



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

**PROPERTY** (location of work)

Address 428 N. Boulevard  
Historic district Boulevard

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

**APPLICANT INFORMATION**

Name Steven Blashfield  
Company Glave & Holmes Architecture  
Mailing Address 2101 E. Main Street  
Richmond, VA 23223

Phone 804-649-9303  
Email sblashfield@glaveandholmes.com  
Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify):

**OWNER INFORMATION** (if different from above)

Name Virginia Museum of History & Culture  
Mailing Address 428 N. Arthur Ashe Boulevard  
Richmond, VA 23220

Company \_\_\_\_\_  
Phone 804 340-1800  
Email jbosket@virginiahistory.org

**PROJECT INFORMATION**

Review Type:  Conceptual Review  Final Review

Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

The project includes design of two meeting room additions to the existing Library wing (West Elevation) on top of an existing roof structure, design for a new vehicle drop off, redesign of the parking area and green space on the west side of the property, and minor changes to the South Elevation include railing and door modifications. This work will be constructed in conjunction with additional interior renovations to the Library, galleries, offices and public spaces. No changes to the historic East Facade are proposed. +

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and applica\_\_\_\_\_ zoning.

Signature of Own

Date 5/8/2020



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

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**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** \_\_\_\_\_

### BUILDING TYPE

- |  |  |
|--|--|
| <input type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence  | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building     | <input type="checkbox"/> other               |
| <input type="checkbox"/> mixed use building      |  |
| <input type="checkbox"/> institutional building  |  |

### ALTERATION TYPE

- |  |   |
|--|---|
| <input type="checkbox"/> addition                | <input type="checkbox"/> roof             |
| <input type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

### WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

**PHOTOGRAPHS** place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

**DRAWINGS** (refer to required drawing guidelines)

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> current site plan      | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides)   |
| <input type="checkbox"/> proposed site plan     | <input type="checkbox"/> list of proposed window and door  | <input type="checkbox"/> proposed elevations (all sides)  |
| <input type="checkbox"/> current floor plans    | <input type="checkbox"/> current roof plan                 | <input type="checkbox"/> demolition plan                  |
| <input type="checkbox"/> proposed floor plans   | <input type="checkbox"/> proposed roof plan                | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" |  |   |

# Virginia Museum of History & Culture

## Commission for Architectural Review (CAR) Application Summary

May 11, 2020

The Virginia Museum of History & Culture is planning to conduct renovations and some expansion to their existing facility. These changes are intended to continue to improve the overall visitor experience, the care for collections and to meet the long range mission of the VMHC to be stewards of the history of the Commonwealth. VMHC has undergone a series of modifications over the years that have added components to the perimeter of the structure. This proposed expansion proposes modifications that are entirely within the existing building footprint. A series of interior changes include, upgrades to the museum entry hall, relocation of the museum shop, development of a new café space, renovations to the Library facilities, gallery improvements, and renovations to staff offices. Additional upgrades will include re-roofing a portion of the existing structure, and relocating a roof in the Great Hall (rear entry hall) that is not visible from the exterior. None of the proposed changes are located in the historic core of the structure known as the Battle Abbey (except some minor renovations to service areas in the basement level) and no changes are proposed to the East Façade or the element of the facility visible from Arthur Ashe Boulevard.

The following exterior modifications are proposed:

### South Elevation:

- An existing portion of glass wall in the 2006 wing, will be converted to glass panel and moved to align with the metal panel wall above to increase interior gallery space. At this same location a portion of exterior metal rail will be removed and replaced with limestone to match the existing façade.
- A metal railing over the South entry doors will be replaced with glass railing to be consistent with other railings in this proposal.
- An exterior door will be added to the South elevation to allow exterior access to the new café space

### West Elevation

- Two second floor additions will be constructed on the 1990 library wing on top of the existing single story portion of the building to construct new meeting rooms flanking each side of the library. The additions will be constructed of limestone and glass and have a similar appearance to the 2012 entry expansion.
- The portion of the roof between the two additions will be converted to an exterior terrace. New glass handrails and a double stair will be added in front of the existing façade to allow for egress. Both stairs (two means of egress) are required by the building code.
- An extension of the outdoor covered breezeway will be constructed to provide a covered vehicle drop off for guests arriving at the facility.

### North Elevation

- The proposed meeting room additions will be visible from the north elevation.
- A portion of metal rail over the education wing entry will be converted to glass railing.

### Site

- The museum has suffered from limited parking. Therefore the existing parking area is proposed to be redesigned to accommodate a 50% increase in the number of vehicles.
- The existing central lawn that is surrounded by parking will be relocated adjacent to the building to provide more functional green space.
- A new drop off circle will be established.
- Landscaping will be revised to reflect to the new proposed configuration.
- Landscape and site changes are limited to the Western half of the property – no landscape changes are proposed to the east portion of the site facing Arthur Ashe Boulevard.

### Building Description

The VMHC was originally constructed in 1911 as a memorial. The memorial was expanded in the 1920s. In the 1950s the memorial was moved under the control of the Virginia Historical Society. Since that time there have been four major expansions/modifications to the facility in 1990, 2000, 2006, and 2012. The proposed renovations primarily affect the 1990, 2006 and 2012 portions of the building.

### Materials

The proposed exterior materials will be in keeping with the existing exterior materials. Limestone will be used for the proposed additions to match the existing. No materials restoration work is proposed, and no historic materials are anticipated to be affected by the work.



East Façade – Arthur Ashe Boulevard



North Façade (Area of Proposed Work)



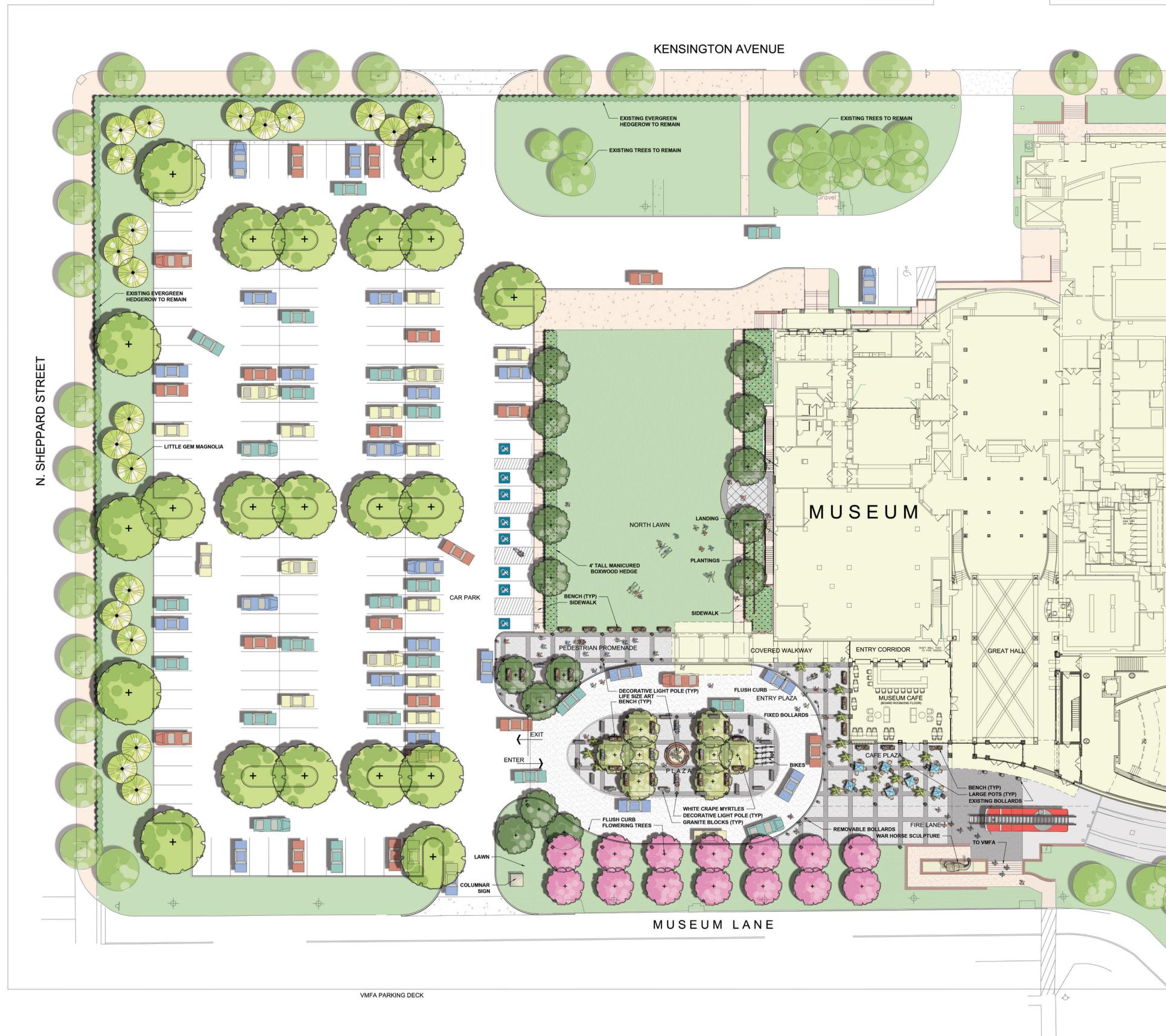
West Façade

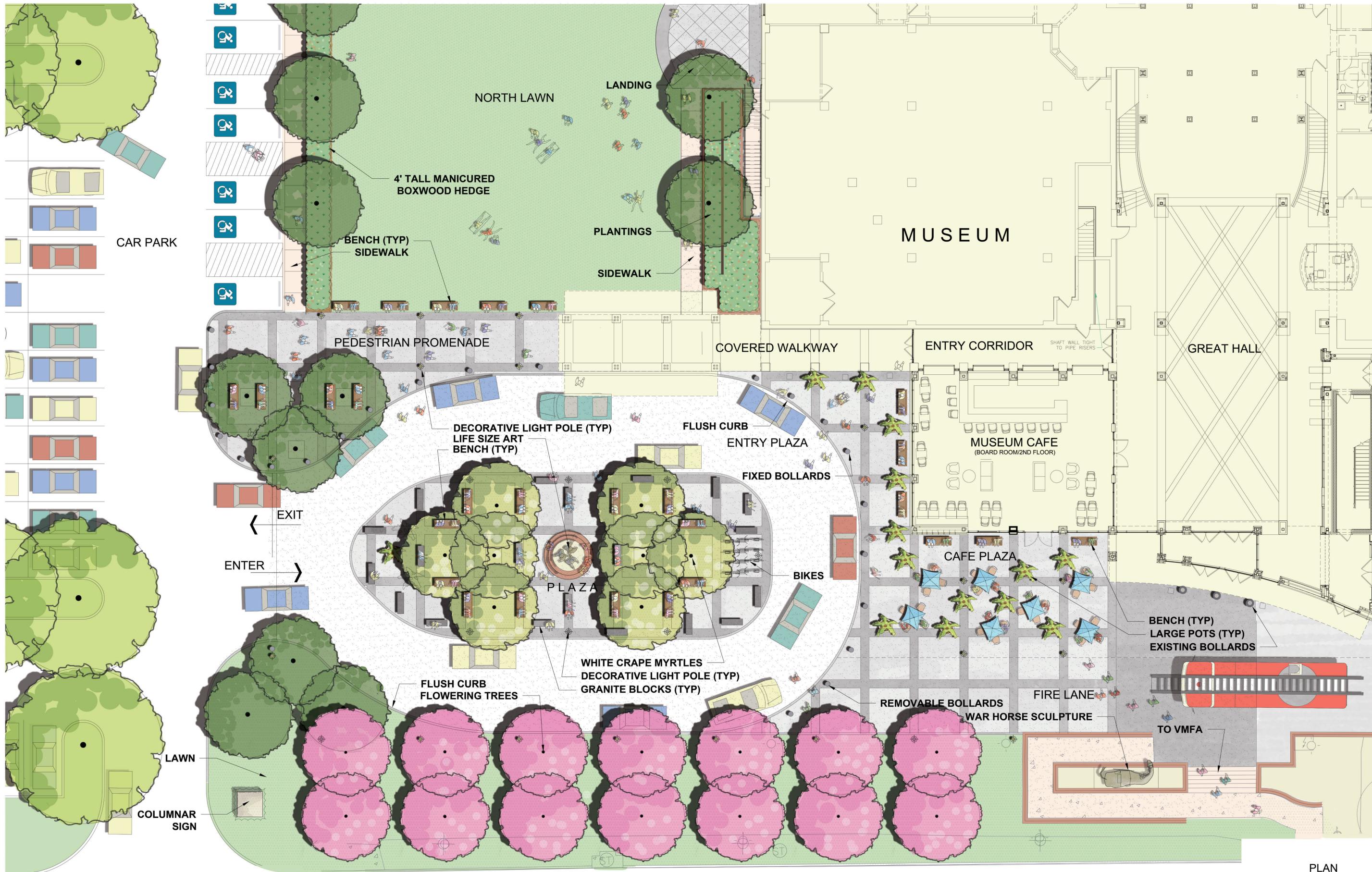


South Façade (Portion)



South Façade (Portion)

