

COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work) Address 524-526 N. 1st Street Historic district Jackson Ward APPLICANT INFORMATION	Date/time rec'd: Rec'd by: Application #: Hearing date:				
Name Fathleen Morgan Company Sadler + Whitchead Architects	Phone 804-231. \$299				
Mailing Address 726 W-33rd St.	Email Kothben@saderandwhitehead.com Applicant Type: □ Owner □ Agent □ Lessee □ Architect □ Contractor □ Other (please specify): Consultant				
OWNER INFORMATION (if different from above)					
Name Steven T. Alexander	Company ALX 1st Street Townhouses				
Mailing Address 921 Quioccasin Road	Phone 804 . 740-4750				
Henrico VA 23229	Email Salexander @ Colonyapartments. com				
PROJECT INFORMATION	·				
Review Type: Conceptual Review Final Review Project Type: Alteration Demolition Project Description: (attach additional sheets if needed) Tax credit rehals of downless of dow	□ New Construction (Conceptual Review Required)				
The Part 2 letter and polated plan	s are included, as well as the				
ACKNOWLEDGEMENT OF RESPONSIBILITY Part 2 text.					
Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.					
Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.					
Coning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is equired and application materials should be prepared in compliance with zoning. Signature of Owner Date					

Architecture

Historic Preservation

Furniture Design

Watercolors

Sadler & Whitehead ARCHITECTS PLC

responding

reexamining

7 September 2018

refining

reinventing

restating

reclaiming

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respecting

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resurrecting

reusing recalling

regenerating

revising rewarding

researching

revealing

TRANSMITTAL

TO:

Christopher V. Novelli, Tax Credit Specialist Virginia Department of Historic Resources

2801 Kensington Avenue Richmond, VA 23221-2470

FR:

Kathleen Morgan, Project Manager

RE:

524-526 N. 1st Street, NPS# 37914, DHR# 2017-252 524-526 N. 1st Street, Richmond, VA 23219-1302 Part 2 State and Federal tax credit applications

TRANSMITTING:

2 copies each:

Check, copy of check, billing statement

Part 2 State and Federal Tax Credit Applications

Part 2 photograph #23

Project drawings, Walter Parks Architects, 6 sheets

1905 Sanborn Map

NOTE:

Enclosed is the State and Federal Part 2 tax credit application for 524-526 N. 1st Street, located in the Jackson Ward Historic District in Richmond, Virginia. Please contact us if you have any questions or requests for additional information.

COPIES:

National Park Service

Steven T. Alexander, ALX 1st Street Townhomes, LLC

Walter Parks, Walter Parks Architects (by email)

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Richmond, Virginia

23225-3533

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NPS conditions or comments attached

UNITED STATES DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE

OMB Approved No. 1024-0009 Form 10-168 Rev. 2014

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

NPS Project Number 37914, DHR #2017-252

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Property Name 524-526 N. 1st Street			
	Street 524-526 N. 1st Street			
	City Richmond County _		StateVA Zip	23219-1302
	Name of Historic District <u>Jackson Ward Historic Dist</u>	trict		
	Listed individually in the National Register of Historic Places; da	te of listing		
	□ Located in a Registered Historic District; name of district □ Ja	ckson Ward Historic Dist	rict	
	Part 1 – Evaluation of Significance submitted?	e submitted <u>12/15/2017</u>	Date of certification 1	2/28/2017
2.	Project Data			
	Date of building Ca. 1880	Estimated rehabilitation costs (QRE)	\$ 600,000	
	Number of buildings in project $\frac{1}{}$	Floor area before / after rehabilitation	5,336 / 5	, 336 sq ft
	Start date (estimated)	Use(s) before / after rehabilitation	<u>res</u> / <u>re</u>	es
	Completion date (estimated) 5/1/19	Number of housing units before / after r	ehabilitation 4/	4
	Number of phases in project 1	Number of low-moderate income housin	g units before / after rehabilita	ation <u>0</u> / <u>0</u>
3.	Project Contact (if different from applicant)			
	Name Mary Harding Sadler or Kathleen Morg	gan Company <u>Sadler</u>	& Whitehead Arch	itects, PLC
	Street 726 W. 33rd Street	City Richmond		State _VA
	Zip <u>23225-3531</u> Telephone (804) 231-5299	Email Address sadler@ or }	kathleen@sadleran	ndwhitehead.com
4.	Applicant I hereby attest that the information I have provided is, to the best of m owner of the above-described property within the meaning of "owner" described property, the fee simple owner is aware of the action I am to owner, a copy of which (i) either is attached to this application form an CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular factual representations in this application may subject me to fines and imprisonment of up to 8 years.	set forth in 36 CFR § 67.2 (2011), and/or aking relative to this application and has not incorporated herein, or has been previous shall include the plural wherever appropri	(2) if I am not the fee sin objection, as noted in a wri usly submitted, and (ii) meet late. I understand that knowin hich, under certain circumsta	nple owner of the above- itten statement from the ss the requirements of 36 ng and willful falsification of ances, provides for
	Name Steven T. Alexander	Signature 7	Da Da	ate 3/1/18
	Applicant Entity ALX 1st Street Townhomes, LLC	SSN	or or	TIN 47-2217899
	Street c/oColony Apt Homes, 9211 Quioccasin	Rd City Henrico		State VA
	Zip <u>23229-5425</u> Telephone <u>(804)</u> 740-4700	Email Address salexander@	ocolonyapartmenth	nomes.com
	Applicant, SSN, or TIN has changed since previously submitted	application.		
NPS	S Official Use Only			3
The	National Park Service has reviewed the Historic Preservation Certificati	on Application – Part 2 for the above-nam	ed property and has determi	ned that:
	the rehabilitation described herein is consistent with the historic chara- meets the Secretary of the Interior's Standards for Rehabilitation. This only to the owner of a "certified historic structure" after rehabilitation w	letter is a preliminary determination only,		
	the rehabilitation or proposed rehabilitation will meet the Secretary of t	the Interior's Standards for Rehabilitation i	if the attached conditions are	e met.
	the rehabilitation described herein is not consistent with the historic ch Secretary of the Interior's Standards for Rehabilitation.	aracter of the property or the district in wh	nich it is located and that the	project does not meet the
Date	National Park Service Authorize	ed Signature		7 x

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Property name 524-526 N. 1st Street NPS Project Number 37914, DHR #2017- Property address 524-526 N. 1st Street Richmond VA 23219-1302

5. Detailed description of rehabilitation work Use this page to describe all work or create a comparable format with this information.

Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number 1 Feature 524-526 N. 1st Street Overall Date of Feature ca. 1880, ca. 1980

Describe existing feature and its condition

524-526 N. 1st Street is a two-story, Italianate, double house located in the Jackson Ward Historic District. The building is 6 bays wide with main entrances on either end of the front elevation. The bracketed cornice with dentils is still intact, though a historic front porch was removed by a previous owner. The building has been painted white. There are two non-historic concrete block additions at the rear in very poor condition.

Each half of the double house has a side hall plan with two central interior chimneys. The plaster and trim have been removed, but the framing is intact, revealing the historic floor plan. The building has wood floors throughout.

The property includes a small grass front yard. Paved parking fills the backyard, which extends to an alley.

There are no outbuildings associated with this property.

Photo numbers All Drawing numbers All

Describe work and impact on feature

The building's historic features and finishes will be preserved, with limited in-kind replacement where deterioration is severe. A new front porch will be added. The exterior will be repainted, and new openings will be installed on the sides and rear of the building. A porch will be installed at the second story of the rear elevation.

The interior plan of the original house will be preserved with changes concentrated in the non-historic CMU additions.

A new, shared, four car garage will be built at the rear of the property.

The work will be completed in one phase.

The rehabilitation of 524-526 N. 1st Street will result in its stabilization and long-term preservation as it is restored to residential use.

Number 2 Feature Site Date of Feature ca. 1880, ca. 1980

Describe existing feature and its condition

- -The building is sited on a typical urban lot with a small grass front yard (see photos 1-3).
- -A curved concrete sidewalk leads up to the front steps, which are also concrete.
- -There is a small paved sidewalk tight to the building to the south and a small grass side yard to the north (see photos 4, 7).
- -A large concrete pad fills the backyard, which extends to an alley (see photo 6).

-A large concrete pad lills the backyard, which extends to an arrey (see photo 0).

Describe work and impact on feature

Photo numbers see above

- -The small front grass yard will be preserved.
- -A new concrete sidewalk will be installed and new wood steps will be built (see Number 3).

Drawing numbers A.201

- -The side yards on both sides will remain.
- -The concrete pad in the rear yard will be removed.

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

- -The proposed rear yard includes a small grass yard with a concrete walkway to the shared garage that extends to the alley (see Number 13).
- -Brick pavers will be installed in the rear yard.
- -A new painted or solid stained wood privacy fence will be installed around the rear yard. Wood fencing will divide the rear yard into two yards.

The impact will be the rehabilitation of the historic site.

Number 3 Feature Front (East) Elevation Date of Feature ca. 1880, ca. 1980

Describe existing feature and its condition

- -The front (east) elevation is mostly intact, though a previous owner made some alterations (see photos 1-3).
- -The brick is laid in stretcher bond and is painted.
- -There is a bracketed wood cornice with wood dentils (see photos 1-2).
- -The steps have been replaced with concrete steps that are settling in some areas.
- -The two front doors have been replaced (see photos 1, 8).
- -The front porch that spanned the entire front elevation was removed by a previous owner.
- -The first floor window openings have been shortened and no longer have their original sills and headers (see photo 1, 11).
- -The second floor windows are covered with plywood.
- -The shutters that cover the windows are not original.

Photo numbers see above Drawing numbers A.301

Describe work and impact on feature

- -The historic features and materials of the front elevation will be retained and restored.
- -The brick will be repaired where necessary and repainted, in accordance with Preservation Brief #2.
- -The bracketed wood cornice will be retained and repaired.
- -New wood steps will be installed with a painted aluminum hand rail on the outside edge of the stair. The handrail will be compatible and contemporary.
- -The non-historic front doors and side lites will be removed and the front entries will be restored with an arched transom and paired paneled wood doors.
- -A front porch with a hipped metal standing seam roof and simple, box columns will span the front elevation. The porch will sit on short brick piers and have wood flooring. There will be no pickets or handrails associated with the porch.
- -The non-historic shutters and plywood covering the window openings will be removed.
- -The first floor window openings will be restored to their original size and new wood, double-hung 2/4 windows will be installed.
- -The second floor windows will be retained and repaired (see Number 8).

The impact will be the preservation and restoration of historic features on the front elevation.

Number 4 Feature Side (North and South) Elevations Date of Feature ca. 1880, ca. 1980

Describe existing feature and its condition

NORTH AND SOUTH

Photo numbers see above

- -The north and south elevations are identical.
- -The north and south elevations of the original building are painted brick with a stepped parapet.
- -There are two separate painted CMU additions built flush to the plane of the sides of the building. Both CMU portions have no character-defining features and are non-historic.
- -The first CMU addition has a small window opening on the second floor of each side and a door opening on the first floor of each side. All openings are covered with plywood (see photo 4 7-8)
- -The second CMU addition has a few rows of brick at the very top. There are no openings.

Drawing numbers A.302

Page 2 of 7

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Describe work and impact on feature

NORTH AND SOUTH

- -The historic features and materials of the north and south elevations will be retained and repaired.
- -The original building will be repainted and repaired where necessary in accordance with Preservation Brief #2.
- -Two new windows will be installed towards the ends of the original building, set significantly back from the facade. The windows will be aluminum, double-hung 1/1 windows to differentiate them from existing historic windows.
- -The CMU additions will be retained and repainted.
- -The small, non-historic window openings of the first CMU addition will be enlarged and receive an aluminum, double-hung 1/1 window. The non-historic door openings on the first floor will be infilled with CMU and a new aluminum, double-hung, 1/1 window will be installed to align with the enlarged window on the second floor.
- -The second CMU addition will be repainted; no new openings will be installed on the north and south sides.

The impact will be the preservation of historic features on the side elevations.

Describe existing feature and its condition

- -The rear (west) elevation is a non-historic CMU addition (the second CMU addition). The addition spans the entire width of the historic double-house (see photos 5-6).
- -The CMU is painted.
- -The CMU block party wall is visible from the rear (see photo 6).
- -There is an aluminum gutter with downspouts at either end.
- -Four small non-historic window openings on the second floor align with four non-historic window openings on the first floor. The windows are covered with plywood.
- -There are no character-defining or historic features on the rear.

Photo numbers see above Drawing numbers A.301

Describe work and impact on feature

- -The non-historic rear (west) elevation will be modified in a compatible-and-contemporary way.
- -The CMU will be repainted.
- -A new gutter with downspouts will be installed.
- -The non-historic window openings will be modified to allow for aluminum, double-hung, 1/1 windows.
- -A new, small, wood deck will be installed on the first floor at the middle of the rear elevation. It will have simple wood posts and wood rails and pickets.
- -Two full-light fiberglass doors will lead out to the first floor deck.
- -A second story, wood porch with a hipped metal roof will be installed along the rear where full-light fiberglass doors will lead onto the porch. The new porch will span the rear elevation.
- -All wood features will be painted or stained a solid stain.

The impact will be the rehabilitation of the non-historic addition into a more compatible-and-contemporary addition.

Number 6	Feature Roof	Date of Feature not known
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Describe existing feature and its condition

- -The main roof is a shed roof that is not visible from public view.
- -A small parapet runs along the north and south sides.
- -The main roof is metal and in poor condition.
- -The addition roof is membrane and also in poor condition.

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Photo numbers n/a Drawing numbers n/a

Describe work and impact on feature

- -The roof will maintain the shed form, which is not visible from the public view.
- -The parapets will be repainted and sealed.
- -The main roof will be replaced with TPO.
- -The roof of the additions will also be replaced with TPO.
- -The new front and rear porches will have metal, standing seam roofs.

The impact will be the installation of a secure roofing system that preserves the historic features and form while providing a water-tight building envelope.

Number 7 Feature Masonry Date of Feature ca. 1880, ca. 1980

Describe existing feature and its condition

- -All exterior masonry (brick and CMU) is painted (see photos 1-8).
- -The front elevation brick is laid in stretcher bond.
- -The side elevation brick is laid in common bond.
- -Repointing has taken place at the first floor windows where the openings were modified.
- -A repair to the second CMU addition used brick at the top parapet on the north side.

Photo numbers see above

Drawing numbers n/a

Describe work and impact on feature

- -All masonry (brick and CMU) will be repainted.
- -Repairs to brick and CMU will be made where necessary in accordance with Preservation Brief #2. Any new brick and/or CMU will match the existing, and any new mortar will match the existing.
- -Brick and CMU will be toothed in at new and modified openings.

The impact will be the preservation of the character defining brickwork.

Number 8 Feature Windows & Doors Date of Feature ca. 1880, ca. 1980

Describe existing feature and its condition

EXTERIOR

- -Historic openings are located on the front elevation, though the first floor window openings have been modified (see photo 1).
- -Arched brick headers exist on the second floor windows.
- -The second floor windows are wood, double-hung 2/2 with arched top sashes. The first floor windows are non-historic wood, double-hung 6/6.
- -Non-historic window openings on the sides and rear are associated with the non-historic, non-contributing CMU additions, and the window sashes are missing.
- -The front entries maintain their original openings, but have been infilled with non-historic doors and sidelights (see photos 1, 8).
- -There are two door openings on the north and south elevations that are associated with the first non-historic CMU addition. The openings are covered with plywood.

INTERIOR

- -Some of the original rear window openings of the main building exist within the building envelope, though they are in very poor condition. Most of the openings have been modified or have collapsed. A few 4-lite sashes exist, though they are in poor condition (see photo 12).
- -The building does not have any remaining interior doors, except for pocket doors located on the first floor of 524 (see photo 23).

Photo numbers see above

Drawing numbers All

Describe work and impact on feature

EXTERIOR

-Historic door and window openings will be preserved.

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

- -Arched brick headers will be preserved on the second floor and over the front entries.
- -The second floor windows will be retained and repaired.
- -The first floor window openings will be lengthened to accommodate wood, double-hung 2/4 windows.
- -New windows at the side and rear will be aluminum, double-hung 1/1 windows. Existing windows at the sides and rear will be enlarged. New windows on the side elevation of the main house will be set back roughly 25 feet from the front elevation.
- -The front entries will maintain their original openings. The infill will be removed, transom restored, and new paired, paneled wood doors will be installed.
- -The two non-historic door openings on the first floor of the first CMU addition will be removed and infilled with CMU. New 1/1 windows will be installed.
- -New full-lite doors will be added at the rear on the first and second floor of the rear elevation.

INTERIOR

- -The historic sashes at the rear of the original building will be retained and repaired where possible. On the first floor, the existing interior windows will be encapsulated with drywall on the kitchen side. Where sashes do not exist and the openings are modified and in poor condition, the openings will either be infilled, encapsulated with drywall on both sides, or modified for door openings.
- -The existing door openings will remain except the existing opening for the new master baths on the first floor; these openings will be infilled.
- -New doors in new openings will be flush panel wood doors.
- -New doors in historic openings will be four-paneled wood doors.

The impact will be the preservation and rehabilitation of window and door openings.

Number 9 Feature Floor Plan Date of Feature ca. 1880, ca. 1980

Describe existing feature and its condition

- -The interiors of 524 and 526 N. 1st Street are mirror images of each other.
- -Both have a side hall, double pile plan (see photos 9, 15) and two central interior chimneys (see photos 10, 16-17).
- -The first two-story, CMU addition is an open north-south corridor (see photos 12-13) that leads into the second, two-story CMU addition where there are two side-by-side rooms in ruinous condition.
- -The first and second floor plans are the same, though poor building conditions have caused modifications to some of the plan. Fire or partial collapse has destroyed some of the historic partitions.

Photo numbers see above

Drawing numbers A.001-002, A.201-202

Describe work and impact on feature

- -The historic plan of 524-526 N. 1st Street will be preserved.
- -The building will have 4 apartments one on the first floor and one on the second floor of each half of the building.
- -All existing historic walls will remain. New partitions are mostly located in the non-historic CMU additions. Non-historic walls within the CMU additions will be removed.
- -Partitions for mechanical closets, closets, laundry, and bathrooms will be added in the historic section of the building.
- -New partitions in the CMU additions will accommodate bedrooms, closets, and bathrooms.
- -The front, historic portion will become the kitchen and living areas, while the CMU additions will accommodate bedrooms.

The impact will be the preservation and rehabilitation of the historic plan.

Number 10 Feature Interior Stairs Date of Feature ca. 1880

Describe existing feature and its condition

-Each half of the building has one historic stair in poor condition (see photos 9, 15).

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

- -The historic stairs are wood with beadboard paneling.
- -The balustrades are missing except at the second floor of 526, which has straight pickets with a curved wood baluster (see photo 21).

Photo numbers see above

Drawing numbers A.001-002, A.201-202

Describe work and impact on feature

- -Both historic stairs will be retained and repaired.
- -The historic materials will be retained and repaired.
- -Wood pickets and turned balustrades will be installed where missing. These features will match the existing features present on the second floor.
- -No new interior stairs are proposed.

The impact will be the preservation and rehabilitation of the historic stairs.

Number 11

Feature Interior Finishes

Date of Feature ca. 1880, later dates

Describe existing feature and its condition

- -The poor condition of both interiors has resulted in few intact historic finishes (see photos 9-22).
- -Plaster and trim have been removed throughout, but historic framing is intact.
- -Some trim remains around several of the door openings and the main entries, as well as the rear window openings of the original building (see photo 12).
- -Wood floors are present throughout the historic portion of the building. Large areas of wood flooring are severely deteriorated.
- The first floor of the CMU addition has a concrete slab. The upper floor of the addition is unfinished plywood.
- -The CMU walls are painted and/or plastered (see photos 12 and 22).
- -The original brick walls have lost most of their plaster (see photos 9-20).
- -The historic ceilings have been removed, though were tight to the joists as evidenced by plaster markings (see photo 17).

Photo numbers see above

Drawing numbers A.001-002, A.201-202

Describe work and impact on feature

- -The remaining historic finishes will be retained and repaired in kind.
- -Historic window trim and door trim will be retained and repaired. Historic trim matching existing window and door trim will be restored where missing.
- -Where plaster has been removed, gypsum board drywall will be installed tight to the framing.
- -The original brick walls will receive gypsum board drywall, as they were historically finished.
- -The CMU walls will be finished with drywall.
- -Wood floors will be retained and repaired where possible. New wood flooring will match the existing.
- -Gypsum board ceilings will be installed tight to the ceiling joists. Dropped ceilings will occur in bathrooms and closets.
- -New partitions and new openings will have simple, differentiated trim.

The impact will be the preservation and rehabilitation of historic finishes.

Number 12 Feature Building Systems Date of Feature n/a

Describe existing feature and its condition

-Existing plumbing, electrical, and HVAC systems are obsolete and in need of replacement.

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Photo numbers n/a	Drawing numbers	n/a

Describe work and impact on feature

- -New plumbing, electrical, and HVAC systems will be installed throughout.
- -Systems will be concealed. Dropped ceilings in closets and bathrooms will hide necessary systems.
- -HVAC units will be installed in the rear yard, not visible from the street.

The impact will be the introduction of modern systems with minimal impact on the historic features of the building.

Number 13 Feature Garage (New Construction) Date of Feature n/a

Describe existing feature and its condition

- -The rear yard is covered with a concrete slab (see photo 6).
- -Sanborn maps show that secondary resources/accessory structures once occupied the rear of the property.

