNATIONAL RESIDENTIAL CODE

RICHMOND COUNTY ZONING, LOT ZONED R-6
CONSTRUCTION TYPE V-B

MINIMUM LOT REQUIREMENTS:
HOT WATER
MAX. LOT COVERAGE: 55%
MIN. LOT WIDTH: 50'

PROPOSED LOT COVERAGE: 1,595 S.F.

DIMENSIONAL REQUIREMENTS:
REQ. MIN. FRONT YARD: 15'
REQ. SIDE YARD: 3'
REQ. REAR YARD: XX'
PERMITTED HEIGHT: 35'

PROPOSED FRONT YARD: 18'-0"
PROPOSED SIDE YARD: 3'-10"
PROPOSED REAR YARD: 53'-0"
PROPOSED HEIGHT: 22'-0" (VERIFY W/TRUSS MFR.)

STRUCTURAL REQUIREMENTS:
FROST DEPTH - 18"
DESIGN WIND SPEED - 90 MPH, 3-SECOND GUST
ULTIMATE DESIGN WIND SPEED FOR RISK
CATEGORY I BUILDINGS - 105 MPH
CATEGORY II BUILDINGS - 115 MPH
CATEGORY III & IV BUILDINGS - 120 MPH
SNOW LOAD - 20 PSF
SEISMIC DESIGN CATEGORY - B

PERFORMANCE NOTES

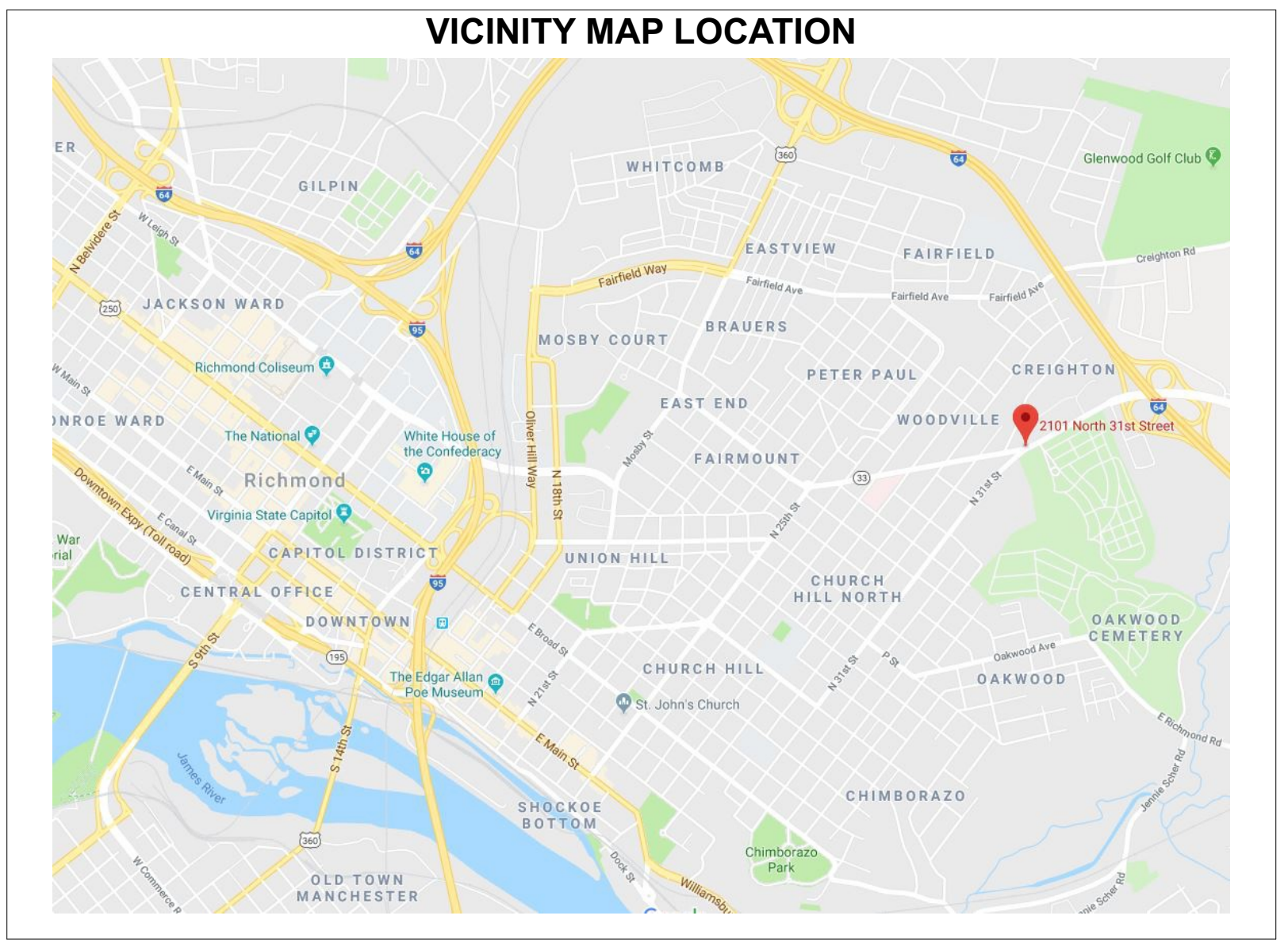
- PORCHES, DECKS, GARAGE, AND FOUNDATION AREAS NOT INCLUDED IN FINISHED LIVING AREAS.
- INSULATION TO BE PROVIDED IN ALL WALLS, FLOORS, CEILING, AND ROOFS AS PER REGIONAL AND LOCAL CODES.
- PSK REQUIRED ON ALL EXPOSED INSULATION IN UNFINISHED AREAS AND ENCLOSED CHASES. ADD AN APPROVED AIR BARRIER TO ALL EXPOSED FIBERGLASS INSULATION (INCLUDING BEHIND TUBS ON EXTERIOR WALLS).
- INSULATE ALL ACCESS DOORS/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATES OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE, UNLESS NOTED OTHERWISE.
- HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

SITE PLAN NOTES

- SITE PLAN SHOWN IS BASED ON SITE SURVEY CONDUCTED BY OTHERS. PURPOSE IS TO SHOW HOUSE LOCATION RELATIVE TO THE PROPERTY. REFER TO SITE SURVEY (BY OTHERS) TO VERIFY INFORMATION SHOWN IS ACCURATE.
- PROPERTY LINES, IF SHOWN, ARE DUPLICATED FROM SITE SURVEY, BUT MAY VARY SLIGHTLY.
- ELEVATION GRADE MARKERS ARE RELATIVELY ACCURATE, BUT MAY VARY SLIGHTLY FROM TRUE EXISTING CONDITIONS.

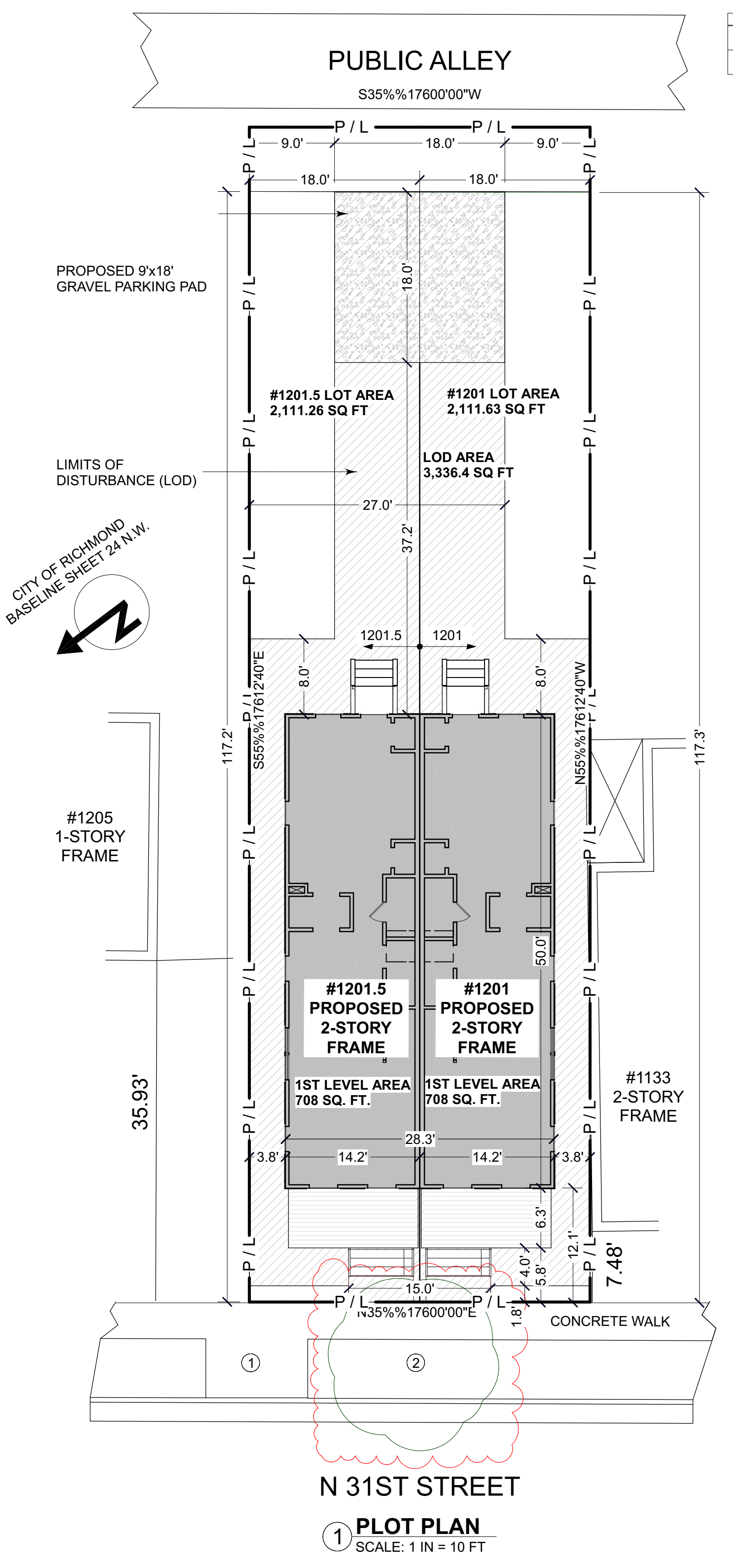
- ### STAIR & RAILING NOTES
- NOT BE MORE THAN A 3/8" VARIANCE BETWEEN ANY RISER HEIGHT, REFERENCE R311.7.5.1 OF THE 2012 IRC.
 - STAIR NOSING TO BE NOT LESS THAN 3/4" BUT NOT MORE THAN 1-1/4" ON STAIRWAYS WITH SOLID RISERS. REFERENCE R311.7.5.3 OF THE 2012 IRC.
 - ALL DIMENSIONS ARE TO FINISHED FLOOR. CERAMIC TILE & HARDWOOD FLOOR = 3/4", UNLESS NOTED OTHERWISE.
 - STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCRoACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
 - TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
 - STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
 - ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 3/8" TYPE "X" GYPSUM WALL BOARD.
 - STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
 - HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
 - STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
 - 34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR PORCHES, DECKS, BALCONES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.
 - RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
 - THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.
 - EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS, WITH A MIN. HEADROOM OF 6'-6".
 - RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.3% SLOPE), WITH A 3x3" LANDING AT THE TOP & BOTTOM, WHERE DOORS OPEN ONTO RAMP, AND WHERE RAMP CHANGES DIRECTION.

- ### GENERAL NOTES
- ALL WORK SHALL CONFORM TO ALL BUILDING AND OCCUPATIONAL SAFETY CODES PERTAINING TO THIS PROJECT.
 - PRIOR TO ANY SITE ACTIVITIES, THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES.
 - PLANS AND SPECIFICATIONS IN SOME INSTANCES, DO NOT CONTAIN SPECIFIC INSTRUCTIONS FOR INSTALLATION OR PREPARATION METHODS. CONTRACTOR AND SUBS ARE RESPONSIBLE FOR FOLLOWING ASTM STANDARDS AND APPLICABLE CODES.
 - INTERIOR WALLS AT POCKET DOORS TO BE 2x6 STUD FRAMING. ALL OTHER INTERIOR WALLS TO BE 2x4 STUD FRAMING, UNLESS OTHERWISE NOTED. REFER TO WALL TAGS AND LEGEND.
 - ALL EXTERIOR WALLS TO BE 2x4 STUDS WITH 7/16" OSB, R-19 INSULATION, HOUSE WRAP, AND EXTERIOR FINISH, UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS 48" AND LARGER REQUIRE DOUBLE JACK STUDS.
 - WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 - ALL EXTERIOR FRAMING DIMENSIONS ARE SHOWN TO FACE OF STUDS. ALL INTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUDS, U.N.O. WALL FINISHES ARE EXCLUDED UNLESS NOTED AS "FIN.". REFER TO WALL LEGEND, IF SHOWN, FOR ADDITIONAL WALL INFORMATION.
 - ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER LINE. AS-BUILT ONLY PLANS SHOW ALL WINDOW AND DOOR DIMENSIONS TO OPENING WIDTHS. ALL STRUCTURAL MEMBERS (FLOOR AND CEILING JOIST, RAFTERS, HEADERS, BEAMS) MUST NOT BE CHANGED WITHOUT VERIFICATION & APPROVAL, UNLESS TO MEET ENGINEERING REQUIREMENTS.
 - FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 - ALL LUMBER TO BE S.P.F. #2 OR BETTER UNLESS NOTED OTHERWISE.
 - INCREASE ENTRY DOOR ROUGH OPENING HEIGHT +3/4" WHEN THE FINISHED FLOOR IS 3/4" HARDWOOD OR TILE.
 - ALL INTERIOR WALLS TO BE FRAMED AT 16" O.C. WITH WALLS PERPENDICULAR TO FLOOR JOISTS TO HAVE STUDS STACKED OVER JOISTS.
 - ALL FRAMED WALLS TO HAVE DOUBLE TOP PLATES AND SINGLE BOTTOM PLATE.
 - DOUBLE UP ALL FLOOR JOISTS OR PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS BELOW ALL BEARING WALLS, TUBS, AND APPLIANCES.
 - REFER TO STRUCTURAL DRAWINGS (IF APPLICABLE) FOR ANY STRUCTURAL INFORMATION NOT INDICATED.
 - ALL DECORATIVE ELEMENTS AND FINISHES ARE TO BE SELECTED BY OWNER. CONTRACTOR TO VERIFY WITH OWNER PRIOR TO ORDERING AND INSTALLATION, TYP. FOR ENTIRE PROJECT.



DRAWING SYMBOL LEGEND

1 VIEW TITLE SCALE: 1/4 IN = 1 FT	DETAIL # VIEW TITLE SCALE: 1/4 IN = 1 FT	REVISION CLOUD w/REVISION NUMBER MARK, REFERENCE REVISION SCHEDULE
REFERENCING SHEET #	REFERENCING SHEET #	
DETAIL # REFERENCING SHEET #	ELEVATION / SECTION MARKER	2x10 P.T. JOISTS @ 16" O.C.
DETAIL # REFERENCING SHEET #	DETAIL CALLOUT MARKER	SLOPED 1/4" VIT-0"
DETAIL # REFERENCING SHEET #	DETAIL CALLOUT MARKER WITH AREA BOUNDARY	BREAK LINE
		CENTER LINE
		PLAN NORTH
		WOOD FRAMING (SECTION)
		WOOD BLOCKING (SECTION)
		BATT INSULATION
		RIGID INSULATION
		CLOSED-CELL FOAM INSULATION
		CMU BLOCKS
		BRICKS
		CONCRETE
		GRAVEL FILL
		EARTH OR COMPACTED FILL
		TILE FLOOR (GENERIC)
		DROPPED CEILING OR SOFFIT, U.N.O.
		ASPHALT SHINGLE ROOFING
		DECK/PORCH PLANKING
ROOM NAME "X-X" x "X-X"	ROOM NAME, ASSOCIATED w/ ROOM SCHEDULE	
D01	DOOR NUMBER, ASSOCIATED w/DOOR SCHEDULE	
W01	WINDOW NUMBER, ASSOCIATED w/WINDOW SCHEDULE	
1	NOTE, ASSOCIATED w/ CORRESPONDING SCHEDULE	
T.O. S.F. AT 1ST FLR. 0'-0"	ELEVATION MARKER w/HEIGHT	



KEYNOTE LEGEND - PLOT PLAN

1	REMOVE EXISTING CURB CUT AND DRIVEWAY. REPLACE CURB PER DPW STANDARD.
2	NEW EASTERN RED BUD TREE BETWEEN CURB AND SIDEWALK

HIGH-QUALITY BIM MODELING, DRAFTING, & DESIGN SERVICES

INFO@NVISIONTEKBIM.COM
CELL: (804) 372-0991
RICHMOND, VA 23236

REVISIONS

#	DATE	DESCRIPTION
1	5/9/2019	LOD ADJUSTMENT
2	1/27/2020	SITE PLAN UPDATE EXISTING TREE
3	2/24/2020	ADDED

BUILDER NOTICE:

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC. CELL: (804) 372-0991. EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.

CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE

GENERAL INFORMATION & SITE PLAN

DOCUMENT PHASE:
PERMIT SET

PLOT DATE:
2/24/2020
2:05:40 PM

DRAWN BY:
DUSTIN HETRICK

SCALE: SEE PLAN

SHEET

A0.2

2 OF 13

REVISIONS

#	DATE	DESCRIPTION

BUILDER NOTICE:

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.
CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE
FOUNDATION PLAN