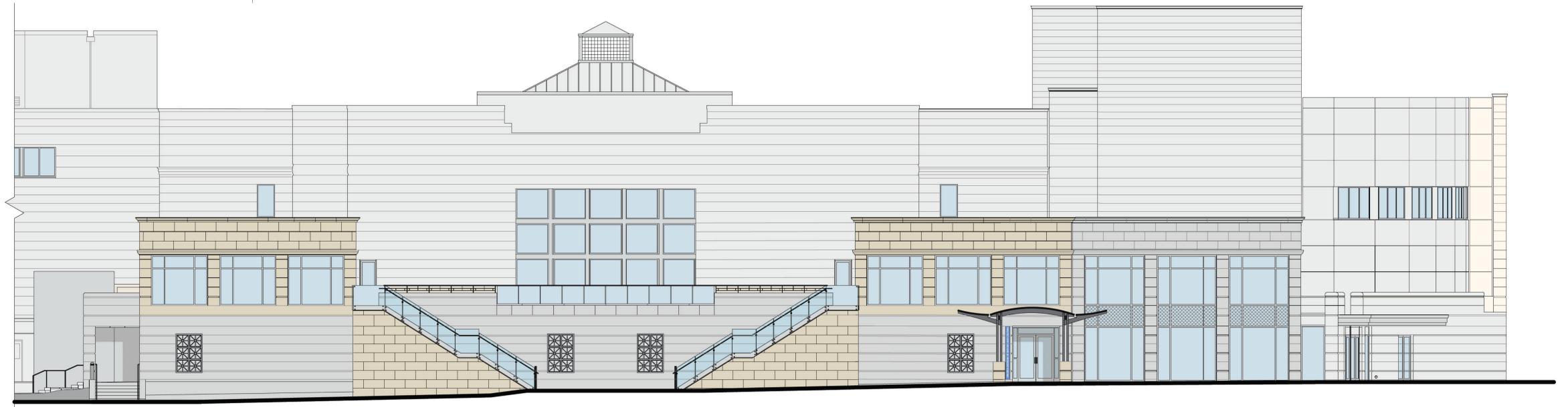




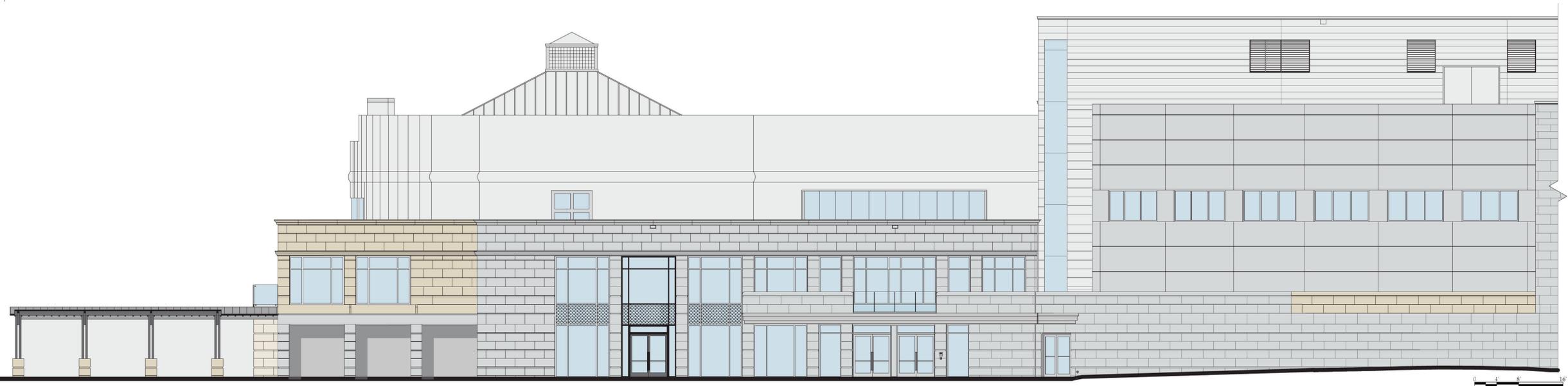
North Elevation

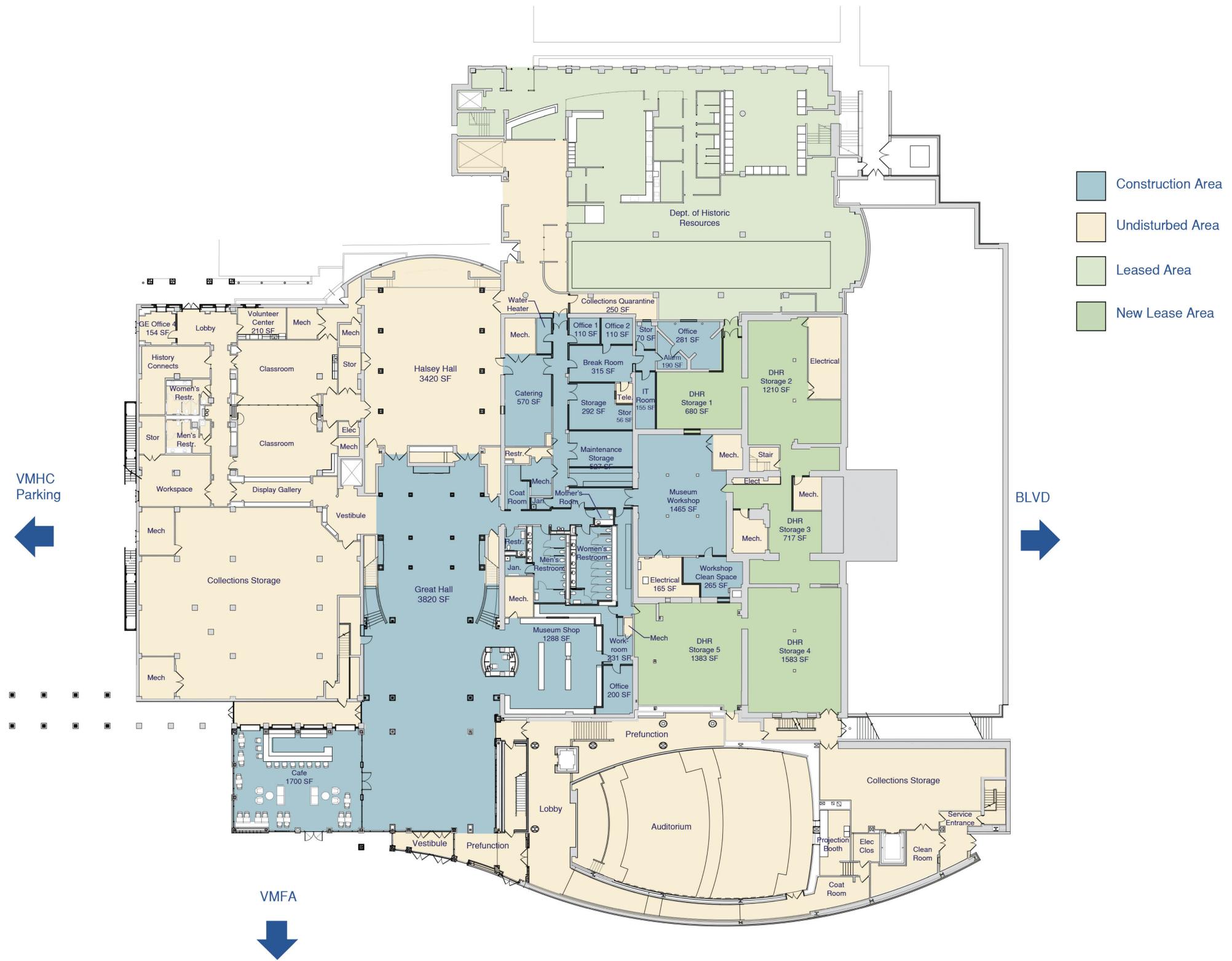


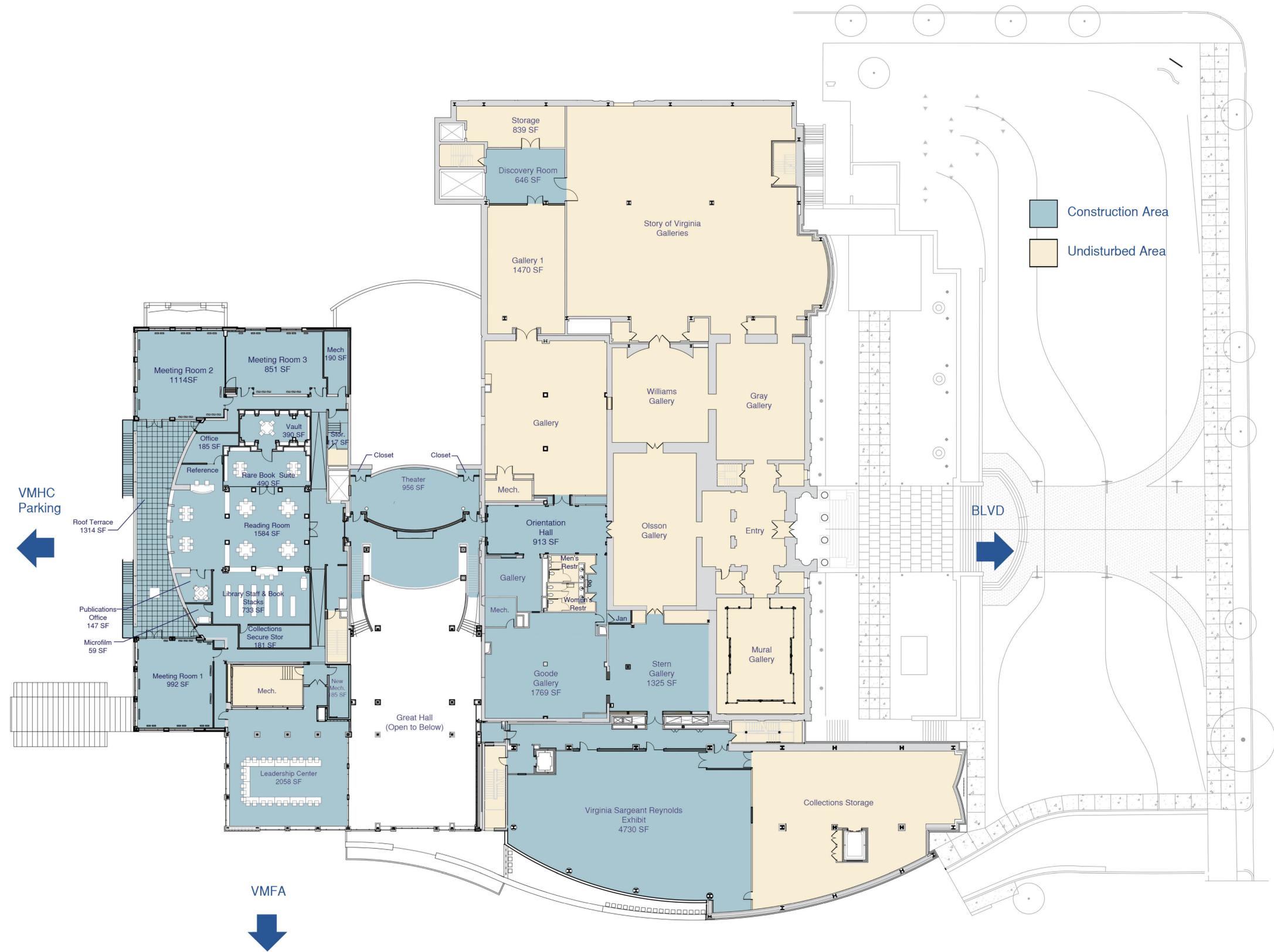
West Elevation



South Elevation

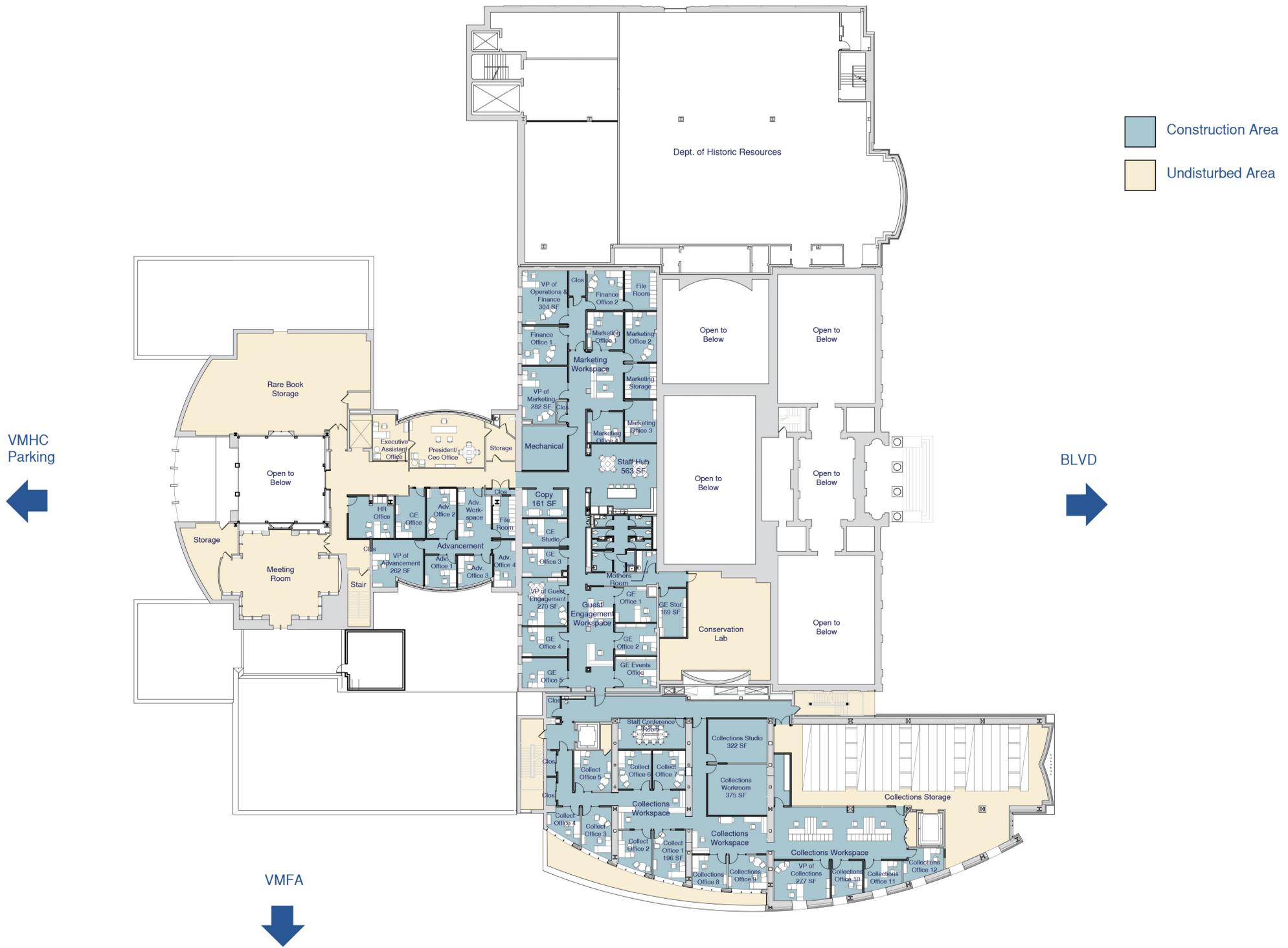






Construction Area  
Undisturbed Area







Existing South Elevation



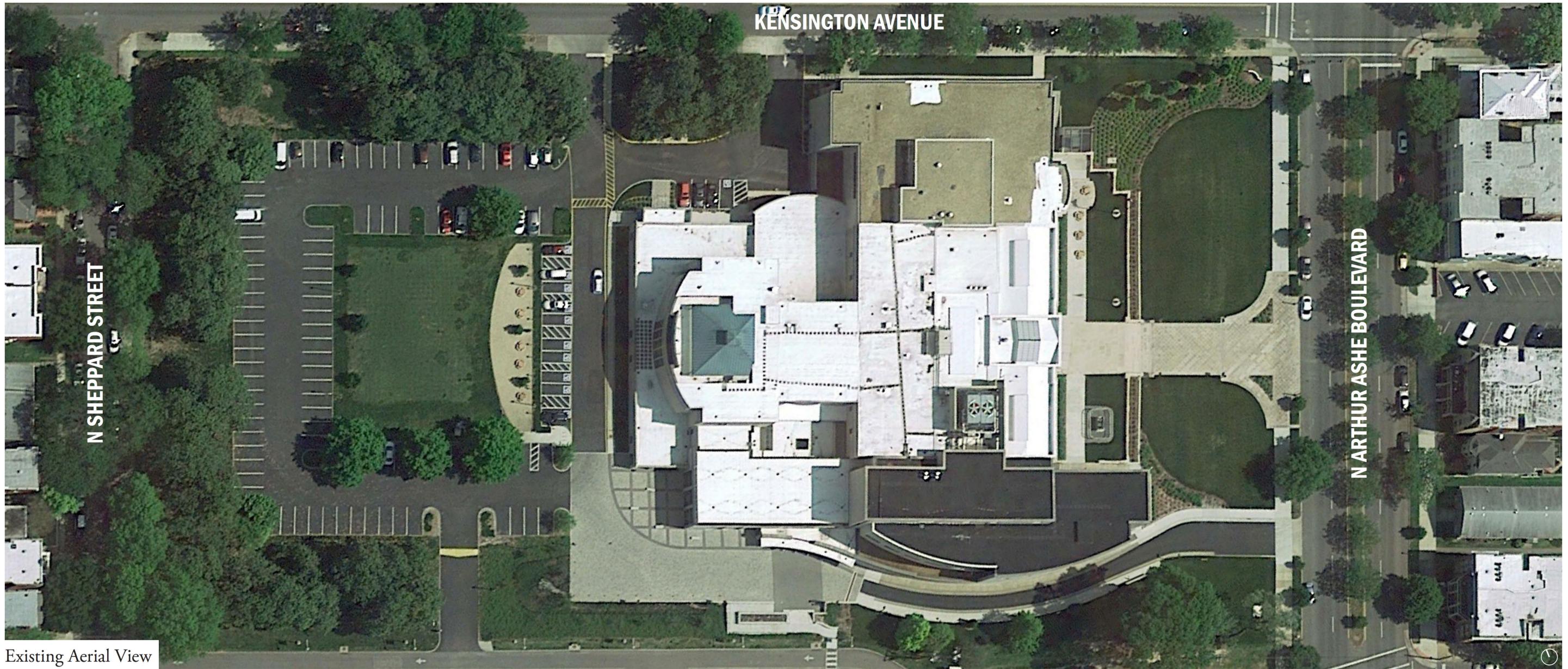
Existing South Elevation (con't)