Photo numbers see above Drawing numbers A.201-202, A.302

Describe work and impact on feature

- -A subordinate, shared, four-car garage will be constructed at the rear of the property.
- -The garage will have a flat, membrane roof.
- -The garage will be clad in Hardiplank siding and have paneled metal roll up doors on the alley elevation.
- -Half-lite, paneled doors will be installed on the north, south, and east elevations.
- -There will be two 1/1 aluminum windows on the east elevation.
- -The interior will be drywall with concrete floors.

The impact will be the addition of a compatible-and-contemporary outbuilding.

Add Item



Richmond, Virginia 23220

REV	SIONS DATE		
TAG	DATE		

walter PARKS ARCHITECT

313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

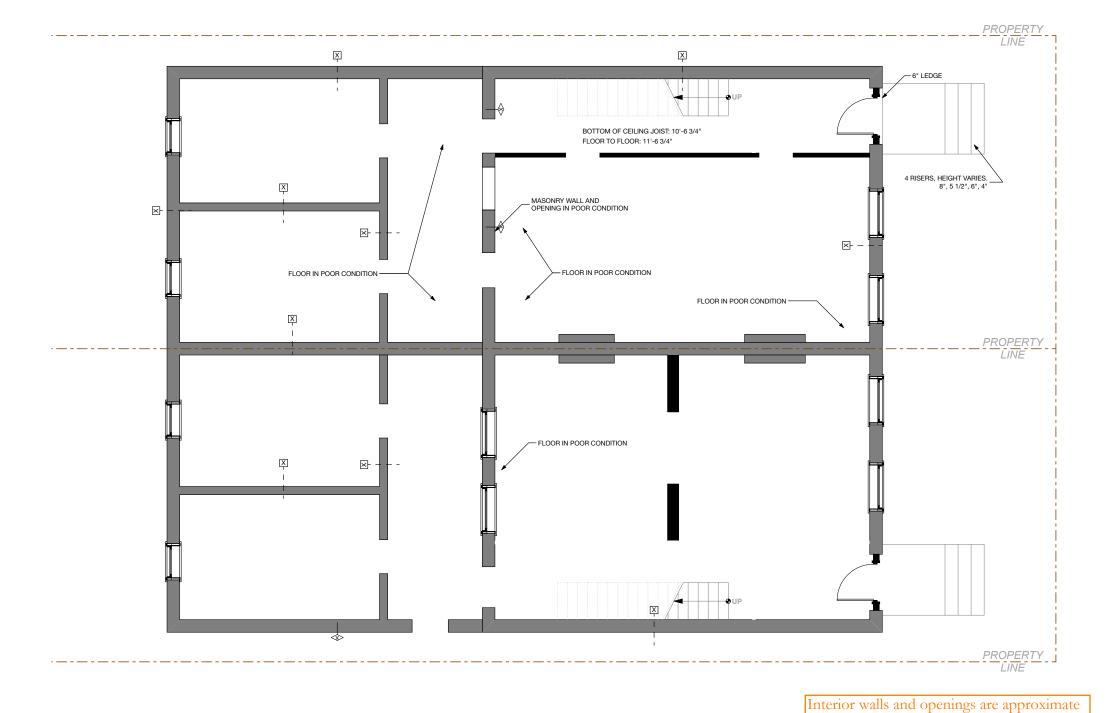
> PROJECT #: 13.41 DATE: 2/25/18

based on stud wall locations. Property is in

extremely deteriorated condition and not

very accessible.

FIRST FLOOR- AS
BUILT
A.001



SECOND FLOOR

1/4" = 1'-0"



1st Street Apartments 526-528 N. 1st Street

Richmond, Virginia 23220

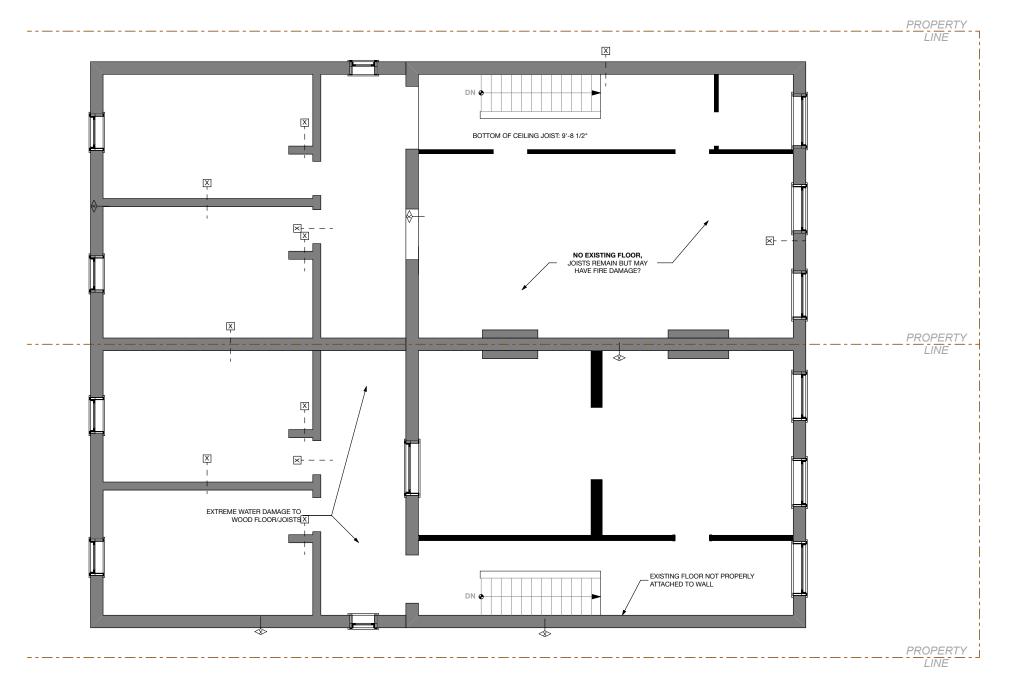
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walter PARKS ARCHITECT

313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 2/25/18

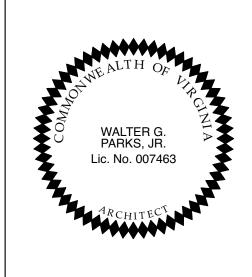
SECOND FLOOR -AS-BUILT A.002

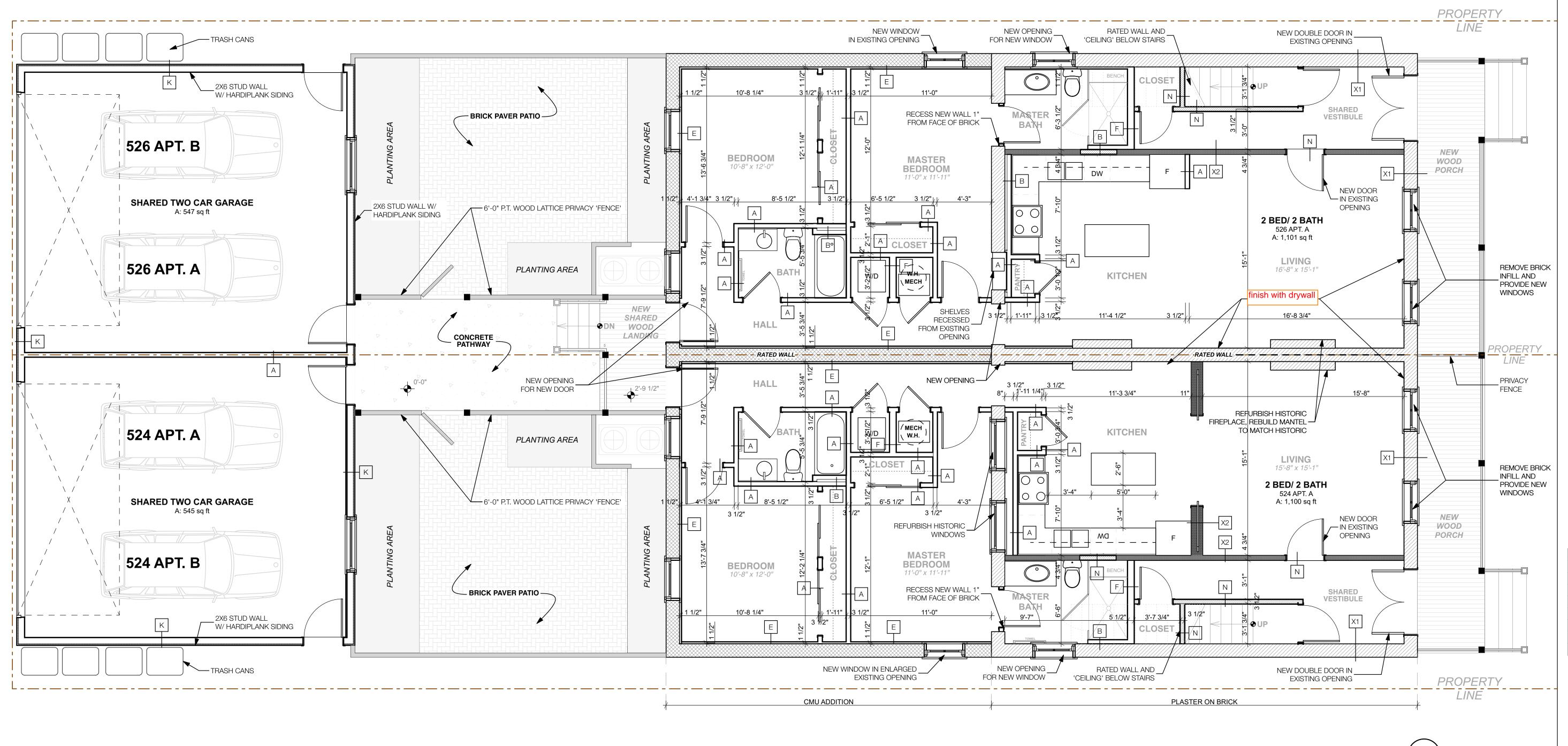


" = 1'-0" SECOND FLOOR

Interior walls and openings are approximate based on stud wall locations. Property is in extremely deteriorated condition and not

very accessible.





1st Street Apartments 524 - 526 N. 1st Street

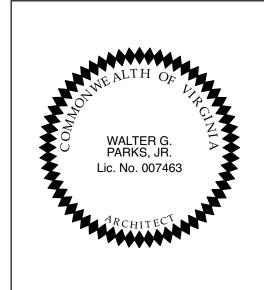
REVISIONS
TAG DATE

walter PARKS ARCHITECT

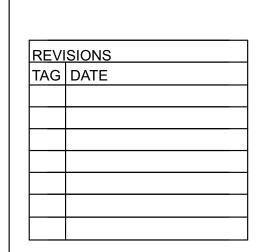
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

PROJECT #: 13.41 DATE: 8/9/18

FIRST FLOOR PLAN
A.201





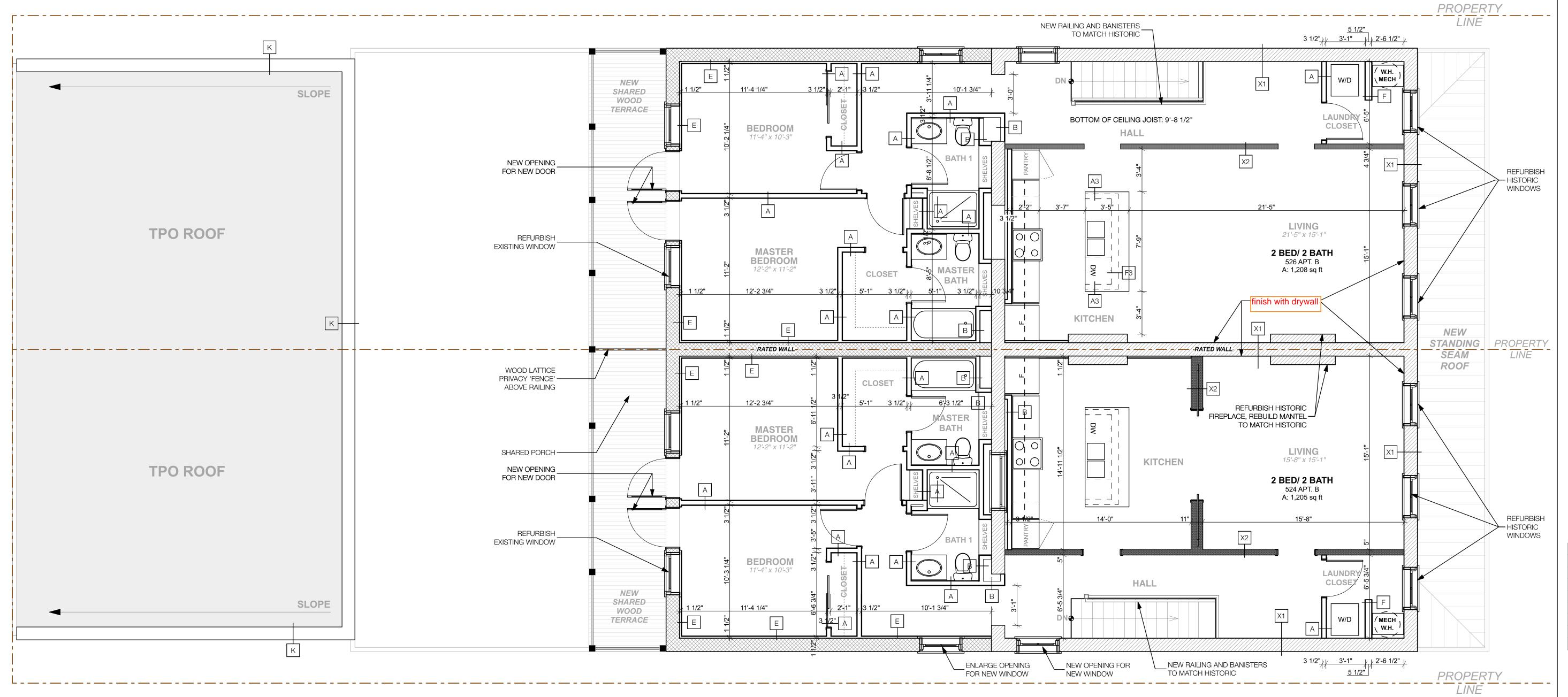


walter PARKS ARCHITECT

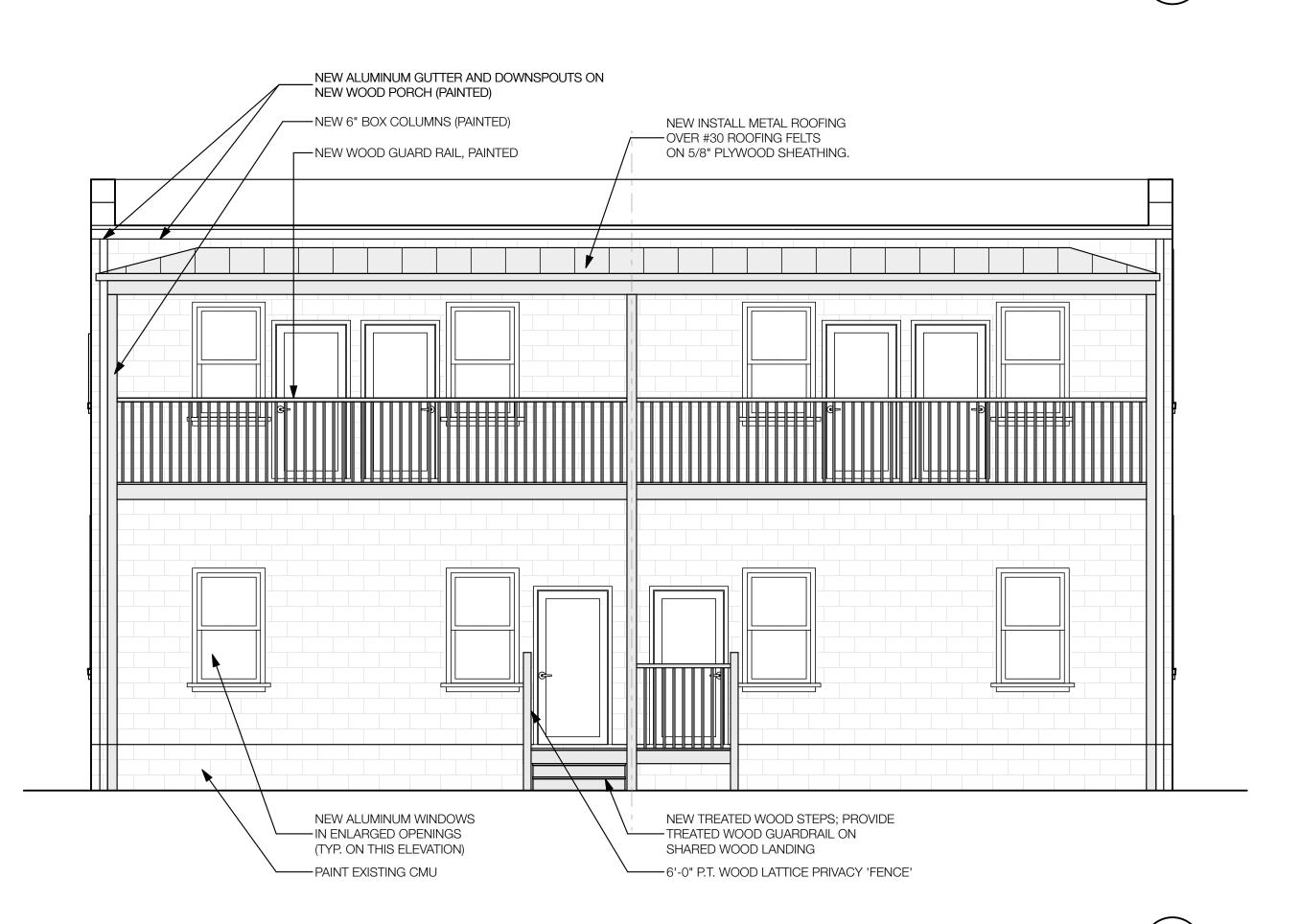
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

PROJECT #: 13.41 DATE: 8/9/18

SECOND FLOOR PLAN
A.202







REAR ELEVATION - WEST SCALE: 1/4" = 1'-0"

1st Street Apartments 524 - 526 N. 1st Street Richmond, Virginia 23220

WALTER G. PARKS, JR.

Lic. No. 007463

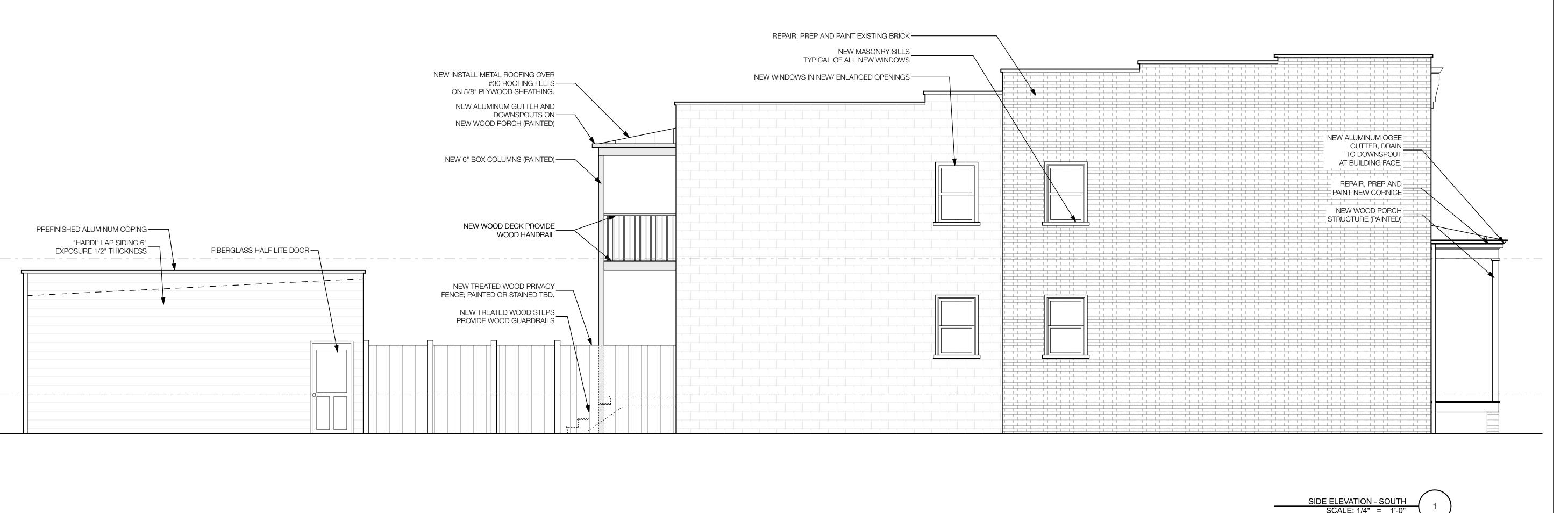
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TAG	DATE		

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313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 8/9/18

A.301



- REPAIR, PREP AND PAINT EXISTING BRICK _ NEW MASONRY SILLS TYPICAL OF ALL NEW WINDOWS NEW INSTALL METAL ROOFING OVER - NEW WINDOWS IN NEW/ ENLARGED OPENINGS -#30 ROOFING FELTS ON 5/8" PLYWOOD SHEATHING. NEW ALUMINUM GUTTER AND --- DOWNSPOUTS ON NEW WOOD PORCH (PAINTED) NEW ALUMINUM OGEE \pm GUTTER, DRAIN TO DOWNSPOUT AT BUILDING FACE. +REPAIR, PREP AND PAINT NEW CORNICE NEW WOOD PORCH STRUCTURE (PAINTED) _NEW WOOD DECK PROVIDE — PREFINISHED ALUMINUM COPING WOOD HANDRAIL __ "HARDI" LAP SIDING 6" EXPOSURE 1/2" THICKNESS FIBERGLASS HALF LITE DOOR NEW TREATED WOOD PRIVACY FENCE; PAINTED OR STAINED TBD. __NEW TREATED WOOD STEPS PROVIDE WOOD GUARDRAILS