DOCUMENT PHASE:
PERMIT SET

PLOT DATE:
4/2/2019
1:39:16 PM

DRAWN BY:
DUSTIN HETRICK

SCALE: SEE PLAN

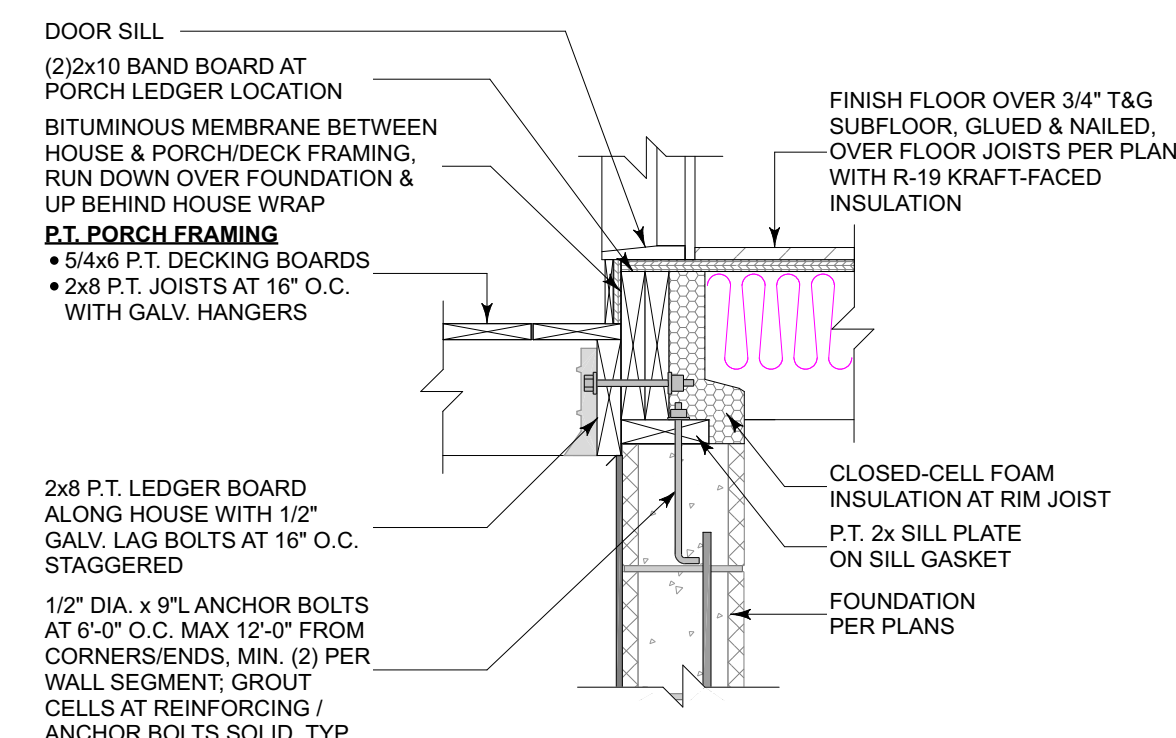
SHEET

A1.1

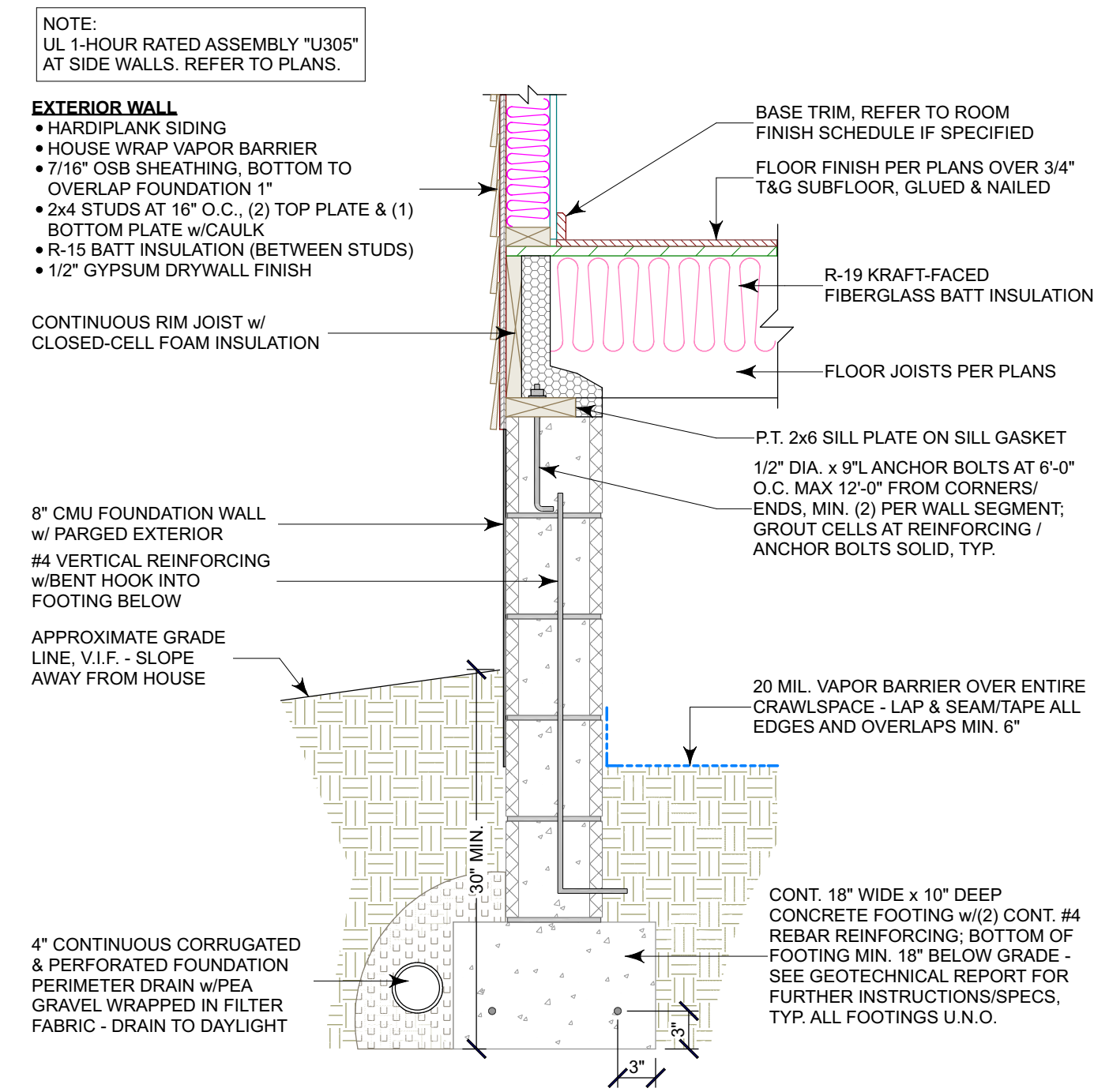
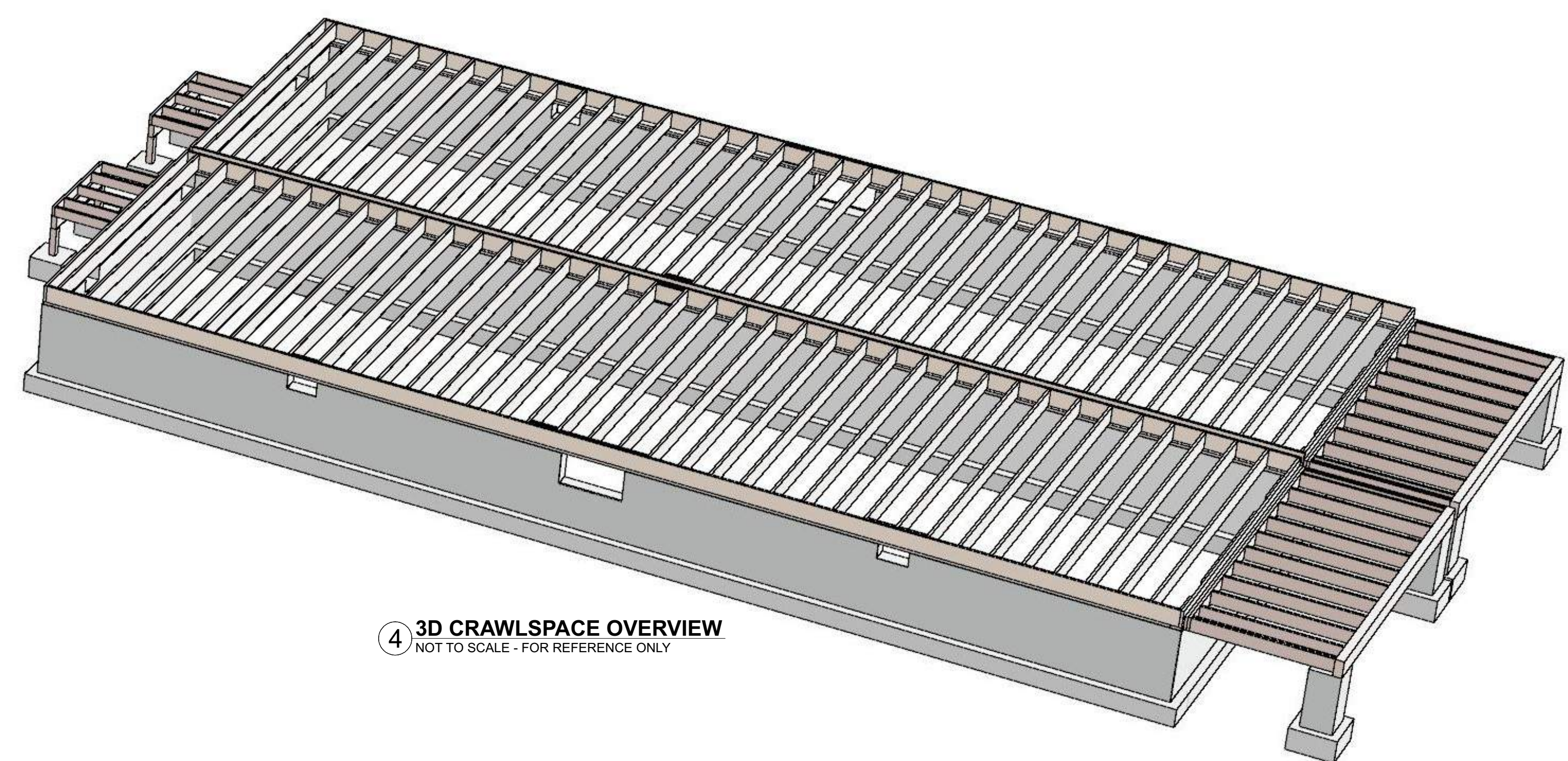
3 OF 13

KEYNOTE LEGEND

- (2)2X10 BAND BOARD AT PORCH LEDGER LOCATION
- 12" CMU FOUNDATION WALL WITH #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6" O.C.; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID (COMMON WALL ONLY)
- 16"X16" CMU PIERS W/PARGE FINISH, GROUT SOLID, TOP OF PIERS 4" BELOW TOP OF HOUSE FOUNDATION (TYP.)
- 20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPE
- 2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RIM BOARD ENTIRE PERIMETER, TYPICAL THROUGHOUT FIRST FLOOR LEVEL
- 30" DEEP X 50" WIDE X 12" THICK CONCRETE FOOTING WITH (2) #4 EACH WAY, CENTERED UNDER PIER (TYP.)
- 30" SQUARE X 12" THICK CONCRETE FOOTING WITH (2) #4 EACH WAY, CENTERED UNDER PIER (TYP.)
- 8" CMU FOUNDATION WALL WITH #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6" O.C. MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID - SEE WALL SECTION (TYP.)
- 8X16 SLOTTED GALV. CRAWLSPACE VENT WITH INSECT SCREEN, TYPICAL - SEE FOUNDATION NOTES FOR VENTING SPEC.
- CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING, BOTTOM OF FOOTING MIN. 30" BELOW GRADE - SEE GEOTECH. REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)
- CONT. 24" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) 30" BELOW GRADE - SEE GEOTECH. REPORT FOR FURTHER INFO/SPECS. (COMMON WALL ONLY)
- MIN. 32"X16" CRAWL-SPACE ACCESS WITH PRE-FAB DOOR
- P.T. 4X4 DECK POSTS FASTENED WITH SIMPSON POST BASE ON 18" SQUARE CONCRETE FOOTINGS (TYP.)
- P.T. DECK FRAMING: 2X8 P.T. JOISTS AT 16" O.C. WITH HANGERS; (2)2X8 P.T. DROPPED OUTER BEAM; 2X8 P.T. LEDGER BOARD WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED
- P.T. PORCH FRAMING: 2X8 P.T. JOISTS AT 16" O.C. WITH HANGERS; (3) 2X10 P.T. OUTER BEAM; 2X8 P.T. LEDGER BOARD ALONG HOUSE WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED - SEE WALL SECTION



2 DETAIL - TYP. DECK LEDGER
SCALE: 1 IN = 1 FT



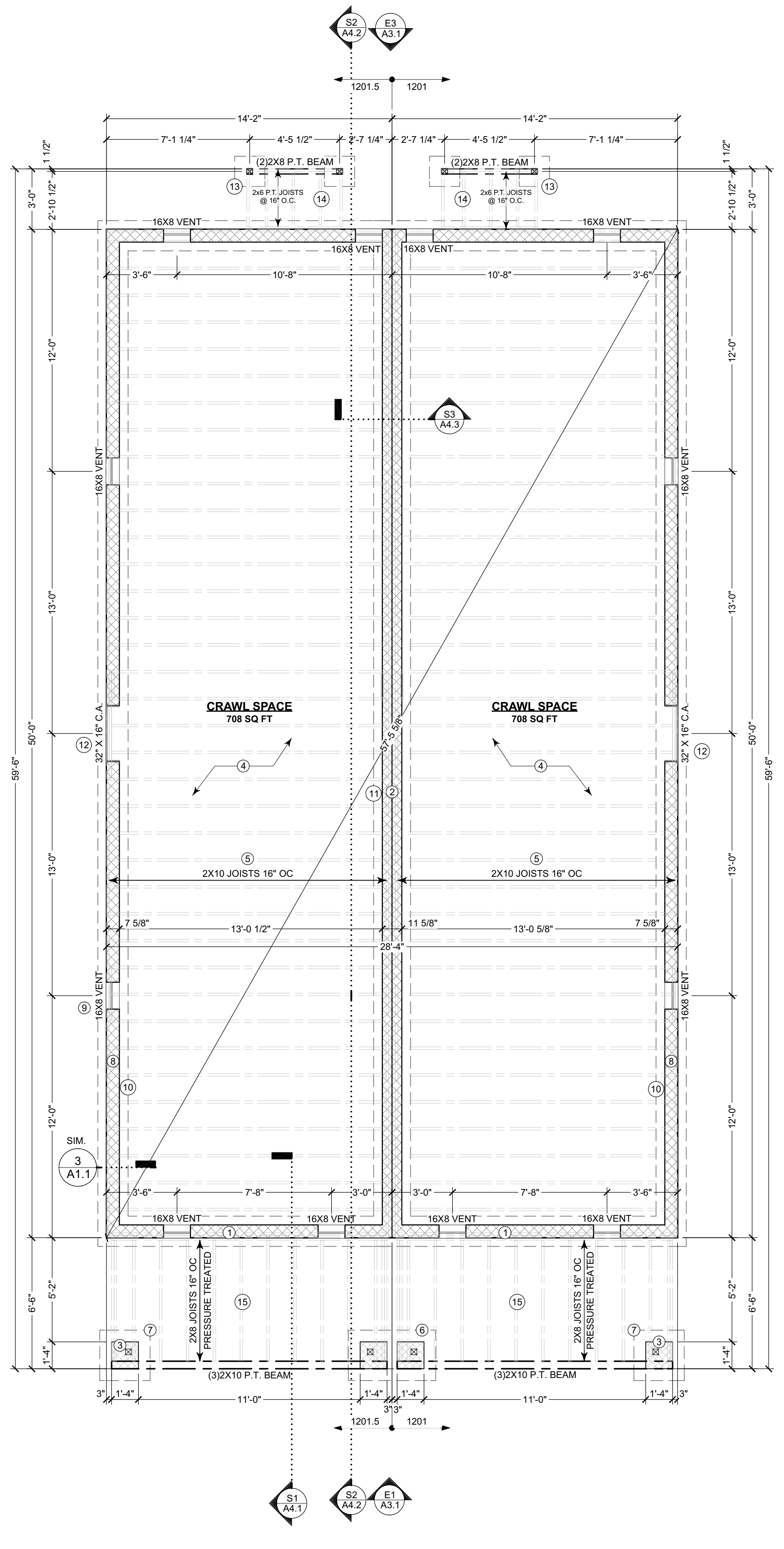
3 DETAIL - TYP. CRAWLSPACE FOUNDATION
SCALE: 1 IN = 1 FT

WALL TYPE LEGEND

EXIST. WALL (ANY TYPE)	NEW WALL
---	NEW 2X4 2-HR FIRE-RATED PARTY WALL
---	NEW 2X4 WALL
---	NEW 2X4 KNEEWALL
---	2X4 PONY WALL
---	NEW 2X6 WALL
---	2X6 PONY WALL
---	BEARING WALL
---	NEW CONCRETE WALL
---	NEW CMU WALL
---	DEMOLISHED WALL
---	REFERENCE WALL

FOUNDATION NOTES

- FOUNDATION WALLS TO BE CONCRETE MASONRY UNITS (CMU) WITH PARGE COAT TO GRADE. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND FOR ASSEMBLY INFORMATION AND THICKNESSES.
- FOOTINGS ARE POURED CONCRETE AND DEVELOP 3,000 PSI IN 28 DAYS. TO BE SIZED PER LOCAL CODES AND ENGINEER REVIEW. FROST FOOTINGS SHALL BE INSTALLED AT 30" MIN. BELOW GRADE AND SHALL BE DICTATED BY SITE TOPOGRAPHY AND LOCAL CODE REQUIREMENTS. STEPPED FOOTINGS ARE INDICATED WITH "SF-SF" SYMBOLS. NEW FOOTINGS SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY ADJACENT EXISTING FOOTING THAT IS TO REMAIN.
- ONLY NEW DEFORMED REINFORCING STEEL SHALL BE USED. GRADE 60 KSI. ALL REINFORCING STEEL SHALL BE TIED AND SUPPORTED WITH REBAR STAKES OR CHAIRS. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL UNLESS FILL HAS BEEN TESTED AND CERTIFIED AS BEING CAPABLE OF SUPPORTING THE STRUCTURE PLANNED. MINIMUM SOIL BEARING PRESSURE SHALL BE 2,000 PSF. ALL STEEL SHALL HAVE A MIN. OVERLAP OF 12".
- SLAB ON GRADES ARE POURED CONCRETE AND DEVELOP 3,000 PSI IN 28 DAYS. PROVIDE WELD SMOOTH WIRE FABRIC MINIMUM 6x6- W2.1 x 2.1 U.N.O. SLAB TO HAVE 6-MIL POLY VAPOR BARRIER AND 4" CRUSHED STONE OVER COMPACTED FILL.
- CRAWL ACCESS TO BE PROVIDED, 16" x 24" MIN. SIZE. IN PERIMETER WALL. PROVIDE CLEARANCE OPENING BELOW GRADE IF NECESSARY. REFERENCE IRC R408.4.
- 20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPE.
- 16"x8" FOUNDATION VENTS TO BE PROVIDED FOR UNCONDITIONED CRAWL SPACES, MIN. OF 1 PER 150 SQ. FT. REFERENCE IRC R408.1 AND R408.2.
- ALL DIMENSIONS ARE TO FACE OF FOUNDATION OR CENTER OF COLUMNS AND BEAMS, U.N.O.
- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.



#	DATE	DESCRIPTION

BUILDER NOTICE:
IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991. EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.

CLIENT:
**CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223**

TITLE
1ST FLOOR PLAN

DOCUMENT PHASE:
PERMIT SET

PLOT DATE:
4/2/2019
1:39:17 PM

DRAWN BY:
DUSTIN HETRICK

SCALE: SEE PLAN

SHEET
A1.2
4 OF 13

KEYNOTE LEGEND	
①	STAIRS W/ WOOD RISERS AND TREAD PER CODE
②	PANTRY CABINET
③	P.T. 5/4X6 DECKING OVER 2X6 P.T. JOISTS AT 16" O.C. WITH HANGERS; (2)2X8 P.T. DROPPED OUTER BEAM; 2X8 P.T. LEDGER BOARD WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED
④	STAIRS TO SIDEWALK- VERIFY IN FIELD; 11" TREADS, MAX. 8" RISER
⑤	STEEL/IRON HANDRAIL, MIN. 36" HIGH, CONSULT DEVELOPER FOR SELECTION
⑥	36" H.P.T. WOOD RAILING
⑦	P.T. WOOD STAIRS TO GRADE- VERIFY IN FIELD; 11" TREADS, MAX. 8" RISERS
⑧	8" SQUARE LOAD-BEARING SYNTHETIC COLUMN- PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/VALY POST ANCHOR
⑨	DASHED LINE OF 2X10 BOX BEAM AROUND PORCH- SEE ENLARGED WALL SECTION
⑩	5/4X6 T&G DECKING
⑪	ISLAND COUNTERTOP OVER BASE CABINETS
⑫	EXT. WALL CONSTRUCTION AT F/R: HARDIPLANK SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1" OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WR-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
⑬	UL 1-HOUR RATED ASSEMBLY "U305"; HARDIPLANK SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1" OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WR-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH
⑭	12" H. 24" D SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH
⑮	12" H SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH
⑯	MULTI-SHELVES
⑰	CHASE FOR HVAC
⑱	WALL CABINET ABOVE REFRIGERATOR, CONSULT OWNER FOR SELECTIONS
⑲	WALL CABINET, CONSULT OWNER FOR SELECTION
⑳	24" DISHWASHER
㉑	36" W REFRIGERATOR
㉒	WALL CABINET ABOVE MICROWAVE ABOVE 30" ELECTRIC RANGE, CONSULT OWNER FOR SELECTION
㉓	36" H WOOD RAILING ABV. 2X4 SLOPED WALL WCAP
㉔	TYP. INTERIOR WALL: 1/2" GYPSUM DRYWALL OVER 2X4 STUDS AT 16" O.C. W/ (2) TOP PLATE & (1) BOTTOM PLATE OVER 1/2" GYPSUM DRYWALL
㉕	2X4 KNEEWALL UNDER STAIRS
㉖	UL 2-HOUR RATED ASSEMBLY "U336"; 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/ (2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WR-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/ 1" TYP. SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORRED
㉗	MIRROR TO BE SELECTED BY OWNER
㉘	(3)2X4 STUDS W/SOLID BLOCKING, TYP. AT EACH END OF GIRDER ROOF TRUSS AND AT EACH FLOOR LEVEL

WINDOW & DOOR NOTES	
1.	BEDROOM WINDOW SILL FINISHED HEIGHT MUST BE NO MORE THAN 44" A.F.F AND MUST PROVIDE MINIMUM EGRESS OPENINGS OF 5.7 SF WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20". REFERENCE R310.1-R310.4.
2.	VERIFY WINDOW ROUGH OPENINGS WITH MANUFACTURER.
3.	OWNER AND/OR CONTRACTOR TO SELECT EXACT CLADDING AND INTERIOR CASING STYLE AND FINISHES, AND HARDWARE.
4.	DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" THICK TIGHT FITTING SOLID CORE WITH A 60-MINUTE MIN. FIRE RATING. DOOR SHALL BE SELF-CLOSING.
5.	EXTERIOR EXIT DOORS SHALL BE 36" MIN., NET CLEAR OPENING SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE.
6.	ANY GARAGE DOOR GLAZING SHALL BE TEMPERED.
7.	ALL GLAZING WITHIN 18" OF THE FLOOR AND/OR WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING.
8.	ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLAZING.