Existing West Elevation



Existing West Elevation (con't)



Existing Aerial View



SEAL  
**NOT FOR CONSTRUCTION**

**PROJECT NUMBER**  
M19064

**DATE**  
March 9, 2020

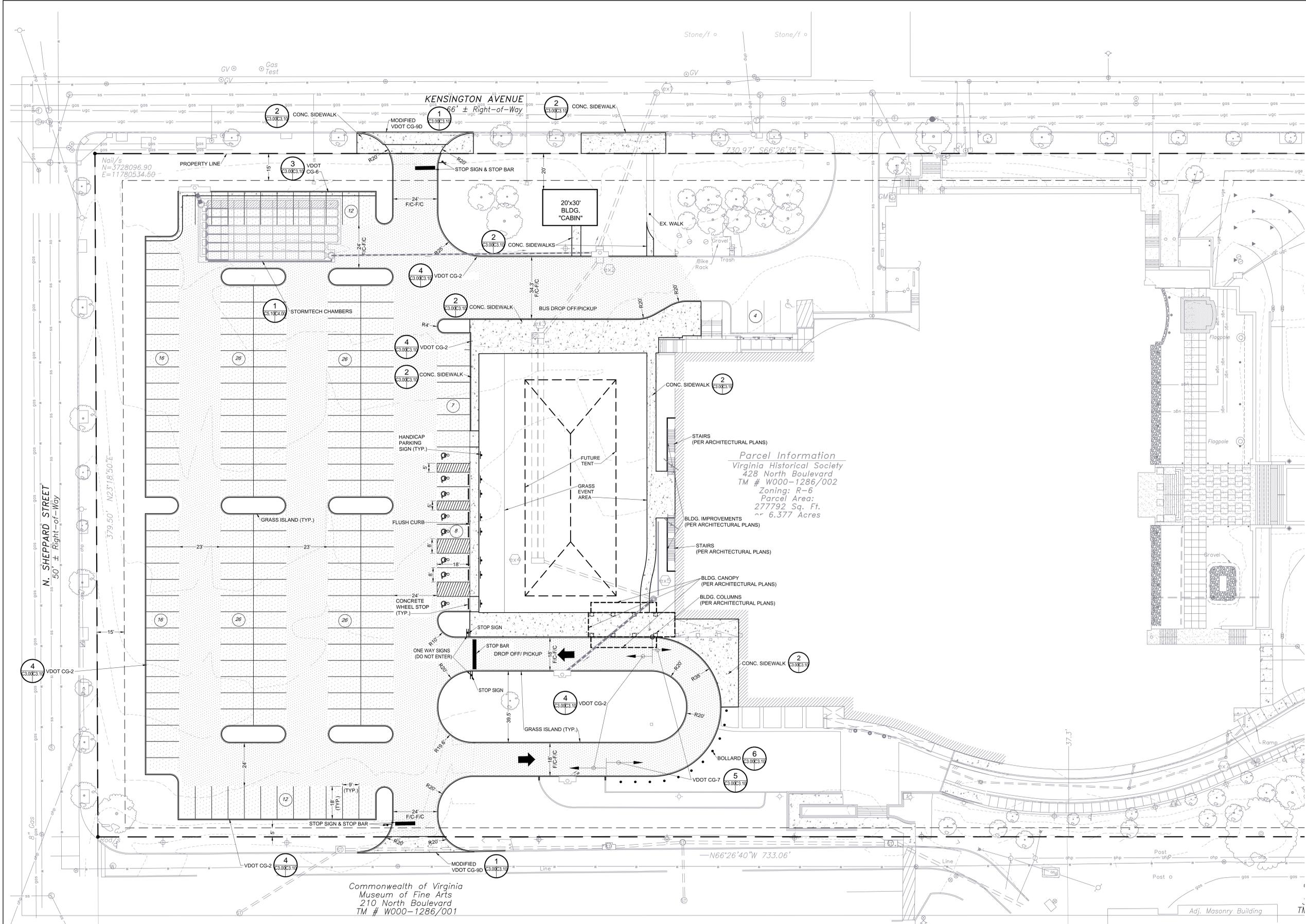
**DRAWN BY:** CHECKED BY:

**REVISIONS**

NO.	DATE	DESCRIPTION

**SHEET TITLE**  
SITE LAYOUT

**SHEET NUMBER**  
C3.00



**Parcel Information**  
Virginia Historical Society  
428 North Boulevard  
TM # W000-1286/002  
Zoning: R-6  
Parcel Area:  
277792 Sq. Ft.  
~ 6.377 Acres

Commonwealth of Virginia  
Museum of Fine Arts  
210 North Boulevard  
TM # W000-1286/001

- PARKING LOT NOTES:**
- CURB RETURNS ARE 5' RADIUS (UNLESS OTHERWISE NOTED)
  - GRASS ISLANDS 10' (UNLESS OTHERWISE NOTED)
  - BOLLARDS SHOWN ARE 8' O.C.

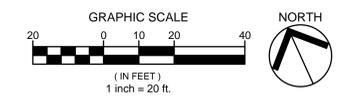
**PARKING SCHEDULE**

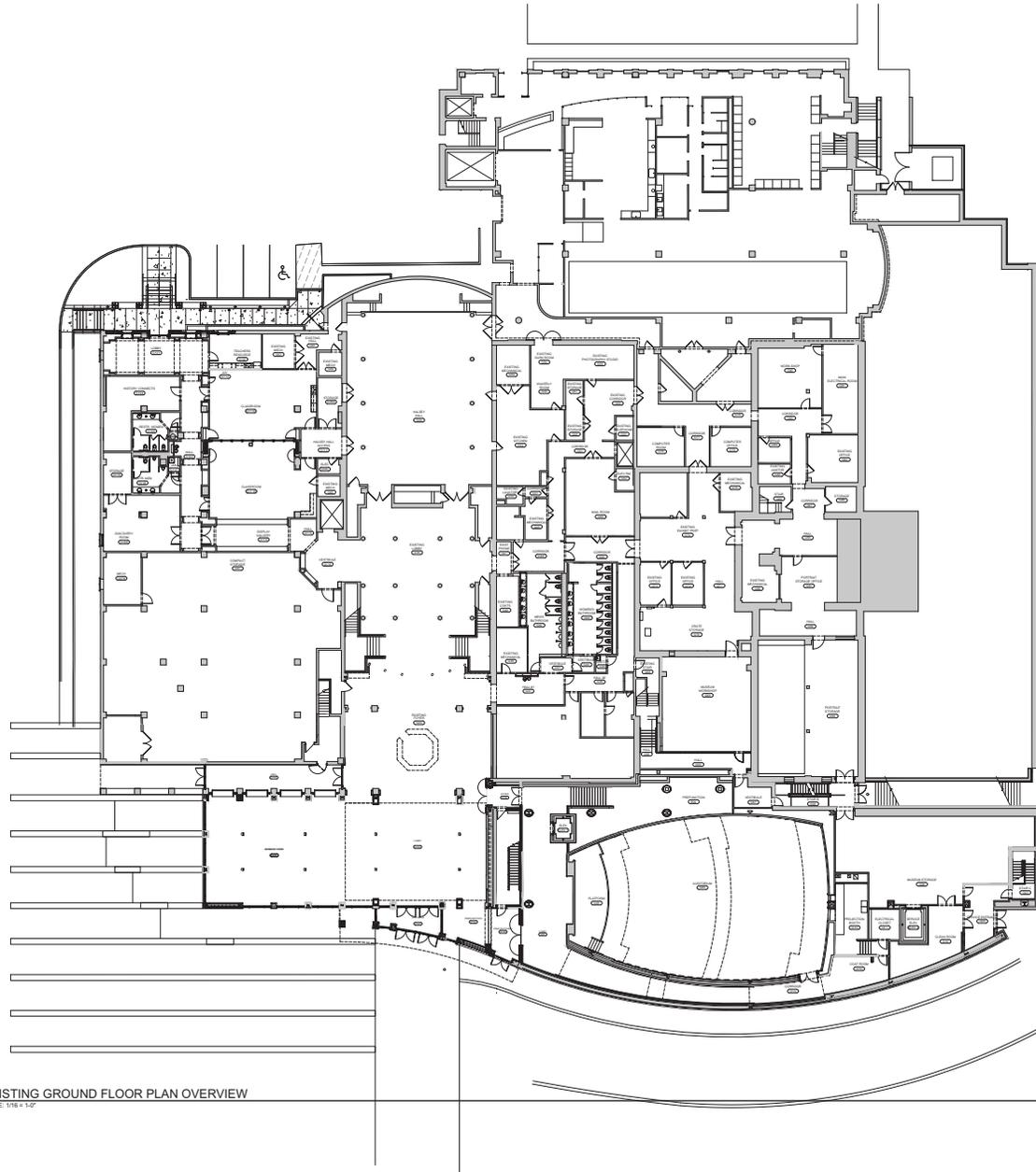
EXISTING PARKING	113 SPACES (11 H.C. SPACES INCLUDED)
REQUIRED PARKING	113 SPACES X 1.5 = 169 SPACES
PROPOSED PARKING	179 SPACES (9 H.C. SPACES INCLUDED)

- NOTES:**
- PARKING LOT LIGHTING REQUIRED BY THE CITY, BUT NOT SHOWN
  - ALL STANDARD PARKING SPACES ARE 9'x18'
  - ALL VAN ACCESSIBLE H.C. SPACES ARE 8'x18'

**HATCH LEGEND**

[Hatch Pattern]	STANDARD DUTY ASPHALT PAVEMENT (2" SM 9.5A; 6" VDOT 21-B STONE)
[Hatch Pattern]	HEAVY DUTY ASPHALT PAVEMENT (2.5" SM 9.5A ASPHALT; 4" BM 25.0 ASPHALT; 8" VDOT 21B STONE)





**EX1.00** EXISTING GROUND FLOOR PLAN OVERVIEW  
SCALE: 1/16" = 1'-0"



- CONSULTANTS
- STRUCTURAL ENGINEER**  
LYNCH MYKNS STRUCTURAL ENGINEERS  
1503 SANTA ROSA ROAD, SUITE 210  
RICHMOND, VIRGINIA 23229  
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  - MEP/FA/SP ENGINEER**  
ENGINEERS PLUS  
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RICHMOND, VIRGINIA 23228  
T 804-501-0845 F 804-501-0846
  - CIVIL ENGINEERING**  
DRAPER ADEN ASSOCIATES  
1035 WILMER AVE., SUITE 100  
RICHMOND, VA 23227  
T 804-264-2228 F 804-264-8773
  - LANDSCAPE ARCHITECT**  
HG DESIGN STUDIO  
5701 GROVE AVENUE  
RICHMOND, VA 23226  
T 804-740-7500 F ...
  - LIGHTING CONSULTANT**  
LAW PARTNERS  
3171 BABCOCK BOULEVARD, SUITE 200  
PITTSBURGH, PA 15237  
T 617-354-4502 F ...

SEAL

100% SCHEMATIC DESIGN

PROJECT NUMBER  
**18083**

DATE  
**October 18, 2019**

DRAWN BY: CHECKED BY:

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE  
**EXISTING (2018) GROUND FLOOR PLAN**

SHEET NUMBER  
**EX1.00**

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SEAL  
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PROJECT NUMBER  
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DATE  
**October 18, 2019**

DRAWN BY: CHECKED BY:

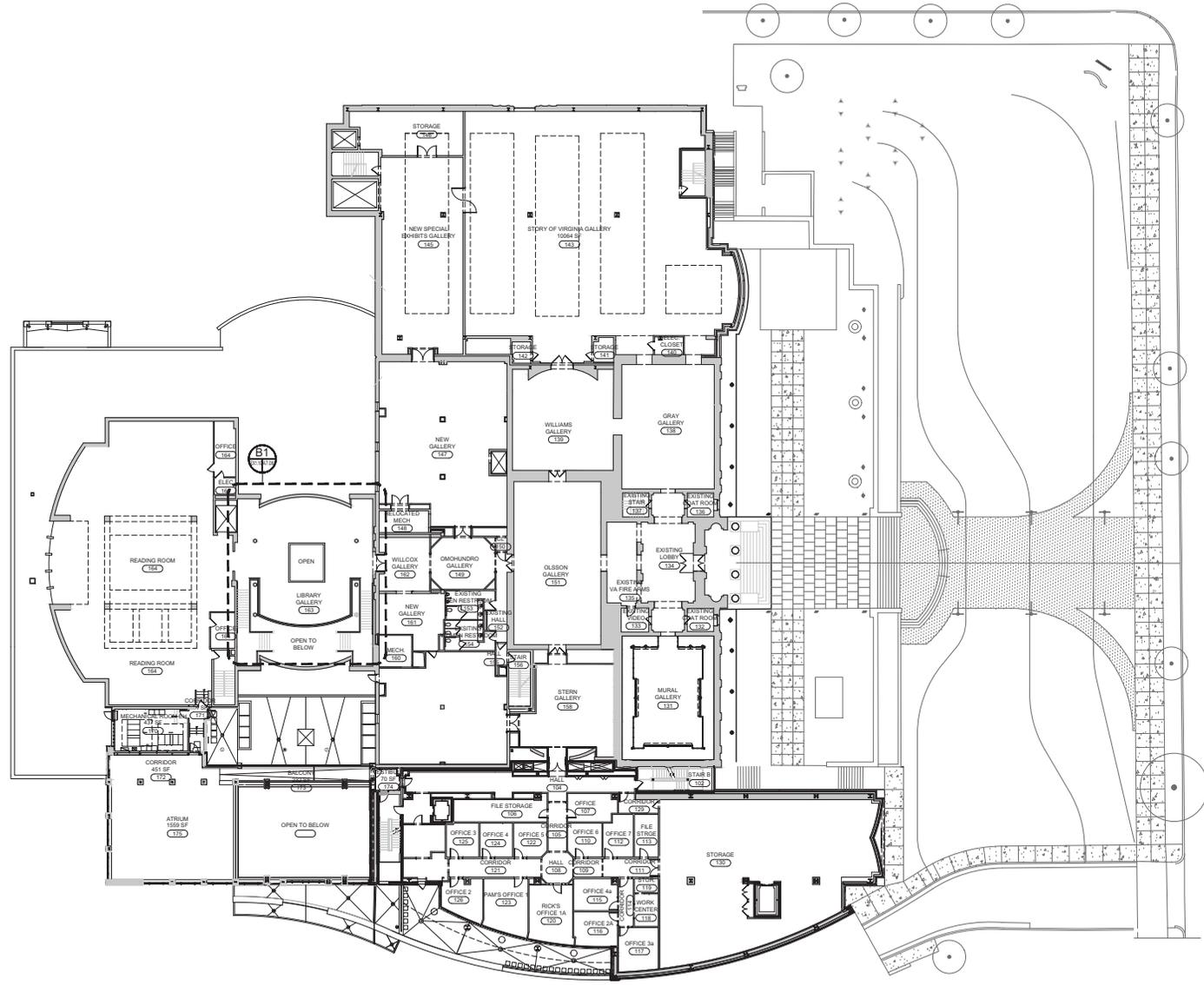
REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE  
**EXISTING (2018) FIRST FLOOR PLAN**