SIDE ELEVATION - NORTH

SCALE: 1/4" = 1'-0"

1st Street Apartments 524 - 526 N. 1st Street

Lic. No. 007463

REVISIONS
TAG DATE

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313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

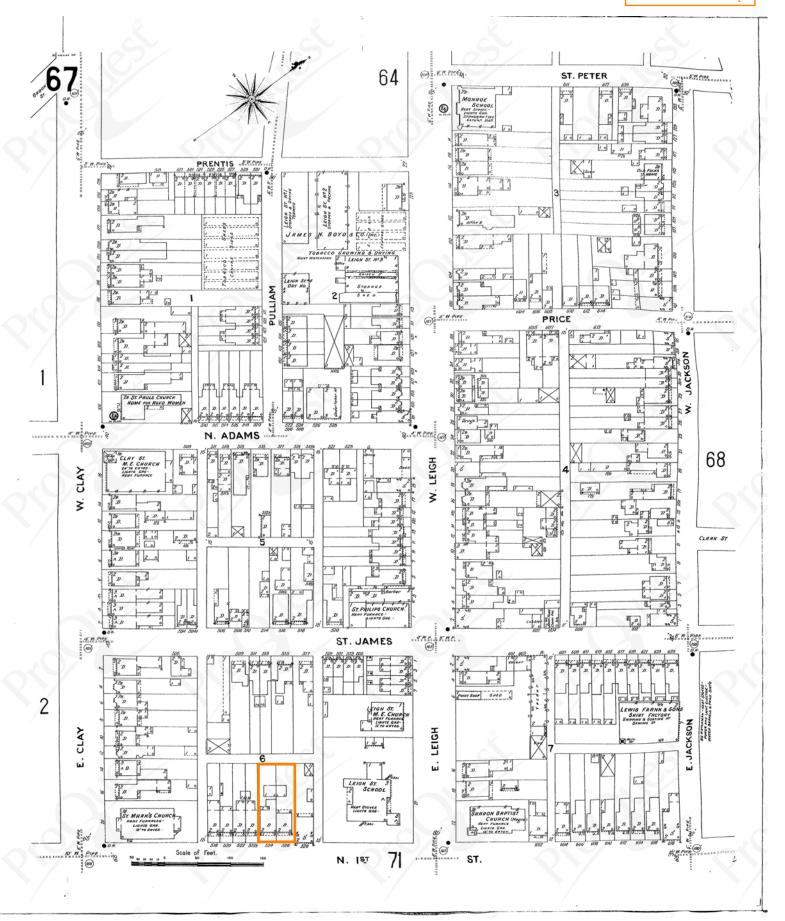
> PROJECT #: 13.41 DATE: 8/9/18

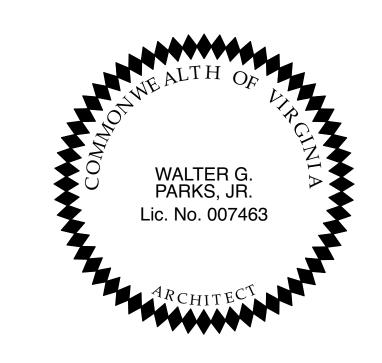
A.302

524-526 N. 1st Street, Richmond VA NPS# 37914, DHR# 2017-252 Part 2 Photo



23. Pocket doors



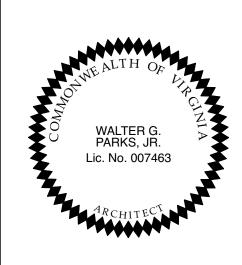


Apartments 526-528 N. 1st Street Richmond, Virginia 23220

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313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: #Pln DATE: 10/18/19



Apartments 526-528 N. 1st Street

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313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: #PIn DATE: 10/18/19

> > A.0

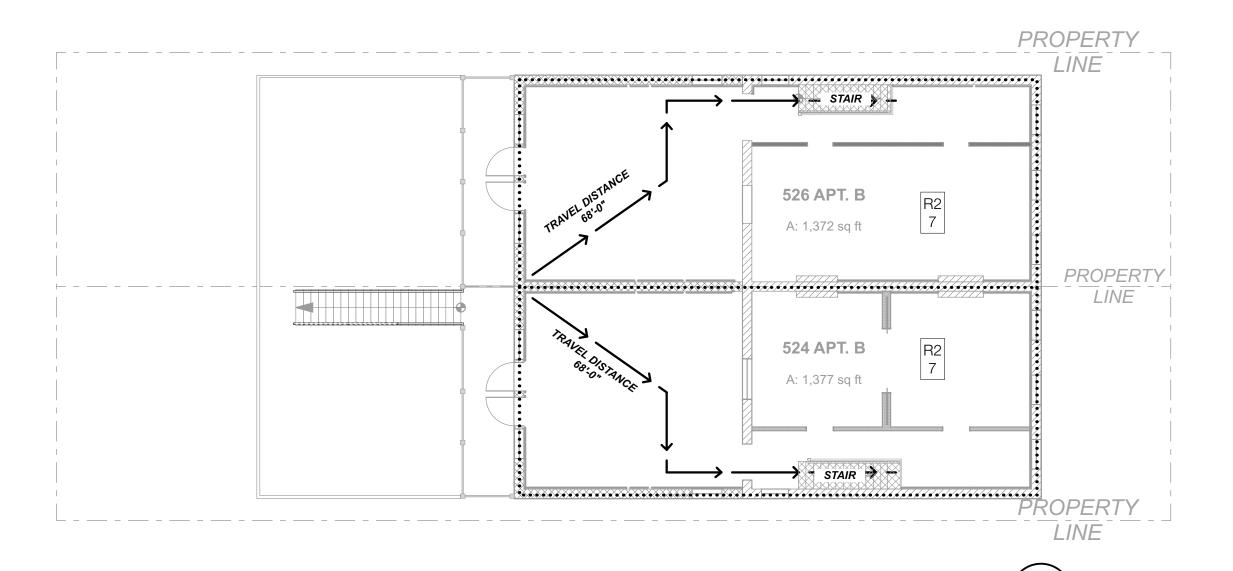
LIFE SAFETY PLAN LEGEND				
USE GROUP	BC TABLE 1004.1.1)			
OCCUPANCY —				
1/2 -HOUR FIRE-RESISTANCE RATED WALL				
1-HOUR FIRE-RESISTANCE RATED WALL	•••••			
2-HOUR FIRE-RESISTANCE RATED WALL				
EGRESS CAPACITY (PER 2012 IBC SECTION 1005.1 & TABLE 3412.6.11(1))	180			
TRAVEL DISTANCE	_TD: X'-X" _			
PATH OF EGRESS				
1 HOUR FLOOR ASSEMBLY				
EGRESS STAIR				

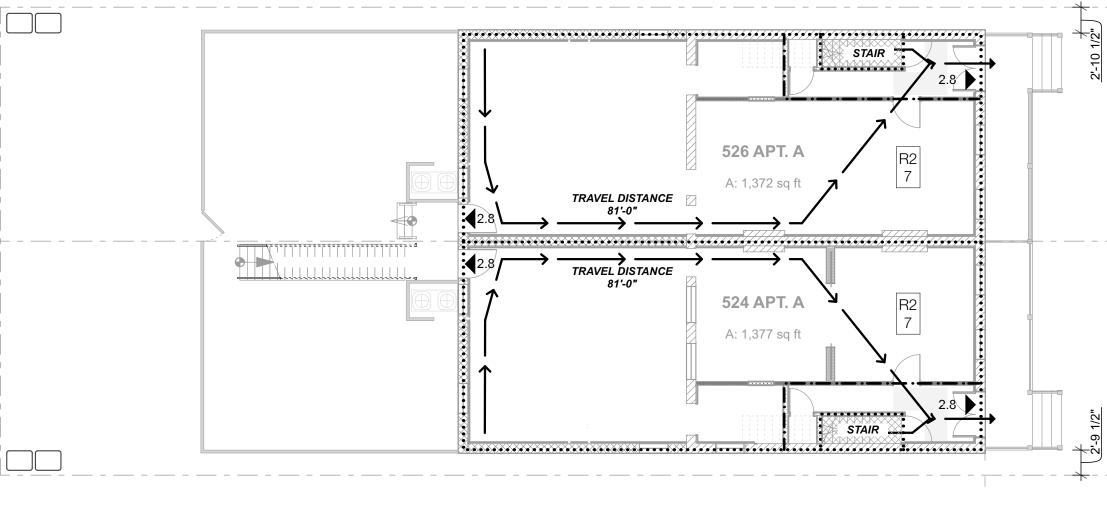
LIFE SAFETY PLAN NOTES

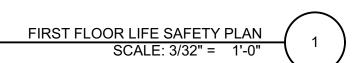
- 1. THE PROJECT IS DESIGNED IN ACCORDANCE WITH 2012 IBC WITH VIRGINIA AMENDMENTS.
- 2. ALL STRUCTURAL ELEMENTS ARE TO BE RATED IN ACCORDANCE WITH THE CONSTRUCTION TYPE REQUIREMENTS.
- 3. EGRESS/EMERGENCY LIGHTING TO BE INTEGRAL BATTERY BACKUP.
- 4. PROVIDE TACTILE SIGN STATING "EXIT" ADJACENT TO DOOR AT EACH EXIT STAIRWAY, EXIT DOOR AND PASSAGEWAY. EACH SIGN SHALL BE MOUNTED ON THE LATCH SIDE AT 54 INCHES ABOVE FLOOR.

WPA GBA SUMMARY		
Zone Name	Area	
524 APT. A	1,377.34	
524 APT. B	1,377.34	
526 APT. A	1,372.47	
526 APT. B	1,372.47	
	5,499.62 sq ft	

APARTMENT SUMMARY			
UNIT #	APARTMENT TYPE	AREA (sq ft)	
524 APT. A	2 BED/ 2 BATH	1,101.66	
524 APT. B	2 BED/ 2 BATH	1,205.37	
526 APT. A	2 BED/ 2 BATH	1,100.61	
526 APT. B	2 BED/ 2 BATH	1,203.69	
		4,611.33 sq ft	







SECOND FLOOR LIFE SAFETY PLAN SCALE: 3/32" = 1'-0"

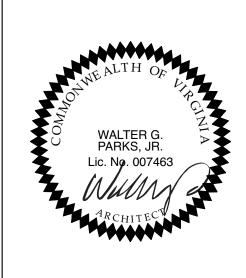
CODE INFORMATION					
APPLICABLE CODES	2015 VIRGINIA REHABILITATION CODE - WORK AREA COMPLIA METHOD 2015 VIRGINIA EXISTING BUILDING CODE 2015 INTERNATIONAL BUILDING CODE WITH VIRGINIA AMENDI 2015 INTERNATIONAL MECHANICAL CODE (IMC) 2015 INTERNATIONAL ELECTRIC CODE (NFPA-70) 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015 INTERNATIONAL CODE COUNCIL (ICC-ANSI A117.1) 2015 INTERNATIONAL FIRE CODE (IFC) NATIONAL FIRE ALARM CODE (NFPA-72) LIFE SAFETY CODE (NFPA-101) STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13)				
	BUILDING IS HISTORIC AND WILL BE	E MAINTAINING EXISTING 2			
USE	RESIDE	NTIAL			
CONSTRUCTION TYPE	III-B (3-B)			
USE GROUP	R-2 RESIDENTIAI	S2 _/ GARAGE			
ZONING	R-	6			
AUTOMATIC SPRINKLER SYSTEM (IBC 2012 903.3.1.2)	NFPA	A 13			
ALLOWABLE AREA (IBC 2012 TABLE 503)	16,0	100			
INCREASE FOR HISTORIC BUILDING (VRC1205.2) (+20%) INCREASE FOR AUTOMATIC SPRINKLER SYSTEM (IBC 2012 506.3) (+200%)	N/.				
TOTAL ALLOWABLE AREA PER FLOOR	16,000				
OCCUPANCY SEPARATION NOT REQUIRED (VRC 1205.4)					
FIRST FLOOR ACTUAL AREA	2,749	1,192			
SECOND FLOOR ACTUAL AREA	2,749	-			
		-			
ACTUAL TOTAL FLOOR GROSS AREA	5,498	1,192			
MAX. FLOOR AREA/PER OCCUPANT (IBC 2012 TABLE 1004.1.1)	200 GROSS	200 GROSS			
TOTAL BUILDING AREA	6,690				
TOTAL OCCUPANT LOAD	27	6			
DWELLING UNITS ACCESSIBLE DWELLING UNITS REQD. (IBC 2012 1107.6.2.1.1- TYPE	4	4			
A)	0	N/A			
ALLOWABLE BUILDING HEIGHT	45'-0" (55'-0")			
(WITH ALLOWED INCREASE 504.2)	4 STY				
	28'				
ACTUAL BUILDING HEIGHT	2 STY (2)				
REQUIRED FIRE RATINGS (IBC 2012 TABLE 601)					
EXTERIOR BEARING WALLS	2				
INTERIOR BEARING WALLS	0				
	0				
FLOOR CONSTRUCTION					
FLOOR CONSTRUCTION ROOF CONSTRUCTION	0				
	0				
ROOF CONSTRUCTION SHAFTS (IBC 2012 713.4) REQUIRED OCCUPANCY SEPARATIONS (IBC 2012 508.4, 709.3,					
ROOF CONSTRUCTION SHAFTS (IBC 2012 713.4) REQUIRED OCCUPANCY SEPARATIONS (IBC 2012 508.4, 709.3, 1018.1)	1				
ROOF CONSTRUCTION SHAFTS (IBC 2012 713.4) REQUIRED OCCUPANCY SEPARATIONS (IBC 2012 508.4, 709.3, 1018.1) BETWEEN R-2 TENANTS (708.3)	1				
ROOF CONSTRUCTION SHAFTS (IBC 2012 713.4) REQUIRED OCCUPANCY SEPARATIONS (IBC 2012 508.4, 709.3, 1018.1)	1	5			

PLUMBING FIXTURE CALCULATIONS	CALCULATED PER (IBC 2012 TABLE	
OCCUPANCY	R-2	S2
OCCUPANTS PER AREA	27	6
WATER CLOSETS (REQUIRED)	1 PER DWELLING UNIT	N/A
WATER CLOSETS (PROVIDED)	MINIMUM 1 PER DWELLING UNIT	-
URINALS (PROVIDED)	N/A	-
LAVATORIES (REQUIRED)	1 PER DWELLING UNIT	N/A
LAVATORIES (PROVIDED)	MINIMUM 1 PER DWELLING UNIT	-
DRINKING FOUNTAIN (REQUIRED)	N/A	N/A
DRINKING FOUNTAIN (PROVIDED)	-	-
SERVICE/KITCHEN SINK (REQUIRED)	N/A	N/A
SERVICE/KITCHEN SINK (PROVIDED)	-	-

70' MAX

TRAVEL DISTANCE REQUIRED (IBC 2012 TABLE 1016.1)

DEAD END CORRIDOR (VRC 806.3)



1st Street Apartments 524 - 526 N. 1st Street

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313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

PROJECT #: 13.41 DATE: 10/18/19

LS.101

GENERAL NOTES

- 1. PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE BUILDING CODES.
- 2. VERIFY EXISTING CONDITIONS, DIMENSIONS AND VERTICAL ELEVATIONS THAT AFFECT THE WORK INDICATED IN THESE DOCUMENTS AND NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES. DISCREPANCIES AND CONDITIONS THAT REQUIRE ADDITIONAL DOCUMENTATION BEYOND THAT SHOWN IN THESE PROJECT DOCUMENTS IN ORDER FOR THE CONTRACTOR TO PERFORM HIS WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT IMMEDIATELY FOR INTERPRETATION
- 3. DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON DRAWINGS SHALL GOVERN. ALL DIMENSIONS ARE TAKEN TO FACE OF STUDS OR EXISTING MASONRY/ CONCRETE OR OTHER EXISTING CONSTRUCTION, UNLESS OTHERWISE INDICATED.
- 4. OBTAIN AND PAY FOR ALL PERMITS, PROCESS AND COMPLETE ALL INSPECTIONS AND REPORTS, SECURE FINAL BUILDING CODE OFFICIAL SIGN-OFFS AND OBTAIN A CERTIFICATE OF OCCUPANCY. PROVIDE THE OWNER WITH A BONAFIDE RELEASE OF ALL LIENS WITH EACH SUBCONTRACTOR'S SIGNATURE.
- 5. INSTALL ARCHITECT'S SIGN WITHIN 30 DAYS OF NOTICE TO PROCEED, ADJACENT TO CONTRACTOR'S SIGN OR AS APPROVED BY THE OWNER. ARCHITECT'S SIGN SHALL BE FURNISHED BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN SIGN IN NEAT APPEARANCE THROUGH DURATION OF THE CONTRACT. REMOVE AND TURN OVER SIGN TO THE ARCHITECT AT PROJECT COMPLETION.
- 6. SCHEDULE A KICK OFF MEETING WITH ARCHITECT, CONTRACTOR AND MAJOR SUBCONTRACTORS TO COORDINATE ALL BUILDING SYSTEMS.
- 7. IF LEAD PAINT IS ENCOUNTERED, COMPLY WITH OSHA 29CFR 1926.62
- 8. PROTECT ALL EXISTING ELEMENTS AND FINISHES TO BE SALVAGED, REUSED OR MAINTAINED, FROM DAMAGE. REPAIR DAMAGE TO EXISTING BUILDING FROM CONSTRUCTION ACTIVITIES TO LIKE NEW OR ORIGINAL CONDITIONS WITHOUT ADDITIONAL COSTS TO THE OWNER.
- 9. ISOLATE CONSTRUCTION ACTIVITIES FROM OCCUPIED AREAS, PARKED VEHICLES, ADJACENT BUILDINGS OR PROPERTY FOR NOISE, DUST, HEAT LOSS AND GENERAL ACCESS.
- 10. KEEP CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- 11. PROVIDE A SUBMITTAL/ SHOP DRAWING LOG WITHIN 30 DAYS OF NOTICE TO PROCEED TO THE ARCHITECT. LOG MUST INDICATE ANTICIPATED DATES FOR DESIGN PROFESSIONAL REVIEW. PROVIDE SHOP DRAWINGS AND/ OR SUBMITTALS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION OF ALL ITEMS. PRIOR TO SUBMITTING SHOP DRAWINGS AND SUBMITTALS, REVIEW EACH ITEM FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. ALL SUBMITTALS SHALL BE FOR PRODUCTS SPECIFIED OR INDICATED. SUBSTITUTIONS MUST BE SO IDENTIFIED AND MAY REQUIRE ADDITIONAL REVIEW TIME BY THE ARCHITECT OR ENGINEER.
- 12. ALL ITEMS FOR CONSTRUCTION SHALL BE NEW, UNUSED AND OF HIGHEST QUALITY. INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 13. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY OR IN ROOF APPLICATIONS (CURBS, BLOCKING ETC.) SHALL BE PRESSURE PRESERVATIVE TREATED
- 14. ALL GLAZING SHALL COMPLY WITH HAZARDOUS LOCATION REQUIREMENTS AS INDICATED IN BUILDING CODE.
- 15. PROVIDE CAULKING BETWEEN DISSIMILAR MATERIALS IN ORDER TO INSURE WEATHER TIGHTNESS AND/ OR CONTINUITY OF FINISHES.
- 16. PROVIDE ADEQUATE FRAMING/ BLOCKING OR CONCEALED SUPPORTS AND FASTENING DEVICES FOR ALL ITEMS TO BE MOUNTED TO THE CEILINGS OR WALLS.
- 17. EXTEND ALL FLOOR, WALL, AND CEILING FINISHES UNDER OR BEHIND ANY ITEM OF EQUIPMENT. FURNITURE. ETC.
- 18. SIGNAGE: ALL SIGNAGE FOR FIRE EQUIPMENT SHALL BE PERMANENTLY INSTALLED AND BE READILY VISIBLE ON THE ENTRANCE DOOR. LETTERS MUST CONTRAST WITH THE SIGN BACKGROUND. SIGNAGE MUST BE 4" IN HEIGHT AND SHALL READ "SPRINKLER CONTROL VALVES".
- PROVIDE TACTILE WARNING SIGNAGE STATING "EXIT" AT DOORS TO ENCLOSED STAIRWAYS, ADJACENT TO THE LATCH SIDE OF THE DOOR, 60 INCHES ABOVE FINISHED FLOOR TO THE CENTERLINE OF THE SIGN.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF FIRE RATED ASSEMBLIES THAT ARE PENETRATED BY BUILDING SYSTEMS. REPAIR ALL VOIDS AND HOLES IN FLOORS, WALLS, CEILINGS, ROOFS WITH SOLID MATERIAL TO MATCH ADJACENT CONSTRUCTION, FIRE RATINGS AND PERFORMANCE.
- 20. PROVIDE ALLOWANCE FOR SIGNAGE PACKAGE. PROVIDE SUBMITTAL FOR OWNER/ARCHITECT REVIEW.
- 21. WHERE NEW ROOFING IS INDICATED, PROVIDE FLASHING AT ADJOINING STRUCTURES AND PENETRATIONS TO ENSURE THEY ARE WATERTIGHT AND MAINTAIN REQUIRED WARRANTY. UNLESS OTHERWISE INDICATED, EXTEND ROOF MEMBRANE UP THE BACK OF PARAPETS AND UNDER COPINGS TO BUILDING EXTERIOR
- 22. BUILDING TO BE WATERTIGHT AGAINST ELEMENTS.
- 23. DEMOLISH OPENINGS AT NEW WINDOW AND DOOR OPENINGS LARGE ENOUGH TO ACCOMMODATE NEW WINDOWS, LINTELS AND SILLS. PROVIDE SILLS TO MATCH ADJACENT WINDOWS. TOOTH-IN BRICK AT ALL NEW MASONRY OPENINGS. SAW CUTTING IS NOT ALLOWED.
- 24. PROVIDE 4" MINIMUM BETWEEN HINGE SIDE OF DOOR OPENINGS AND NEAREST ADJOINING WALL OR PARTITION, UNLESS OTHERWISE NOTED.
- 25. UNLESS OTHERWISE NOTED, EXISTING WINDOWS TO REMAIN, BOTTOM SASH SHALL BE MADE OPERABLE. REPAIR EXISTING WEIGHTS AND CORDS AS REQUIRED FOR SMOOTH OPERATION. REGLAZE BROKEN PANES. SAND AND PAINT EXISTING WOOD TRIM.
- 26. WHERE EXISTING WOOD FLOORING IS INDICATED TO REMAIN, REMOVE PLYWOOD PATCHES (IF ANY) OR DAMAGED MATERIAL, AND REPLACE WOOD FLOORING TO MATCH IN SIZE, COLOR, FIXTURE, SPECIES AND AGE.