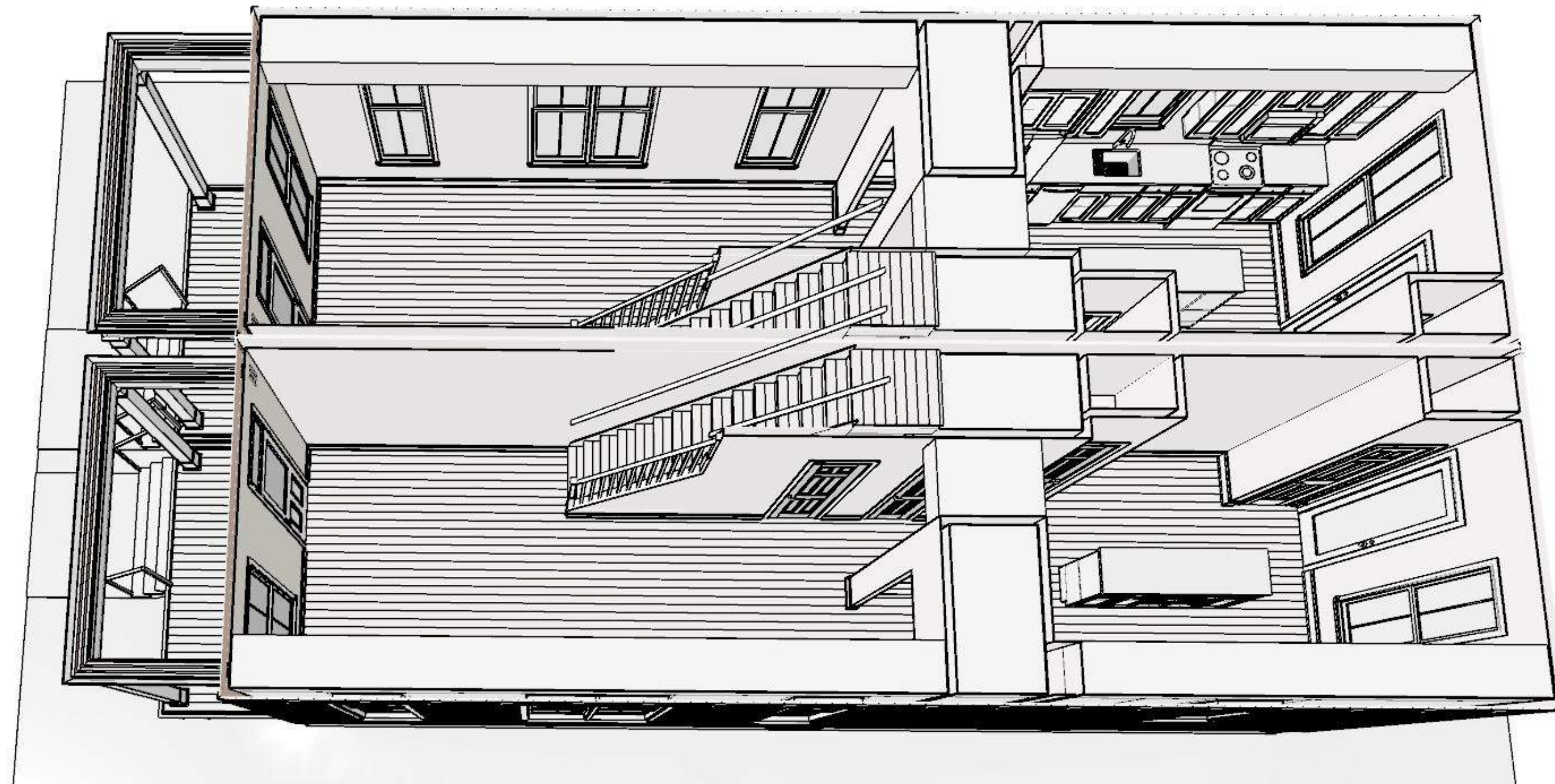
FLOOR PLAN NOTES	
1.	ALL EXTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUD / FACE OF FOUNDATION. INTERIOR DIMENSIONS ARE TO FACE OF STUD. U.N.O. THICKNESS OF 2X6 WALLS = 5-1/2"; AND 2X4 WALLS = 3-1/2".
2.	ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER OF ROUGH OPENING. U.N.O. ALL WINDOW HEAD HEIGHTS Z&B. U.N.O. ALL WINDOWS AT BEDROOMS TO MEET EGRESS SIZE REQUIREMENTS. TEMPERED GLAZING SHALL BE USED AT ALL WINDOW AND DOOR LOCATIONS AS REQUIRED BY CODE. REFERENCE SECTIONS R306.
3.	CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL WORK TO BE DONE SHALL COMPLY WITH ALL APPLICABLE CODES.
4.	ALL EXTERIOR WALL FRAMING TO BE 2X4 STUDS AT 16" O.C. WITH BATT INSULATION AND 7/16" OSB SHEATHING. U.N.O. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND SHEATHING TO OVERLAP 1" BELOW. ALL INTERIOR WALLS TO BE 2X4. U.N.O. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND AND SCHEDULE FOR ASSEMBLY INFORMATION AND THICKNESSES.
5.	HATCHED AREAS INDICATE DROPPED CEILINGS, U.N.O.
6.	ALL WINDOWS & ALL DOORS IN BEARING WALLS SHALL HAVE MIN. (2) JACK STUDS & (2)2X6 HEADERS, U.N.O. REFERENCE WINDOW & DOOR TAGS TO ROOM, WINDOW, AND DOOR SCHEDULES.
7.	PROVIDE BLOCKING FOR PLUMBING FIXTURES, CABINETS, MECHANICAL SYSTEMS, ECT. AS REQUIRED. G.C. TO COORDINATE.
8.	IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

WALL TYPE LEGEND	
	EXIST. WALL (ANY TYPE)
	DEMOLISH THIS WALL
	NEW 2X4 2-HR FIRE-RATED PARTY WALL
	NEW 2X4 WALL
	NEW 2X4 KNEEWALL
	2X4 PONY WALL
	NEW 2X6 WALL
	2X6 PONY WALL
	BEARING WALL
	NEW CONCRETE WALL
	NEW CMU WALL
	DEMOLISHED WALL
	REFERENCE WALL

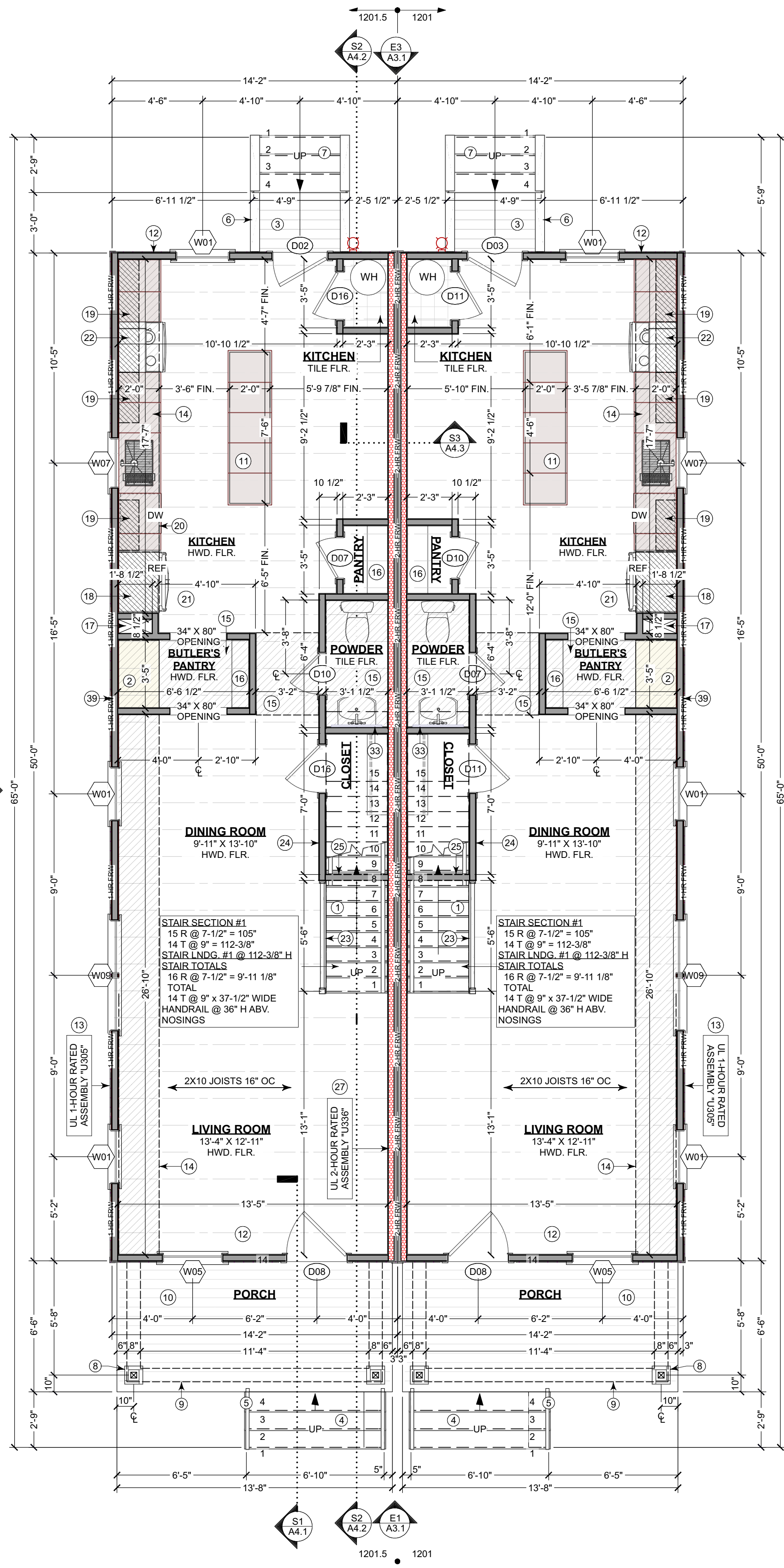
DOOR SCHEDULE - ALL LEVELS												
NUMBER	LABEL	HINGE SIDE	EXIN	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	MANUFACTURER	COMMENTS
D02	2868	R	EX	1	1	32"	80"	34"x81" 1/4"	EXT. HINGED-GLASS PANEL	2X6X37" (2)		
D03	2868	R	EX	1	1	32"	80"	34"x81" 1/4"	EXT. HINGED-GLASS PANEL	2X6X37" (2)		
D04	4068	L/R	IN	2	2	48"	80"	50"x81" 1/4"	INT. HINGED DOUBLE DOOR	2X6X55" (2)		
D05	1968	L	IN	1	2	18"	80"	20"x81" 1/4"	INT. HINGED DOOR	2X6X23" (2)		
D06	1968	R	IN	1	2	18"	80"	20"x81" 1/4"	INT. HINGED DOOR	2X6X23" (2)		
D07	2068	L	IN	2	1	24"	80"	26"x81" 1/4"	INT. HINGED DOOR	2X6X29" (2)		
D08	3068 W3014TR			2	1	36"	96"	37"x99"	HALF-GLASS ENTRY DOOR W/ TRANSOM (9'-0" TOTAL HGT.)	2X6X40" (2)		
D10	2068	R	IN	2	1	24"	80"	26"x81" 1/4"	INT. HINGED DOOR	2X6X29" (2)		
D11	2468	L	IN	2	1	28"	80"	30"x81" 1/4"	INT. HINGED DOOR	2X6X33" (2)		
D12	2668	L	IN	2	2	32"	80"	32"x81" 1/4"	INT. HINGED DOOR	2X6X35" (2)		
D13	2868	L	IN	1	2	32"	80"	34"x81" 1/4"	INT. HINGED DOOR	2X6X37" (2)		
D14	2468	R	IN	4	2	28"	80"	30"x81" 1/4"	INT. HINGED DOOR	2X6X33" (2)		
D15	2468	L	IN	4	2	28"	80"	30"x81" 1/4"	INT. HINGED DOOR	2X6X33" (2)		
D16	2468	R	IN	2	1	28"	80"	30"x81" 1/4"	INT. HINGED DOOR	2X6X33" (2)		
D17	2668	R	IN	2	2	30"	80"	32"x81" 1/4"	INT. HINGED DOOR	2X6X35" (2)		
D18	2868	R	IN	1	2	32"	80"	34"x81" 1/4"	INT. HINGED DOOR	2X6X37" (2)		

WINDOW SCHEDULE - ALL LEVELS															
NUMBER	LABEL	QTY	FLOOR	WIDTH	HEIGHT	R/O	TOP	BOTTOM	DESCRIPTION	HEADER	EGRESS	TEMPERED	DIVIDED LITES	MANUFACTURER	COMMENTS
W01	2860DH	6	1	32"	72"	33"x73"	90"	18"	DOUBLE HUNG	2X6X36" (2)			2X1 / 2X1	PLY-GEM	
W02	3056DH	2	2	32"	72"	33"x73"	92"	20"	DOUBLE HUNG	2X6X36" (2)			2X1 / 2X1	PLY-GEM	
W03	3056DH	4	2	36"	66"	37"x67"	92"	26"	DOUBLE HUNG	2X10X40" (2)	YES		2X1 / 2X1	PLY-GEM	
W04	2860DH	4	2	32"	72"	33"x73"	92"	20"	DOUBLE HUNG	2X10X36" (2)	YES		2X1 / 2X1	PLY-GEM	
W05	3060DH	2	1	36"	72"	37"x73"	90"	18"	DOUBLE HUNG	2X6X40" (2)			2X1 / 2X1	PLY-GEM	
W07	2636SC	2	1	30"	42"	31"x43"	90"	48"	CASEMENT	2X8X34" (2)			2X1	PLY-GEM	
W08	2628FX	2	2	32"	32"	33"x33"	92"	60"	FIXED	2X6X36" (2)			2X1	PLY-GEM	
W09	(2)2860DH	2	1	66"	72"	67"x73"	90"	18"	2-UNIT DOUBLE HUNG	2X10X70" (2)				PLY-GEM	

ROOM FINISH SCHEDULE - ALL LEVELS					
ROOM NAME	FLOOR	AREA (SQ FT)	CEILING	CEILING FINISH	
PORCH	1	88	13'-8" X 8'-4"	108"	108 3/4"
DECK	1	14	4'-9" X 2'-11"	N/A	N/A
LIVING ROOM	1	173	13'-4" X 12'-11"	109 1/8"	107 7/8"
DINING ROOM	1	138	9'-11" X 13'-10"	109 1/8"	107 7/8"
BUTLER'S PANTRY	1	21	6'-5" X 3'-4"	109 1/8"	107 7/8"
UTILITY	1	7	2'-2" X 3'-4"	109 1/8"	107 7/8"
KITCHEN	1	231	13'-4" X 18'-6"	109 1/8"	107 7/8"
PANTRY	1	7	2'-2" X 3'-4"	109 1/8"	107 7/8"
POWDER	1	19	3'-1" X 6'-3"	109 1/8"	107 7/8"
CLOSET	1	21	3'-1" X 6'-11"	109 1/8"	107 7/8"
BATH	2	43	6'-1" X 7'-7"	109 1/8"	107 7/8"
BEDROOM	2	118	10'-11" X 10'-0"	109 1/8"	107 7/8"
CLOSET	2	12	2'-0" X 5'-10"	109 1/8"	107 7/8"
HALL	2	68	3'-5" X 20'-1"	109 1/8"	107 7/8"
LAUNDRY	2	11	3'-1" X 3'-8"	109 1/8"	107 7/8"
LINEN	2	3	1'-3" X 2'-4"	109 1/8"	107 7/8"
MASTER BATH	2	42	6'-3" X 6'-8"	109 1/8"	107 7/8"
MASTER BEDROOM	2	178	13'-4" X 18'-6"	109 1/8"	107 7/8"
MECH	2	10	3'-1" X 3'-3"	109 1/8"	107 7/8"
OPEN BELOW	2	38	3'-3" X 12'-5"	109 1/8"	107 7/8"
SHOWR	2	11	4'-8" X 2'-5"	109 1/8"	108 5/8"
W.I.C.	2	22	3'-1" X 7'-2"	109 1/8"	107 7/8"
STUDY	2	58	6'-8" X 9'-0"	109 1/8"	107 7/8"



② 3D 1ST FLOOR OVERVIEW
NOT TO SCALE - FOR REFERENCE ONLY



① 1ST FLOOR PLAN
SCALE: 1/4 IN = 1 FT

REVISIONS

#	DATE	DESCRIPTION

BUILDER NOTICE:

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM

TITLE

2ND FLOOR PLAN

DOCUMENT PHASE:

PERMIT SET

PLOT DATE:

4/2/2019
1:39:18 PM

DRAWN BY:

DUSTIN HETRICK

SCALE: SEE PLAN

SHEET

A1.3
5 OF 13

PROJECT NAME:
1201-1201.5 N 31ST ST.

CLIENT:
**CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223**

KEYNOTE LEGEND

1	(3)2X4 STUDS W/SOLID BLOCKING, TYP. AT EACH END OF GIRDER ROOF TRUSS AND AT EACH FLOOR LEVEL
2	20" X 9" SITE-BUILT TILE BENCH SEAT - ADJUST HEIGHT FOR HEIGHT OF SHOWER PAN
3	27" W VANITY SINK - STYLE TO BE SELECTED BY OWNER
4	30"X60" TUB/SHOWER
5	36"X24 FRAMED HALF-WALL W/1X6 CAP
6	48" W VANITY SINK - STYLE TO BE SELECTED BY OWNER
7	AHU
8	DROP-IN SHOWER PAN W/TILE WALLS
9	EXT. WALL CONSTRUCTION AT F/R: HARDPLANK SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH.
10	MIRROR TO BE SELECTED BY OWNER
11	OUTLINE OF ROOF ABOVE
12	SHELF ABOVE WASHER/DRYER
13	STACKED WASHER/DRYER - PROVIDE PAN UNDERNEATH, & W/D PLUMBING & DRYER VENT HOOKUPS AT REAR WALL
14	STAIRS W/WOOD RISERS AND TREAD PER CODE
15	TEMPERED GLASS SHOWER ENCLOSURE W/SWING DOOR
16	TYP. INTERIOR WALL: 1/2" GYPSUM DRYWALL OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE OVER 1/2" GYPSUM DRYWALL
17	UL 1-HOUR RATED ASSEMBLY "U305": HARDPLANK SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH
18	UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHUTT LINER - ALL LAYERS LISTED ARE MIRRORED

WINDOW & DOOR NOTES

- BEDROOM WINDOW SILL FINISHED HEIGHT MUST BE NO MORE THAN 44" A.F.F. AND MUST PROVIDE MINIMUM EGRESS OPENINGS OF 5.7 SF WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20". REFERENCE R310.1-R310.4
- VERIFY WINDOW ROUGH OPENINGS WITH MANUFACTURER.
- OWNER AND/OR CONTRACTOR TO SELECT EXACT CLADDING AND INTERIOR CASING STYLE AND FINISHES, AND HARDWARE.
- DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" THICK TIGHT FITTING SOLID CORE WITH A 60-MINUTE MIN. FIRE RATING. DOOR SHALL BE SELF-CLOSING.
- EXTERIOR EXIT DOORS SHALL BE 36" MIN., NET CLEAR OPENING SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE.
- ANY GARAGE DOOR GLAZING SHALL BE TEMPERED.
- ALL GLAZING WITHIN 18" OF THE FLOOR AND/OR WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING.
- ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLAZING.