SHEET NUMBER  
**EX1.10**

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**EX1.10 EXISTING FIRST FLOOR PLAN OVERVIEW**  
SCALE: 1/16" = 1'-0"



SEAL  
*100% SCHEMATIC DESIGN*

PROJECT NUMBER  
**18083**

DATE  
**October 18, 2019**

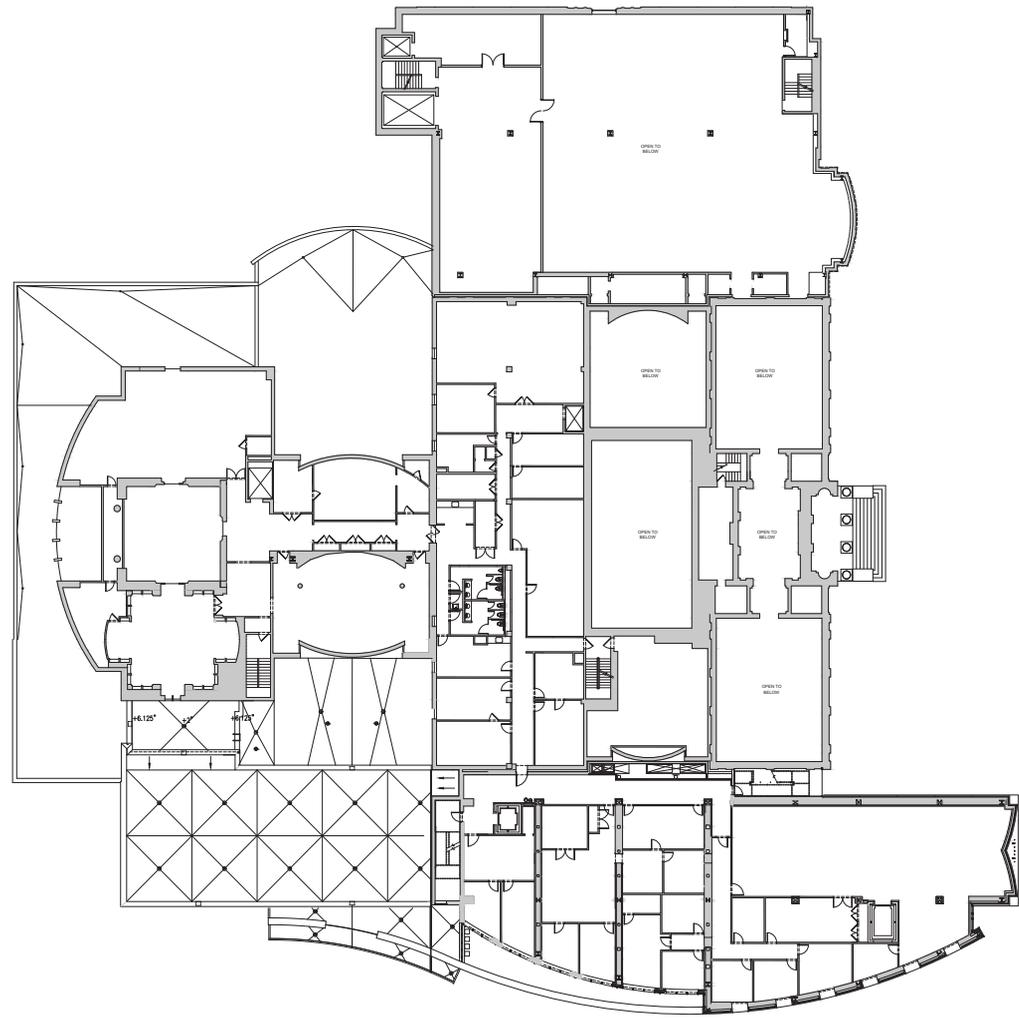
DRAWN BY: CHECKED BY:

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE  
**EXISTING (2018)  
SECOND FLOOR  
PLAN**

SHEET NUMBER  
**EX1.20**



**EX1.20** EXISTING SECOND FLOOR PLAN OVERVIEW  
SCALE: 1/16" = 1'-0"



SEAL  
50% CONSTRUCTION DOCUMENTS PROGRESS PRINT

PROJECT NUMBER  
18083

DATE  
May 08, 2020

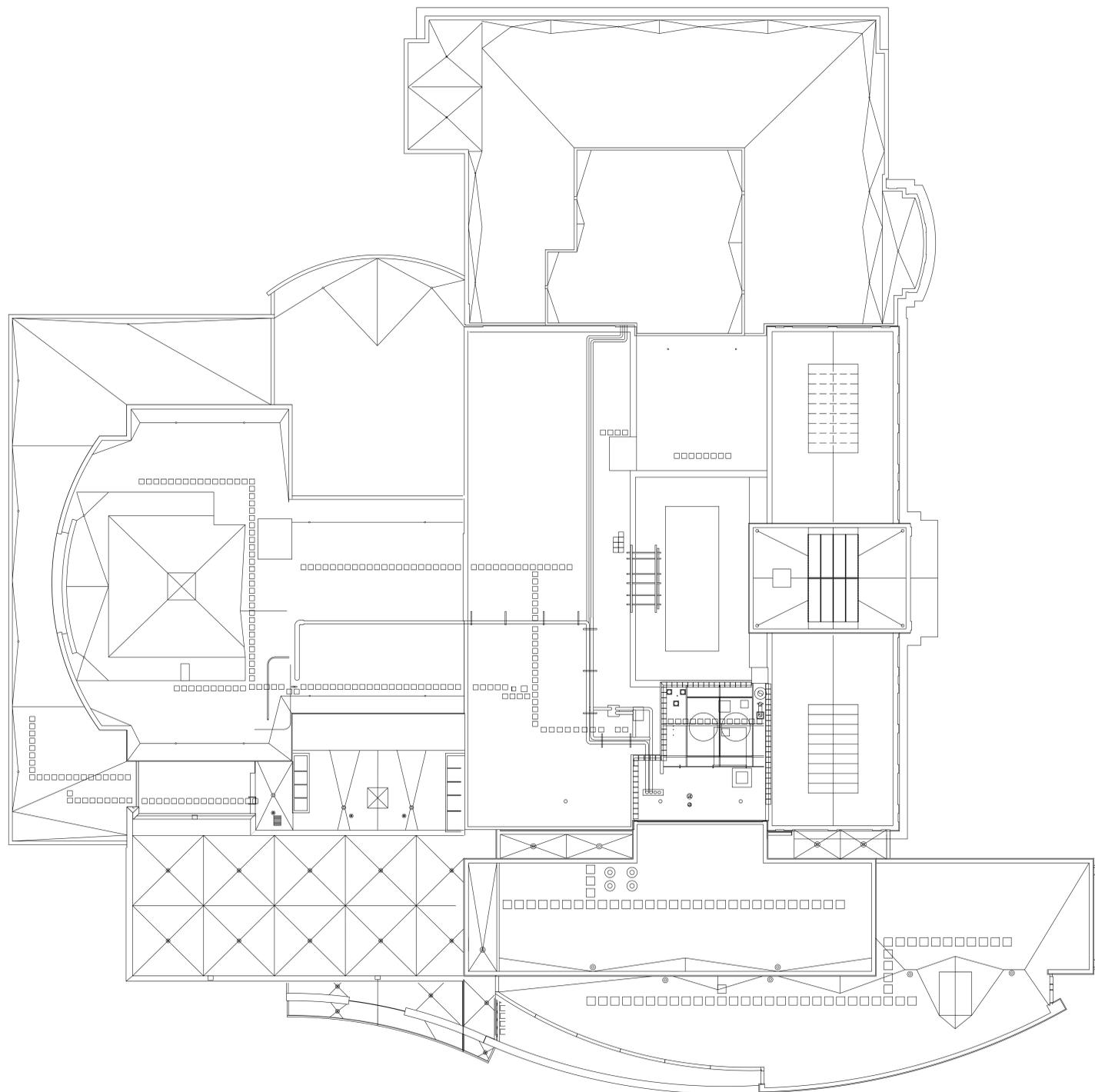
DRAWN BY: CHECKED BY:

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE  
EXISTING (2018)  
ROOF PLAN

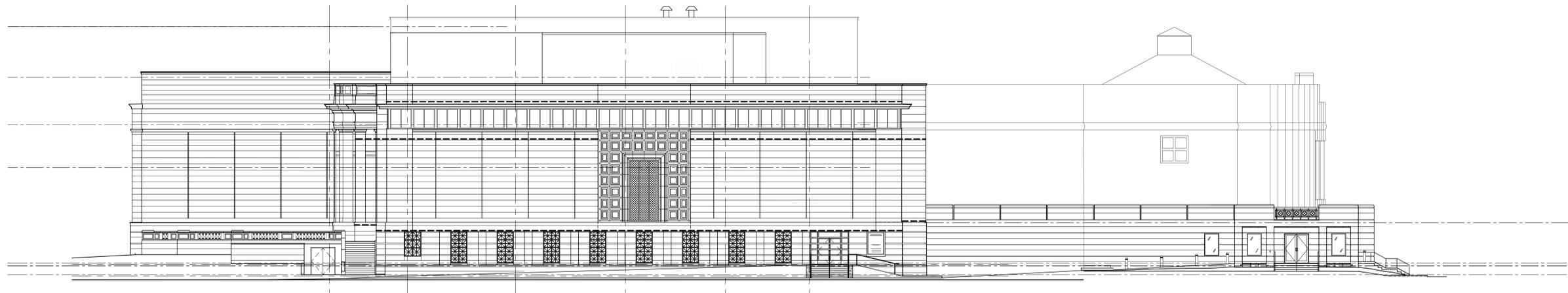
SHEET NUMBER  
EX1.30



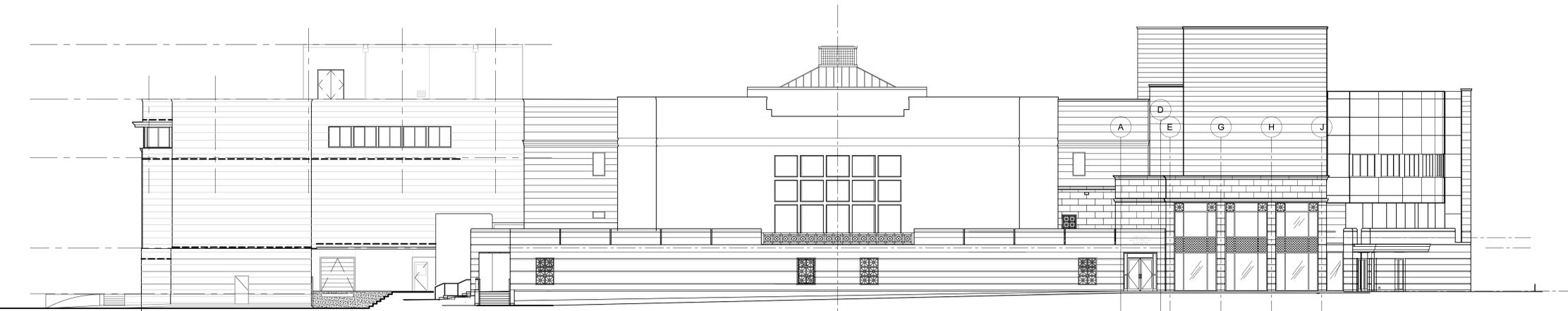
EX1.3 EXISTING ROOF PLAN OVERVIEW  
EX1.3, EX1.3 SCALE: 1/16" = 1'-0"



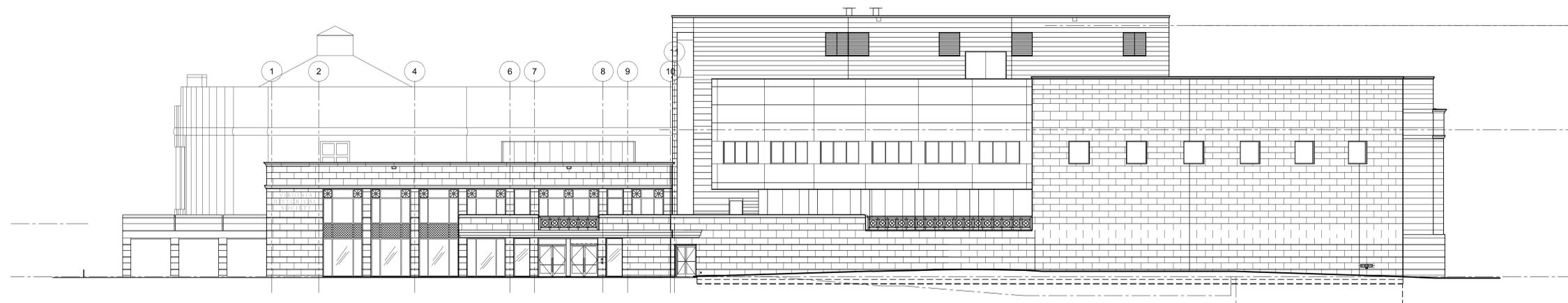
REVISIONS		
NO.	DATE	DESCRIPTION



**D1** NORTH ELEVATION  
EX2.10/EX2.10 SCALE: 3/32" = 1'-0"



**C1** WEST ELEVATION  
EX2.10/EX2.10 SCALE: 3/32" = 1'-0"



**A1** SOUTH ELEVATION  
EX2.10/EX2.10 SCALE: 3/32" = 1'-0"

GENERAL NOTE:  
ALL EXISTING COLUMNS TO REMAIN UNO.