 27. PROVIDE 3/8" PLYWOOD DRAFTSTOP IN ATTICS ABOVE AND IN LINE WITH DWELLING UNIT SEPARATION WALLS.
- 28. EACH FINISH SUB-CONTRACTOR SHALL INSPECT THE SUBSTRATE AND DETERMINE THE SUITABILITY FOR THE TYPE OF MATERIAL TO BE INSTALLED. REPORT ALL UNSUITABLE CONDITIONS TO CONTRACTOR FOR CORRECTION. CARPET AND TILE CONTRACTORS SHALL PROVIDE FLASH PATCHING AS REQUIRED FOR A TRUE AND LEVEL FINISH. CLEAN ALL SURFACES TO RECEIVE NEW FINISHES OF FOREIGN MATERIAL THAT WOULD ADVERSELY AFFECT THE APPLICATION AND PERFORMANCE OF NEW FINISHES. COMMENCEMENT OF WORK IS
- PERFORMANCE OF NEW FINISHES. COMMENCEMENT OF WORK IS
 ACKNOWLEDGEMENT OF THE CONTRACTOR'S ACCEPTANCE OF THE SUBSTRATE.
- 29. COMPLY WITH THE CITY OF RICHMOND CROSS CONNECTION AND BACKFLOW PROGRAM REQUIREMENTS. PROVIDE DETAIL DRAWINGS OF EXISTING UTILITIES AND NEW BACKFLOW AND SPRINKLER INSTALLATIONS TO THE DEPARTMENT OF UTILITIES FOR APPROVAL PRIOR TO INSTALLATION.
- 30. PROVIDE ALL HOOKUPS AS REQUIRED FOR INDICATED EQUIPMENT.

MASONRY/ CONCRETE WALL REPAIRS:

- 1. CAREFULLY REVIEW ALL EXISTING CONDITIONS PRIOR TO BID. ARCHITECTURAL DRAWINGS INDICATE WORK NOTES AT SPECIFIC LOCATIONS AS A CONVENIENCE TO THE CONTRACTOR BUT MAY NOT SHOW THE COMPLETE SCOPE OF REPAIRS/ RESTORATION REQUIRED TO COMPLETE THE WORK. OMISSION OF NOTES AT EVERY LOCATION WHERE SAID WORK IS REQUIRED DOES NOT RELIEVE THE CONTRACTOR FROM INCLUDING THE REPAIRS. ALL CONDITIONS EXPOSED TO VIEW BOTH INTERIOR AND EXTERIOR SHALL BE INCLUDED IN THE BID.
- 2. CAREFULLY INSPECT ALL STRUCTURAL, MEMBERS, INCLUDING BUT NOT LIMITED TO BEAMS, LINTELS, MASONRY, ARCHES, ETC. AND NOTIFY ARCHITECT IN WRITING OF ANY STRUCTURALLY UNSOUND CONDITIONS REQUIRING REPAIR OR INVESTIGATION BEYOND THE SCOPE INDICATED.
- 3. INSPECT ALL PARGED OR CONCRETE SURFACES AND PROVIDE PATCHING FOR ANY SPALLING CRACKED OR OTHERWISE DAMAGED CONDITIONS AS REQUIRED FOR CONTINUOUS APPEARANCE. VERIFY EXTENT OF VISIBLE DAMAGE PRIOR TO BID. ONLY COMPLETELY CONCEALED DAMAGE NOT OTHERWISE NOTED ON DRAWINGS WILL BE APPROVED FOR CHANGE ORDER.
- 4. PROVIDE GENERAL AND CLOSE-UP COLOR HIGH RESOLUTION PHOTOGRAPHS OF THE MASONRY BEFORE AND AFTER REPAIRS/ RESTORATION.
- 5. REMOVE ALL EXTRANEOUS MATERIALS FROM FACE OF BUILDING, INCLUDING BUT NOT LIMITED TO VINES, PLANT GROWTH, ALGAE, ABANDONED WIRING, CONDUITS, ABANDONED PLUMBING AND MECHANICAL PIPES, METAL ANCHORS, NAILS, WOOD BLOCKING, TAR, ETC. AND REPAIR SURFACE BEHIND AS REQUIRED FOR CONTINUOUS APPEARANCE.
- 6. REMOVE GRAFFITI FROM MASONRY IN ACCORDANCE WITH NATIONAL PARK SERVICE NPS PRESERVATION BRIEF 38, U.N.O.
- 7. REPAIR/REPLACE ANY DAMAGED, SPLIT, SEVERELY SPALLED BRICK OR MASONRY UNITS. BRICKS WITH SURFACE HOLES LESS THAN 1" X 1" X 1" DEEP MAY REMAIN. RE-WORK BRICK AT NEW OR ENLARGED OPENINGS AS REQUIRED FOR NEW WINDOWS, DOORS, VENTS, ETC. BRICK SHALL BE REBUILT USING SALVAGED MATCHING UNITS AS MUCH AS POSSIBLE BY TOOTHING THE NEW INTO THE OLD
- 8. REPOINT ALL EXTERIOR BRICK AND OR STONE AS REQUIRED BACK TO STRUCTURAL SOUNDNESS AND WATER-TIGHTNESS. MATCH THE MORTAR TO THE COLOR, TEXTURE, STRENGTH, JOINT WIDTH AND JOINT PROFILE OF THE EXISTING HISTORIC MASONRY. NOTE THAT MODERN MORTARS ARE NOT APPROPRIATE FOR HISTORIC RESTORATION. USE A LIME-RICH MORTAR THAT IS ELASTIC AND ALLOWS FOR POTENTIAL MOVEMENT IN HISTORIC MASONRY. PERFORM MASONRY REPOINTING IN ACCORDANCE WITH THE GUIDANCE PROVIDED IN NPS PRESERVATION BRIEF 2 REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS. PROVIDE SAMPLE FOR ARCHITECT'S REVIEW.

 MASONRY THAT WAS PREVIOUSLY PAINTED SHALL BE REPAINTED AFTER ALL LOOSE PAINT IS SCRAPED AND WALL IS PREPPED FOR NEW PAINT.
- 9. SEAL/CAULK ALL MASONRY AND CONCRETE JOINTS TO OTHER MATERIALS AS REQUIRED FOR WATER TIGHTNESS.
- 10. UPON COMPLETION OF REPOINTING AND REPAIR/ RESTORATION WORK, REMOVE ALL RESIDUAL FILM FROM FACE OF MASONRY WITH STIFF NYLON OR NATURAL BRISTLE BRUSH AND LOW PRESSURE WASHING WITH MILD CLEANERS.

WINDOW REPAIRS

- 1. SURVEY ALL EXISTING CONDITIONS PRIOR TO BID. CONDITIONS OF EXISTING WINDOWS VARY.
- 2. PROVIDE WINDOW MULLIONS WHERE MISSING.
- 3. SCRAPE ALL LOOSE PAINT, SAND SMOOTH, PRIME
 AND PAINT PRIOR TO REGLAZING. REFERENCE AND FOLLOW NATIONAL
- PARK SERVICE BRIEF NPS 9 THE REPAIR OF WOOD HISTORIC

 4. REGLAZE PANES WITH NEW GLASS WHERE PREVIOUSLY REMOVED, MISSING OR BROKEN. WHERE ORIGINAL GLASS REMAINS, REMOVE AND REPLACE ALL GLAZING
- 5. MAKE WINDOW SASH PANELS OPERABLE AND WEATHERTIGHT, AS NOTED IN WINDOW TYPES.
- 6. PROVIDE BACKER ROD AND CAULKING AT WINDOW PERIMETER AND SEAL WEATHER TIGHT TO EXISTING MASONRY

MECHANICAL

- 1. ALL VENTS TO BE RUN THROUGH THE ROOF, INCLUDING FANS, DRYER VENTS & MAKE-UP AIR INTAKES. WHERE VISIBLE, PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
- 2. IF DRYER VENTS EXCEED ALLOWABLE RUN LENGTH BOOSTER FANS MUST BE INSTALLED.
- 3. ALL HVAC TO BE SINGLE ZONE, 14 SEER ELECTRIC HEAT PUMP SYSTEM WITH CONDENSERS ON THE ROOF. EVERY UNIT IS TO HAVE IT'S OWN SYSTEM. LOCATE CONDENSERS TO ON ROOF UNLESS OTHERWISE SPECIFIED.
- 4. RETURN AIR GRILL TO BE A VENT SET INTO A DOOR, WALL, OR LOUVERED DOOR. FILTER TO BE READILY ACCESSIBLE.
- 5. NO EXPOSED DUCT, U.N.O.
- 6. ALL REFRIGERANT LINES NEED TO BE ENCLOSED IN WALLS OR CEILINGS.
- 7. NO CFC'S IN MECHANICAL UNITS.
- 8. MUST SUBMIT DUCT LOCATION DIAGRAM TO ARCHITECT FOR APPROVAL PRIOR TO OBTAINING PERMIT.
- 9. ALL UNITS TO USE R-410A COOLANT
- 10. FOR THROUGH PENETRATIONS AND DETAILS IN RATED WALL ASSEMBLIES, SEE MECHANICAL PLANS.

ELECTRICAL

1. ALL ELECTRIC SERVICE TO BE INDIVIDUALLY METERED IN UNITS.

2. **DELETED - NOT APPLICABLE**

- 3. ALL ELECTRICAL FEEDERS TO BE CONCEALED. ALL APPLIANCES ARE ELECTRIC (NO GAS).
- 4. ALL WIRE IS TO BE CONCEALED IN NEW WALL CONSTRUCTION. IN CASES WHERE WIRING CANNOT BE CONCEALED (BRICK WALLS) IT SHOULD BE RUN IN CONDUIT (EMC). CONDUIT RUNS SHOULD BE MADE AS SHORT AS POSSIBLE, CO-ORDINATE WITH ARCHITECT.
- 5. ELECTRICAL PANELS SHOULD BE LOCATED IN A DISCRETE LOCATION. REFER TO ARCHITECTURAL DRAWINGS FOR EP LOCATIONS.
- 6. DOMINION VIRGINIA POWER CONNECTION SHOULD ENTER BUILDING UNDERGROUND.
- 7. EMERGENCY EGRESS LIGHTING SHOULD BE EITHER BALLASTED IN CORRIDOR LIGHTS, OR LED LIGHTS SET AS HIGH AS PRACTICAL.

PLUMBING

1. PLUMBING TO BE WET VENTED.

2. NOT APPLICABLE

- 3. WHERE POSSIBLE SANITARY LINES ARE TO BE RUN IN WALLS ABOVE THE FLOOR TO MINIMIZE PENETRATIONS INTO THE SPACES BELOW. FOR EXAMPLE: IN KITCHEN PENINSULA SINKS THE WASTE LINE SHOULD RUN IN THE WALL BEHIND SINK TO A VERTICAL STACK IN AN ADJACENT WALL.
- 4. ALL PLUMBING LINES SHOULD BE RUN IN CONCEALED SPACES.
- 5. IF PLUMBING MUST BE EXPOSED IT SHOULD BE RUN AS TIGHT TO STRUCTURE AS POSSIBLE.
- 6. EXPANSION TANKS SHOULD NOT BE INSTALLED IN EACH UNIT. VERIFY CODE COMPLIANCE WITH LOCAL PLUMBING REVIEWER.
- 7. PROVIDE ADEQUATE SPACE IN THE WALL TO ALLOW FOR WATER SUPPLY FOR EACH UNIT TO BE SUB-METERED, DURING CONSTRUCTION OR IN FUTURE
- 8. INDIVIDUAL UNIT WATER SHUT OFF VALVES SHOULD BE INSTALLED IN MECHANICAL CLOSET. VALVES SHOULD BE LABELED "WATER SHUT OFF".
- 9. INSTALL BACK FLOW PREVENTER ABOVE GRADE WITH DRAIN.
- 10. PROVIDE DRAIN PAN WITH CONNECTION TO DRAIN LINE UNDER ALL WASHERS.

DE CLIDDDECCION

PROVIDE SPRINKLER VALVE.
 CONCEAL STAND PIPE IN WALLS.

HAZARD NOTES

WHERE APPLICABLE:

ASBESTOS-CONTAINING MATERIALS ARE TO BE MANAGED UNDER A SITE-SPECIFIC OPERATIONS AND MAINTENANCE PROGRAM DEVELOPED IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES BY A LICENSED ASBESTOS PROJECT DESIGNER.

LEAD-BASED PAINT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

1. AREAS IDENTIFIED WITH LEAD PAINT SUBJECT TO PAINT REMOVAL SHOULD BE PERFORMED IN A CONTROLLED MANNER PER OSHA 29 CFR 1926.62.

POLYCHLORINATED BIPHENYLS - PCB CONTAINING LIGHT BALLASTS SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL APPLICABLE REGULATIONS BY AN ELECTRICAL CONTRACTOR FAMILIAR WITH PCB'S.

ALL AREAS CONTAINING PIGEON GUANO ARE TO BE PROPERLY CLEANED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

HISTORIC PRESERVATION GENERAL NOTE:

TAX CREDIT FOR HISTORIC STRUCTURES

DIRECTIVE AND INFORM

- THE PROJECT OUTLINED IN THESE DOCUMENTS IS BEING UNDERTAKEN AS A TAX-ABATEMENT-ELIGIBLE REHABILITATION AND ADAPTIVE RE-USE OF A HISTORIC STRUCTURE. SPECIFIC DOCUMENTATION OF THE WORK PROPOSED WITHIN THIS PROJECT HAS BEEN SUBMITTED TO THE VIRGINIA DEPARTMENT OF HISTORIC RESOURCES (VDHR) AND THE NATIONAL PARK SERVICE (USNPS). IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND UNDERSTAND THIS DOCUMENTATION AS WELL AS GENERAL GUIDELINES PUBLISHED BY THE VIRGINIA DEPARTMENT OF HISTORIC RESOURCES AND THE NATIONAL PARK SERVICE AND TO WARRANT AND ASSURE THAT ALL WORK BY THE CONTRACTOR'S OWN PEOPLE, SUBCONTRACTORS, MATERIAL AND EQUIPMENT SUPPLIERS, AND ANY AND ALL OTHERS WHO PERFORM WITHIN THE SCOPE OF THE WORK BE FAMILIAR WITH, UNDERSTAND, AND EXECUTE THEIR PORTION OF THE WORK ACCORDING THESE MATERIALS. THIS INCLUDES BUT IS NOT LIMITED TO THE ITEMS EXPRESSLY IDENTIFIED IN THIS DRAWING SET. IF AT ANY TIME, THERE IS A QUESTION PERTAINING TO THE APPROPRIATE EXECUTION OF THE WORK TO MAINTAIN THE PARAMETERS OF THE GUIDELINES, IT IS IMPERATIVE THAT THE CONTRACTOR OR OTHER PARTY CONTACT THE ARCHITECT PRIOR TO COMMENCING THE WORK IN QUESTION OR ORDERING/DELIVERING MATERIALS IN QUESTION. ALL PUBLISHED GUIDELINES ARE AVAILABLE FOR REVIEW AT:
- AND ESPECIALLY THOSE PERTAINING TO THIS PROJECT:

http://www.nps.gov/tps/how-to-preserve/br/lefs.htm

- BRIEF #01: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings
- BRIEF #02: Repointing Mortar Joints in Historic Masonry Buildings

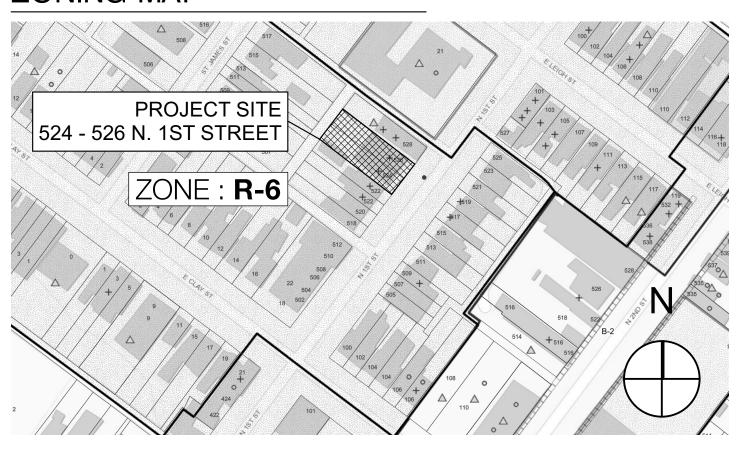
 BRIEF #04: Roofing for Historic Buildings

 BRIEF #06: Dangers of Abrasive Cleaning to Historic Buildings
- BRIEF #06: Dangers of Abrasive Cleaning to Historic Buildings

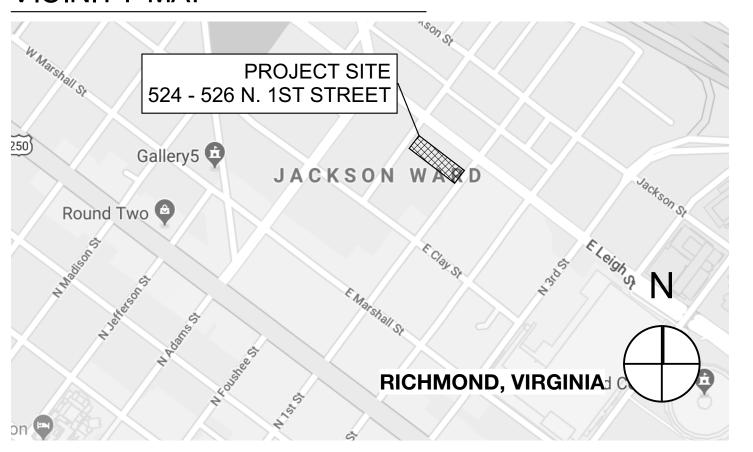
 BRIEF #13: The Repair and Thermal Upgrading of Historic Steel Windows

 BRIEF #14: New Exterior Additions to Historic Buildings: Preservation Concerns
- BRIEF #15: Preservation of Historic Concrete
 BRIEF #16: The Use of Substitute Materials on Historic Buildings
 BRIEF #39: Holding the Line: Controlling Unwanted Moisture in Historic Buildings

ZONING MAP



VICINITY MAP



PROJECT LIST

WNER LX 1st Street Towr

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MEP ENGINEER

HISTORIC CONSULTANT

Sadler & Whitehead Architects, PLC Kathleen Morgan 726 W 33rd St Richmond, Virginia 23225 804-231-5299 phone

SHEET LIST CD

SHEET	NAME
A.0	COVER
LS.101	LIFE SAFETY PLANS
A.101	GENERAL INFO
A.102	PARTITION TYPES & DETAILS
A.103	ROOF DETAILS
A.104	DOOR SCHEDULE, TYPES & DETAILS
A.105	WINDOW SCHEDULE, TYPES & DETAIL
A.106	SCHEDULES
A.107	SITE PLAN
D.201	FIRST FLOOR DEMO
D.202	SECOND FLOOR DEMO
A.200	LAYOUT PLANS
A.201	FIRST FLOOR PLAN
A.202	SECOND FLOOR PLAN
A.203	ROOF PLAN
AS.301	AS IS ELEVATIONS
AS.302	AS IS ELEVATIONS
A.301	ELEVATIONS
A.302	ELEVATIONS
A.501	DETAILS
A.502	KITCHEN DETAILS
A.503	BATH DETAILS
A.504	BATH DETAILS
A.601	FIRST FLOOR RCP
A.602	SECOND FLOOR RCP