FLOOR PLAN NOTES

- ALL EXTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUD / FACE OF FOUNDATION. INTERIOR DIMENSIONS ARE TO FACE OF STUD, U.N.O. THICKNESS OF 2X6 WALLS = 5-1/2"; AND 2X4 WALLS = 3-1/2".
- ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER OF ROUGH OPENING, U.N.O. ALL WINDOW HEAD HEIGHTS 2x8". U.N.O. ALL WINDOWS AT BEDROOMS TO MEET EGRESS SIZE REQUIREMENTS. TEMPERED GLAZING SHALL BE USED AT ALL WINDOW AND DOOR LOCATIONS AS REQUIRED BY CODE. REFERENCE SECTIONS R306.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL WORK TO BE DONE SHALL COMPLY WITH ALL APPLICABLE CODES.
- ALL EXTERIOR WALL FRAMING TO BE 2X4 STUDS AT 16" O.C. WITH BATT INSULATION AND 7/16" OSB SHEATHING, U.N.O. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND SHEATHING TO OVERLAP 1" BELOW. ALL INTERIOR WALLS TO BE 2X4, U.N.O. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND AND SCHEDULE FOR ASSEMBLY INFORMATION AND THICKNESSES.
- HATCHED AREAS INDICATE DROPPED CEILINGS, U.N.O.
- ALL WINDOWS & ALL DOORS IN BEARING WALLS SHALL HAVE MIN. (2) JACK STUDS & (2)2x6 HEADERS, U.N.O. REFERENCE WINDOW & DOOR TAGS TO ROOM, WINDOW, AND DOOR SCHEDULES.
- PROVIDE BLOCKING FOR PLUMBING FIXTURES, CABINETS, MECHANICAL SYSTEMS, ECT. AS REQUIRED. G.C. TO COORDINATE.
- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

WALL TYPE LEGEND

(Solid line)	EXIST. WALL (ANY TYPE)
(Dashed line)	DEMOLISH THIS WALL
(Red dashed line)	NEW 2X4 2-HR FIRE-RATED PARTY WALL
(Grey solid line)	NEW 2X4 WALL
(Dark grey solid line)	NEW 2X4 KNEEWALL
(Light grey solid line)	2X4 PONY WALL
(Yellow solid line)	NEW 2X6 WALL
(Orange solid line)	2X6 PONY WALL
(Red solid line)	BEARING WALL
(Blue solid line)	NEW CONCRETE WALL
(Green solid line)	NEW CMU WALL
(White dashed line)	DEMOLISHED WALL
(Red dashed line)	REFERENCE WALL

DOOR SCHEDULE - ALL LEVELS

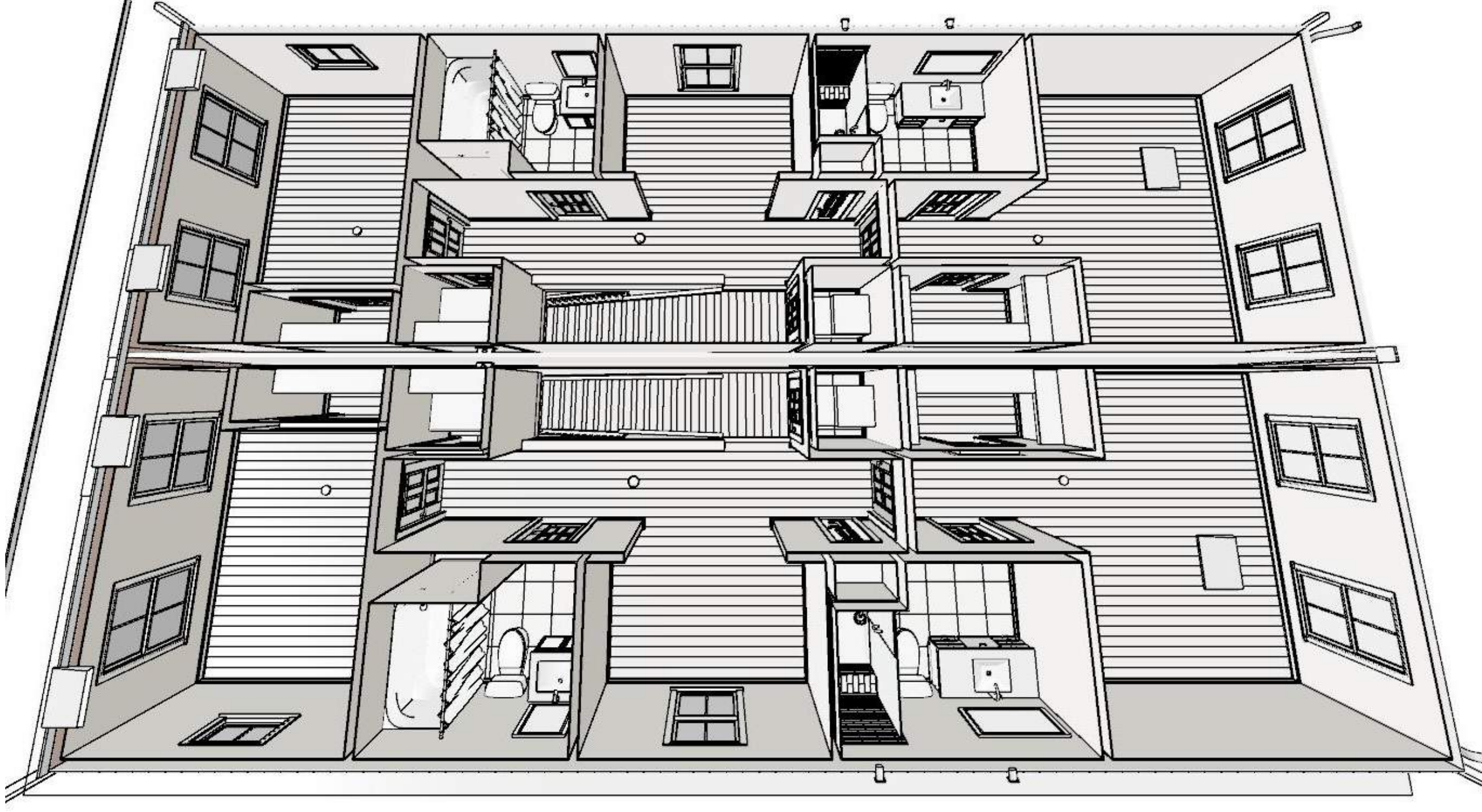
NUMBER	LABEL	HINGE SIDE	EXIN	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	MANUFACTURER	COMMENTS
D02	2868	R	EX	1	1	32"	80"	34"X81 1/4"	EXT. HINGED GLASS PANEL	2X6X37 (2)		
D03	2868	R	EX	1	1	32"	80"	34"X81 1/4"	EXT. HINGED GLASS PANEL	2X6X37 (2)		
D04	4068	L/R	IN	2	2	48"	80"	50"X81 1/4"	INT. HINGED DOUBLE DOOR	2X6X37 (2)		
D05	1968	L	IN	1	2	18"	80"	20"X81 1/4"	INT. HINGED DOOR	2X6X23 (2)		
D06	1968	R	IN	1	2	18"	80"	20"X81 1/4"	INT. HINGED DOOR	2X6X23 (2)		
D07	2068	L	IN	2	1	24"	80"	26"X81 1/4"	INT. HINGED DOOR	2X6X29 (2)		
D08	3068 W3014TR			2	1	36"	96"	37"X97"	HALF-GLASS ENTRY DOOR W/ TRANSOM (9'-0" TOTAL HGT.)	2X6X40 (2)		
D10	2068	R	IN	2	1	24"	80"	26"X81 1/4"	INT. HINGED DOOR	2X6X29 (2)		
D11	2468	L	IN	2	1	28"	80"	30"X81 1/4"	INT. HINGED DOOR	2X6X33 (2)		
D12	2668	L	IN	2	2	30"	80"	32"X81 1/4"	INT. HINGED DOOR	2X6X35 (2)		
D13	2868	L	IN	1	2	32"	80"	34"X81 1/4"	INT. HINGED DOOR	2X6X37 (2)		
D14	2468	R	IN	4	2	28"	80"	30"X81 1/4"	INT. HINGED DOOR	2X6X33 (2)		
D15	2468	L	IN	4	2	28"	80"	30"X81 1/4"	INT. HINGED DOOR	2X6X33 (2)		
D16	2468	R	IN	2	1	28"	80"	30"X81 1/4"	INT. HINGED DOOR	2X6X33 (2)		
D17	2668	R	IN	2	2	30"	80"	32"X81 1/4"	INT. HINGED DOOR	2X6X35 (2)		
D18	2868	R	IN	1	2	32"	80"	34"X81 1/4"	INT. HINGED DOOR	2X6X37 (2)		

WINDOW SCHEDULE - ALL LEVELS

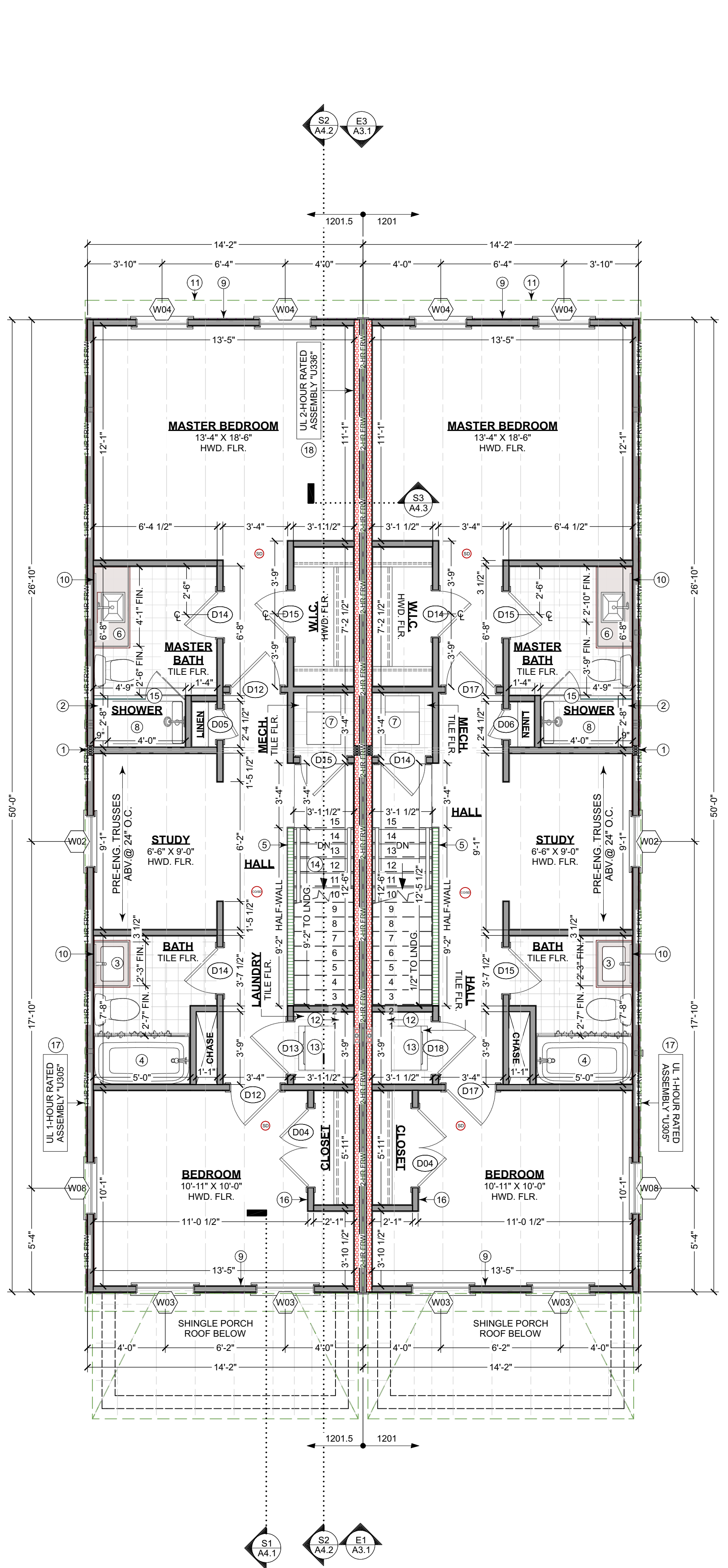
NUMBER	LABEL	QTY	FLOOR	WIDTH	HEIGHT	R/O	TOP	BOTTOM	DESCRIPTION	HEADER	EGRESS	TEMPERED	DIVIDED LITES	MANUFACTURER	COMMENTS
W01	2860DH	6	1	32"	72"	33"X73"	90"	18"	DOUBLE HUNG	2X6X36 (2)			2X1 / 2X1	PLY-GEM	
W02	3056DH	2	2	36"	72"	33"X73"	92"	20"	DOUBLE HUNG	2X6X36 (2)	YES		2X1 / 2X1	PLY-GEM	
W03	3056DH	4	2	36"	66"	37"X67"	92"	26"	DOUBLE HUNG	2X10X40 (2)	YES		2X1 / 2X1	PLY-GEM	
W04	2860DH	4	2	32"	72"	33"X73"	90"	20"	DOUBLE HUNG	2X10X36 (2)	YES		2X1 / 2X1	PLY-GEM	
W05	3060DH	2	1	36"	72"	37"X73"	90"	18"	DOUBLE HUNG	2X6X40 (2)			2X1 / 2X1	PLY-GEM	
W07	2636SC	2	1	30"	42"	31"X43"	90"	48"	CASEMENT	2X8X34 (2)			2X1	PLY-GEM	
W08	2628FX	2	2	32"	32"	33"X33"	92"	60"	FIXED	2X6X36 (2)			2X1	PLY-GEM	
W09	(2)2860DH	2	1	66"	72"	67"X73"	90"	18"	2-UNIT DOUBLE HUNG	2X10X70 (2)				PLY-GEM	

ROOM FINISH SCHEDULE - ALL LEVELS

ROOM NAME	FLOOR	AREA (SQ FT)	INTERIOR DIMENSIONS	CEILING ROUGH HEIGHT	CEILING FINISH
PORCH	1	86	13'-8" X 6'-4"	106"	108 3/4"
DECK	1	14	4'-9" X 2'-11"	N/A	N/A
LIVING ROOM	1	173	13'-4" X 12'-11"	109 1/8"	107 7/8"
DINING ROOM	1	138	9'-11" X 13'-10"	109 1/8"	107 7/8"
BUTLERS PANTRY	1	21	6'-5" X 3'-4"	109 1/8"	107 7/8"
UTILITY	1	7	2'-2" X 3'-4"	109 1/8"	107 7/8"
KITCHEN	1	231	13'-4" X 18'-6"	109 1/8"	107 7/8"
PANTRY	1	7	2'-2" X 3'-4"	109 1/8"	107 7/8"
POWDER	1	19	3'-1" X 6'-3"	109 1/8"	107 7/8"
CLOSET	1	21	3'-1" X 6'-11"	109 1/8"	107 7/8"
BATH	2	43	3'-5" X 20'-11"	109 1/8"	107 7/8"
BEDROOM	2	118	10'-11" X 10'-0"	109 1/8"	107 7/8"
CLOSET	2	12	2'-0" X 5'-10"	109 1/8"	107 7/8"
HALL	2	68	3'-5" X 20'-11"	109 1/8"	107 7/8"
LAUNDRY	2	11	3'-1" X 3'-8"	109 1/8"	107 7/8"
LINEN	2	3	1'-3" X 2'-4"	109 1/8"	107 7/8"
MASTER BATH	2	42	6'-3" X 6'-8"	109 1/8"	107 7/8"
MASTER BEDROOM	2	178	13'-4" X 18'-6"	109 1/8"	107 7/8"
MECH	2	10	3'-1" X 3'-3"	109 1/8"	107 7/8"
OPEN BELOW	2	38	3'-3" X 12'-5"	109 1/8"	107 7/8"
SHOWER	2	11	4'-8" X 2'-5"	109 1/8"	108 5/8"
W.I.C.	2	22	3'-1" X 7'-2"	109 1/8"	107 7/8"
STUDY	2	58	6'-8" X 9'-0"	109 1/8"	107 7/8"



2 3D 2ND FLOOR OVERVIEW
NOT TO SCALE - FOR REFERENCE ONLY



1 2ND FLOOR PLAN
SCALE: 1/4 IN = 1 FT

KEYNOTE LEGEND	
①	DASHED LINE OF EXTERIOR WALLS BELOW, TYP.
②	DASHED LINE OF PORCH BEAM BELOW
③	WOOD OPEN-WEB ROOF TRUSSES - DESIGN BY MFR. ENGINEER; HANGERS/CLIPS AT HOUSE PER MFR. ENGINEER; HURRICANE CLIP AT OUTER BEAM
④	ALUMINUM GUTTER & DOWNSPOUT
⑤	DASHED LINE OF INTERIOR WALLS BELOW, TYP.
⑥	3-PLY GIRDER TRUSS - DESIGN BY TRUSS MFR. ENGINEER; G.C. COORDINATE HVAC CHASE REQUIREMENTS
⑦	(3)X4 STUDS BELOW W/SOLID BLOCKING, TYP. AT EACH END OF GIRDER TRUSS AND AT EACH FLOOR LEVEL
⑧	POWER EXHAUST VENT - REFER TO ROOF VENTILATION NOTES
⑨	PROVIDE SINGLE LARGER GUTTER AT VALLEY LOCATION W/DOWNSPOUT
⑩	3-PLY GIRDER TRUSS - DESIGN BY TRUSS MFR. ENGINEER; G.C. COORDINATE M.P.E. CHASE REQUIREMENTS

REVISIONS		
#	DATE	DESCRIPTION

BUILDER NOTICE:
IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.

CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE	
	ROOF PLAN

DOCUMENT PHASE:	
	PERMIT SET

PLOT DATE:	
	4/2/2019 1:39:21 PM

DRAWN BY:	
	DUSTIN HETRICK

SCALE: SEE PLAN	

SHEET	
	A2.1
	6 OF 13

ROOF VENT NOTES
TWO METHODS OF NET FREE VENT AREA (NFVA) CALCULATION

- 1:150 (1 SF OF VENTILATION FOR EVERY 150 SF OF ATTIC FLOOR SPACE)
- 1:300 (1 SF OF VENTILATION FOR EVERY 300 SF OF ATTIC FLOOR SPACE)

THE US FHA REQUIRES A MIN. OF 1:300 NFVA, HOWEVER 1:150 IS RECOMMENDED FOR OPTIMAL PERFORMANCE, AND MAY BE REQUIRED DEPENDING ON LOCAL BUILDING CODES.

BOTH OF THESE CALCULATIONS ARE BASED ON AN IDEALLY BALANCED SYSTEM (50% INTAKE, 50% EXHAUST).

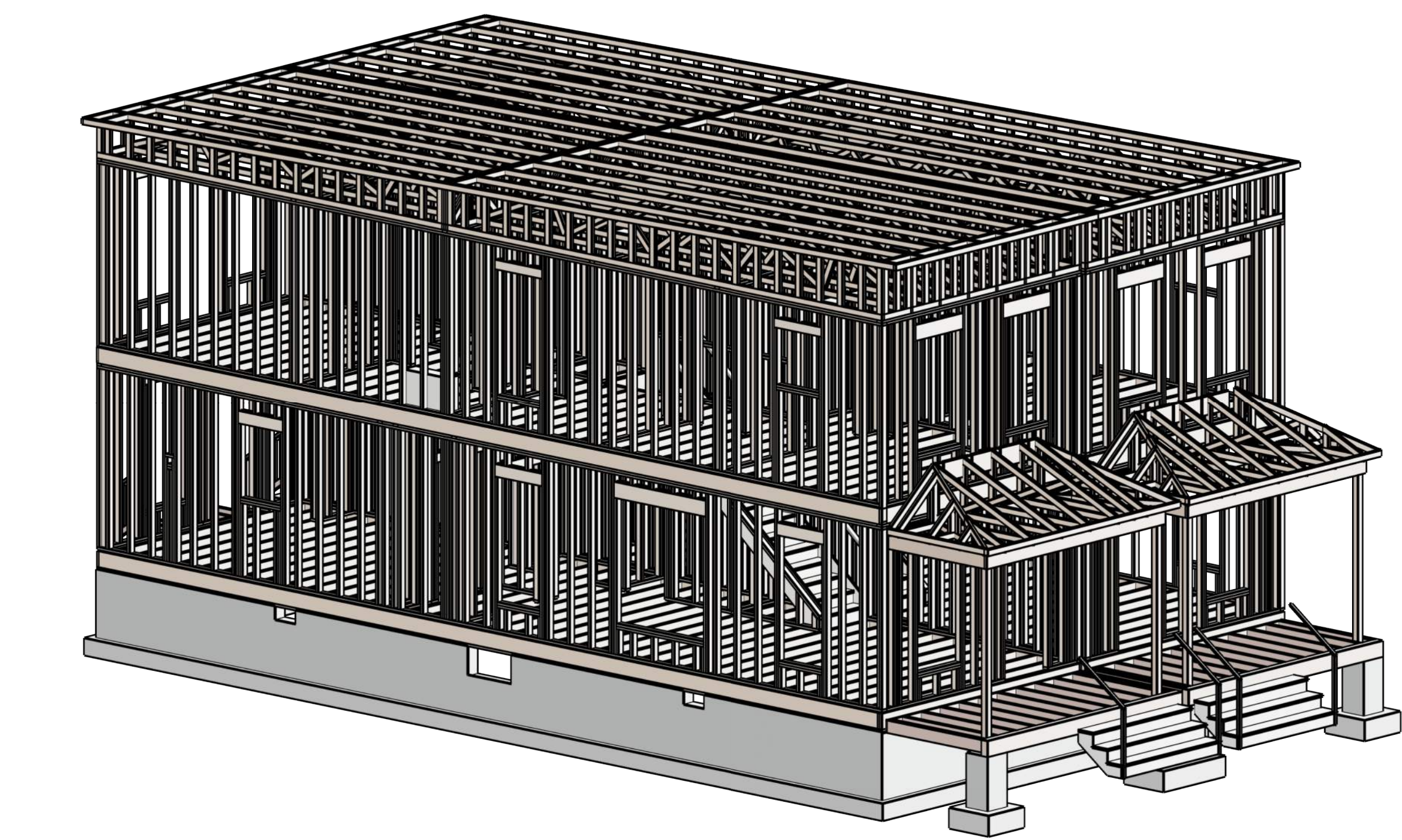
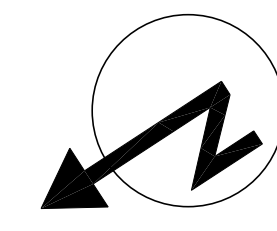
ROOF SQUARE FOOTAGE
MAIN ROOF SQUARE FOOTAGE = XXX SF +/- AT 1:150 = XXX SQ. IN. OF NET FREE VENT AREA (NFVA)