**DEMOLITION SYMBOL LEGEND**

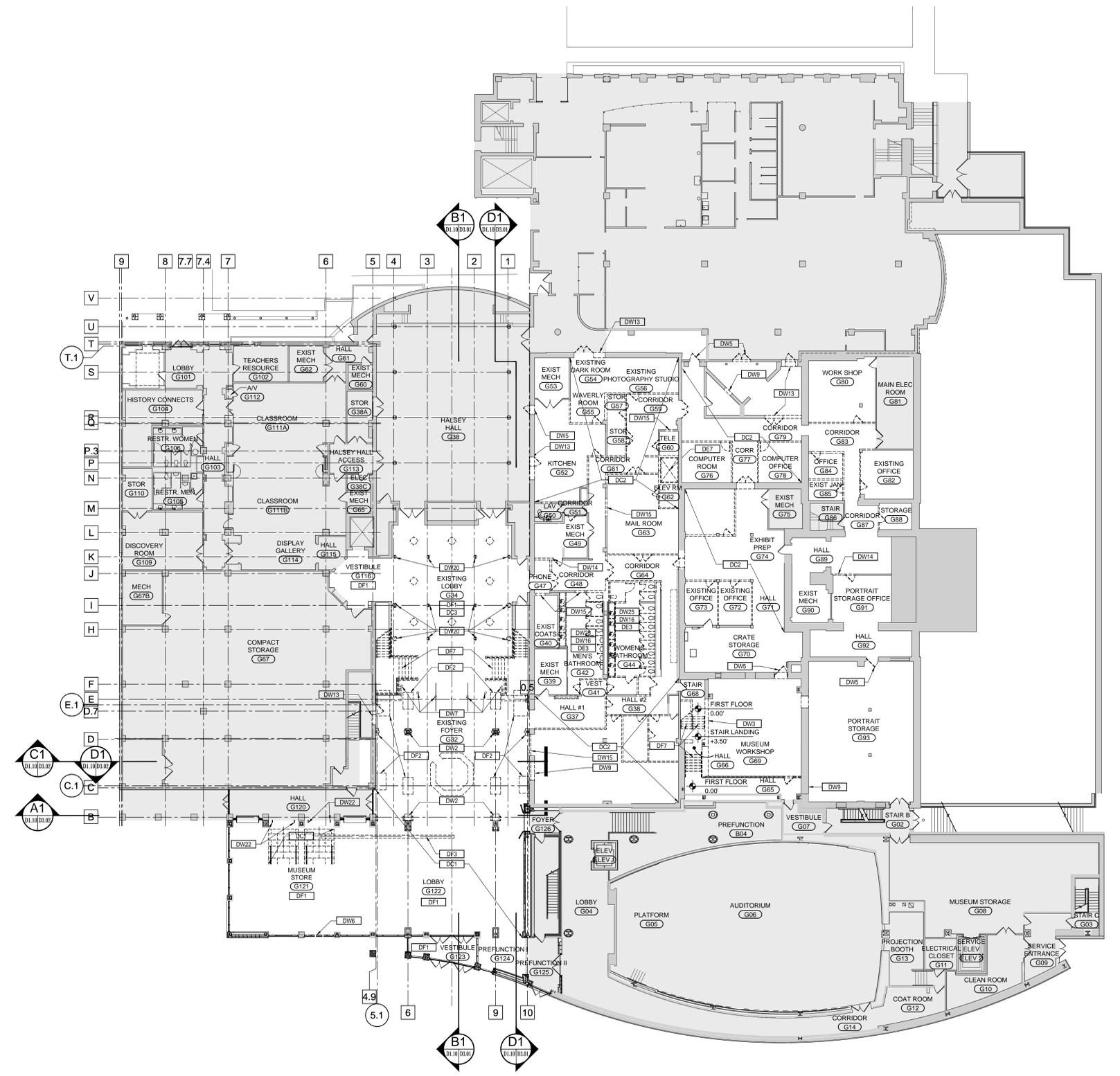
	EXISTING BUILDING AND RELATED FOUNDATIONS AND FOOTINGS TO BE REMOVED
	EXISTING TO BE RENOVATED WITH SELECTIVE DEMOLITION
	EXISTING WALL TO REMAIN WITHIN LIMIT OF RENOVATION
	EXISTING TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR AND DOOR FRAME TO BE REMOVED
	KEYNOTE W/O ARROWS APPLIES TO ENTIRE ROOM
	PORTION OF CONC SLAB OR CEILING TO BE REMOVED
	EXTENT OF WORK
	2 HOUR FIRE WALL
	2 HOUR FIRE BARRIER
	1 HOUR FIRE BARRIER

**WORK AREA LEGEND**

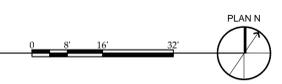
	EXISTING BUILDING UNDISTURBED AREA
	WORK AREA

**DEMOLITION KEY NOTES**

FLOOR/ STAIRS	
DF1	REMOVE SLATE TILES
DF2	REMOVE CONCRETE SLAB ON GRADE FOR FOUNDATIONS
DF3	REMOVE CONCRETE SLAB ON GRADE FOR PLUMBING
DF4	REMOVE RECESSED FLOOR EQUIPMENT
DF5	REMOVE CONCRETE FLOORS
DF6	REMOVE PORTION OF CONCRETE FLOORS FOR DUCTWORK
DF7	REMOVE STAIR AND GUARD RAIL OR JUST GUARD RAIL
DF8	REMOVE FOOTING
DF9	REMOVE ELEVATED CORRIDOR
DF10	REMOVE KNEE WALL AND RAILING
DF11	REMOVE PORTION OF GUARD RAIL
DF12	REMOVE CARPET, CARPET TILES OR VCT
WALL AND WALL EMBEDDED ITEMS	
DW1	REMOVE STONE CLADDING
DW2	REMOVE CONCRETE COLUMNS
DW3	REMOVE MASONRY WALL
DW4	REMOVE PARTITION WALLS
DW5	REMOVE DOORS AND DOOR FRAMES
DW6	REMOVE EXTERIOR GLAZING
DW7	REMOVE STEEL COLUMNS
DW8	REMOVE PORTION OF MASONRY WALL FOR DUCTWORK
DW9	REMOVE PORTION OF MASONRY WALL FOR DOORS
DW10	REMOVE DOOR, FRAME TO REMAIN
DW11	REMOVE ALL WALL MOUNTED ELECTRICAL ITEMS
DW12	REMOVE EXTERIOR WALL & CLADDING OR EIFS
DW13	REMOVE DOOR, FRAME AND PORTION OF MASONRY WALL
DW14	REMOVE DOOR, FRAME AND PORTION OF PARTITION WALL
DW15	REMOVE PORTION OF PARTITION WALL FOR DOOR
DW16	REMOVE TOILET PARTITION
DW17	REMOVE EXHIBITION CASES
DW18	REMOVE PORTION OF MASONRY WALL FOR WINDOW
DW19	REMOVE CURVED DOOR WALL
DW20	REMOVE COLUMN CLADDING
DW21	REMOVE ELEVATOR FRAME AND DOORS AT ROOM SIDE
DW22	REMOVE PORTION OF EXHIBITION CASES
DW23	REMOVE INTERIOR WINDOW
DW24	REMOVE WOOD VENEER
DW25	REMOVE TILES AT WALL AND/OR FLOORS
EQUIPMENT	
DE1	REMOVE HVAC EQUIPMENT AND ASSOCIATED PIPING
DE2	REMOVE ALL ELECTRICAL EQUIPMENT
DE3	REMOVE PLUMBING EQUIPMENT
DE4	REMOVE EXISTING DOWNSPOUT
DE5	REMOVE FLASHING, JOINTS, AND ATTACHMENTS
DE6	REMOVE HVAC EQUIPMENT
DE7	REMOVE ELEVATOR
CEILING	
DC1	REMOVE GWB CEILING & MEP EQUIPMENT
DC2	REMOVE APC CEILING & MEP EQUIPMENT
DC3	REMOVE ALL CEILING LIGHTING
DC4	REMOVE ALL CEILING ELECTRICAL EQUIPMENT
ROOF	
DR1	REMOVE SINGLE PLY MEMBRANE AND INSULATION
DR2	REMOVE CONCRETE ROOF SLAB
DR3	REMOVE SKYLIGHTS
DR4	REMOVE MTL STUDS CONSTRUCTION BELOW ROOF
DR5	REMOVE PORTION OF EXISTING ROOF
DR6	REMOVE DECORATIVE GUARD RAIL
DR7	REMOVE ROOFTOP EQUIPMENT
DR8	REMOVE ROOF CURB
DR9	REMOVE TOP PORTION OF PARAPET
DR10	REMOVE CAP STONE
DR11	REMOVE LADDER
DR12	REMOVE HVAC ENCLOSURE
DR13	REMOVE ROOF DRAIN



D1.10 FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/16" = 1'-0"



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Richmond, Virginia 23223  
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W www.glaveandholmes.com

PROJECT TITLE  
VIRGINIA MUSEUM OF HISTORY & CULTURE - CAPITAL IMPROVEMENTS

VIRGINIA MUSEUM OF HISTORY & CULTURE  
428 N. ARTHUR ASHE BOULEVARD  
RICHMOND, VIRGINIA 23220

CONSULTANTS  
STRUCTURAL ENGINEER  
LYNCH MYKINS STRUCTURAL ENGINEERS  
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MEP/FA/SP ENGINEER  
ENGINEERS PLUS  
2900 HUNGARY RD., SUITE 200  
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CIVIL ENGINEERING  
HG DESIGN STUDIO  
5701 GROVE AVE.  
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T 804-740-7500 F ...

LANDSCAPE ARCHITECT  
HG DESIGN STUDIO  
5701 GROVE AVENUE  
RICHMOND, VA 23226  
T 804-740-7500 F ...

LIGHTING CONSULTANT  
LAM PARTNERS  
3171 BABCOCK BOULEVARD, SUITE 200  
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T 617-354-4502 F ...

SEAL  
50% CONSTRUCTION DOCUMENTS PROGRESS PRINT

PROJECT NUMBER  
18083

DATE  
May 08, 2020

DRAWN BY: CHECKED BY:

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE  
FIRST FLOOR DEMOLITION PLAN

SHEET NUMBER  
D1.10

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GENERAL NOTE:  
ALL EXISTING COLUMNS TO REMAIN UNO.

**DEMOLITION SYMBOL LEGEND**

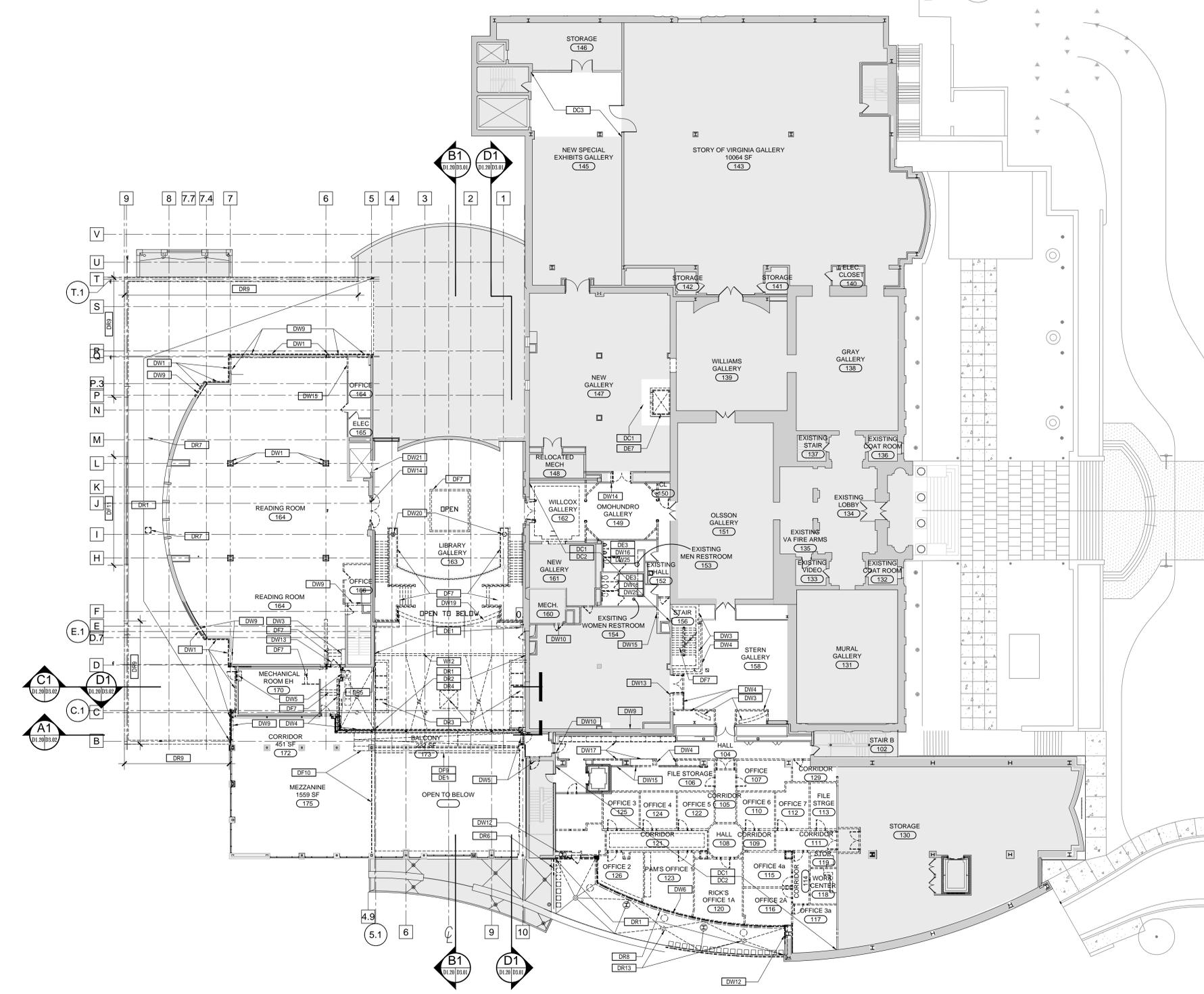
- EXISTING BUILDING AND RELATED FOUNDATIONS AND FOOTINGS TO BE REMOVED
- EXISTING WALL TO REMAIN WITHIN LIMIT OF RENOVATION
- EXISTING TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR AND DOOR FRAME TO BE REMOVED
- KEYNOTE WITH ARROWS APPLIES TO ENTIRE ROOM
- PORTION OF CONC SLAB OR CEILING TO BE REMOVED
- EXTENT OF WORK
- 2 HOUR FIRE WALL
- 2 HOUR FIRE BARRIER
- 1 HOUR FIRE BARRIER