WALTER G. PARKS, JR. Lic. No. 007463

1st Street Apartmen 524 - 526 N. 1st Street

walter PARKS ARCHITECT

REVISIONS

TAG DATE

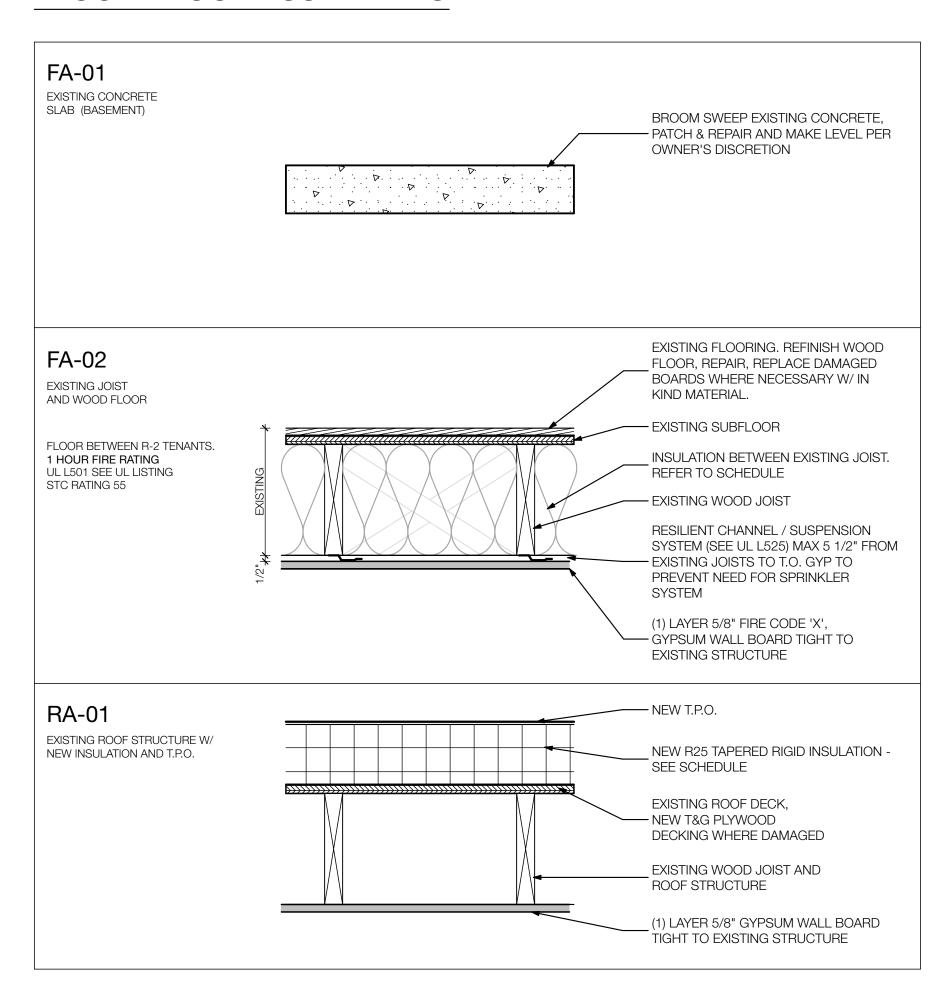
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 10/18/19

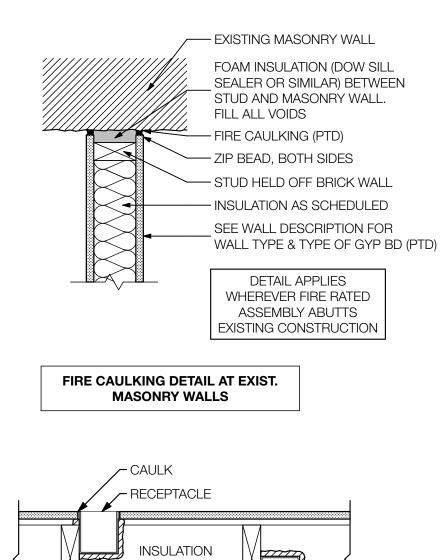
GENERAL INFO

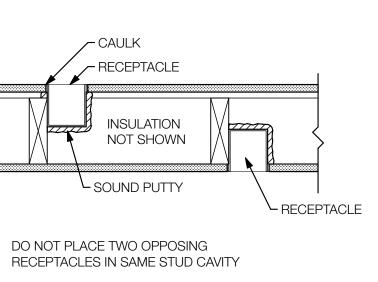
A 101

FLOOR / ROOF ASSEMBLIES



PARTITION DETAILS

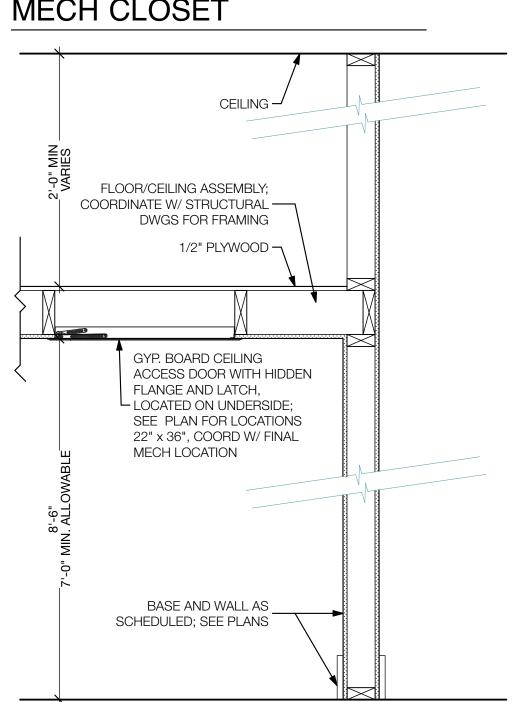




RECEPTACLE SOUND ISOLATION DETAIL

OCCURS AT ALL DEMISING WALLS

MECH CLOSET



WALL NOTES

1. CONSTRUCTION OF FIRE RATED ASSEMBLIES SHALL BE IN ACCORDANCE WITH THE TESTING DESIGN DESIGNATED. ARCHITECTURAL DETAILS MAY NOT INDICATE EVERY REQUIRED COMPONENT OF TESTED ASSEMBLY.

2. PROVIDE CONTROL JOINTS IN ALL GYPSUM WALLBOARD PARTITIONS AT 30'-0" OC MAXIMUM OR AS INDICATED ON FLOOR

3. ALL STUD/ SPACING SHALL BE 16" OC UNLESS OTHERWISE

4. WALL TAGS ON FLOOR PLANS DESIGNATE THE ENTIRE LENGTH OF WALL INDICATED UNLESS INTERRUPTED BY ANOTHER TAG.

5. PROVIDE FIRE BLOCKING FOR ALL WALLS/ PARTITIONS OPEN TO CEILING CAVITY.

6. ALL GYPSUM BOARDS SHALL BE HELD UP 1/4" TO 3/8" FROM TOP OF FLOOR SLAB.

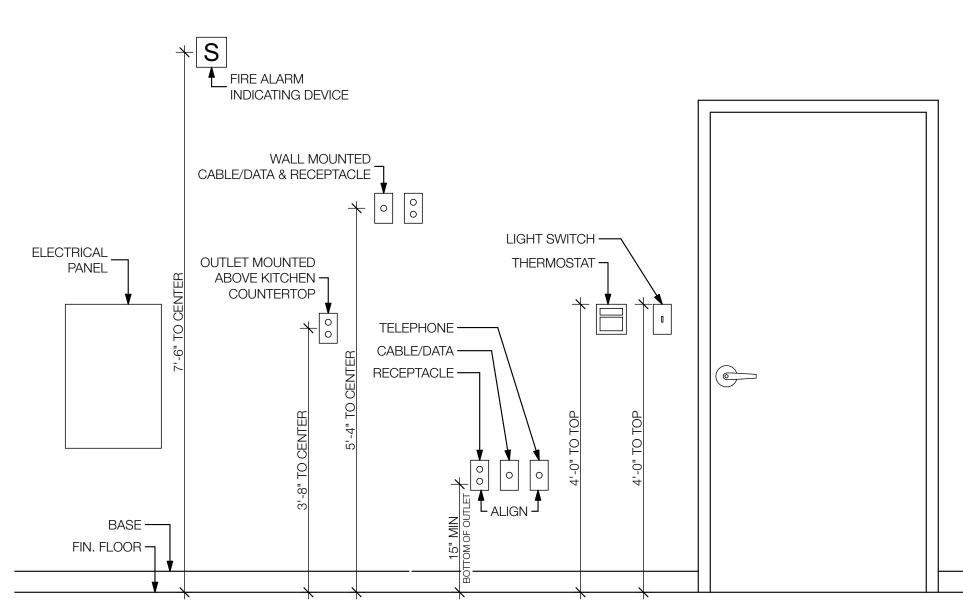
7. PROVIDE CONTINUOUS SEALANT UNDER WOOD PLATES AND AT PERIMETER OF GYPSUM BOARD PANELS AT SMOKE RATED, STC RATED OR FIRE RATED ASSEMBLIES.

8. PROVIDE WOOD FOR ALL WALL MOUNTED EQUIPMENT, INCLUDING CASEWORK, GRAB BARS, SHELVING, HANDRAILS, TOILET PARTITIONS, ETC.

9. ALL UNIT INTERIOR PARTITION NOT TAGGED OR OTHERWISE DESIGNATED ARE TO BE **TYPE A** ASSEMBLIES.

LOCATION CAVITY CONTINUOUS SOUND RATING INSULATION TYPE EXTERIOR WALLS EXISTING (FRAME WALL) ENANT SEPARATION WALLS CORRIDOR WALLS EXISTING ROOF (INSULATION BELOW DECK) BETWEEN JOISTS EXISTING ROOF (INSULATION ABOVE DECK) NEW CONCRETE SLAB EDGE R-10 FOR 24" BELOW GRADE RIGID (PERIMETER) **ALL INSULATION VALUES ARE TO BE CONSIDERED MINIMUM REQUIREMENTS

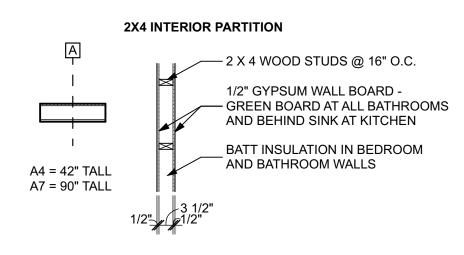
ELECTRICAL LOCATIONS

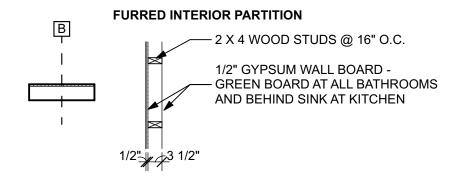


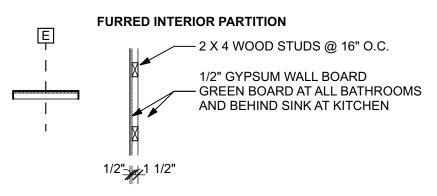
1. MOUNTING HEIGHTS SHOWN ARE MEASURED TO THE TOP OF FIXTURE UNLESS OTHERWISE NOTED.

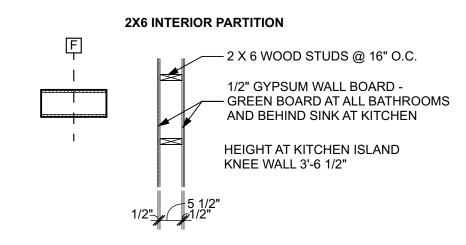
2. EXPOSED CONDUIT RECEPTACLE TO BE USED @ BRICK & MASONRY WALLS.