50% INTAKE (EAVE VENT) = XX LF +/- SF AT EAVES
50% EXHAUST VENT (RIDGE VENT) = 19.2 +/- SF AT RIDGES

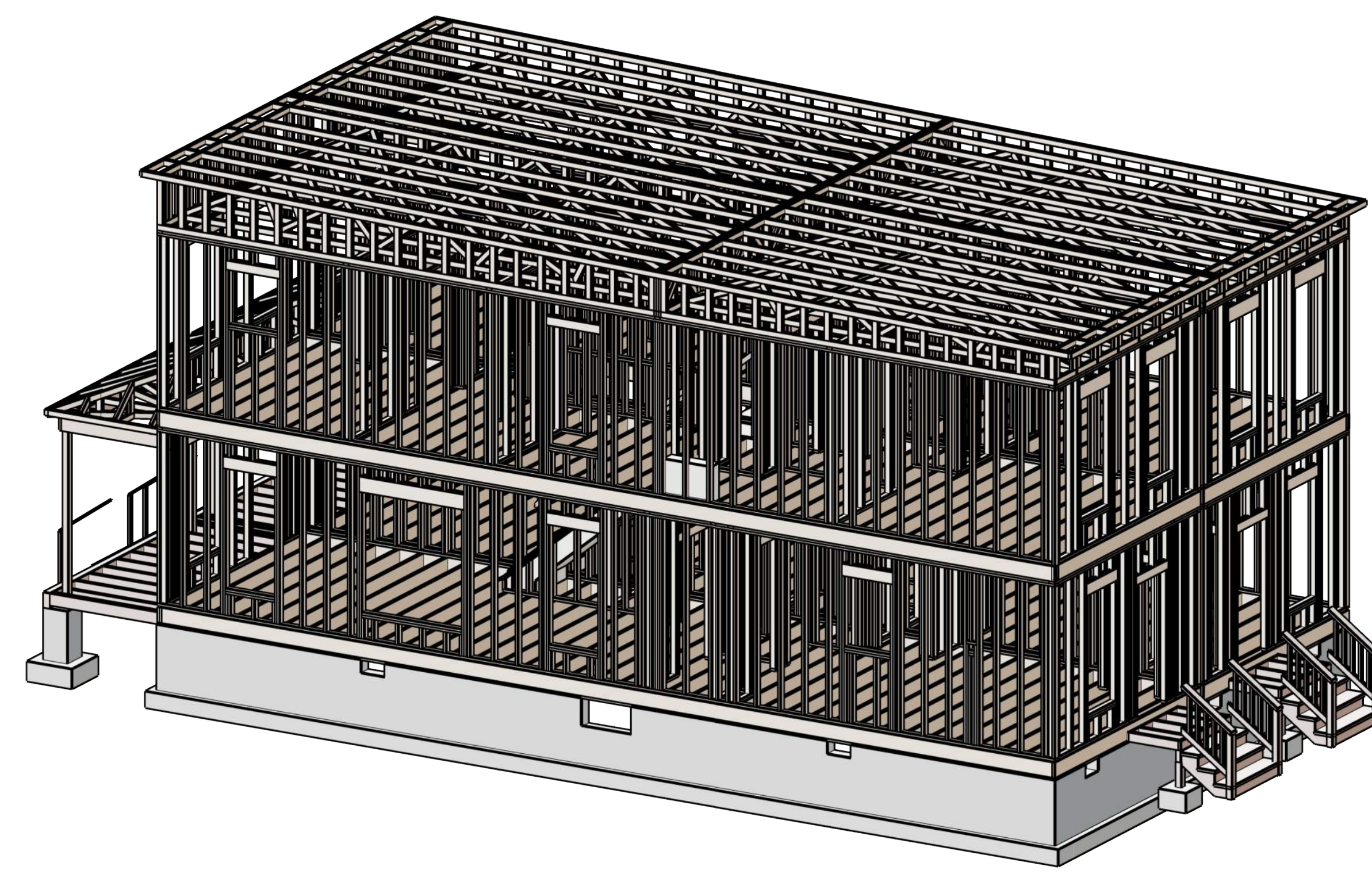
EAVE PERIMETER AVAILABILITY = XX LF +/-
AVAILABLE RIDGE LENGTH = XX' X LF +/-

ROOF PLAN NOTES

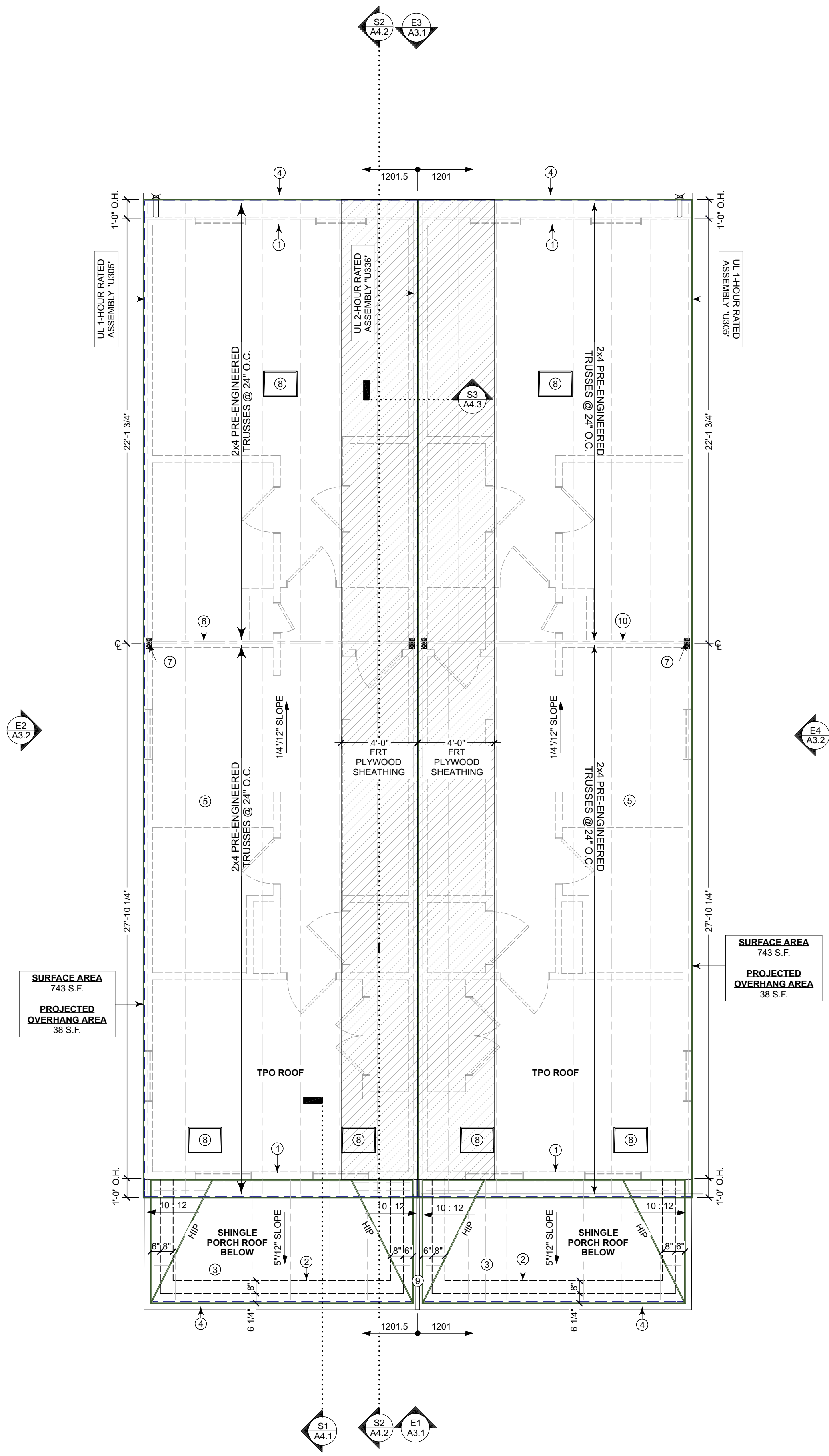
1. ROOF SLOPE ARROWS POINT IN THE DIRECTION IN WHICH WATER WILL FLOW.
2. INSTALL ROOF COVERINGS, FLASHING, CRICKETS, AND ROOF DRAINAGE IN ACCORDANCE WITH CODE REQUIREMENTS.
3. ANY TRUSSES SHOWN ARE FOR ILLUSTRATION ONLY. REFERENCE TRUSS LAYOUT DRAWINGS BY OTHERS, IF TRUSSES ARE NOTED (IN LIEU OF RAFTERS).
4. INSTALL VENTS AS REQ'D FOR ADEQUATE VENTILATION, UNLESS PLANS INDICATE SEALED AND CONDITIONED ATTIC SPACE.
5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.



② 3D FRAMING OVERVIEW #1
NOT TO SCALE - FOR REFERENCE ONLY



③ 3D FRAMING OVERVIEW #2
NOT TO SCALE - FOR REFERENCE ONLY



① ROOF PLAN
SCALE: 1/4 IN = 1 FT

SURFACE AREA
743 S.F.
PROJECTED OVERHANG AREA
38 S.F.

SURFACE AREA
743 S.F.
PROJECTED OVERHANG AREA
38 S.F.

REVISIONS

#	DATE	DESCRIPTION

BUILDER NOTICE:

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991. EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.

CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE

EXTERIOR ELEVATIONS

DOCUMENT PHASE:
PERMIT SET

PLOT DATE:
4/2/2019
1:39:21 PM

DRAWN BY:
DUSTIN HETRICK

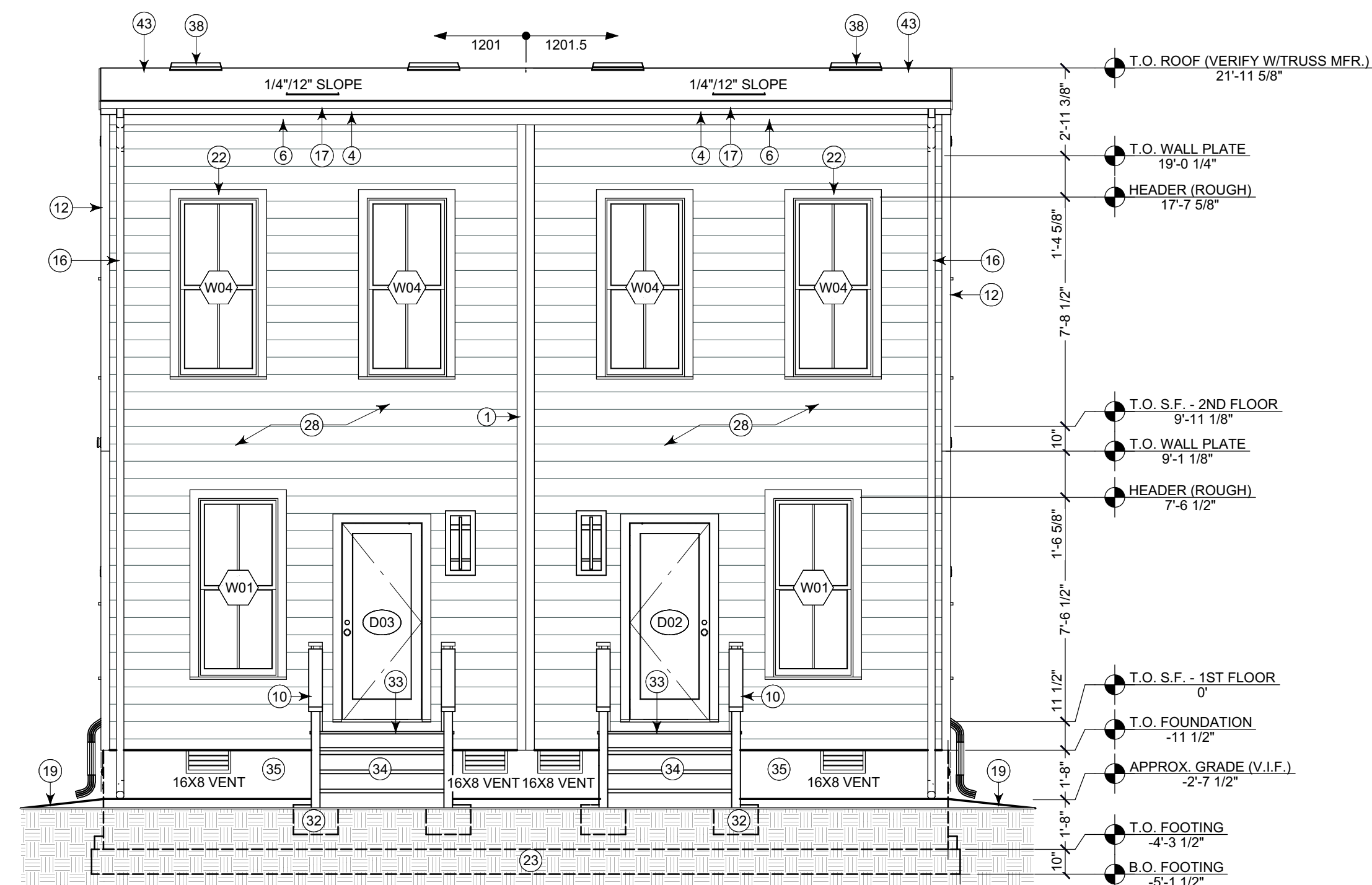
SCALE: SEE PLAN

SHEET

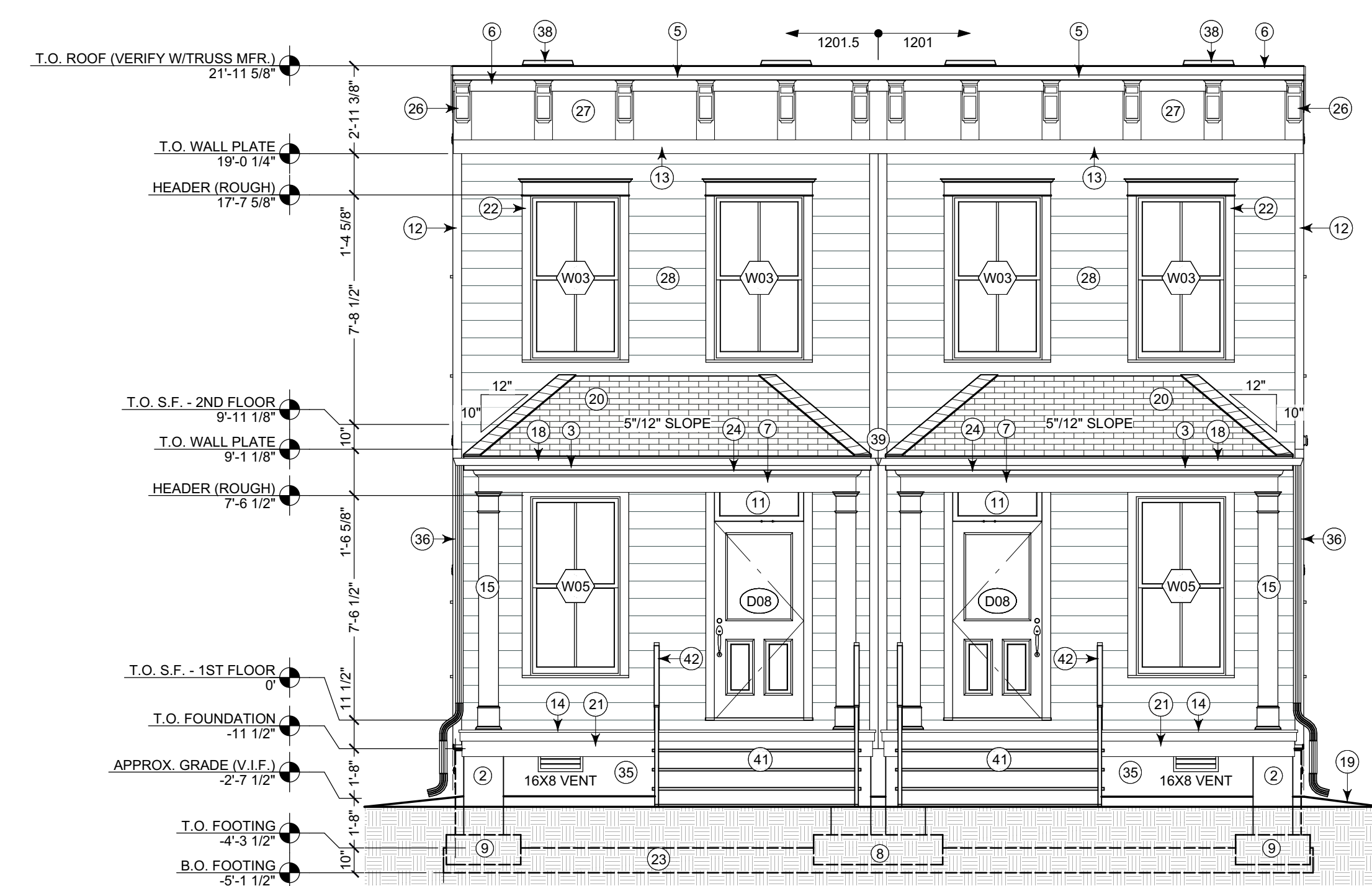
A3.1

7 OF 13

KEYNOTE LEGEND	
①	(2)5/4X4 FLAT TRIM JOINED TOGETHER W/CAULK
②	16"X16" CMU PIERS W/PARGE FINISH, GROUT SOLID, TOP OF PIERS 4" BELOW TOP OF HOUSE FOUNDATION (TYP.)
③	1X6 COMPOSITE FASCIA
④	1X6 FASCIA TRIM
⑤	1X6 FASCIA W/METAL DRIP CAP
⑥	1X6 FRIEZE TRIM
⑦	2X10 DEEP BOX BEAM, WRAPPED IN COMPOSITE 1X, WIDTH TO MATCH COLUMN WIDTH (6"±)
⑧	30" DEEP X 50" WIDE X 12" THICK CONCRETE FOOTING WITH (2) #4 EACH WAY, CENTERED UNDER PIER (TYP.)
⑨	30" SQUARE X 12" THICK CONCRETE FOOTING WITH (2) #4 EACH WAY, CENTERED UNDER PIER (TYP.)
⑩	36" P.T. WOOD RAILING
⑪	36"W X 16"H TRANSOM ABOVE ENTRY DOOR - REFER TO DOOR SCHEDULE
⑫	5/4X4 COMPOSITE CORNER TRIM, TYP.
⑬	5/4X6 CONT. TRIM
⑭	5/4X6 T&G DECKING OVER 2X8 P.T. JOISTS AT 16" O.C. WITH HANGERS; (3) 2X10 P.T. OUTER BEAM, 2X8 P.T. LEDGER BOARD ALONG HOUSE WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED- SEE WALL SECTION
⑮	8" SQUARE LOAD-BEARING SYNTHETIC COLUMN- PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR
⑯	ALUMINUM DOWNSPOUT
⑰	ALUMINUM GUTTER
⑱	ALUMINUM GUTTER & DOWNSPOUT
⑲	APPROXIMATE GRADE (V.I.F.)
⑳	ASPHALT SHINGLE ROOF
㉑	COMPOSITE 1X10 OUTER BOARD AND 1X4 TOP TRIM
㉒	COMPOSITE EXT. CASING AT WINDOW AND DOORS PER OWNER SPECS
㉓	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING BOTTOM OF FOOTING MIN. 30" BELOW GRADE- SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)
㉔	CROWN TRIM PER OWNER SPECS
㉕	DRYER EXHAUST VENT THROUGH RIM JOIST VIA 4" HARD PIPE
㉖	FYPON BKT7X18 BRACKET ON VERTICAL 1X8 TRIM
㉗	HARDI FLAT PANEL (OR SIM.)
㉘	HARDIPLANK SIDING, TYP.
㉙	MASTER BATH EXHAUST VENT THROUGH GABLE END TRUSS VIA 4" HARD PIPE
㉚	MASTER BATH SHOWER EXHAUST VENT THROUGH GABLE END TRUSS VIA 4" HARD PIPE
㉛	MIN. 32"X16" CRAWL-SPACE ACCESS WITH PRE-FAB DOOR
㉜	P.T. 4X4 DECK POSTS FASTENED WITH SIMPSON POST BASE ON 18" SQUARE CONCRETE FOOTINGS (TYP.)
㉝	P.T. 5/4X6 DECKING OVER 2X8 P.T. JOISTS AT 16" O.C. WITH HANGERS; (2)2X8 P.T. DROPPED OUTER BEAM; 2X8 P.T. LEDGER BOARD WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED
㉞	P.T. WOOD STAIRS TO SIDEWALK- VERIFY IN FIELD; 11" TREADS, MAX. 8" RISERS
㉟	PARGED CMU FOUNDATION - SEE FOUNDATION PLAN
㊱	PORCH ROOF DOWNSPOUT
㊲	POWDER EXHAUST VENT THROUGH RIM JOIST VIA 4" HARD PIPE
㊳	POWER EXHAUST VENT - REFER TO ROOF VENTILATION NOTES ON A2.1
㊴	PROVIDE SINGLE LARGER GUTTER AT VALLEY LOCATION W/DOWNSPOUT
㊵	RANGE HOOD EXHAUST VENT THROUGH RIM JOIST VIA 4" HARD PIPE
㊶	STAIRS TO SIDEWALK- VERIFY IN FIELD; 11" TREADS, MAX. 8" RISER
㊷	STEEL/IRON HANDRAIL, MIN. 36" HIGH, CONSULT DEVELOPER FOR SELECTION
㊸	TPO ROOF - REFER TO ROOF PLAN