**WORK AREA LEGEND**

- EXISTING BUILDING UNDISTURBED AREA
- WORK AREA

**DEMOLITION KEY NOTES**

- |                                     |  |
|-------------------------------------|--|
| <b>FLOOR/ STAIRS</b>                |  |
| DF1                                 | REMOVE SLATE TILES                               |
| DF2                                 | REMOVE CONCRETE SLAB ON GRADE FOR FOUNDATIONS    |
| DF3                                 | REMOVE CONCRETE SLAB ON GRADE FOR PLUMBING       |
| DF4                                 | REMOVE RECESSED FLOOR EQUIPMENT                  |
| DF5                                 | REMOVE CONCRETE FLOORS                           |
| DF6                                 | REMOVE PORTION OF CONCRETE FLOORS FOR DUCTWORK   |
| DF7                                 | REMOVE STAIR AND GUARD RAIL OR JUST GUARD RAIL   |
| DF8                                 | REMOVE FOOTING                                   |
| DF9                                 | REMOVE ELEVATED CORRIDOR                         |
| DF10                                | REMOVE KNEE WALL AND RAILING                     |
| DF11                                | REMOVE PORTION OF GUARD RAIL                     |
| DF12                                | REMOVE CARPET, CARPET TILES OR VCT               |
| <b>WALL AND WALL EMBEDDED ITEMS</b> |  |
| DW1                                 | REMOVE STONE CLADDING                            |
| DW2                                 | REMOVE CONCRETE COLUMNS                          |
| DW3                                 | REMOVE MASONRY WALL                              |
| DW4                                 | REMOVE PARTITION WALLS                           |
| DW5                                 | REMOVE DOORS AND DOOR FRAMES                     |
| DW6                                 | REMOVE EXTERIOR GLAZING                          |
| DW7                                 | REMOVE STEEL COLUMNS                             |
| DW8                                 | REMOVE PORTION OF MASONRY WALL FOR DUCTWORK      |
| DW9                                 | REMOVE PORTION OF MASONRY WALL FOR DOORS         |
| DW10                                | REMOVE DOOR, FRAME TO REMAIN.                    |
| DW11                                | REMOVE ALL WALL MOUNTED ELECTRICAL ITEMS         |
| DW12                                | REMOVE EXTERIOR WALL & CLADDING OR EIFS          |
| DW13                                | REMOVE DOOR, FRAME AND PORTION OF MASONRY WALL   |
| DW14                                | REMOVE DOOR, FRAME AND PORTION OF PARTITION WALL |
| DW15                                | REMOVE PORTION OF PARTITION WALL FOR DOOR        |
| DW16                                | REMOVE TOILET PARTITION                          |
| DW17                                | REMOVE EXHIBITION CASES                          |
| DW18                                | REMOVE PORTION OF MASONRY WALL FOR WINDOW        |
| DW19                                | REMOVE CURVED DONOR WALL                         |
| DW20                                | REMOVE COLUMN CLADDING                           |
| DW21                                | REMOVE ELEVATOR FRAME AND DOORS AT ROOM SIDE     |
| DW22                                | REMOVE PORTION OF EXHIBITION CASES               |
| DW23                                | REMOVE INTERIOR WINDOW                           |
| DW24                                | REMOVE WOOD VENEER                               |
| DW25                                | REMOVE TILES AT WALL AND/OR FLOORS               |
| <b>EQUIPMENT</b>                    |  |
| DE1                                 | REMOVE HVAC EQUIPMENT AND ASSOCIATED PIPING      |
| DE2                                 | REMOVE ALL ELECTRICAL EQUIPMENT                  |
| DE3                                 | REMOVE PLUMBING EQUIPMENT                        |
| DE4                                 | REMOVE EXISTING DOWNSPOUT                        |
| DE5                                 | REMOVE FLASHING, JOINTS, AND ATTACHMENTS         |
| DE6                                 | REMOVE HVAC EQUIPMENT                            |
| DE7                                 | REMOVE ELEVATOR                                  |
| <b>CEILING</b>                      |  |
| DC1                                 | REMOVE GWB CEILING & MEP EQUIPMENT               |
| DC2                                 | REMOVE APC CEILING & MEP EQUIPMENT               |
| DC3                                 | REMOVE ALL CEILING LIGHTING                      |
| DC4                                 | REMOVE ALL CEILING ELECTRICAL EQUIPMENT          |
| <b>ROOF</b>                         |  |
| DR1                                 | REMOVE SINGLE PLY MEMBRANE AND INSULATION        |
| DR2                                 | REMOVE CONCRETE ROOF SLAB                        |
| DR3                                 | REMOVE SKYLIGHTS                                 |
| DR4                                 | REMOVE MTL STUDS CONSTRUCTION BELOW ROOF         |
| DR5                                 | REMOVE PORTION OF EXISTING ROOF                  |
| DR6                                 | REMOVE DECORATIVE GUARD RAIL                     |
| DR7                                 | REMOVE ROOF TOP EQUIPMENT                        |
| DR8                                 | REMOVE ROOF CURB                                 |
| DR9                                 | REMOVE TOP PORTION OF PARAPET                    |
| DR10                                | REMOVE CAP STONE                                 |
| DR11                                | REMOVE LADDER                                    |
| DR12                                | REMOVE HVAC ENCLOSURE                            |
| DR13                                | REMOVE ROOF DRAIN                                |



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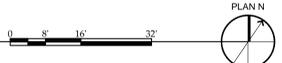
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SHEET TITLE  
SECOND FLOOR DEMOLITION PLAN

SHEET NUMBER  
D1.20

D1.20 SECOND FLOOR DEMOLITION PLAN  
SCALE: 1/16" = 1'-0"

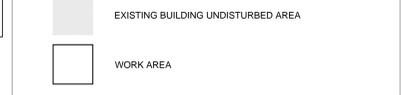


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NOTE: ENLARGED FLOOR PLAN CALLOUTS ALSO REFER TO ENLARGED FINISH FLOOR PLANS ON A8 SERIES SHEETS AND REFLECTED CEILING PLANS ON A9 SERIES SHEETS

**WORK AREA LEGEND**



**KEY NOTES**

FLOORS	
F1	CONCRETE FLOOR SLAB INFILL
F2	3/4" PLYWOOD SUBFLOOR W/ 1" GYPCRETE
WALL AND COLUMNS	
W1	CONCRETE FOUNDATION
W2	COLUMNS WITH SFPM - 1HR RATED
W3	EXISTING COLUMNS W/ FRM
W4	GWB COLUMN CLADDING WITH TERRAZZO BASE & WOOD CAPITAL
W5	N/A
W6	CURVED GWB WALL
W7	STUCCO OR VENETIAN PLASTER OVER EXISTING LIMESTONE
W8	MOVABLE PARTITION WALL
W9	STRUCTURAL STUDS, SHEATHING WITH CI INSULATION & WRB
W10	METAL CLADDING
W11	LIMESTONE CLADDING
W12	GFRC CAPITALS & ENTABLATURE
W13	EFS SYSTEM
W14	BUILDING EXPANSION JOINT
W15	GFRC COLUMN CLADDING WITH BASE & CAPITAL
W16	GWB PILASTERS WITH WOOD TRIM AND CAPITAL
W17	FABRIC WRAPPED ACOUSTICAL PANELS
W18	WOOD CORNICE PROFILES
W19	WOOD PICTURE RAIL
MEP EQUIPMENT	
E1	SUSPENDED UP/DOWN LIGHTS
E2	FLOOR OUTLET (POKE THROUGH)
AV1	ELECTRICAL OPERATED PROJECTION SCREEN
AV2	CEILING MOUNTED PROJECTOR
CEILING	
C1	GWB CEILING
C2	APC CEILING
C3	N/A
C4	GWB CEILING COVE & ACOUSTICAL FINISH SYSTEM
C5	GWB CEILING WITH ACOUSTICAL FINISH SYSTEM
CASEWORK	
CW1	CASEWORK
CW2	BUILT-IN SHELVING
CW3	LOCKERS
ROOF & ROOF STRUCTURE	
R1	SINGLE PLY MEMBRANE AND CI INSULATION, R-30 MIN
R2	METAL DECKING
R3	SALVAGED AND NEW LIMESTONE CORNICE ELEMENTS
R4	METAL ROOF TO WALL FLASHING
R5	ROOF EXPANSION JOINT
R6	OPEN WEB JOIST OR ROOF JOIST
R7	ROOF BEAMS
R8	ROOF BEAMS CANTILEVERED
R9	ROOF BUILDING EXPANSION JOINT
R10	CURVED STANDING SEAM METAL ROOF AT CANOPY
R11	ROOF HATCH
STAIR/ METAL CONSTRUCTION	
ST1	METAL HSS STRINGERS & CONCRETE FILLED PANS & FLOOR FINISH
ST2	CONCRETE LANDING
ST3	MODIFIED EXISTING GUARDRAIL WITH GLASS INFILL
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ST7	METAL HSS STRINGERS & CONCRETE FILLED PANS
MC1	HSS COLUMN ASSEMBLY



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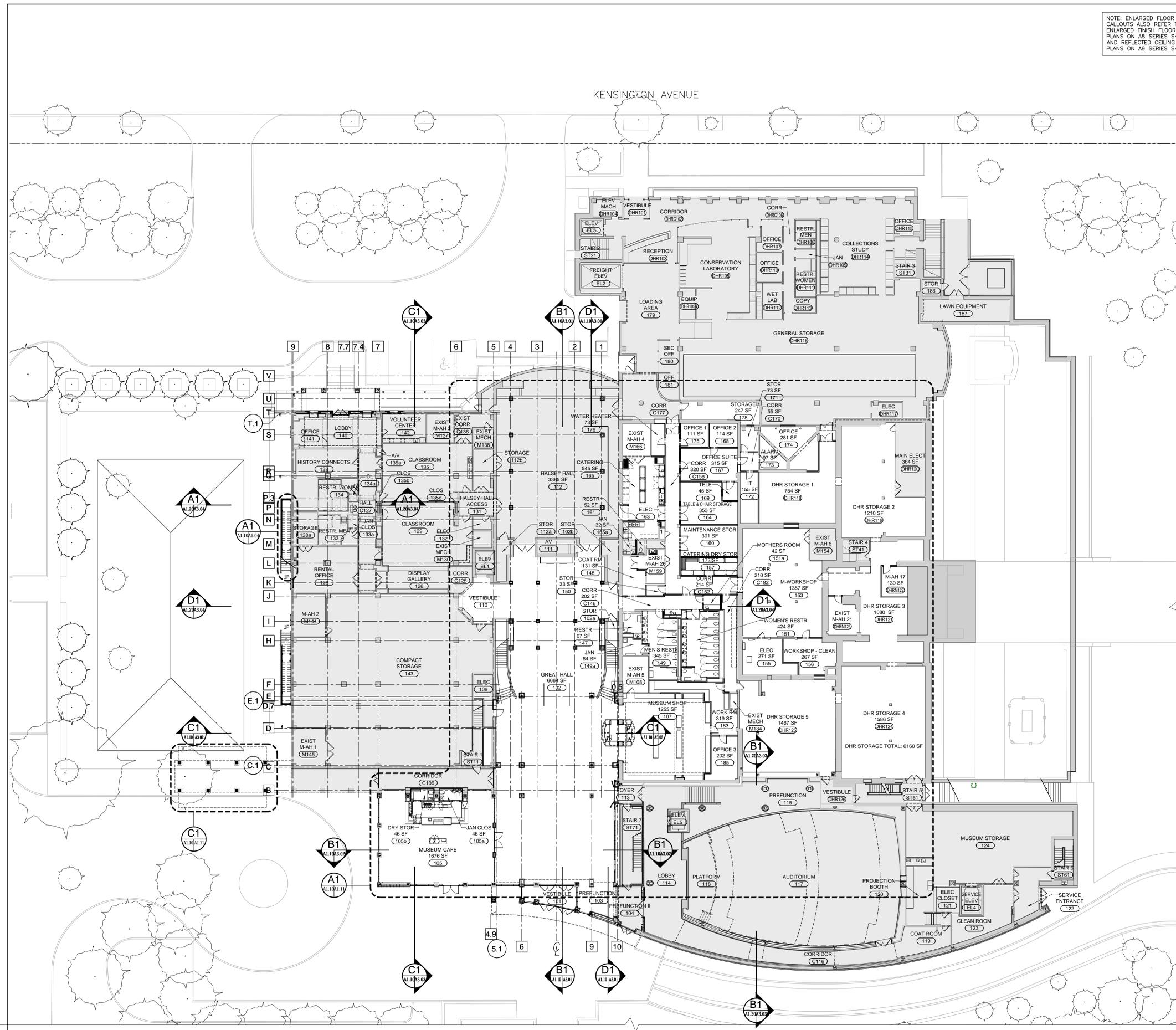
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**SHEET TITLE**  
FIRST FLOOR PLAN OVERVIEW

**SHEET NUMBER**  
A1.10

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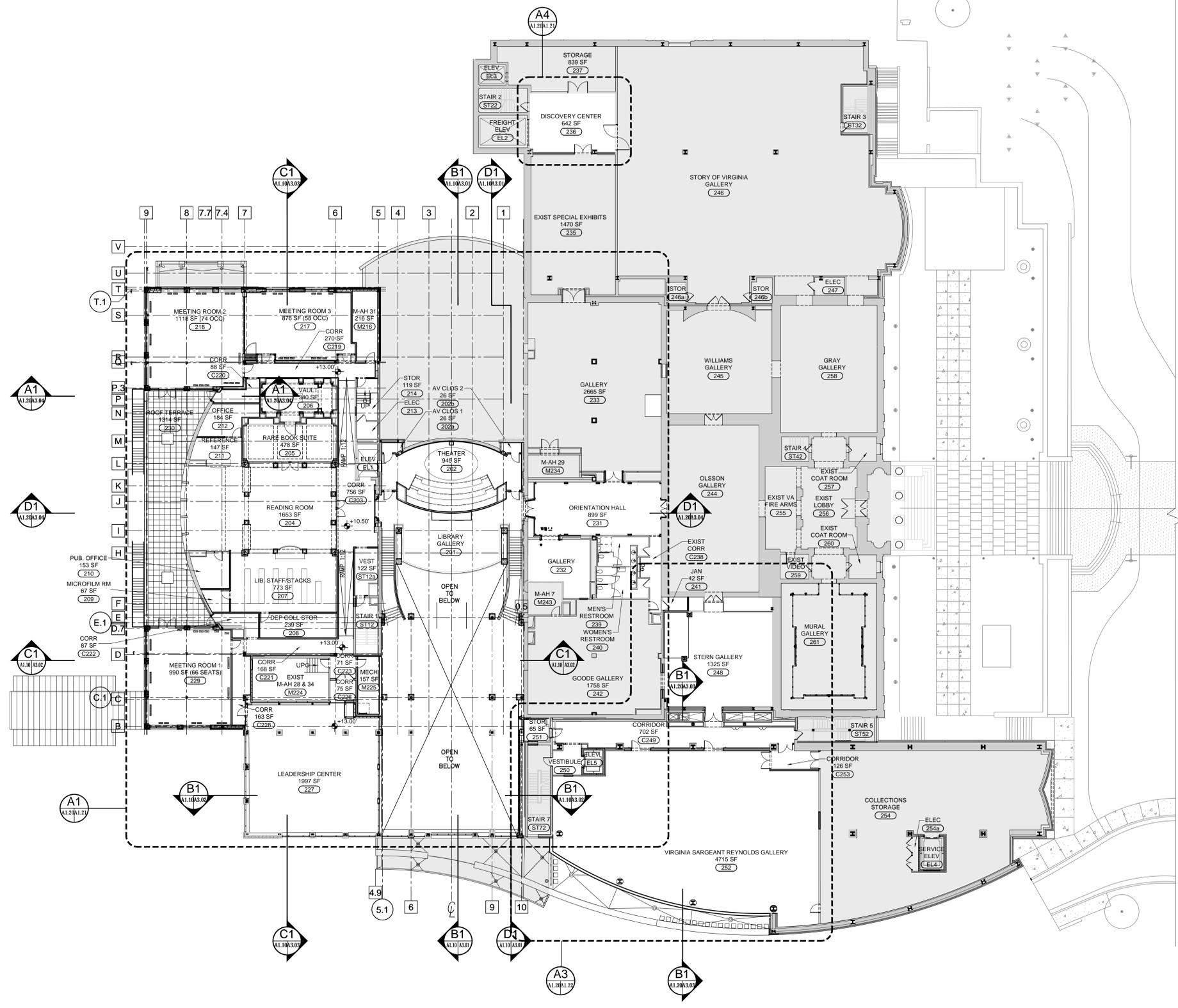
**A1.10 FIRST FLOOR PLAN OVERVIEW**  
SCALE: 1/16" = 1'-0"