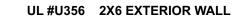
WALL TYPES

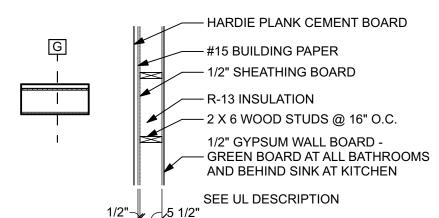


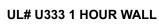


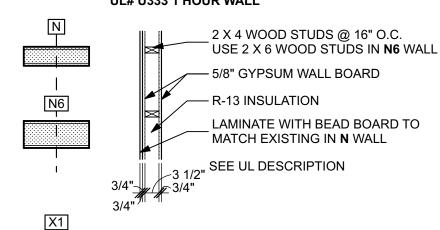






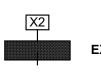




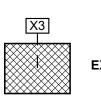




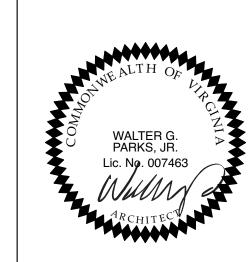
EXISTING BRICK WALL



EXISTING INTERIOR PARTITION PATCH GWB WHERE DAMAGED OR MISSING



EXISTING CMU WALL



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REVI	SIONS		
TAG	DATE		

ARCHITECT 313 N. ADAMS STREET RICHMOND, VIRGINIA 23220

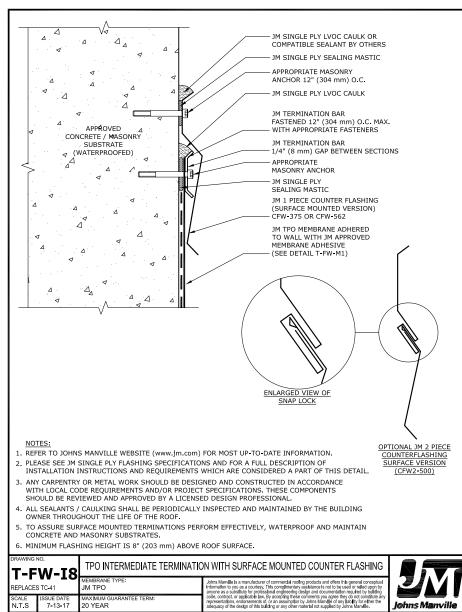
walter PARKS

t: 644-4761 / f: 644-4763

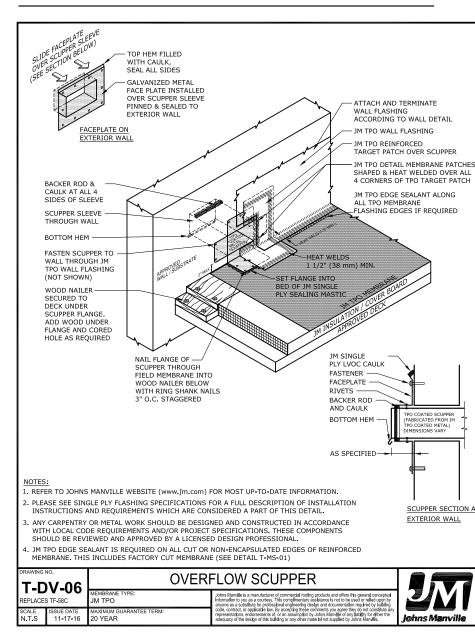
PROJECT #: 13.41 DATE: 10/18/19

PARTITION TYPES & **DETAILS** A.102

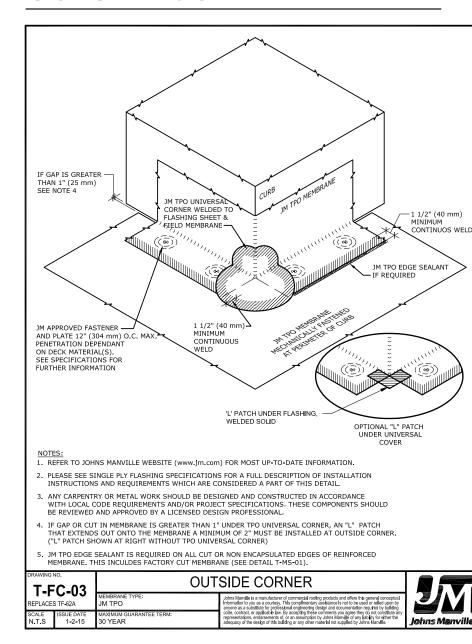
COUNTER FLASHING DETAIL



OVERFLOW SCUPPER DETAIL

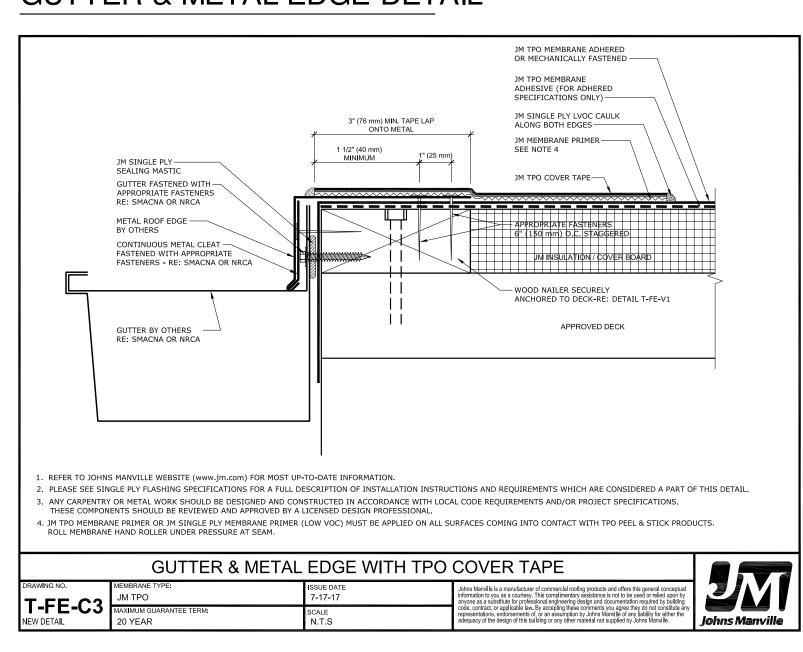


OUTSIDE CORNER DETAIL

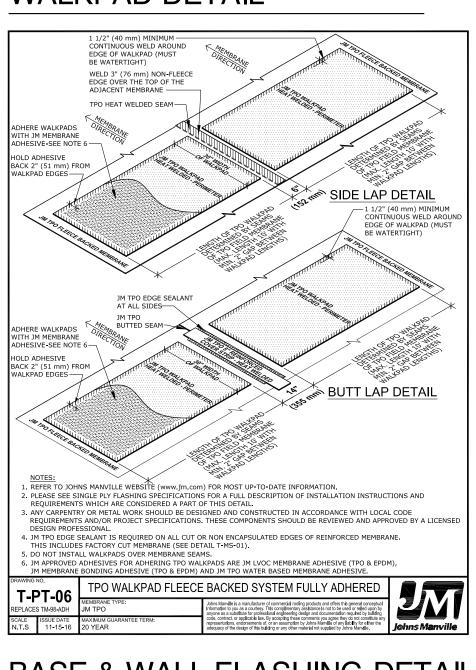


INSIDE CORNER DETAIL

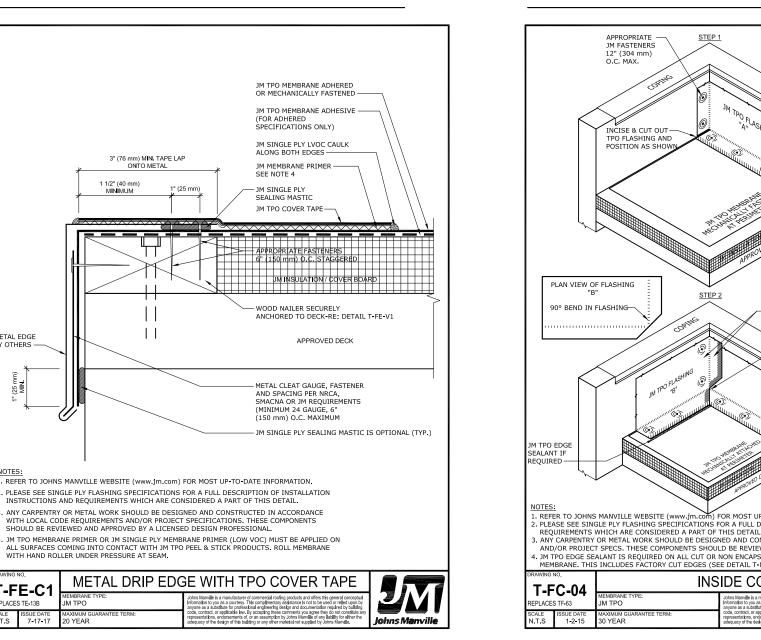
GUTTER & METAL EDGE DETAIL

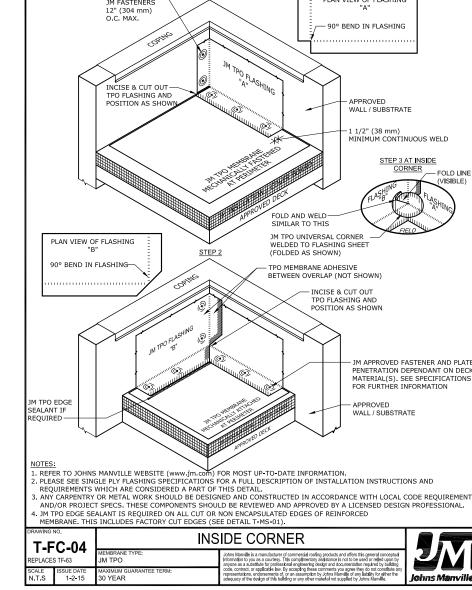


WALKPAD DETAIL

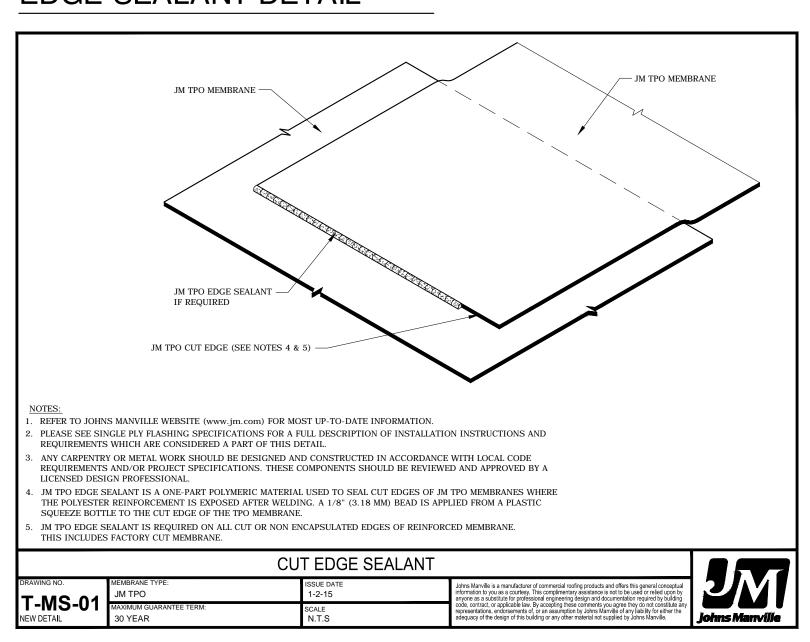


DRIP EDGE DETAIL

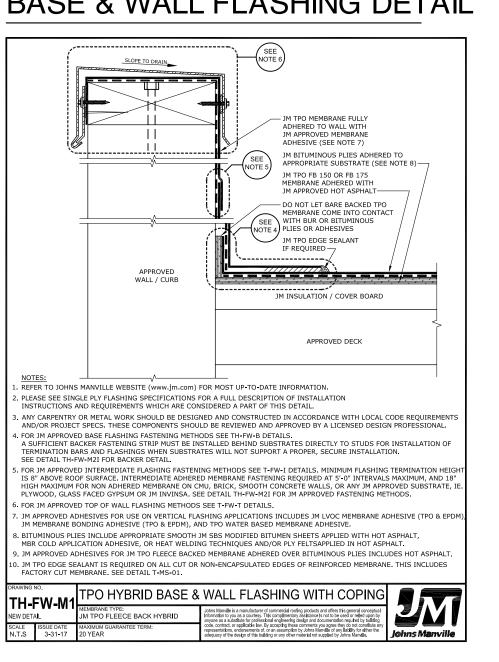




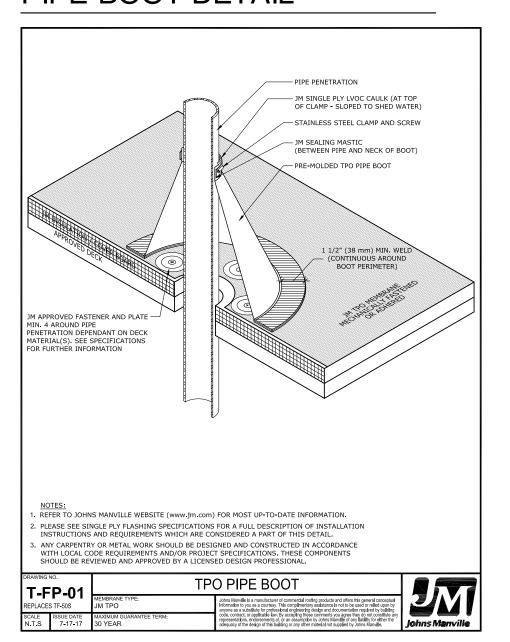
EDGE SEALANT DETAIL



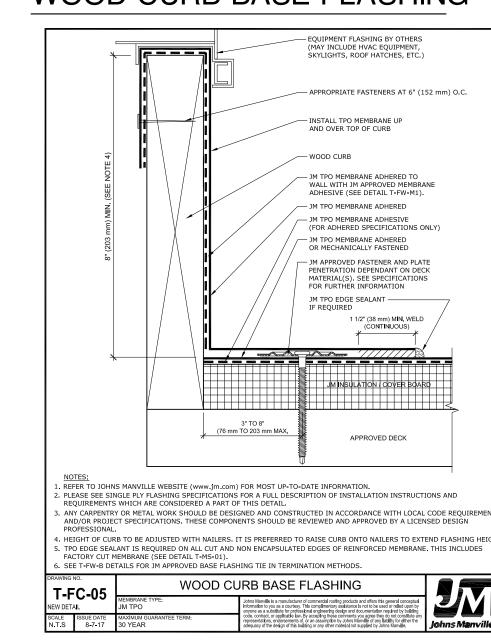
BASE & WALL FLASHING DETAIL

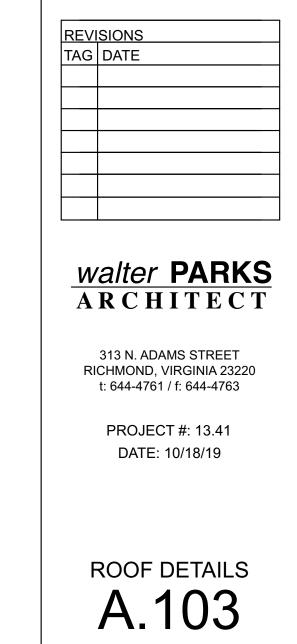


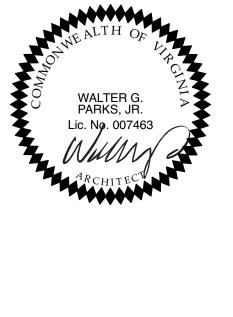
PIPE BOOT DETAIL



WOOD CURB BASE FLASHING







tree

2

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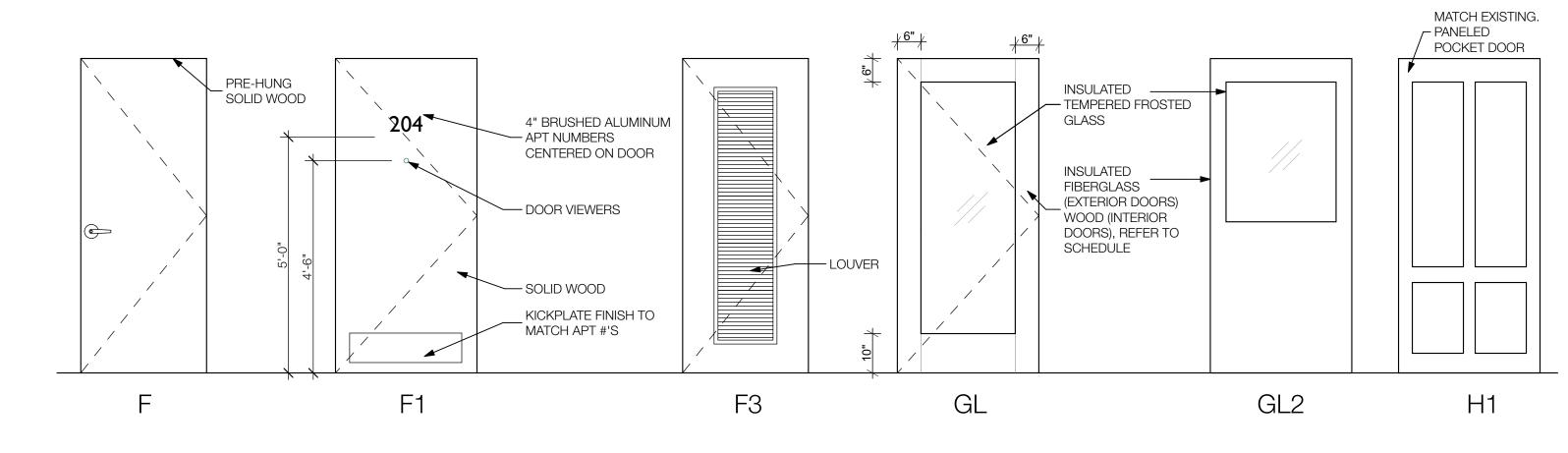
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DOOR TYPES

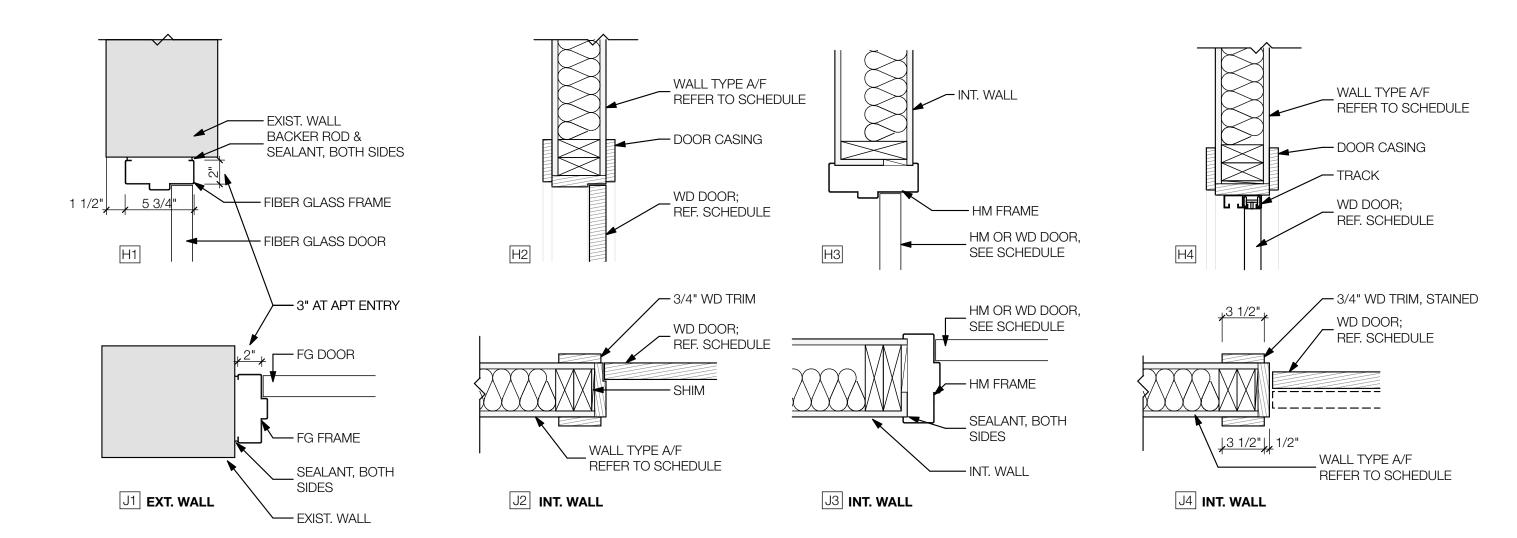
1. SEE DOOR SCHEDULE FOR ALL OPENING SIZES AND HARDWARE

- 2. ALL APARTMENT ENTRY DOORS TO HAVE UNIT NUMBERS AND DOOR VIEWER W/ 180 DEGREE FIELD OF VISION AND LEVER HANDSETS. VIEWERS AT 54" AFF.
- 3. DOOR HANDLES, PULLS, LATCHES AND OTHER OPERATING DEVICES TO BE INSTALLED 34" MIN TO 48" MAX A.F.F., PER IBC SECTION 1008.1.9.2
- 4. REFER TO SCHEDULE OF WIDTH AND HIEGHT OF DOORS
- 5. ALL PRIVACY LOCKS MUST BE PUSH BUTTON STYLE
- 6. ALL DOORS MUST BE SOLID CORE.

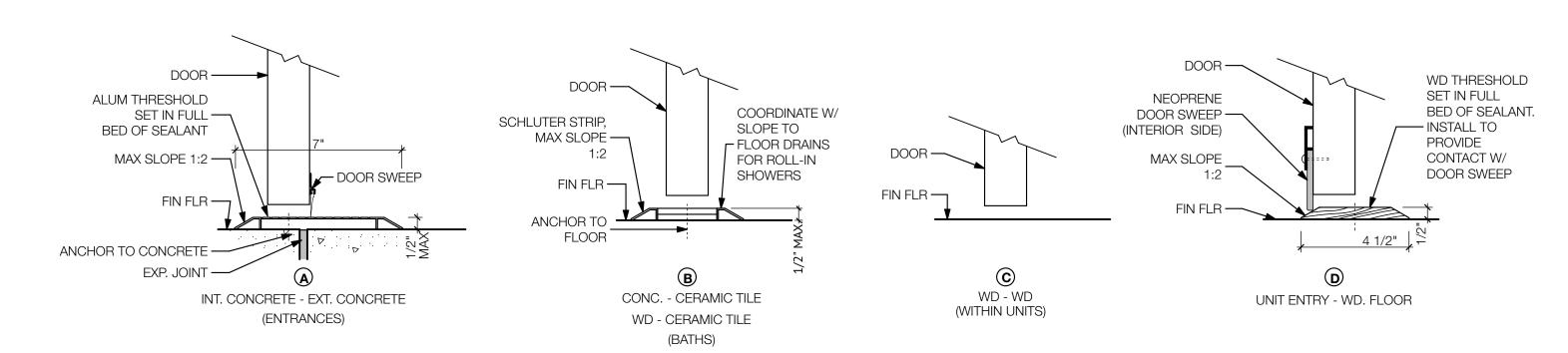


DOOR SCHEDULE HARDWARE FIRE TRIM DOOR LOCATION NOTES SET# RATING TYPE WIDTH | HEIGHT | THICKNESS | MATERIAL | TYPE | MATERIAL | HEAD/JAMB | 20 MIN B APARTMENT ENTRY 3'-0" 6'-8" 1 3/4" WD НМ J3/H3 12 2'-10" 6'-8" WD A BEDROOM/ BATHROOM 1 3/8" F WD J2/H2 3 13 2'-10" 6'-8" 1 3/8" WD WD J2/H2 A BATHROOM 14 2'-10" 6'-8" 1 3/8" WD F WD J2/H2 4 A CLOSET A CLOSET (W/D) 2'-8" 6'-8" 1 3/8" WD F3 J2/H2 LOUVERED; UNDERCUT PER VHDA WD 16 2'-4" 8'-0" 1 3/8" WD WD WD WD A CLOSET (MECH) LOUVERED; UNDERCUT PER VHDA WD A PANTRY 2'-0" 8'-0" 1 3/8" WD WD WD WD 20 (2) 2'-0" 1 3/8" A CLOSET NOT USED 6'-8" WD WD J4/H4 (2) 2'-6" | 6'-8" 1 3/8" WD WD J4/H4 A CLOSET SLIDING DOORS 6 *** ALL EXISTING OPENINGS TO BE V.I.F. BY CONTRACTOR PRIOR TO FABRICATION ALL EXISTING OPENINGS TO BE 101 7'-0" 1 3/4" FG 60 MIN EXISTING ENTRY (2) 2'-6" V.I.F. BY CONTRACTOR PRIOR TO FABRICATION. INCLUDE ARCHED 102 (2) 2'-6" 7'-0" 1 3/4" FG FG J1/H1 2 60 MIN B EXISTING ENTRY TOP TRANSOM ABOVE 103 2'-6" 6'-8" 1 3/8" WD Н WD J2/H2 A HALL CLOSET 104 3'-0" FG GL FG 60 MIN A REAR ENTRY 6'-8" 1 3/4" J1/H1 2 108 WD B LIVING ROOM (2) 3'-6" WD EXISTING POCKET DOOR; REPAIR AS NEEDED 201 WD B LIVING ROOM (2) 3'-6" Н WD -202 3'-0" 6'-8" 1 3/4" FG GL FG J1/H1 2 A BALCONY DOOR

HEAD / JAMB DETAILS



DOOR THRESHHOLDS



HARDWARE SETS

ALL LOCKSETS, LATCHSETS: SCHLAGE LEVER RESIDENTIAL (EXCEPT AS NOTED) BRUSHED STAINLESS. PROVIDE MASTER AND GRANDMASTER KEYING SYSTEM

1. APARTMENT ENTRY DOORS (INT):

DOOR SWEEP

DOOR SWEEP

DOOR STOP

DOOR STOP

DEADLOCK W/ PASSAGE EYE VIEWER GASKET/ WEATHERSTRIPPING 1 PR BB HINGES 1 SPRING HINGE

4. CLOSETS

2. APARTMENT ENTRY DOORS (EXT): ENTRY LOCKSET WEATHERSTRIPPING 1 PR BB HINGES 1 SPRING HINGE

DOOR STOP 5. CLOSET (DOUBLE DOORS) 2 BALL CATCH (AT TOP OF DR) 3 PR HINGES 2 DUMMY PULLS 2 DOOR STOPS

3. BEDROOM AND BATHROOM:

PRIVACY LOCKSET

1 1/2 PR HINGES

1 1/2 PR HINGES

DOOR STOP

LATCHSET

1 SET SLIDING TRACK RECESSED PULLS

9. OFFICE

NOT USED

NOT USED

11. PASSAGE SET

CLOSER

DOOR STOP

10. GENERAL CARD ACCESS

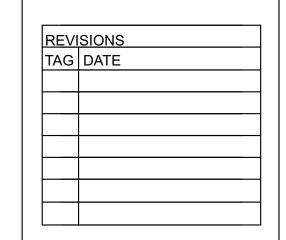
1 1/2 PR BB HINGES

7. UTIL. STOREROOM LOCKSET 1 1/2 PR HINGES DOOR STOP

6. CLOSET (SLIDERS)

8. UTIL. STOREROOM LOCKSET 3 PR HINGES FLUSH BOLTS 2 DOOR STOPS

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Lic. Np. 007463

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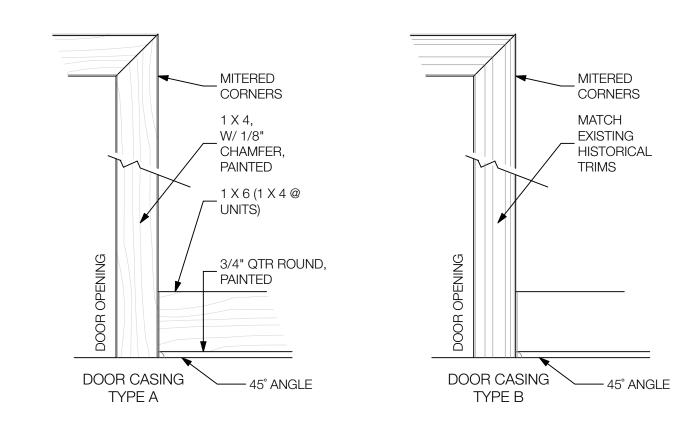
walter PARKS ARCHITECT

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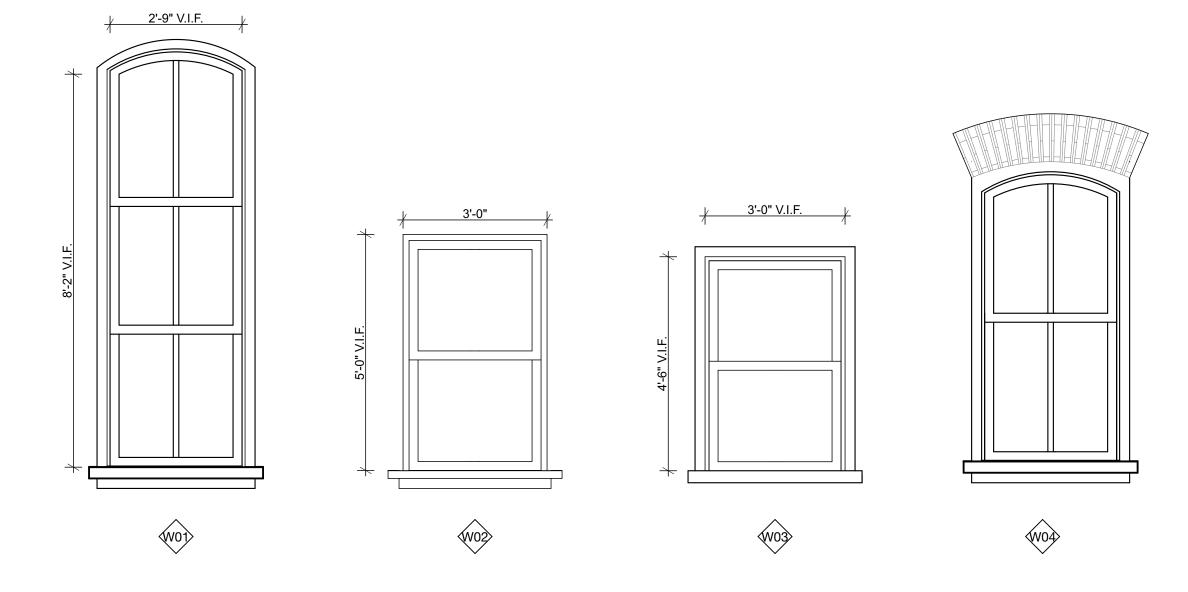
PROJECT #: 13.41 DATE: 10/18/19

DOOR SCHEDULE, TYPES & DETAILS A.104

DOOR & WINDOW TRIMS

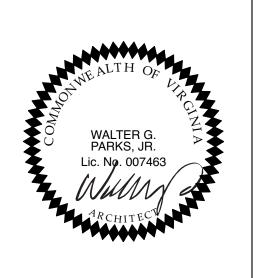


WINDOW TYPES



WINDOW SCHEDULE										
MARK APPROX. SIZE				EXISTING, NEW, OR	CL AZINC	DETAILS	TRIM	NOTES/ COMMENTS		
IVIANN	WIDTH	HEIGHT	MATERIAL	MODIFIED OPENING	GLAZING	AZING DETAILS		NOTES/ COMMENTS		
W-01	2'-9"	8'-2"	WD	MODIFIED	G2	2, 5, 6	В	RESTORE TO EXISTING OPENING		
W-02	3'-0"	5'-0"	AL	MODIFIED	G2	2, 5, 6	Α	ENLARGE EXISTING OPENINGS		
W-03	3'-0"	4'-6"	AL	NEW OR MODIFIED	G2	2, 5	Α			
W-04	2'-9"	6'-0"	WD	EXISTING	G2	1, 2, 4	В	VERIFY CONDITION OF EXISTING WINDOWS		