E3 REAR EXTERIOR ELEVATION
SCALE: 1/4 IN = 1 FT



E1 FRONT EXTERIOR ELEVATION
SCALE: 1/4 IN = 1 FT

ELEVATION & PERSPECTIVE NOTES

1. REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
2. ANY FURNITURE SHOWN IS GENERIC AND IS FOR ROOM SPACE PLANNING ONLY.
3. ALL MATERIALS, PATTERNS, TRIM, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN ARE GENERIC, UNLESS OTHERWISE INDICATED, TO BE SELECTED BY OWNER.
4. TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO SURVEY PHOTOS OR SITE PLAN (BY OTHERS).
5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

REVISIONS		
#	DATE	DESCRIPTION

BUILDER NOTICE:
IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.
ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM

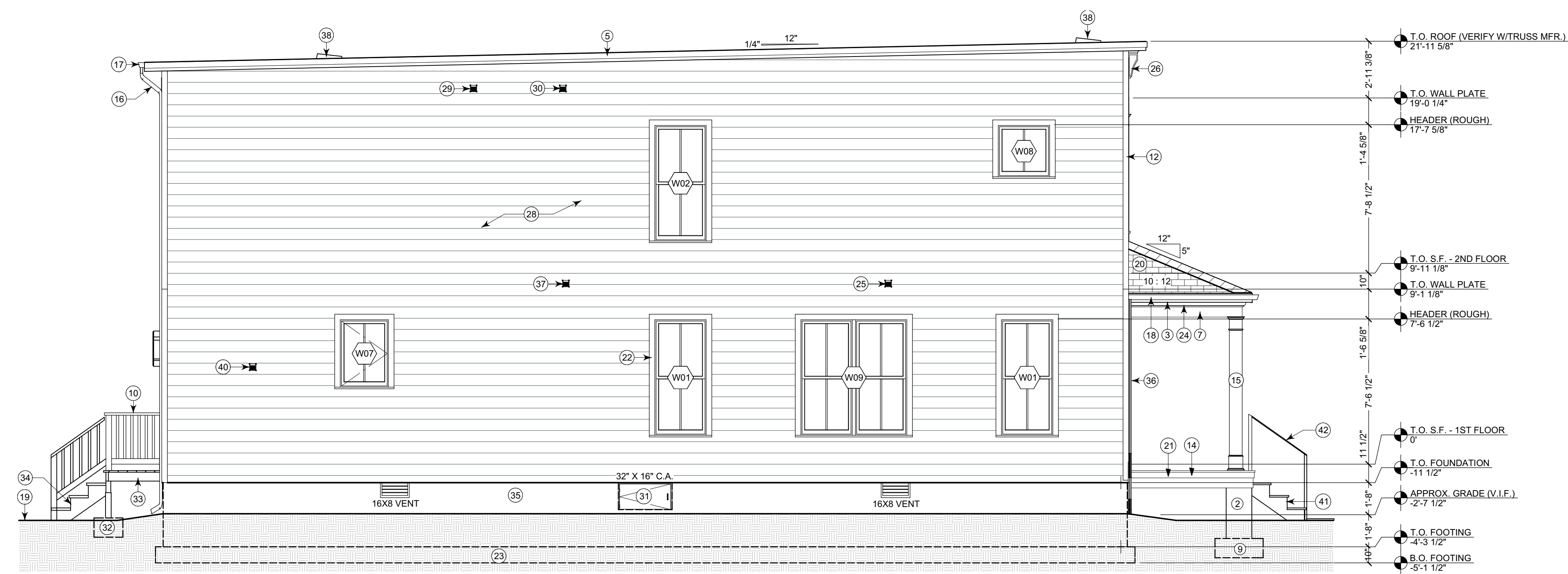
PROJECT NAME:
1201-1201.5 N 31ST ST.
CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE
EXTERIOR ELEVATIONS

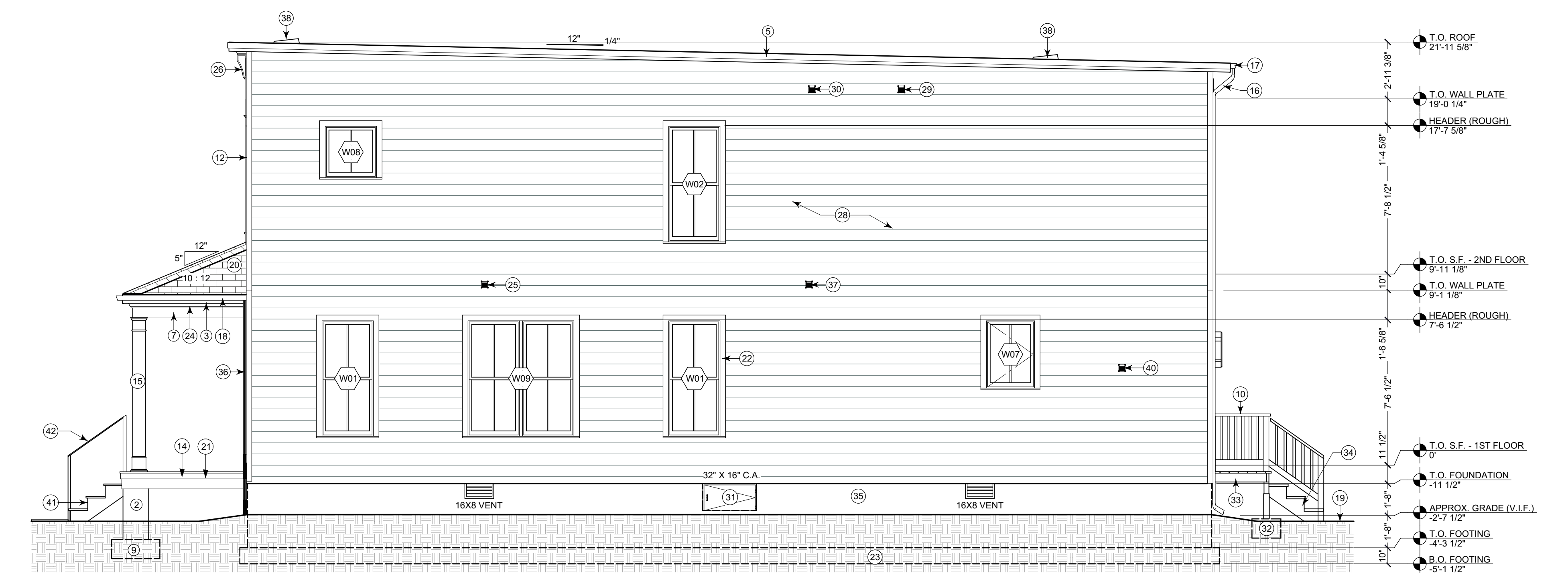
DOCUMENT PHASE:
PERMIT SET
PLOT DATE:
4/2/2019
1:39:22 PM

DRAWN BY:
DUSTIN HETRICK

SCALE: SEE PLAN
SHEET
A3.2
8 OF 13



E2 LEFT SIDE EXTERIOR ELEVATION (1201.5 N. 31ST ST.)
A1.2 SCALE: 1/4 IN = 1 FT



E4 RIGHT SIDE EXTERIOR ELEVATION (1201 N. 31ST ST.)
A1.2 SCALE: 1/4 IN = 1 FT

KEYNOTE LEGEND	
1	(2)5/4X4 FLAT TRIM JOINED TOGETHER W/CAULK
2	16"X16" CMU PIERS W/PARGE FINISH, GROUT SOLID, TOP OF PIERS 4" BELOW TOP OF HOUSE FOUNDATION (TYP.)
3	1X6 COMPOSITE FASCIA
4	1X6 FASCIA TRIM
5	1X6 FASCIA W/METAL DRIP CAP
6	1X6 FRIEZE TRIM
7	2X10 DEEP BOX BEAM, WRAPPED IN COMPOSITE 1X, WIDTH TO MATCH COLUMN WIDTH (6")
8	30" DEEP X 50" WIDE X 12" THICK CONCRETE FOOTING WITH (2) #4 EACH WAY, CENTERED UNDER PIER (TYP.)
9	30" SQUARE X 12" THICK CONCRETE FOOTING WITH (2) #4 EACH WAY, CENTERED UNDER PIER (TYP.)
10	36"H P.T. WOOD RAILING
11	36"W X 16"H TRANSOM ABOVE ENTRY DOOR - REFER TO DOOR SCHEDULE
12	5/4X6 COMPOSITE CORNER TRIM, TYP.
13	5/4X6 CONT. TRIM
14	5/4X6 T&G DECKING OVER 2X8 P.T. JOISTS AT 16" O.C. WITH HANGERS, (3) 2X10 P.T. OUTER BEAM, 2X8 P.T. LEDGER BOARD ALONG HOUSE WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED- SEE WALL SECTION
15	8" SQUARE LOAD-BEARING SYNTHETIC COLUMN- PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR
16	ALUMINUM DOWNSPOUT
17	ALUMINUM GUTTER
18	ALUMINUM GUTTER & DOWNSPOUT
19	APPROXIMATE GRADE (V.I.F.)
20	ASPHALT SHINGLE ROOF
21	COMPOSITE 1X10 OUTER BOARD AND 1X4 TOP TRIM
22	COMPOSITE EXT. CASING AT WINDOW AND DOORS PER OWNER SPECS
23	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING BOTTOM OF FOOTING MIN. 30" BELOW GRADE- SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)
24	CROWN TRIM PER OWNER SPECS
25	DRYER EXHAUST VENT THROUGH RIM JOIST VIA 4" HARD PIPE
26	FYPON BKT7X18 BRACKET ON VERTICAL 1X8 TRIM
27	HARDI FLAT PANEL (OR SIM.)
28	HARDIPLANK SIDING, TYP.
29	MASTER BATH EXHAUST VENT THROUGH GABLE END TRUSS VIA 4" HARD PIPE
30	MASTER BATH SHOWER EXHAUST VENT THROUGH GABLE END TRUSS VIA 4" HARD PIPE
31	MIN. 32"X16" CRAWL-SPACE ACCESS WITH PRE-FAB DOOR
32	P.T. 4X4 DECK POSTS FASTENED WITH SIMPSON POST BASE ON 18" SQUARE CONCRETE FOOTINGS (TYP.)
33	P.T. 5/4X6 DECKING OVER 2X8 P.T. JOISTS AT 16" O.C. WITH HANGERS, (2)2X8 P.T. DROPPED OUTER BEAM, 2X8 P.T. LEDGER BOARD WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED
34	P.T. WOOD STAIRS TO SIDEWALK- VERIFY IN FIELD, 11" TREADS, MAX. 8" RISERS
35	PARGED CMU FOUNDATION - SEE FOUNDATION PLAN
36	PORCH ROOF DOWNSPOUT
37	POWER EXHAUST VENT THROUGH RIM JOIST VIA 4" HARD PIPE
38	POWER EXHAUST VENT - REFER TO ROOF VENTILATION NOTES ON A2.1
39	PROVIDE SINGLE LARGER GUTTER AT VALLEY LOCATION W/DOWNSPOUT
40	RANGE HOOD EXHAUST VENT THROUGH RIM JOIST VIA 4" HARD PIPE
41	STAIRS TO SIDEWALK- VERIFY IN FIELD, 11" TREADS, MAX. 8" RISER
42	STEEL/IRON HANDRAIL, MIN. 36" HIGH, CONSULT DEVELOPER FOR SELECTION
43	TPO ROOF - REFER TO ROOF PLAN

ELEVATION & PERSPECTIVE NOTES
1. REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
2. ANY FURNITURE SHOWN IS GENERIC AND IS FOR ROOM SPACE PLANNING ONLY.
3. ALL MATERIALS, PATTERNS, TRIM, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN ARE GENERIC, UNLESS OTHERWISE INDICATED, TO BE SELECTED BY OWNER.
4. TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO SURVEY PHOTOS OR SITE PLAN (BY OTHERS).
5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

REVISIONS

#	DATE	DESCRIPTION

BUILDER NOTICE:

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991. EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.

CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE

ENLARGED PORCH SECTION

DOCUMENT PHASE:

PERMIT SET

PLOT DATE:

4/2/2019
1:39:22 PM

DRAWN BY:

DUSTIN HETRICK

SCALE: SEE PLAN

SHEET

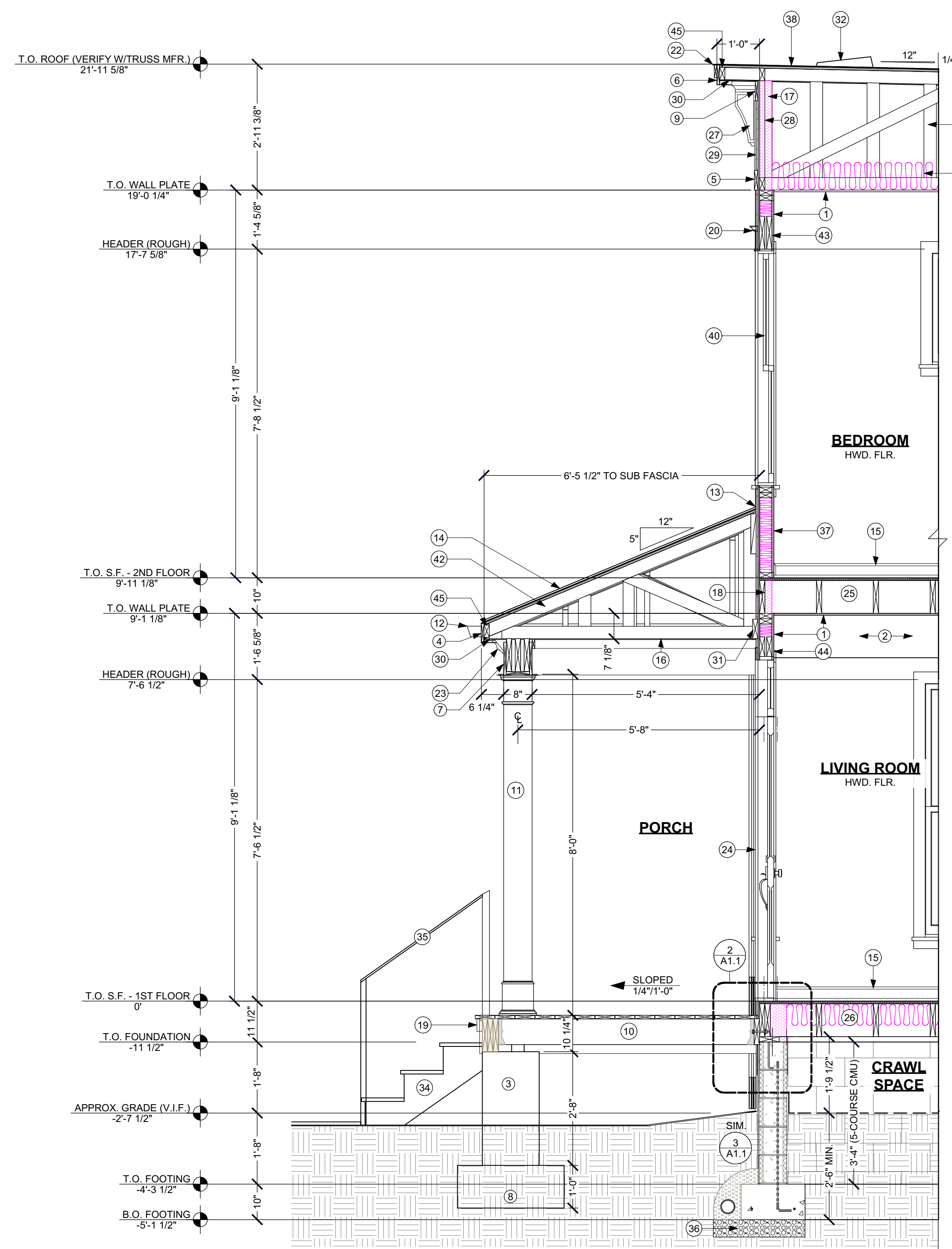
A4.1

9 OF 13

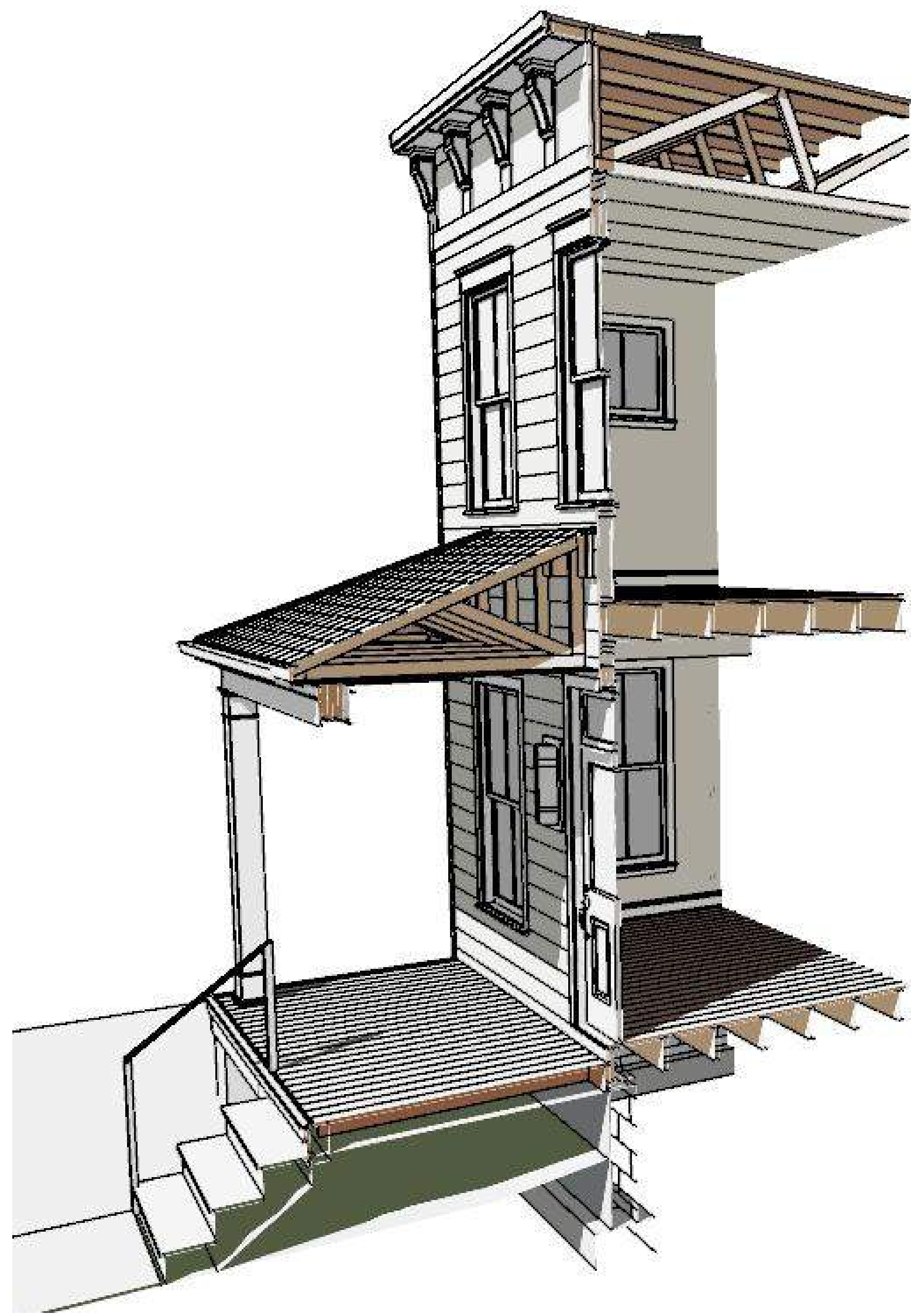
KEYNOTE LEGEND	
1	1/2" DRYWALL WALLS AND CEILINGS, TYPICAL THROUGHOUT
2	12" X 24" SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH
3	16" X 16" CMU PIERS W/PARGE FINISH, GROUT SOLID, TOP OF PIERS 4" BELOW TOP OF HOUSE FOUNDATION (TYP.)
4	1X6 COMPOSITE FASCIA
5	5/4X8 CONT. TRIM - SEE FRONT ELEV. (A3.1)
6	1X6 FASCIA W/METAL DRIP CAP
7	2X10 DEEP BOX BEAM, WRAPPED IN COMPOSITE 1X, WIDTH TO MATCH COLUMN WIDTH (8")
8	30" DEEP X 60" WIDE X 12" THICK CONCRETE FOOTING WITH (2) #4 EACH WAY, CENTERED UNDER PIER (TYP.)
9	1X6 FRIEZE TRIM
10	5/4X8 T&G DECKING OVER 2X8 P.T. JOISTS AT 16" O.C. WITH HANGERS; (3) 2X10 P.T. OUTER BEAM; 2X8 P.T. LEDGER BOARD ALONG HOUSE WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED; SEE WALL SECTION
11	8" SQUARE LOAD-BEARING SYNTHETIC COLUMN- PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR
12	ALUMINUM GUTTER & DOWNSPOUT
13	ALUMINUM HEAD WALL FLASHING OVER SHINGLES & UP UNDER WALL HOUSE WRAP MIN. 12"
14	ASPHALT SHINGLES OVER ROOF FELT OVER 19/32" OSB ROOF SHEATHING WITH ICEWATER SHIELD OVER ENTIRE ROOF. LAP UP HEAD WALL MIN. 12"
15	BASE TRIM PER OWNER SPECS.
16	BEADBOARD CEILING
17	CLOSED-CELL FOAM INSULATION
18	CLOSED-CELL FOAM INSULATION AT RIM JOIST
19	COMPOSITE 1X10 OUTER BOARD AND 1X4 TOP TRIM
20	COMPOSITE EXT. CASING AT WINDOW AND DOORS PER OWNER SPECS
21	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTINGS WITH (2) CONT. #4 REBAR REINFORCING, BOTTOM OF FOOTING MIN. 30" BELOW GRADE- SEE GEOTECH. REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)
22	CONTINUOUS ALUM. DRIP EDGE (HEMMED), LAP ENDS MIN 4", NAIL TO 1X3 NAILER THRU TOP ONLY. COVER TOP WITH ROOF TAPE
23	CROWN TRIM PER OWNER SPECS
24	EXT. DOOR PER PLANS
25	FINISH FLOOR OVER 3/4" T&G SUBFLOOR, GLUED & NAILED, OVER 2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RIM BOARD ENTIRE PERIMETER
26	FINISH FLOOR OVER 3/4" T&G SUBFLOOR, GLUED & NAILED, OVER 2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RIM BOARD ENTIRE PERIMETER, WITH R-19 KRAFT-FACED INSULATION
27	FYPON BKT7X18 BRACKET ON VERTICAL 1X8 TRIM- SEE ELEVS.
28	GIRDER END TRUSS (OR 2X BLOCKING) - G.C. COORDINATE W/TRUSS MFR.
29	HARDI FLAT PANEL (OR SIM.)
30	HARDISOFFIT
31	LEDGER BOARD BOLTED TO RIM BOARD- DESIGN BY TRUSS MFR. ENGR.
32	POWER EXHAUST VENT - REFER TO ROOF VENTILATION NOTES ON A2.1
33	R-30 ROOF INSULATION
34	STAIRS TO SIDEWALK- VERIFY IN FIELD; 11" TREADS, MAX. 8" RISER
35	STEEL/IRON HANDRAIL, MIN. 36" HIGH, CONSULT DEVELOPER FOR SELECTION
36	STRUCTURAL STONE FILL DOWN TO SOLID SOILS- SEE GEOTECHNICAL REPORT FOR SPECS.
37	EXT. WALL CONSTRUCTION AT F/R: HARDIPLANK SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/IR-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH.
38	TYPICAL ROOF CONSTRUCTION: FULLY ADHERED TPO ROOF MEMBRANE OVER 19/32" OSB ROOF SHEATHING (FRT AS SHOWN ON ROOF PLAN), LAP MEMBRANE DOWN OVER TRIM
40	WINDOW - SEE FLOOR PLANS
41	WOOD OPEN-WEB ROOF TRUSSES W/HURRICANE CLIP AT EACH END - TRUSS DESIGN BY MFR. ENGINEER
42	WOOD OPEN-WEB ROOF TRUSSES- DESIGN BY MFR. ENGINEER; HANGERS/CLIPS AT HOUSE PER MFR. ENGINEER; HURRICANE CLIP AT OUTER BEAM
43	REFER TO WINDOW SCHEDULE FOR HEADER TYPE & SIZE
44	REFER TO DOOR SCHEDULE FOR HEADER TYPE & SIZE
45	CONT. 2X4 SUB-FASCIA

SECTION NOTES

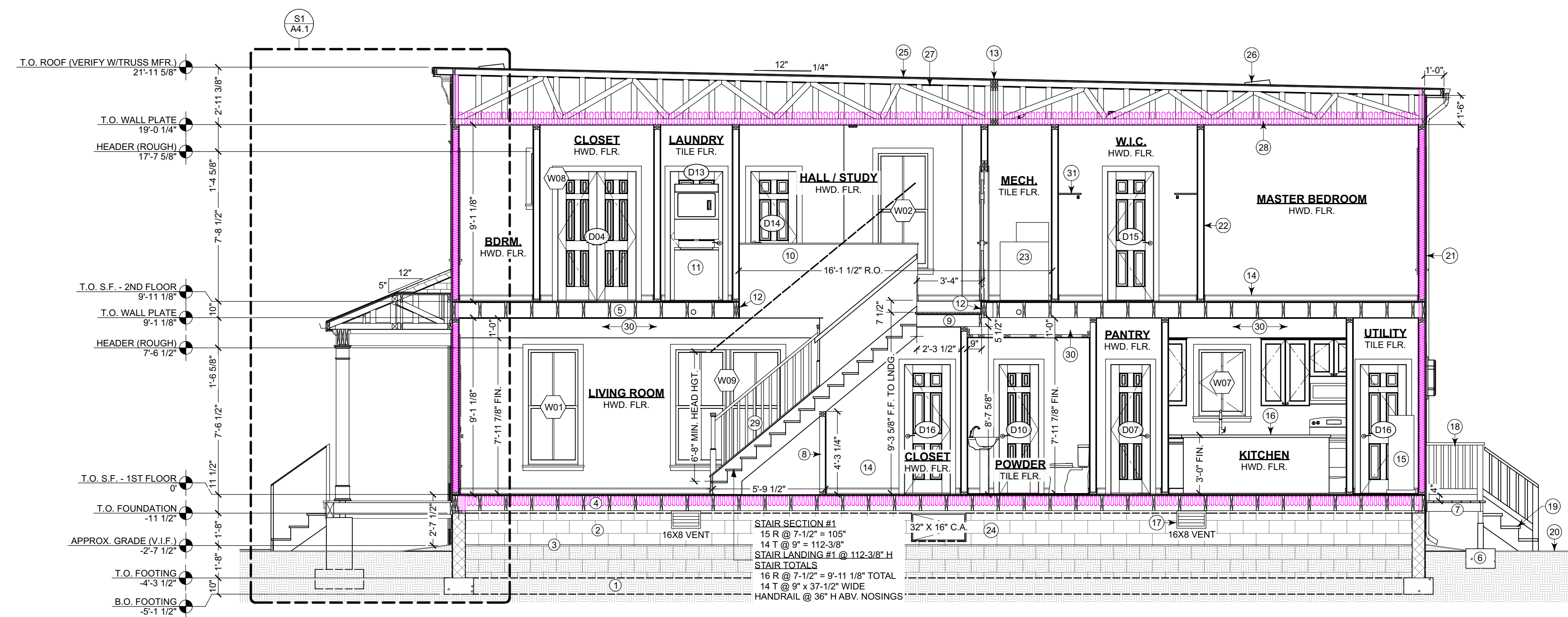
- 2x PRESSURE TREATED SILL PLATE WITH SILL SEALER AT TOP OF FOUNDATION WALLS WHERE FLOOR FRAMING MEMBERS BEAR SUPPORT. (TYPICAL)
- EXTERIOR WALL FRAMING TO BE 2x4 WALL STUDS @ 16" O.C. U.N.O., WITH DOUBLE TOP PLATES AND SINGLE BOTTOM PLATE. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND 7/16" OSB SHEATHING TO OVERLAP 1" BELOW.
- ALL LUMBER IN DIRECT CONTACT WITH FOUNDATION SHALL BE PRESSURE TREATED.
- REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
- ROOF VENTILATION OPTIONS (REFER TO PLANS):
 - VENTED - ROOF EAVES TO HAVE CONTINUOUS VENTED SOFFITS AND RIDGE VENTS (LENGTHS AS REQ'D.)
 - NON-VENTED - ATTIC AND CRAWL SPACES TO BE SEALED AND CONDITIONED WITH MECHANICAL VENTILATION AND HVAC. ROOF EAVES AND RIDGES TO BE NON-VENTED.



S1 ENLARGED WALL SECTION THROUGH PORCH
A1.2 SCALE: 1/2 IN = 1 FT



2 3D SECTION THROUGH PORCH
NOT TO SCALE - FOR REFERENCE ONLY



S2 CROSS SECTION THROUGH STAIRS
A1.2 SCALE: 1/4 IN = 1 FT



2 3D SECTION THROUGH STAIRS
NOT TO SCALE - FOR REFERENCE ONLY

KEYNOTE LEGEND	
1	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 30" BELOW GRADE- SEE GEOTECH. REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)
2	8" CMU FOUNDATION WALL WITH #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6" O.C. MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID- SEE WALL SECTION (TYP.)
3	20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE, OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPE
4	FINISH FLOOR OVER 3/4" T&G SUBFLOOR, GLUED & NAILED, OVER 2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RM BOARD ENTIRE PERIMETER, WITH R-19 KRAFT-FACED INSULATION
5	FINISH FLOOR OVER 3/4" T&G SUBFLOOR, GLUED & NAILED, OVER 2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RM BOARD ENTIRE PERIMETER
6	P.T. 4X4 DECK POSTS FASTENED WITH SIMPSON POST BASE ON 18" SQUARE CONCRETE FOOTINGS (TYP.)
7	P.T. 5X6S DECKING OVER 2X6 P.T. JOISTS AT 16" O.C. WITH HANGERS; (2)2X8 P.T. DROPPED OUTER BEAM, 2X8 P.T. LEDGER BOARD WITH 1/2" GALV. LAG BOLTS AT 16" O.C. STAGGERED
8	2X4 KNEEWALL UNDER STAIRS
9	STAIR LANDING ASSEMBLY: FLOOR FINISH OVER 3/4" T&G SUBFLOOR (GLUED & NAILED) OVER 2X8 JOISTS AT 16" O.C. OVER 1/2" DRYWALL CEILING FINISH IN ROOM BELOW
10	36"H 2X4 FRAMED HALF-WALL W/1X6 CAP
11	STACKED WASHER/DRYER - PROVIDE PAN UNDERNEATH, & W/D PLUMBING & DRYER VENT HOOKUPS AT REAR WALL
12	(2)2X10 HEADER AT STAIRWELL OPENING
13	3-PLY GIRDER TRUSS - DESIGN PER TRUSS MFR.; (4)2X4 STUDS AT EACH END W/SOLID BLOCKING
14	BASE TRIM PER OWNER SPECS.
15	ELECTRIC HOT WATER HEATER
16	ISLAND COUNTERTOP - REFER TO PLANS
17	8X16 SLOTTED GALV. CRAWLSPACE VENT WITH INSECT SCREEN, TYPICAL - SEE FOUNDATION NOTES FOR VENTING SPEC.
18	36"H P.T. WOOD RAILING
19	P.T. WOOD STAIRS TO GRADE - VERIFY IN FIELD, 11" TREADS, MAX. 8" RISERS
20	APPROXIMATE GRADE (V.I.F.)
21	TYP. EXT. WALL CONSTRUCTION: HARDPLANK SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH (NOTE: UL 1-HR. RATED ASSEMBLY "U305" AT SIDE WALLS - REFER TO PLANS)
22	TYPICAL INT. 2X4 WALL W/ 1/2" GYPSUM DRYWALL BOTH SIDES
23	AHU
24	MIN. 32"X16" CRAWL-SPACE ACCESS WITH PRE-FAB DOOR
25	TYPICAL ROOF CONSTRUCTION: FULLY ADHERED TPO ROOF MEMBRANE OVER 19/32" OSB ROOF SHEATHING (FRT AS SHOWN ON ROOF PLAN), LAP MEMBRANE DOWN OVER TRIM
26	POWER EXHAUST VENT - REFER TO ROOF VENTILATION NOTES ON A2.1
27	WOOD OPEN-WEB ROOF TRUSSES WHURRICANE CLIP AT EACH END - TRUSS DESIGN BY MFR. ENGINEER
28	R-30 ROOF INSULATION
29	36"H WOOD RAILING ABV. 2X4 SLOPED WALL W/CAP
30	12"H X 24"D SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH
31	CLOSET SHELF WIROD, TYP. AT CLOSETS

SECTION NOTES	
1.	2x PRESSURE TREATED SILL PLATE WITH SILL SEALER AT TOP OF FOUNDATION WALLS WHERE FLOOR FRAMING MEMBERS BEAR SUPPORT. (TYPICAL)
2.	EXTERIOR WALL FRAMING TO BE 2x4 WALL STUDS @ 16" O.C. U.N.O., WITH DOUBLE TOP PLATES AND SINGLE BOTTOM PLATE. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND 7/16" OSB SHEATHING TO OVERLAP 1" BELOW.
3.	ALL LUMBER IN DIRECT CONTACT WITH FOUNDATION SHALL BE PRESSURE TREATED.
4.	REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
5.	IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
6.	ROOF VENTILATION OPTIONS (REFER TO PLANS): <ul style="list-style-type: none"> VENTED - ROOF EAVES TO HAVE CONTINUOUS VENTED SOFFITS AND RIDGE VENTS (LENGTHS AS REQ'D.) NON-VENTED - ATTIC AND CRAWL SPACES TO BE SEALED AND CONDITIONED WITH MECHANICAL VENTILATION AND HVAC. ROOF EAVES AND RIDGES TO BE NON-VENTED.

REVISIONS		
#	DATE	DESCRIPTION

BUILDER NOTICE:
IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.

CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE	
CROSS SECTION THROUGH STAIRS	

DOCUMENT PHASE:	
PERMIT SET	
PLOT DATE:	4/2/2019 1:39:45 PM

DRAWN BY:	
DUSTIN HETRICK	
SCALE: SEE PLAN	

SHEET	
A4.2	
10 OF 13	

REVISIONS

#	DATE	DESCRIPTION

BUILDER NOTICE:

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991. EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.
CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE

PARTY WALL SECTION

DOCUMENT PHASE:

PERMIT SET

PLOT DATE:

4/2/2019
1:39:46 PM

DRAWN BY:

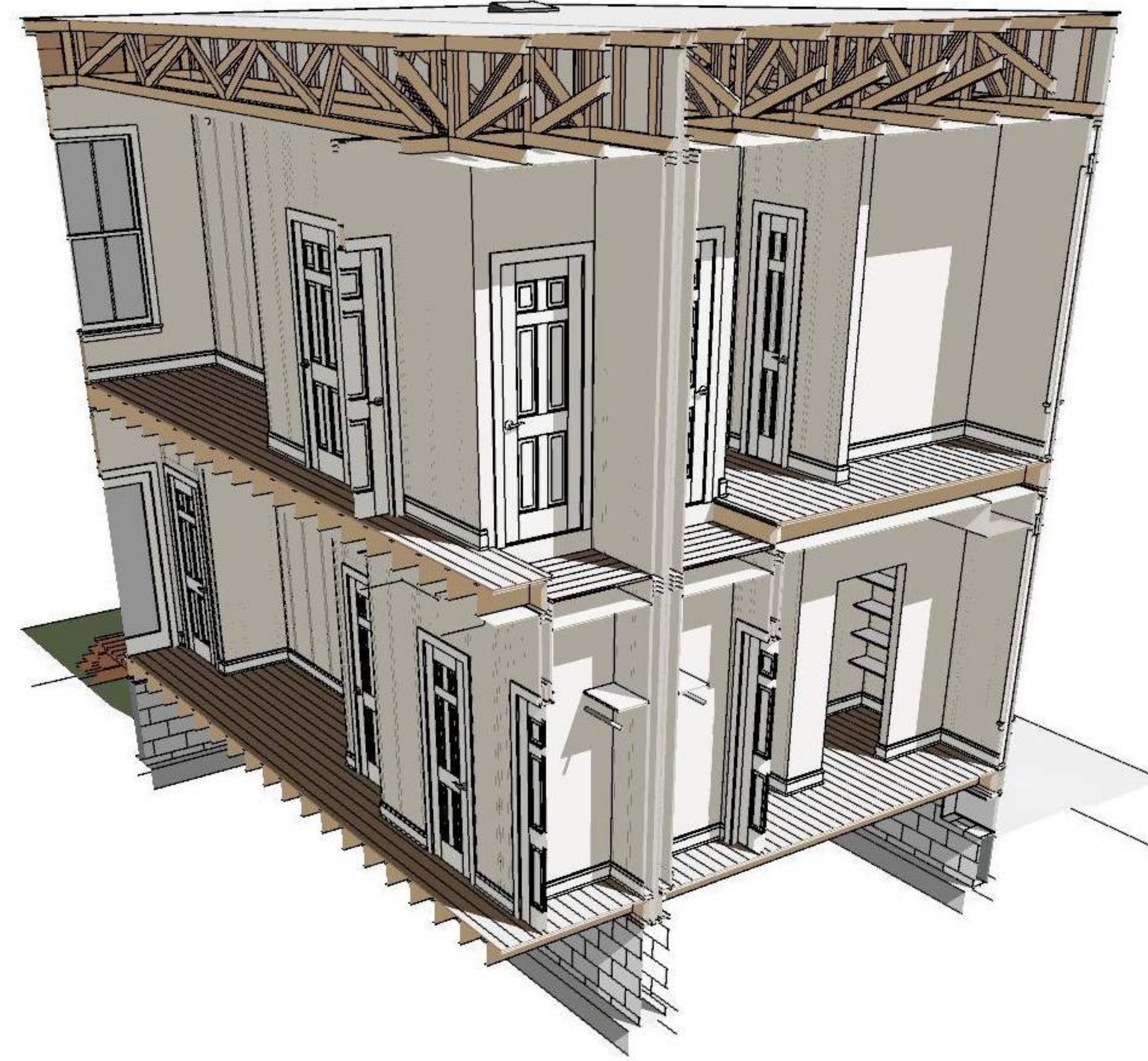
DUSTIN HETRICK

SCALE: SEE PLAN

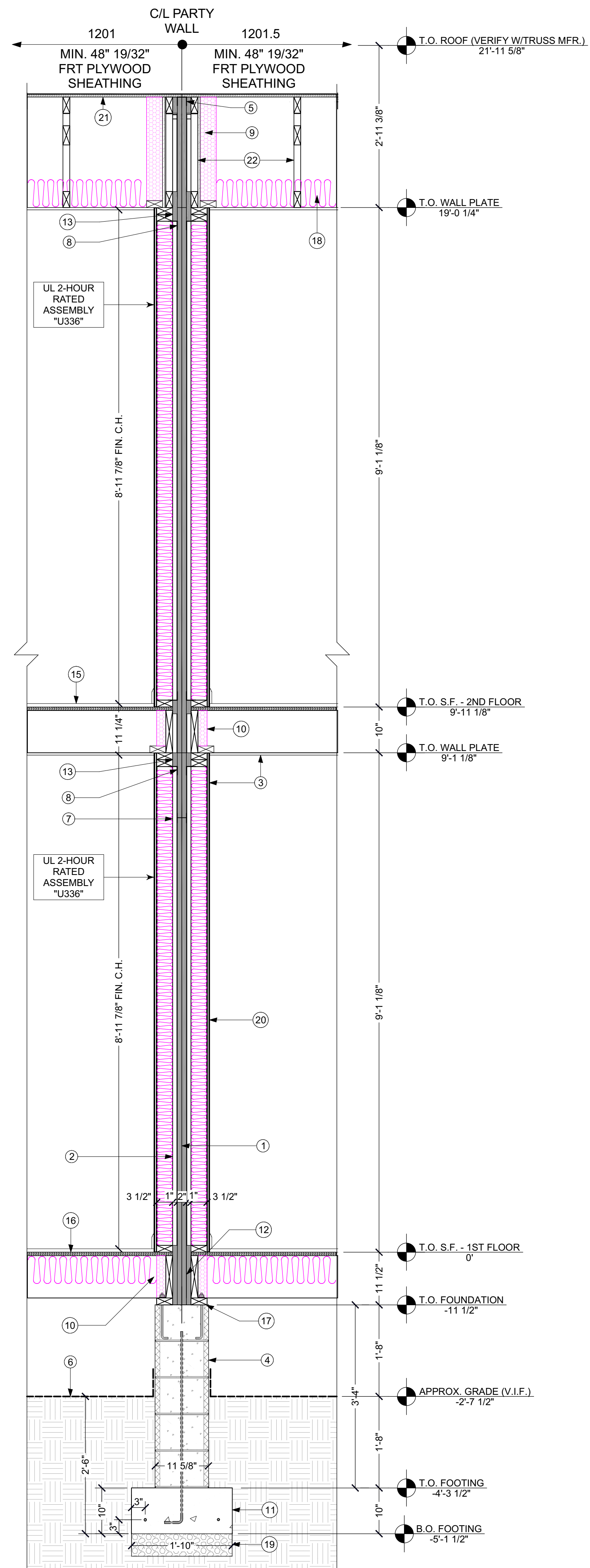
SHEET

A4.3
11 OF 13

KEYNOTE LEGEND	
①	(2) 1" TYPE SLX GYPSUM BOARD SHAFT LINER SET IN VERTICAL H-STUD
②	1" AIR SPACE EACH SIDE OF SHAFT LINE
③	1/2" DRYWALL WALLS AND CEILINGS, TYPICAL THROUGHOUT
④	12" CMU FOUNDATION WALL WITH #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6" O.C.; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID (COMMON WALL ONLY)
⑤	2" C-TRACK
⑥	20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPE
⑦	BACK-TO-BACK 2" C-TRACK AT TOP/BOTTOM OF GYPSUM BOARD SHEETS. QUANTITY/LOCATIONS AS REQUIRED PER SHEET SIZE/WALL HEIGHT
⑧	BREAK-AWAY CLIP EACH SIDE OF SHAFT LINER, TYP. WHERE SHOWN
⑨	CLOSED-CELL FOAM INSULATION
⑩	CLOSED-CELL FOAM INSULATION AT RIM JOIST
⑪	CONT. 24" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) 30" BELOW GRADE-SEE GEOTECH. REPORT FOR FURTHER INFO/SPECS. (COMMON WALL ONLY)
⑫	CORE WALL FIRESTOPPING
⑬	CORE WALL FIRESTOPPING, TYP. AT TOP & BOTTOM OF FLOOR FRAMING AS SHOWN
⑮	FINISH FLOOR OVER 3/4" T&G SUBFLOOR, GLUED & NAILED, OVER 2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RIM BOARD ENTIRE PERIMETER
⑯	FINISH FLOOR OVER 3/4" T&G SUBFLOOR, GLUED & NAILED, OVER 2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RIM BOARD ENTIRE PERIMETER, WITH R-19 KRAFT-FACED INSULATION
⑰	P.T. 2X4 SILL PLATE ON SILL GASKET WITH "TITAN HD" BOLT INTO GROUTED CELL AT 4" O.C. MIN.
⑱	R-30 ROOF INSULATION
⑲	STRUCTURAL STONE FILL DOWN TO SOLID SOILS - SEE GEOTECHNICAL REPORT FOR SPECS
⑳	TYP. WALL CONSTRUCTION: 2X4 STUDS AT 16" O.C. WITH 2X4 BOTTOM AND DOUBLE TOP PLATES; R-15 FIBERGLASS BATT INSULATION
㉑	TYPICAL ROOF CONSTRUCTION: FULLY ADHERED TPO ROOF MEMBRANE OVER 1/2" OSB ROOF SHEATHING (FRT AS SHOWN ON ROOF PLAN), LAP MEMBRANE DOWN OVER TRIM
㉒	WOOD OPEN-WEB ROOF TRUSSES WITH HURRICANE CLIP AT EACH END - TRUSS DESIGN BY MFR. ENGINEER



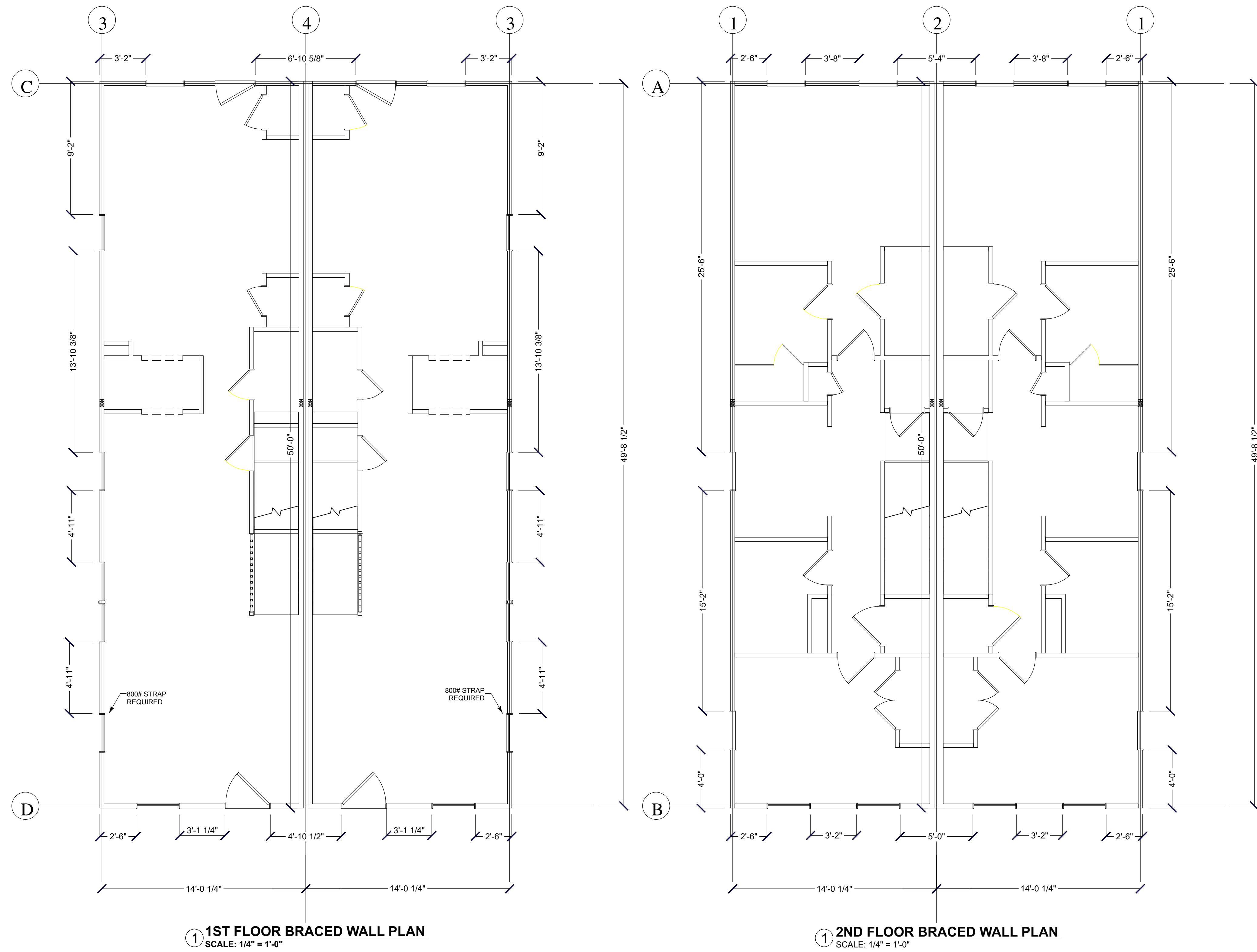
② 3D SECTION THROUGH PARTY WALL
NOT TO SCALE - FOR REFERENCE ONLY



S3 PARTY WALL SECTION
A1.2 SCALE: 3/4 IN = 1 FT

SECTION NOTES

- 2x PRESSURE TREATED SILL PLATE WITH SILL SEALER AT TOP OF FOUNDATION WALLS WHERE FLOOR FRAMING MEMBERS BEAR SUPPORT. (TYPICAL)
- EXTERIOR WALL FRAMING TO BE 2x4 WALL STUDS @ 16" O.C., U.N.O., WITH DOUBLE TOP PLATES AND SINGLE BOTTOM PLATE. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND 7/16" OSB SHEATHING TO OVERLAP 1" BELOW.
- ALL LUMBER IN DIRECT CONTACT WITH FOUNDATION SHALL BE PRESSURE TREATED.
- REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
- ROOF VENTILATION OPTIONS (REFER TO PLANS):
 - VENTED - ROOF EAVES TO HAVE CONTINUOUS VENTED SOFFITS AND RIDGE VENTS (LENGTHS AS REQ'D.)
 - NON-VENTED - ATTIC AND CRAWL SPACES TO BE SEALED AND CONDITIONED WITH MECHANICAL VENTILATION AND HVAC. ROOF EAVES AND RIDGES TO BE NON-VENTED.



1 1ST FLOOR BRACED WALL PLAN
 SCALE: 1/4" = 1'-0"

1 2ND FLOOR BRACED WALL PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS		
#	DATE	DESCRIPTION

BUILDER NOTICE:
 IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.
 ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991. EMAIL: DHETRICK@NVISIONTEKBIM.COM

PROJECT NAME:
1201-1201.5 N 31ST ST.
 CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE
WIND BRACING
PLANS

DOCUMENT PHASE:
 PERMIT SET

PLOT DATE:
 4/2/2019
 1:39:46 PM

DRAWN BY:
 DUSTIN HETRICK

SCALE: SEE PLAN

SHEET
BW1.1
 12 OF 13

REVISIONS

#	DATE	DESCRIPTION

BUILDER NOTICE:

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. THE DESIGNER / DRAFTER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE DESIGNER / DRAFTER PRIOR TO CONSTRUCTION.

ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, L.L.C. CELL: (804) 372-0991. EMAIL: DHETRICK@NVISIONTEKBIM.COM

WIND CALCULATION SHEET USING THE CLASSIC METHOD (BASED ON THE 2012 IRC OR 2009 VRC)

WIND SPEED (MPH)		90		90		90		90		90			
BRACED WALL LINE		3		4		C		D					
STORY													
BRACED WALL PANEL METHOD		GB		GB		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G					
AVG BWL SPACING (ft)		14		14		50		50					
TABULAR REQUIRED (ft)		9.40		9.40		14.50		14.50					
ADJUSTMENT	EXPOSURE	B	1.00	B	1.00	B	1.00	B	1.00	B			
	EAVE-RIDGE HT (ft)	3.00	0.85	3.00	0.85	3.00	0.85	3.00	0.85				
	WALL HEIGHT (ft)	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95				
	# BWLs	2.00	1.00	2.00	1.00	2.00	1.00	2.00	1.00				
	OMIT INTERIOR GB	NO	1.00	NO	1.00	NO	1.00	NO	1.00		1.40		
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00	NO	1.00	NO	1.00		0.80		
METHOD GB FASTEN @ 4" o.c.	NO	1.00	NO	1.00	NO	1.00	NO	1.00		0.70			
REQUIRED BWP LENGTH (ft)		7.59		7.59		11.71		11.71					
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	
		1	SS-GB	4.00	DS-GB	48.00	CS-WSP	3.17	CS-WSP	2.50			
		2	SS-GB	6.00			CS-WSP	6.83	CS-WSP	3.10			
		3	SS-GB	2.00			CS-WSP	3.17	CS-WSP	4.83			
		4	SS-GB	2.00					CS-WSP	3.10			
		5							CS-WSP	2.50			
		7											
ACTUAL BWP LENGTH (ft)		14.00		48.00		13.17		16.03					
ACTUAL ≥ REQUIRED		YES		YES		YES		YES					
SPACE	BWPs ≤ 20' APART	YES		YES		YES		YES					
	Length of BWL (ft)	50		50		28		28					
# of BWPs	BWP 1 ≤ 10', 2 > 10'	YES		YES		YES		YES					
	BWP WITHIN 10' OF END	YES	YES	YES	YES	YES	YES	YES	YES				
ENDS	CONTINUOUS END CONDITION	1	5	1	1	1	1	1	1				
BWL COMPLIANCE PASS-FAIL		PASS		PASS		PASS		PASS					

created by Chuck Bajnai, phone (804) 717-6428

Version 7/23/2012

WIND CALCULATION SHEET USING THE CLASSIC METHOD (BASED ON THE 2012 IRC OR 2009 VRC)

WIND SPEED (MPH)		90		90		90		90		90			
BRACED WALL LINE		1		2		A		B					
STORY													
BRACED WALL PANEL METHOD		GB		GB		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G					
AVG BWL SPACING (ft)		14		14		50		50					
TABULAR REQUIRED (ft)		4.90		4.90		7.50		7.50					
ADJUSTMENT	EXPOSURE	B	1.00	B	1.00	B	1.00	B	1.00	B			
	EAVE-RIDGE HT (ft)	3.00	0.70	3.00	0.70	3.00	0.70	3.00	0.70				
	WALL HEIGHT (ft)	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95				
	# BWLs	2.00	1.00	2.00	1.00	2.00	1.00	2.00	1.00				
	OMIT INTERIOR GB	NO	1.00	NO	1.00	NO	1.00	NO	1.00		1.40		
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00	NO	1.00	NO	1.00		0.80		
METHOD GB FASTEN @ 4" o.c.	NO	1.00	NO	1.00	NO	1.00	NO	1.00		0.70			
REQUIRED BWP LENGTH (ft)		3.26		3.26		4.99		4.99					
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	
		1	SS-GB	12.00	DS-GB	48.00	CS-WSP	2.50	CS-WSP	2.50			
		2	SS-GB	6.00			CS-WSP	3.67	CS-WSP	3.17			
		3	SS-GB	2.00			CS-WSP	5.33	CS-WSP	5.00			
		4						CS-WSP	3.67	CS-WSP	3.17		
		5						CS-WSP	2.50	CS-WSP	2.50		
		7											
ACTUAL BWP LENGTH (ft)		20.00		48.00		17.67		16.34					
ACTUAL ≥ REQUIRED		YES		YES		YES		YES					
SPACE	BWPs ≤ 20' APART	YES		YES		YES		YES					
	Length of BWL (ft)	50		50		28		28					
# of BWPs	BWP 1 ≤ 10', 2 > 10'	YES		YES		YES		YES					
	BWP WITHIN 10' OF END	YES	YES	YES	YES	YES	YES	YES	YES				
ENDS	CONTINUOUS END CONDITION	1	1	1	1	1	1	1	1				
BWL COMPLIANCE PASS-FAIL		PASS		PASS		PASS		PASS					

created by Chuck Bajnai, phone (804) 717-6428

Version 7/23/2012

PROJECT NAME:
1201-1201.5 N 31ST ST.

CLIENT:
CENTER CREEK HOMES
1201-1201.5 N 31ST ST.
RICHMOND, VA, 23223

TITLE

WIND BRACING
SPREADSHEETS

DOCUMENT PHASE:

PERMIT SET

PLOT DATE:

4/2/2019
1:39:48 PM

DRAWN BY:

DUSTIN HETRICK

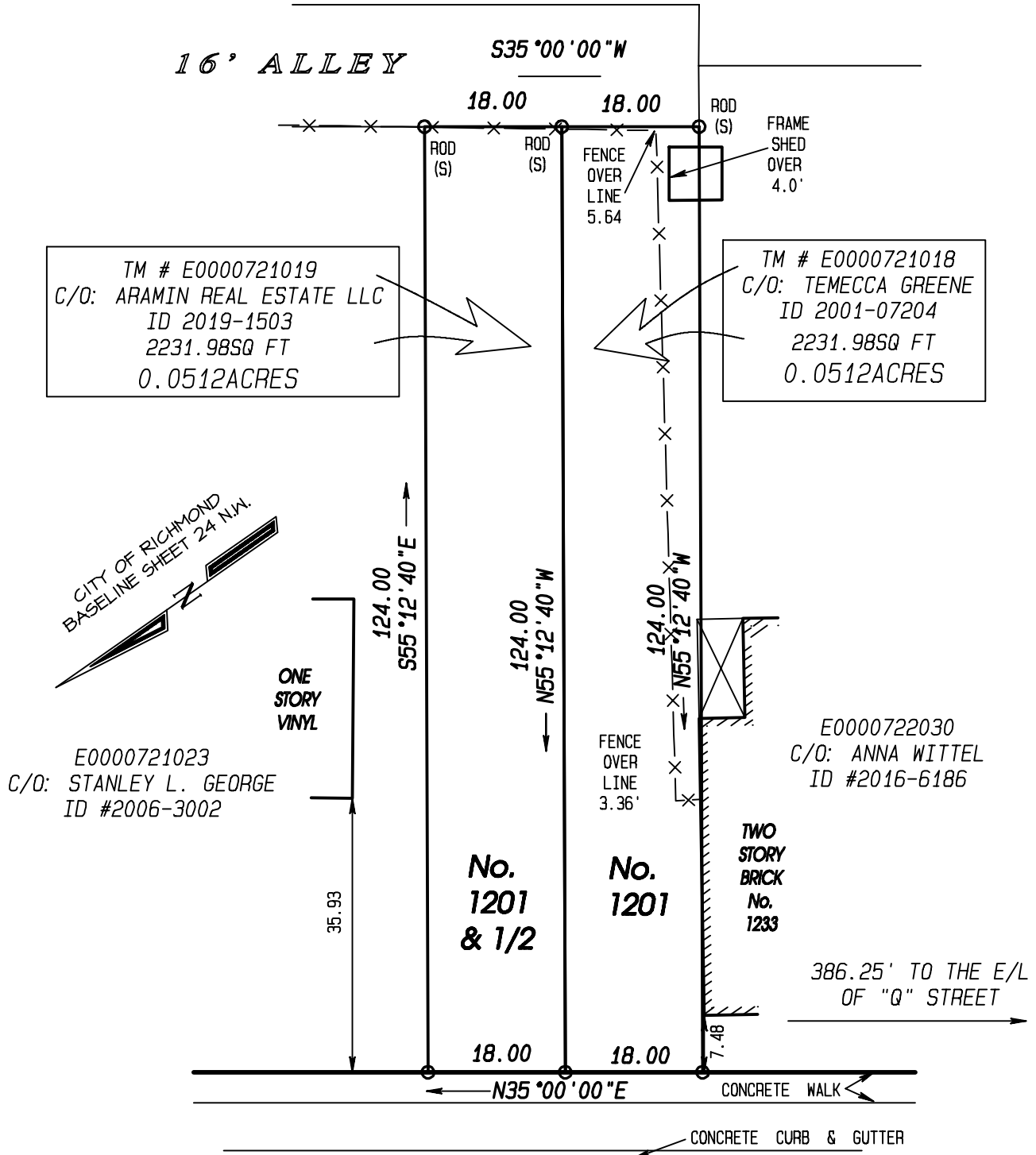
SCALE: SEE PLAN

SHEET

BW1.2

13 OF 13

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".



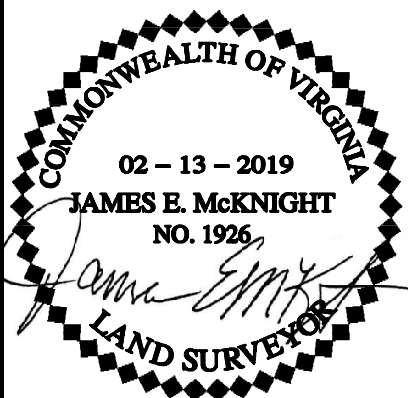
TH

N. 31 STREET

*PLAT SHOWING IMPROVEMENTS
ON No. 1201 AND 1201 & 1/2
IN THE CITY OF RICHMOND, VIRGINIA.*

THIS IS TO CERTIFY THAT ON FEBRUARY 13, 2019, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS SURVEY IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS.

SCALE: 1" = 20'



McKNIGHT & ASSOCIATES, P.C.

LAND SURVEYORS PLANNERS

201 TWIN RIDGE LANE
RICHMOND, VIRGINIA 23235
TELEPHONE (804) 320-2646

JOB NUMBER: 92052901