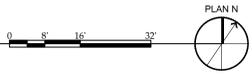
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WORK AREA LEGEND	
	EXISTING BUILDING UNDISTURBED AREA
	WORK AREA

KEY NOTES	
<b>FLOORS</b>	
F1	CONCRETE FLOOR SLAB INFILL
F2	3/4" PLYWOOD SUBFLOOR W/ 1" GYPCRETE
<b>WALL AND COLUMNS</b>	
W1	CONCRETE FOUNDATION
W2	COLUMNS WITH SFRM - 1HR RATED
W3	EXISTING COLUMNS W/ IFRM
W4	GWB COLUMN CLADDING WITH TERRAZZO BASE & WOOD CAPITAL
W5	N/A
W6	CURVED GWB WALL
W7	STUCCO OR VENETIAN PLASTER OVER EXISTING LIMESTONE
W8	MOVABLE PARTITION WALL
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W13	EFS SYSTEM
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W15	GFRG COLUMN CLADDING WITH BASE & CAPITAL
W16	GWB PILASTERS WITH WOOD TRIM AND CAPITAL
W17	FABRIC WRAPPED ACOUSTIC PANELS
W18	WOOD CORNICE PROFILES
W19	WOOD PICTURE RAIL
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E1	SUSPENDED UP/DOWN LIGHTS
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AV1	ELECTRICAL OPERATED PROJECTION SCREEN
AV2	CEILING MOUNTED PROJECTOR
<b>CEILING</b>	
C1	GWB CEILING
C2	APC CEILING
C3	N/A
C4	GWB CEILING COVE & ACOUSTICAL FINISH SYSTEM
C5	GWB CEILING WITH ACOUSTICAL FINISH SYSTEM
<b>CASEWORK</b>	
CW1	CASEWORK
CW2	BUILT-IN SHELVING
CW3	LOCKERS
<b>ROOF &amp; ROOF STRUCTURE</b>	
R1	SINGLE PLY MEMBRANE AND CI INSULATION, R-30 MIN
R2	METAL DECKING
R3	SALVAGED AND NEW LIMESTONE CORNICE ELEMENTS
R4	METAL ROOF TO WALL FLASHING
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R6	OPEN WEB JOIST OR ROOF JOIST
R7	ROOF BEAMS
R8	ROOF BEAMS CANTILEVERED
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ST6	UTILITARIAN STAIR
ST7	METAL HSS STRINGERS & CONCRETE FILLED PANS
MC1	HSS COLUMN ASSEMBLY



A1.20 SECOND FLOOR PLAN OVERVIEW  
SCALE: 1/16" = 1'-0"



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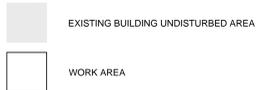
SHEET TITLE  
**SECOND FLOOR PLAN OVERVIEW**

SHEET NUMBER  
**A1.20**

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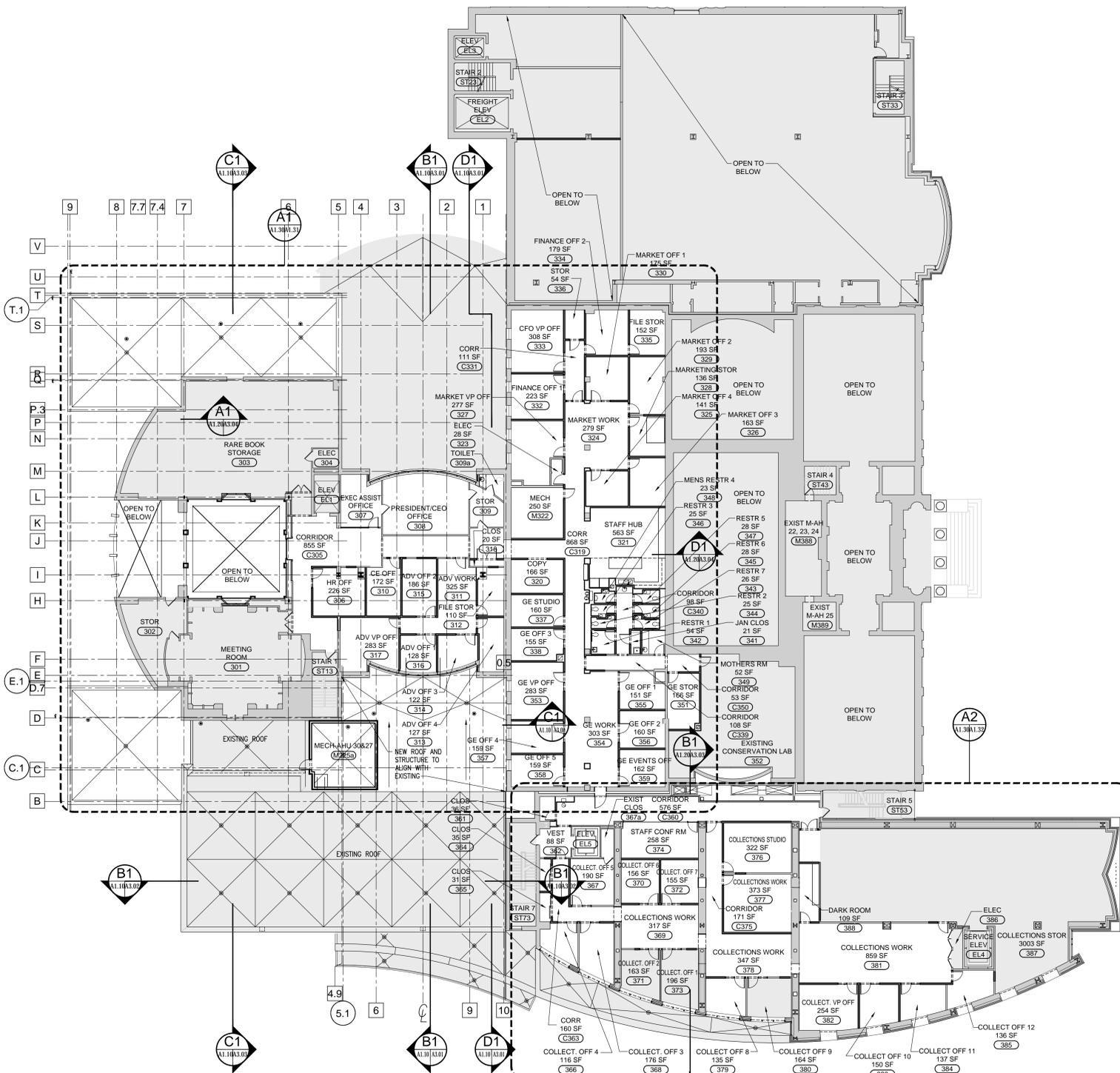
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**WORK AREA LEGEND**



**KEY NOTES**

FLOORS	
F1	CONCRETE FLOOR SLAB INFILL
F2	3/4" PLYWOOD SUBFLOOR W/ 1" GYPCRETE
WALL AND COLUMNS	
W1	CONCRETE FOUNDATION
W2	COLUMNS WITH SFRM - 3HR RATED
W3	EXISTING COLUMNS W/ IFRM
W4	GWB COLUMN CLADDING WITH TERRAZZO BASE & WOOD CAPITAL
W5	N/A
W6	CURVED GWB WALL
W7	STUCCO OR VENETIAN PLASTER OVER EXISTING LIMESTONE
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W13	EFS SYSTEM
W14	BUILDING EXPANSION JOINT
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W18	WOOD CORNICE PROFILES
W19	WOOD PICTURE RAIL
MEP EQUIPMENT	
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AV1	ELECTRICAL OPERATED PROJECTION SCREEN
AV2	CEILING MOUNTED PROJECTOR
CEILING	
C1	GWB CEILING
C2	APC CEILING
C3	N/A
C4	GWB CEILING COVE & ACOUSTICAL FINISH SYSTEM
C5	GWB CEILING WITH ACOUSTICAL FINISH SYSTEM
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NOTE: THE GREY HATCHED OFFICES AT THE SOUTH WING ALONG THE EXTERIOR FACADE REMAIN AS IS.

**A1.30** THIRD FLOOR PLAN OVERVIEW  
SCALE: 1/16" = 1'-0"



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**SHEET TITLE**  
THIRD FLOOR PLAN OVERVIEW

**SHEET NUMBER**  
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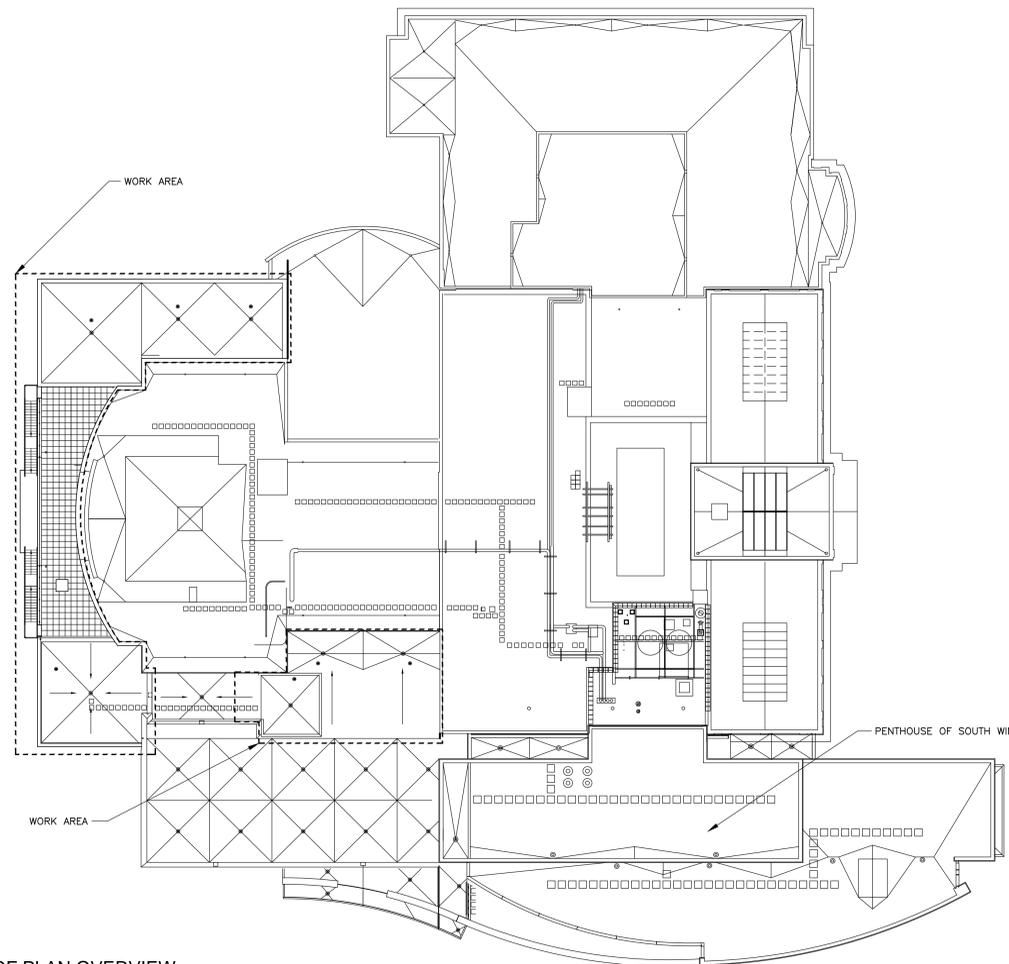
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**WORK AREA LEGEND**

-  EXISTING BUILDING UNDISTURBED AREA
-  WORK AREA

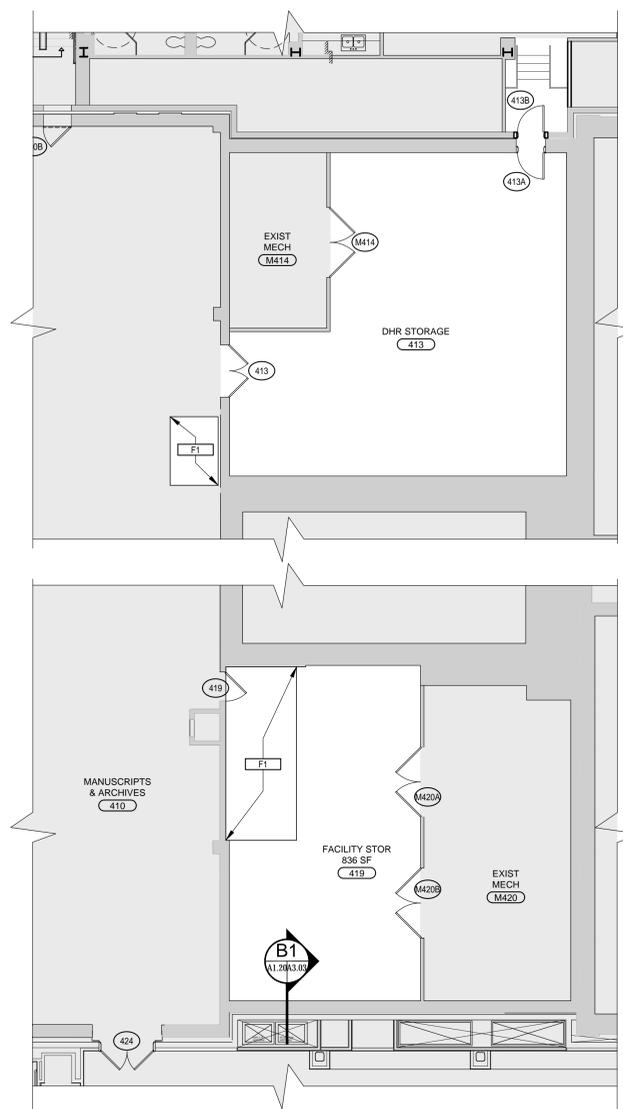
**KEY NOTES**

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W2	COLUMNS WITH SFRM - 1HR RATED
W3	EXISTING COLUMNS W/ IFRM
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W5	N/A
W6	CURVED GWIB WALL
W7	STUCCO OR VENETIAN PLASTER OVER EXISTING LIMESTONE
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R10	CURVED STANDING SEAM METAL ROOF AT CANOPY
R11	ROOF HATCH
<b>STAIR/METAL CONSTRUCTION</b>	
ST1	METAL HSS STRINGERS & CONCRETE FILLED PANS & FLOOR FINISH
ST2	CONCRETE LANDING
ST3	MODIFIED EXISTING GUARDRAIL WITH GLASS INFILL
ST4	NEW METAL RAILING
ST5	GLASS GUARDRAIL ASSEMBLY
ST6	UTILITARIAN STAIR
ST7	METAL HSS STRINGERS & CONCRETE FILLED PANS
MC1	HSS COLUMN ASSEMBLY