	WINDOW SCHEDULE KEY
ST	STEEL
AL	ALUMINUM
AL WD	WOOD ALUMINUM CLAD
G1	CLEAR SINGLE PANE, STORM WINDOWS REQUIRED ON ALL SINGLE PANE GLAZED WINDOWS.
G2	CLEAR LOW-E GLAZING 0.25 - 0.30 SHGC, U-VALUE 0.32 MAX
	NOTES/ COMMENTS KEY
1	REFURBISH/ REPAIR EXISTING WINDOW. REPLACE BROKEN PANES OF GLASS AND GLAZING.
2	PROVIDE 2" VINYL BLINDS ON ALL WINDOWS
3	CLEAN, SCRAPE EXISTING FRAME AND REGLAZE. REPLACE FRAME IF DAMAGED BEYOND REPAIR.
4	REFURBISH WINDOW IF FOUND BEHIND BOARDS, NEW WINDOW AS SCHEDULED IF NONE FOUND.
5	MODIFY EXISTING OPENING TO FIT SCHEDULED WINDOW
6	ALL EXISTING OPENINGS TO BE V.I.F. BY CONTRACTOR PRIOR TO WINDOW FABRICATION.
•	REFER TO ELEVATIONS FOR WINDOW NOTES



1st Street Apartments 524 - 526 N. 1st Street

	REV	ISIONS	
	TAG	DATE	
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walter PARKS ARCHITECT

313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 10/18/19

window schedule,
types & details
A.105

FINISHES

	1					
Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
CT1	12" x 24" PORCELAIN FLOOR TILE	AMERICAN OLEAN	THEORETICAL	TBD	BATH	STRAIGHT JOINT
CT2	4" x 12" WALL TILE	DALTILE	ELEVARE	MATTE LUNAR EL47	BATH	HORIZONTAL SOLDIER BOND
СТЗ	3" X 6" BACKSPLASH TILE	AMERICAN OLEAN	BRIGHT AND MATTE GROUP 1	ICE WHITE 0025	KITCHEN	VERTICAL SOLDIER BOND
GR1	1/4" GROUT	MAPEI	SANDED	TBD	ватн	COORD. W/ CT1
GR3	1/16" GROUT	MAPEI	UNSANDED	00 WHITE	BATH, KITCHEN	COORD. W/ CT2 & CT3
GT1	3CM GRANITE		TBD	POLISHED	KITCHEN	EASED EDGES, POLISH ALL EXPOSED EDGES
						EASED EDGES, POLISH ALL EXPOSED
GT1	3CM GRANITE		TBD	POLISHED	BATH	EDGES
PT1	OVERALL CEILING PAINT	SHERWIN WILLIAMS	TBD	FLAT	THROUGHOUT	
PT2	OVERALL PAINT	SHERWIN WILLIAMS	TBD	FLAT	THROUGHOUT	
РТ3	BATHROOM PAINT	SHERWIN WILLIAMS	TBD	SEMI-GLOSS	BATH	
PT4	TRIM PAINT	SHERWIN WILLIAMS	TBD	SEMI-GLOSS	UNIT	
PT5	UNIT ACCENT PAINT	SHERWIN WILLIAMS	TBD	FLAT	UNIT	
РТ6	UNIT ACCENT PAINT	SHERWIN WILLIAMS	TBD	FLAT	UNIT	
PT7	UNIT RAILING PAINT	SHERWIN WILLIAMS	TBD	SEMI-GLOSS	UNIT	SEE STAIR DETAILS
PT8	CORRIDOR PAINT	SHERWIN WILLIAMS	TBD	FLAT	CORRIDOR	
РТ9	ACCENT PAINT	SHERWIN WILLIAMS	тво	FLAT	CORRIDOR	
PT10	ACCENT PAINT	SHERWIN WILLIAMS	TBD	FLAT	CORRIDOR	
PT11	FENCE PAINT	SHERWIN WILLIAMS	TBD	FLAT	PLANTING AREA	
PT12	GARAGE PAINT	SHERWIN WILLIAMS	TBD	FLAT	GARAGE	
WD1	WOOD CABINETRY	ADVANTA	MAPLE CALIBRA II	TBD	KITCHEN	
WD2	WOOD CABINETRY	ADVANTA	MAPLE CALIBRA II	TBD	BATH	
WD3	EXISTING WOOD FLOORING	_	_	_	_	CLEAR & REPAIR

FINISH SCHEDULE

ROOM NAME	FLOORS1	TRIM	DOORS	WALLS	CEILING	CASEWORK		(NOTES
						CABINETS	COUNTERTOP	BACKSPLASH	
COMMON AREAS				•	•			•	
VESTIBULE	WD3	PT4	CLEAR COAT	PT8-PT10*	PT1	-	-	-	*SEE FINISH PLAN FOR LOCATION
CLOSET	↓	+	\	PT8	 	-	-	-	
APARTMENTS	•					-	•	•	
BATH	CT1	PT4	CLEAR COAT	CT2, PT3	PT1	WD2	GT2	GT2	
BEDROOM	WD3			PT2, PT5, PT6*		-	-	-	*SEE FINISH PLAN FOR LOCATION
CLOSET						-	-	-	
KITCHEN						WD1	GT1	СТЗ	
LIVING ROOM						-	-	-	
MECH						-	-	-	
MECH								1	

1 ALL EXPOSED PIPE TO BE PAINTED THROUGHOUT BUILDING.

APPLIANCES

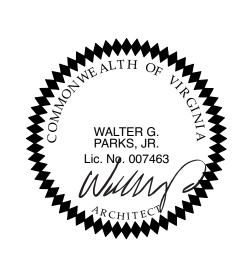
Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
IVIAIR	Description	Manuacturei	FIOUUCI Name/NO.	COIOI/I IIIISII	Location	Notes
E1	30" FREESTANDING RANGE	FRIGIDAIRE	FFEF3054TS	STAINLESS	KITCHEN	
E2	24" DISHWASHER	FRIGIDAIRE	FFBD2408NS	STAINLESS	KITCHEN	ENERGY STAR
E3	30" OVER-THE-RANGE MICROWAVE	FRIGIDAIRE	FFMV1645TS	STAINLESS	KITCHEN	
E4	30" TOP REFRIGERATOR	FRIGIDAIRE	FFHI1832TS	STAINLESS	KITCHEN	ADA, ICE MAKER, ENERGY STAR
E5	LAUNDRY CENTER	FRIGIDAIRE	FFLE3911QW	WHITE	UNIT	ENERGY STAR

LIGHTING SCHEDULE

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Lighting	Lumens	Mounting	Notes
UNIT FIX	(TURES								
F1	50" CEILING FAN W/ LIGHT	RP LIGHTING	1008LED-BN-BN	BRUSHED NICKEL	BEDROOM/LIVING ROOM	(1) 17W LED	1144LM	BOTTOM OF FIXTURE @ 9'-0"	HARDWIRE CEILING FAN, SEPARATE SWITCHES FOR LIGHT & FAN. LIGHT TO BE DIMMABLE, FAN TO HAVE VARIABLE SPEED PADDLE SWITCH; NO REMOTE CONTROL. PROVIDE DOWN RODS TO ACHIEVE MOUNTING HEIGHT. ENERGY STAR. 3000K COLOR TEMPERATURE.
F2	7" SLIM LED	LITON	LCMPD7RW-T30	WHITE	ВАТН	(1) 15W LED	1500LM	FLUSH TO CEILING	DAMP LOCATION LISTED, ENERGY STAR, 3000K COLOR TEMPERATURE
F3	25" DECORATIVE VANITY FIXTURE	NUVO LIGHTING	62-1102	POLISHED NICKEL	ватн	(1) 26W LED	2080LM	CENTER OVER VANITY	DAMP LOCATION LISTED, 3000K COLOR TEMPERATURE
F4	12" UNDER CABINET LIGHT	RP LIGHTING	8967WW-3K	WHITE	KITCHEN	(1) 5W LED	270LM	FLUSH TO UNDERSIDE OF WALL CABINET	HARDWIRE TO SWITCH, ENERGY STAR, 3000K COLOR TEMPERATURE
F5	5" SLIM LED	LITON	LCMPD5RW-T30	WHITE	KITCHEN	(1) 12W LED	1500LM	FLUSH TO CEILING	DAMP LOCATION LISTED, ENERGY STAR, 3000K COLOR TEMPERATURE
F6	2' LED STRIP W/ COVER	RP LIGHTING	4311WH-4K	WHITE	CLOSETS/MECH	(1) 10W LED	1000LM	W/D & MECH CLOSETS MOUNT ABOVE DOOR, WALK-IN CLOSETS CENTER ON CEILING	DAMP LOCATION LISTED, ENERGY STAR, 4000K COLOR TEMPERATURE
F7	PENDANT	NUVO LIGHTING	62-2932	BRUSHED NICKEL	ISLAND	(1) 12W LED	1640LM	BOTTOM OF FIXTURE @ 5'-6"	3000K COLOR TEMPERATURE
F8	7" SURFACE MOUNT	LITON	LCMPD7RW-T30	WHITE	HALLWAY	(1) 15W LED	1500LM	SURFACE MOUNT	ENERGY STAR, 3000K COLOR TEMPERATURE
F9	12" SURFACE MOUNT	LITON	LCMPD12RS-T30	SILVER**	ENTRY	(1) 22W LED	2000LM	SURFACE MOUNT	ENERGY STAR, 3000K COLOR TEMPERATURE, **SPECIAL ORDER, EXTENDED LEAD TIME
соммо	N FIXTURES								
F20	7" SURFACE MOUNT	LITON	LCMPD7RW-T30	WHITE	HALLWAY	(1) 15W LED	1500LM	SURFACE MOUNT	3000K COLOR TEMPERATURE 3000K COLOR TEMPERATURE. ENERGY
F21	12" SURFACE MOUNT	LITON	LCMPD12RS-T30	SILVER**	STAIRWELLS	(1) 22W LED	2000LM	SURFACE MOUNT	STAR, **SPECIAL ORDER, EXTENDED LEAD TIME
F22	2' LED STRIP W/ COVER	RP LIGHTING	4311WH-4K	WHITE	JANITORS CLOSET	(1) 10W LED	1000LM	CENTER ON CEILING	DAMP LOCATION LISTED, 4000K COLOR TEMPERATURE
F23	4' LED STRIP W/ COVER	LITHONIA LIGHTING	SBL4 3000LM 80CRI 30K NODIM ZT MVOLT	WHITE	GARAGE	(1) 25.2W LED	3000LM	LITHONIA LIGHTING	DAMP LOCATION LISTED, 3000K COLOR TEMPERATURE
	OR FIXTURES								
F40	SCONCE	TBD	TBD	TBD	EXTERIOR WALLS	TBD	TBD	TBD	WET LOCATION LISTED, 3000K COLOR TEMPERATURE

PLUMBING SCHEDULE

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
Α	LARGE SINGLE BOWL SINK	ELKAY	ECTRU30179R	STAINLESS STEEL	KITCHEN	UNDERMOUNT
В	KITCHEN FAUCET	DELTA	TRINSIC, 9159-AR-DST	ARCTIC STAINLESS	KITCHEN	ADA COMPLIANT
С	6" CABINETRY PULLS	BERENSON	1061-4BPN-P	BRUSHED NICKEL	KITCHEN & BATH	
D	TOILET	AMERICAN STANDARD	CADET3, 2514.101.020	WHITE	BATH, COMMERCIAL BATH	ADA COMPLIANT, WATER SENSE EVER CLEAN SURFACE
Ę	BATHTUB, RIGHT HAND OUTLET	AMERICAN STANDARD	PRINCETON, 2391.202.020	WHITE	BATH	ADA COMPLIANT
\downarrow	BATHTUB, LEFT HAND OUTLET	AMERICAN STANDARD	PRINCETON, 2390.202.020	WHITE	BATH	ADA COMPLIANT
F	34" X 48" SHOWER BASE	STERLING	723211000	WHITE	BATH	
G	UNDER MOUNT SINK	AMERICAN STANDARD	ORBIT, 0630.000.020	WHITE	BATH	ADA COMPLIANT
Н	TUB/SHOWER FAUCET TRIM KIT	DELTA	TRINSIC, T14459-SS	BRUSHED NICKEL	BATH	ADA COMPLIANT, WATER SENSE
J	SHOWER FAUCET TRIM KIT	DELTA	TRINSIC, T14259-SS	BRUSHED NICKEL	BATH	ADA COMPLIANT, WATER SENSE
K	SINK FAUCET	DELTA	MODERN, 559LF-SSPP	STAINLESS STEEL	BATH	ADA COMPLIANT, WATER SENSE
L	24" TOWEL BAR	MOEN	YB0424BN	BRUSHED NICKEL	BATH	
М	TOILET PAPER HOLDER	MOEN	YB0408BN	BRUSHED NICKEL	BATH	
N	ROBE HOOK	MOEN	YB0403BN	BRUSHED NICKEL	BATH	
Р	48" SHOWER CURTAIN ROD	CREATIVE SPECIALTIES, MOEN	TR1001BN	BRUSHED NICKEL	BATH	
Q	5' CURVED SHOWER ROD	CREATIVE SPECIALTIES, MOEN	DN2145BN	BRUSHED NICKEL	BATH	
R	SHELF SUPPORT BRACKET	MOCKETT	SH48B-17S	SATIN NICKEL	BATH	
S	8" VANITY LEGS	RICHELIEU	64217200170	STAINLESS STEEL	ВАТН	



1st Street Apartment 524 - 526 N. 1st Street

REVI	SIONS
TAG	DATE
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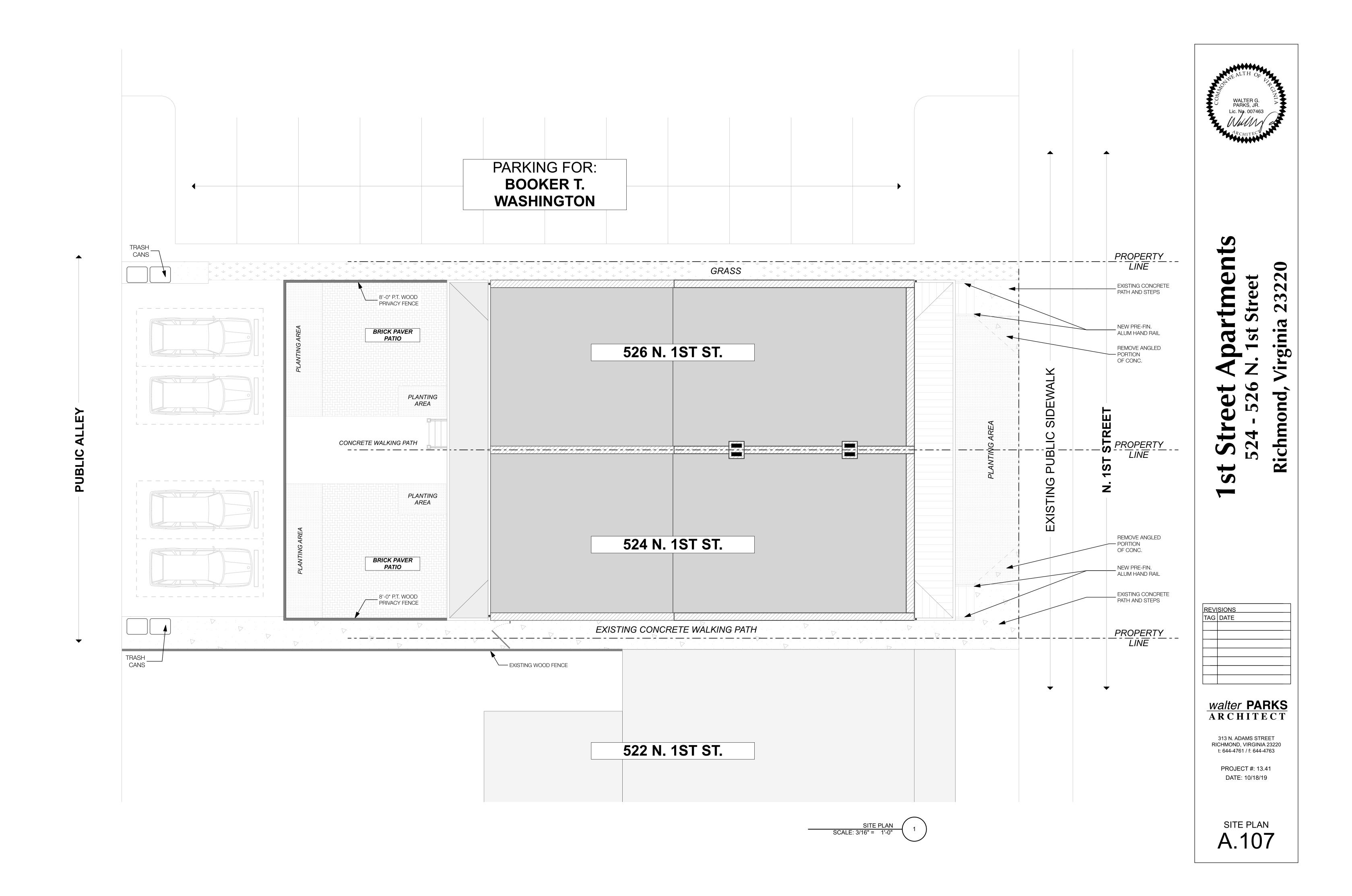
walter PARKS ARCHITECT

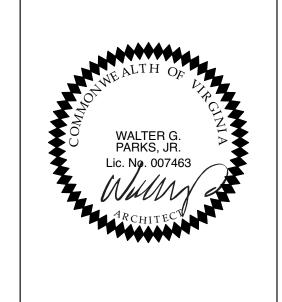
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 10/18/19

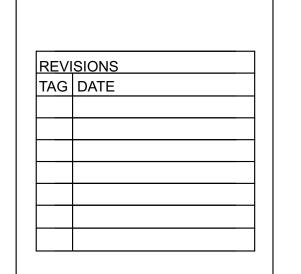
SCHEDULES A.106

² UNPAINTED SURFACES TO REMAIN UNPAINTED, OTHERWISE PAINT PER SCHEDULE









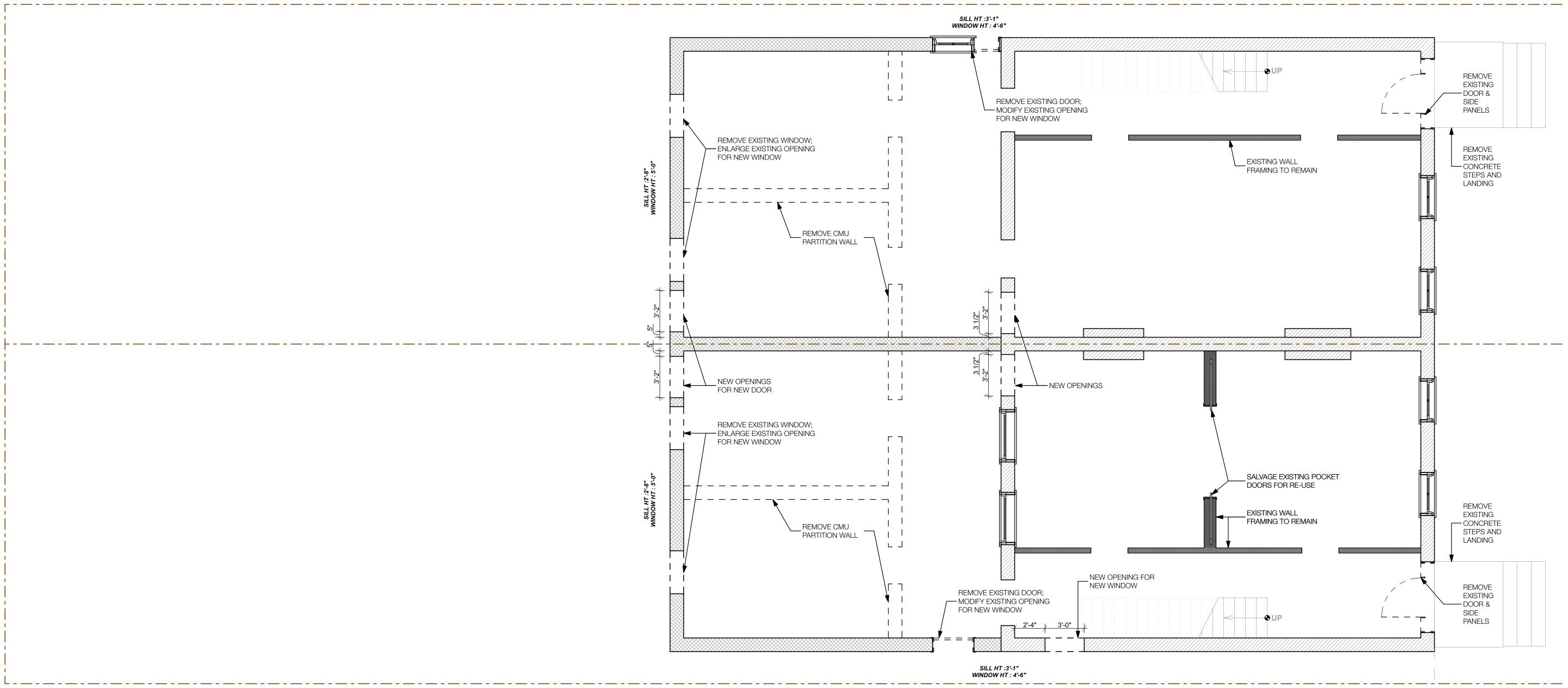
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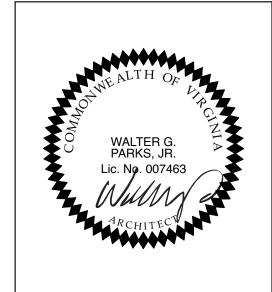
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