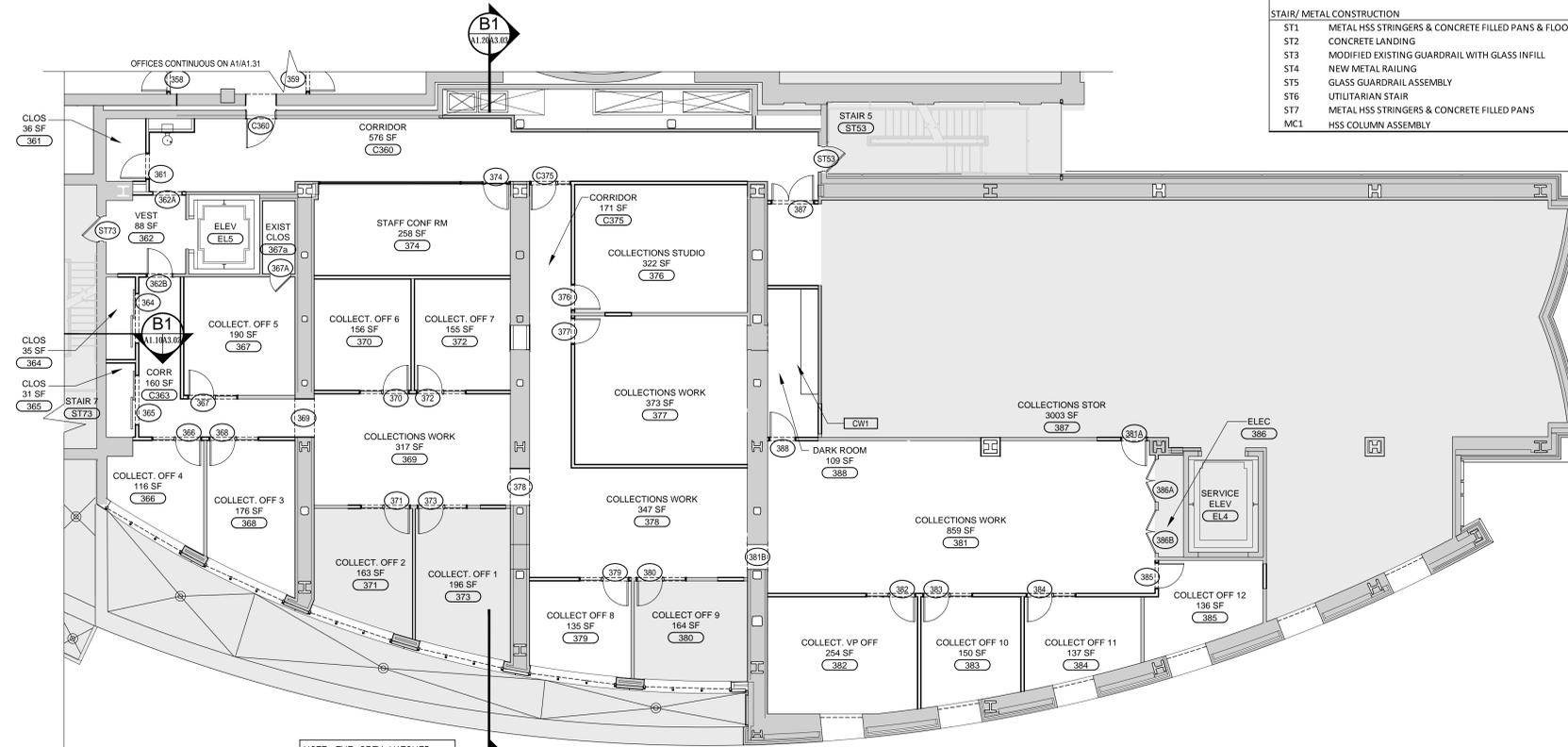
**C2 ROOF PLAN OVERVIEW**

A1.32/A1.32 SCALE: 3/64" = 1'-0"



**A1 ENLARGED FOURTH FLOOR PLAN**

A1.32/A1.32 SCALE: 1/8" = 1'-0"



**A2 ENLARGED THIRD FLOOR PLAN**

A1.30/A1.32 SCALE: 1/8" = 1'-0"

NOTE: THE GREY HATCHED OFFICES AT THE SOUTH WING ALONG THE EXTERIOR FACADE REMAIN AS IS.



0 4 8 16'



SEAL

50% CONSTRUCTION DOCUMENTS PROGRESS PRINT

**PROJECT NUMBER**  
18083

**DATE**  
May 08, 2020

**DRAWN BY:** CHECKED BY:

REVISIONS		
NO.	DATE	DESCRIPTION

**SHEET TITLE**  
ENLARGED THIRD & FOURTH FLOOR, ROOF PLAN

**SHEET NUMBER**  
**A1.32**

SEAL  
**50% CONSTRUCTION DOCUMENTS PROGRESS PRINT**

PROJECT NUMBER  
**18083**  
DATE  
**May 08, 2020**

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
REVISIONS  
NO. DATE DESCRIPTION

SHEET TITLE  
**BUILDING ELEVATIONS**

SHEET NUMBER  
**A2.01**

**KEY NOTES**

<b>FLOORS</b>	
F1	CONCRETE FLOOR SLAB INFILL
F2	3/4" PLYWOOD SUBFLOOR W/ 1" GYPCRETE
<b>WALL AND COLUMNS</b>	
W1	CONCRETE FOUNDATION
W2	COLUMNS WITH SFIRM - 1HR RATED
W3	EXISTING COLUMNS W/ IFRM
W4	GWB COLUMN CLADDING WITH WOOD BASE & CAPITAL
W5	N/A
W6	CURVED GWB WALL
W7	STUCCO OR VENETIAN PLASTER OVER EXISTING LIMESTONE
W8	MOVABLE PARTITION WALL
W9	STRUCTURAL STUDS, SHEATHING WITH CI INSULATION & WRB
W10	METAL CLADDING
W11	LIMESTONE CLADDING
W12	GFRG CAPITALS & ENTABLATURE
W13	EIFS SYSTEM
W14	BUILDING EXPANSION JOINT
W15	GFRG COLUMN CLADDING WITH BASE & CAPITAL
W16	GWB PILASTERS WITH WOOD TRIM AND CAPITAL
W17	FABRIC WRAPPED ACOUSTICAL PANELS
W18	WOOD CORNICE PROFILES
W19	WOOD PICTURE RAIL
<b>MEP EQUIPMENT</b>	
E1	SUSPENDED UP/DOWN LIGHTS
E2	FLOOR OUTLET (POKE THROUGH)
AV1	ELECTRICAL OPERATED PROJECTION SCREEN
AV2	CEILING MOUNTED PROJECTOR
<b>CEILING</b>	
C1	GWB CEILING
C2	APC CEILING
C3	N/A
C4	GWB CEILING COVE & ACOUSTICAL FINISH SYSTEM
C5	GWB CEILING WITH ACOUSTICAL FINISH SYSTEM
<b>CASEWORK</b>	
CW1	CASEWORK
CW2	BUILT-IN SHELVING
CW3	LOCKERS

**ROOF & ROOF STRUCTURE**

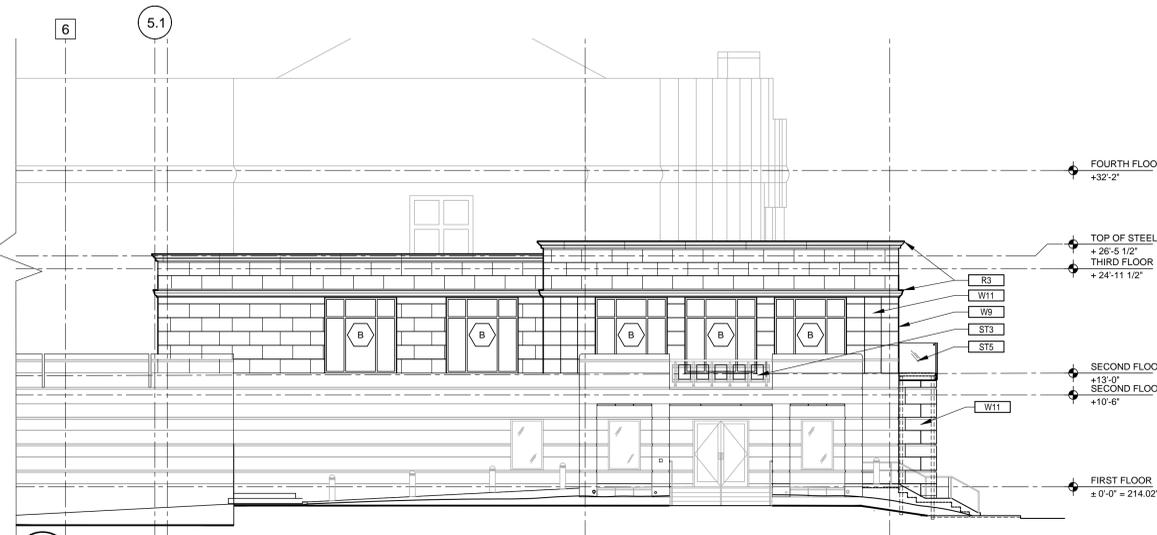
R1	SINGLE PLY MEMBRANE AND CI INSULATION, R-30 MIN
R2	METAL DECKING
R3	SALVAGED AND NEW LIMESTONE CORNICE ELEMENTS
R4	METAL ROOF TO WALL FLASHING
R5	ROOF EXPANSION JOINT
R6	OPEN WEB JOIST OR ROOF JOIST
R7	ROOF BEAMS
R8	ROOF BEAMS CANTILEVERED
R9	ROOF BUILDING EXPANSION JOINT
R10	CURVED STANDING SEAM METAL ROOF AT CANOPY
R11	ROOF HATCH

**STAIR/ METAL CONSTRUCTION**

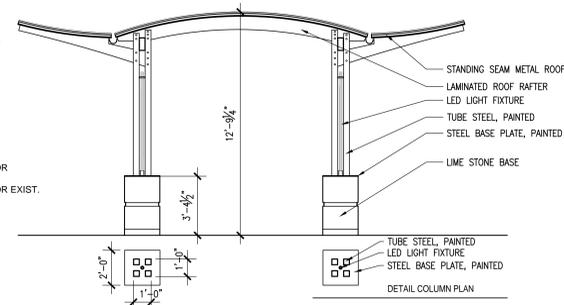
ST1	METAL HSS STRINGERS & CONCRETE FILLED PANS & FLOOR FINISH
ST2	CONCRETE LANDING
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MC1	HSS COLUMN ASSEMBLY

**LEGEND**

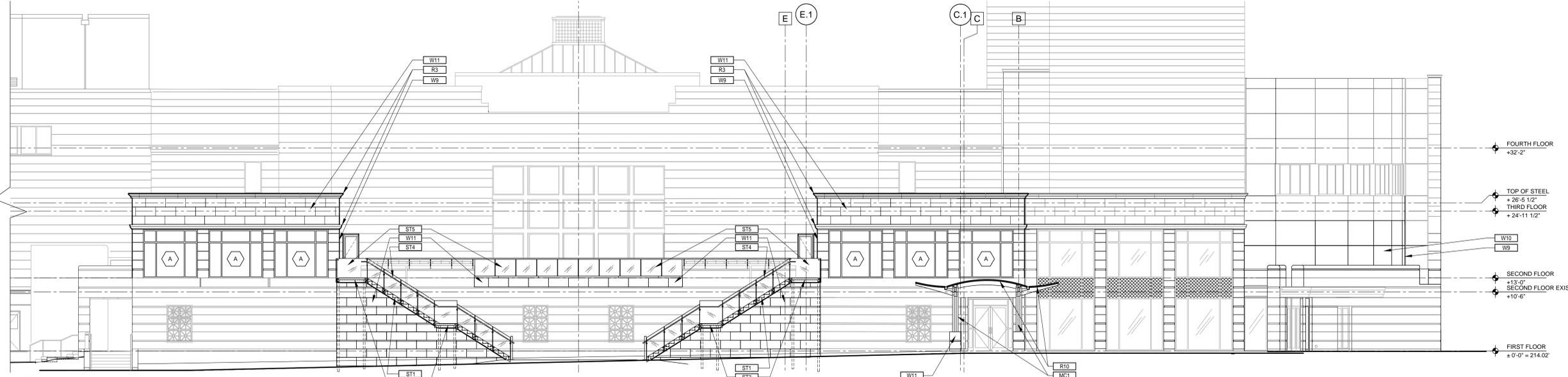
E	EXISTING GRID NUMBERS
5.1	NEW GRID NUMBER



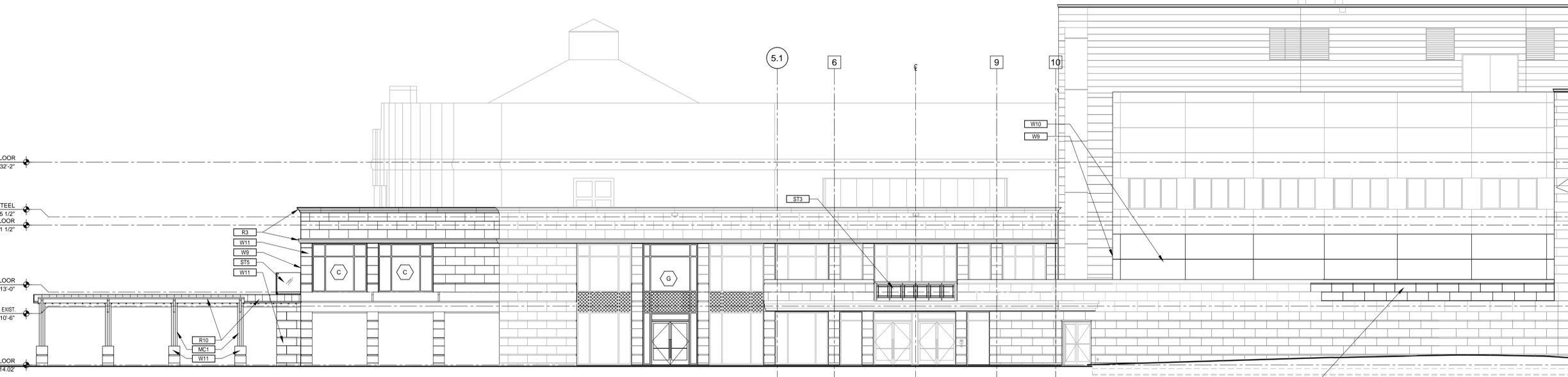
**D1 EAST ELEVATION**  
A2.01/A2.01 SCALE: 1/8" = 1'-0"



**D3 PERGOLA WITH STONE BASE**  
A1.11/A2.01 SCALE: 1/4" = 1'-0"



**B1 WEST ELEVATION**  
A2.01/A2.01 SCALE: 1/8" = 1'-0"



**A1 SOUTH ELEVATION**  
A2.01/A2.01 SCALE: 1/8" = 1'-0"