PROJECT #: 13.41 DATE: 10/18/19

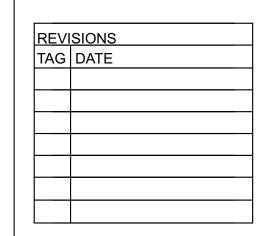
FIRST FLOOR DEMO

D.201









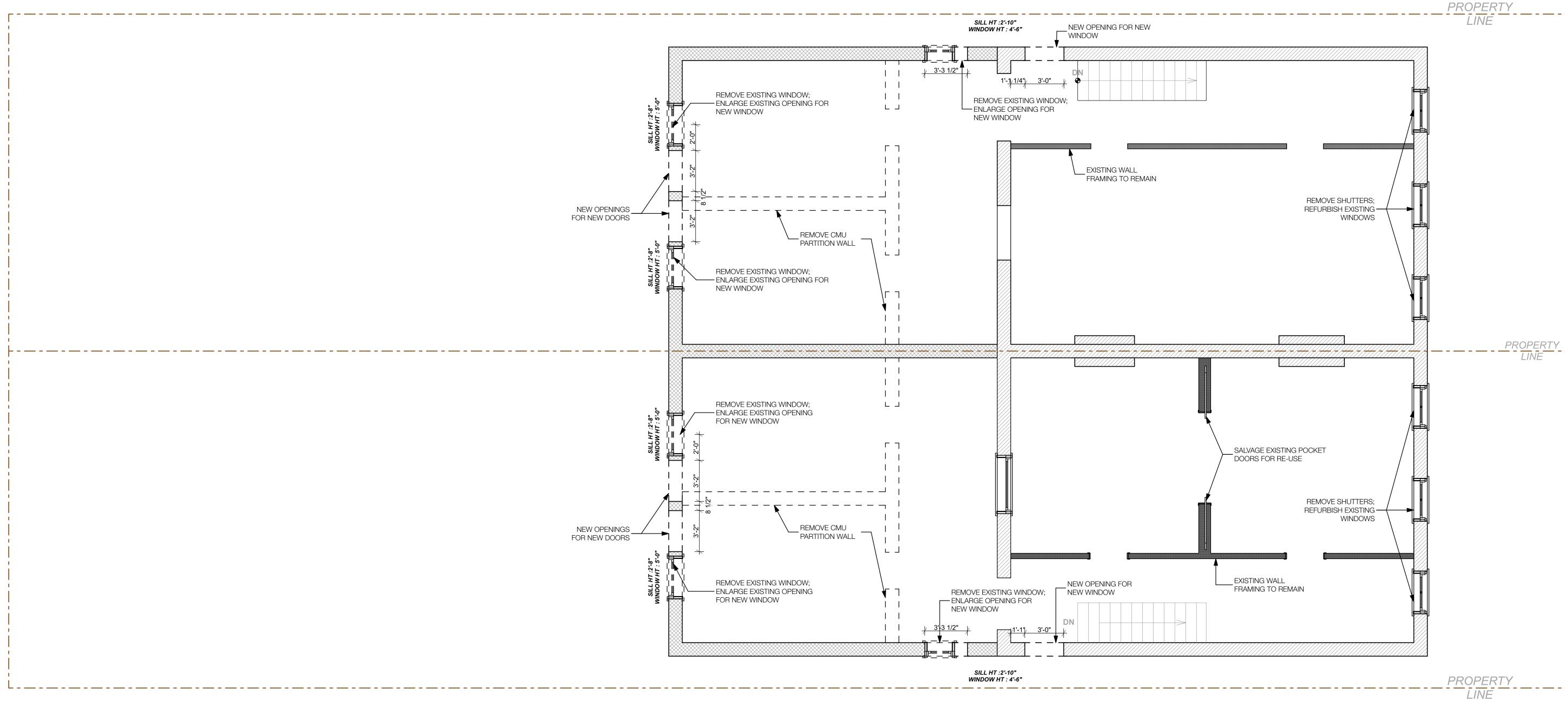
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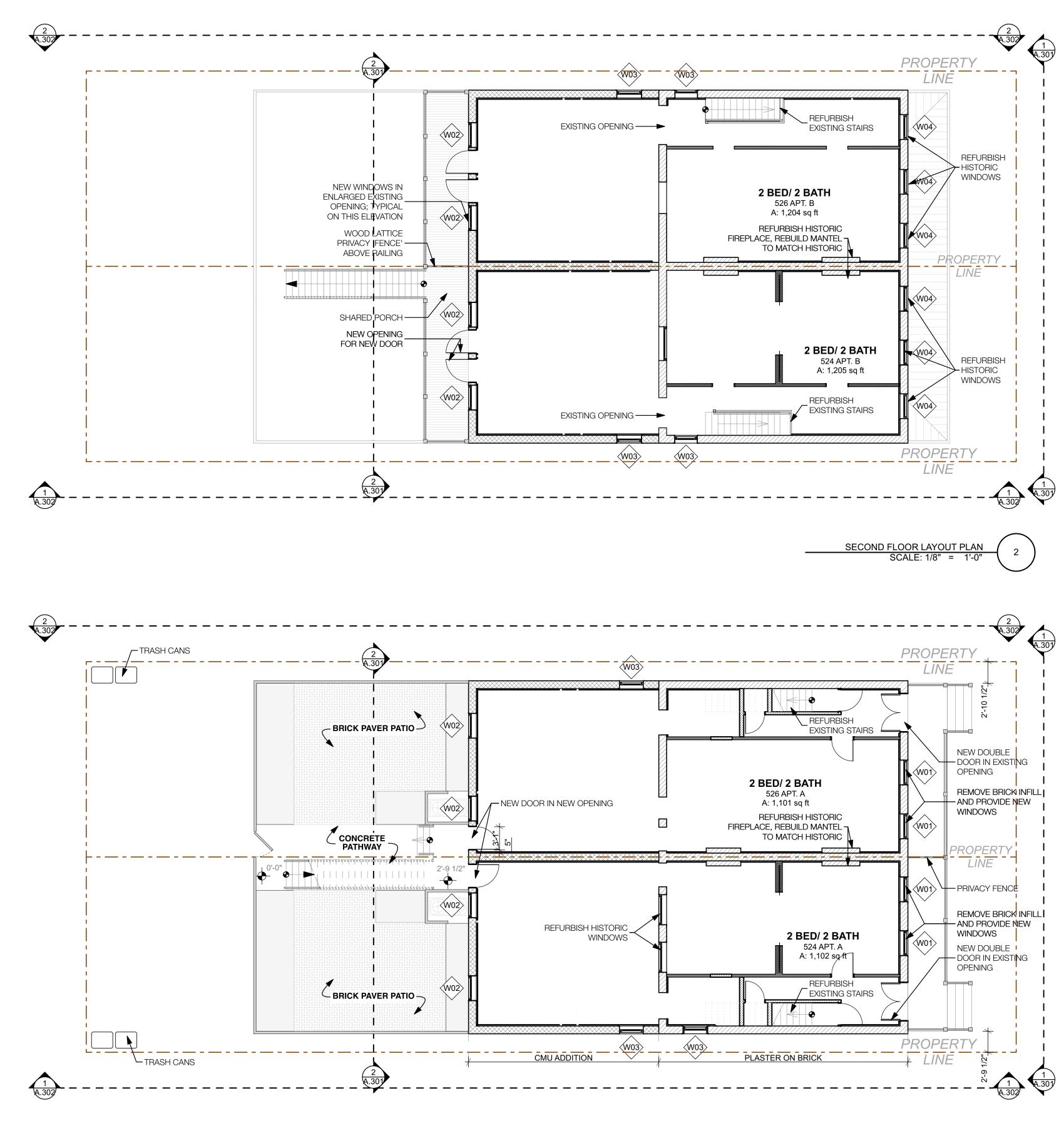
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PROJECT #: 13.41 DATE: 10/18/19

SECOND FLOOR DEMO

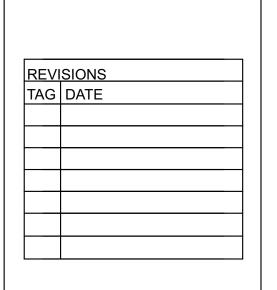
D.202







Richmond,



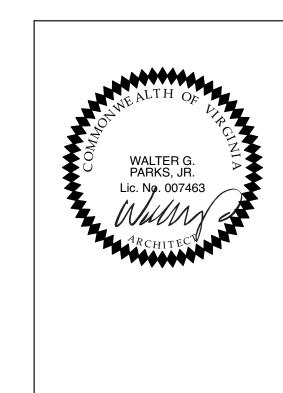
walter PARKS ARCHITECT

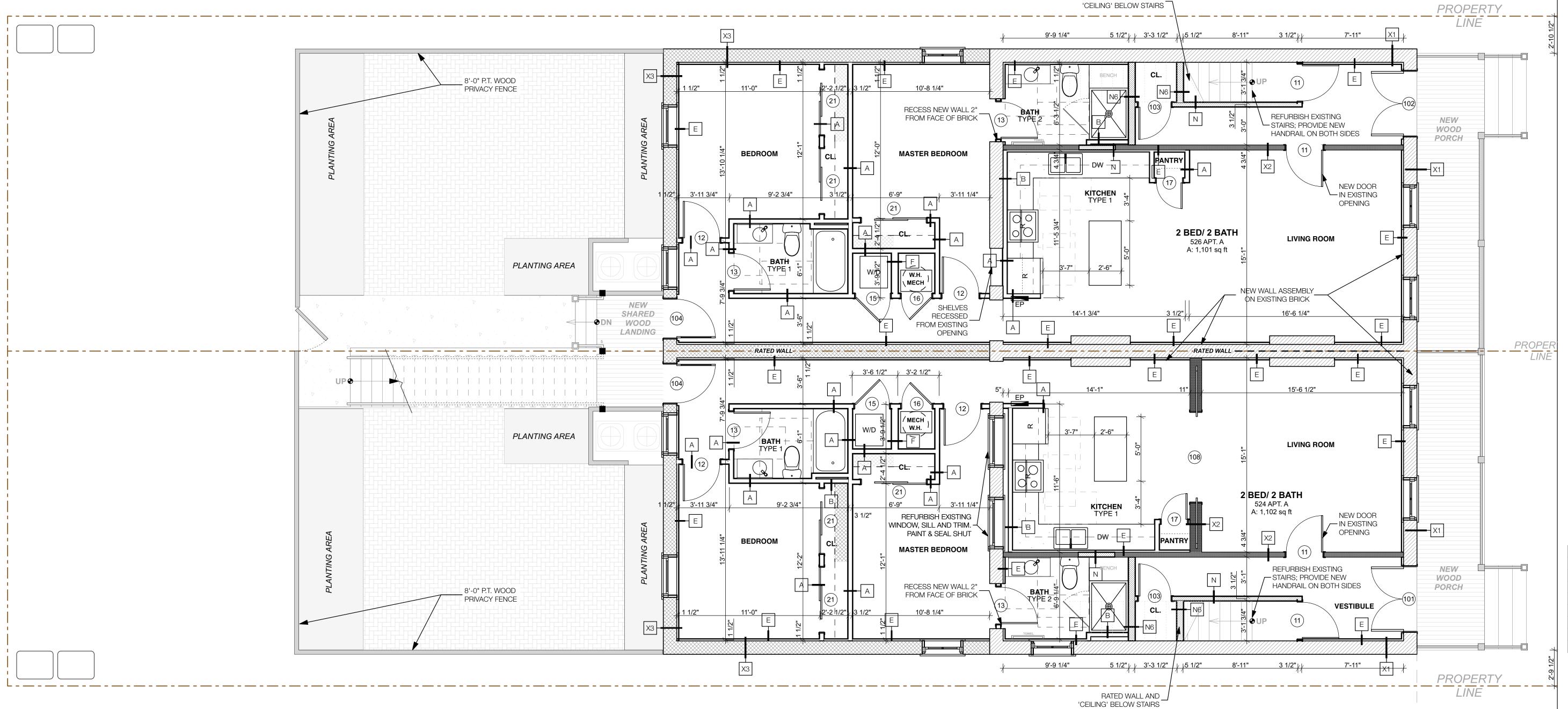
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> PROJECT #: 13.41 DATE: 10/18/19

A.200

FIRST FLOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"





RATED WALL AND _

1st Street Apartme 524 - 526 N. 1st Street

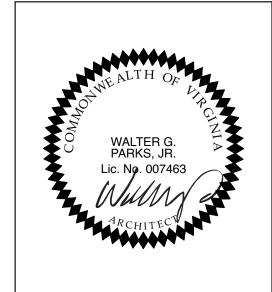
REVISIONS
TAG DATE

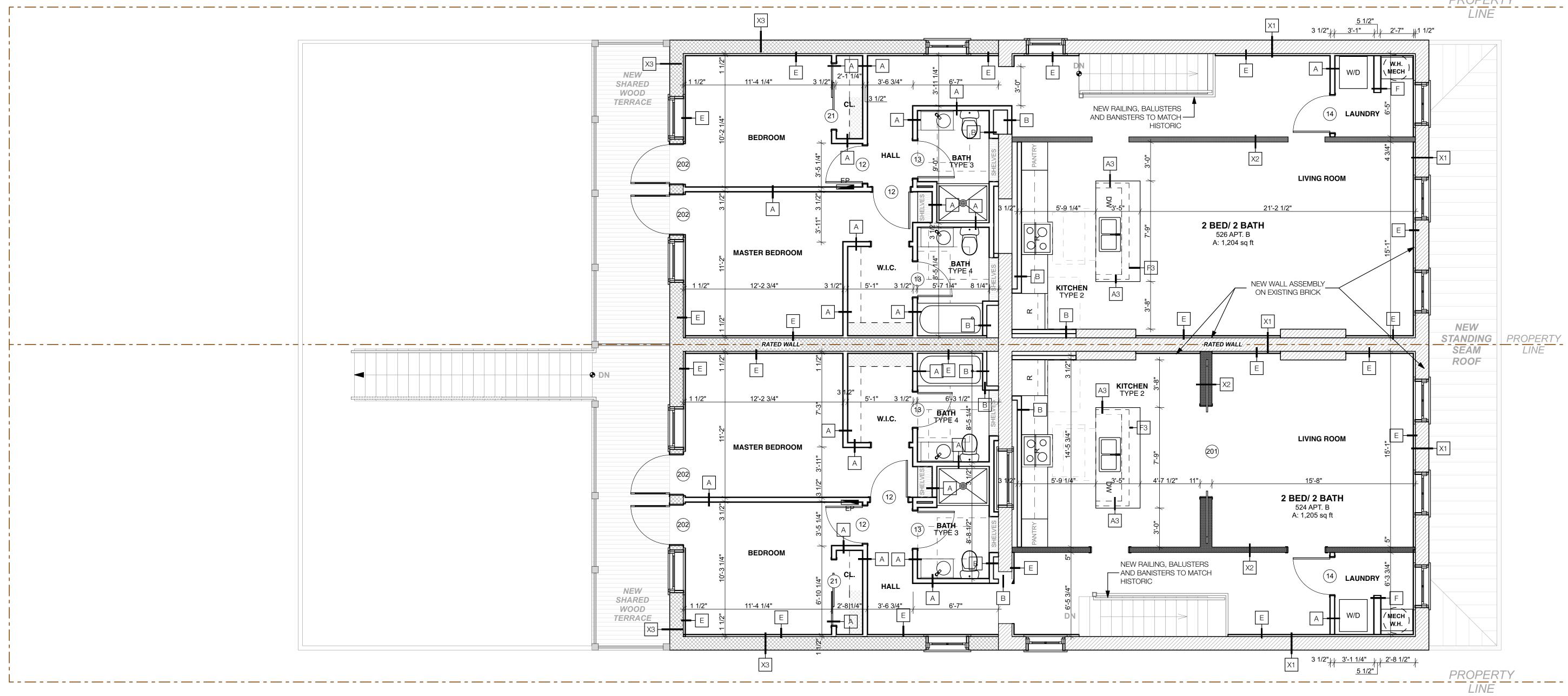
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PROJECT #: 13.41 DATE: 10/18/19

FIRST FLOOR PLAN
A.201





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PROJECT #: 13.41 DATE: 10/18/19

SECOND FLOOR PLAN
A.202



1st Street Apartments 524 - 526 N. 1st Street

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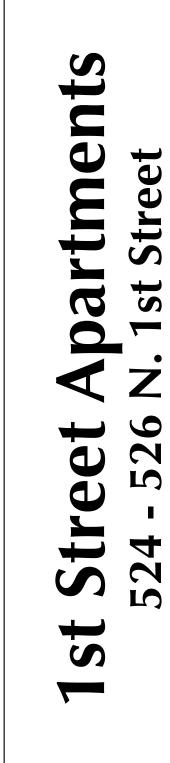
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> PROJECT #: 13.41 DATE: 10/18/19

ROOF PLAN
A.203





REVISIONS
TAG DATE

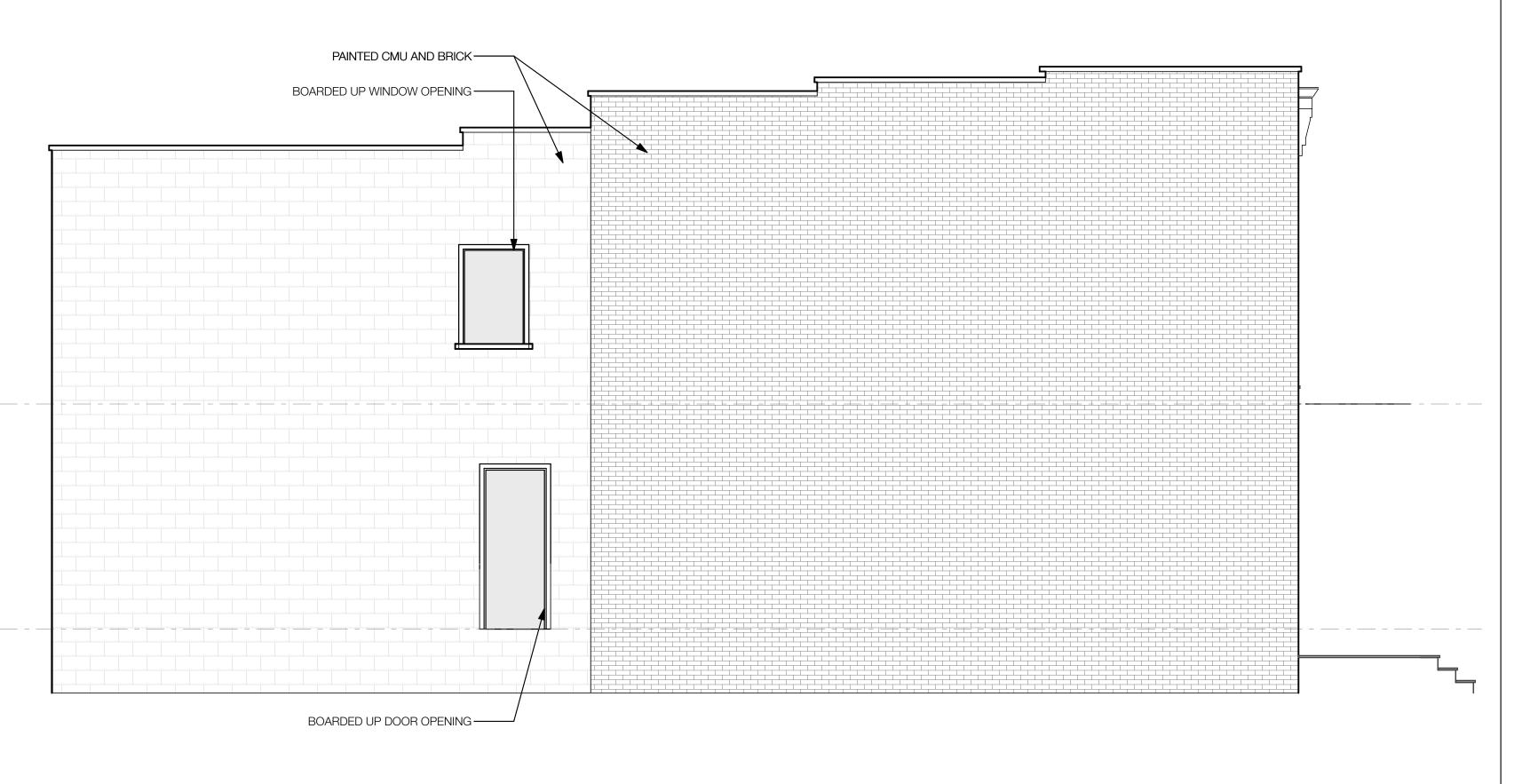
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> PROJECT #: 13.41 DATE: 10/18/19

AS IS ELEVATIONS AS 13 O 1

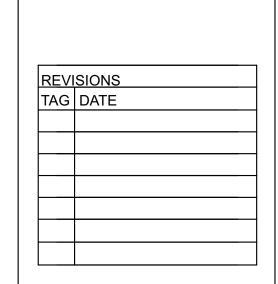
FRONT ELEVATION - EAST
SCALE: 1/4" = 1'-0"



SIDE ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"

1st Street Apartmen 524 - 526 N. 1st Street

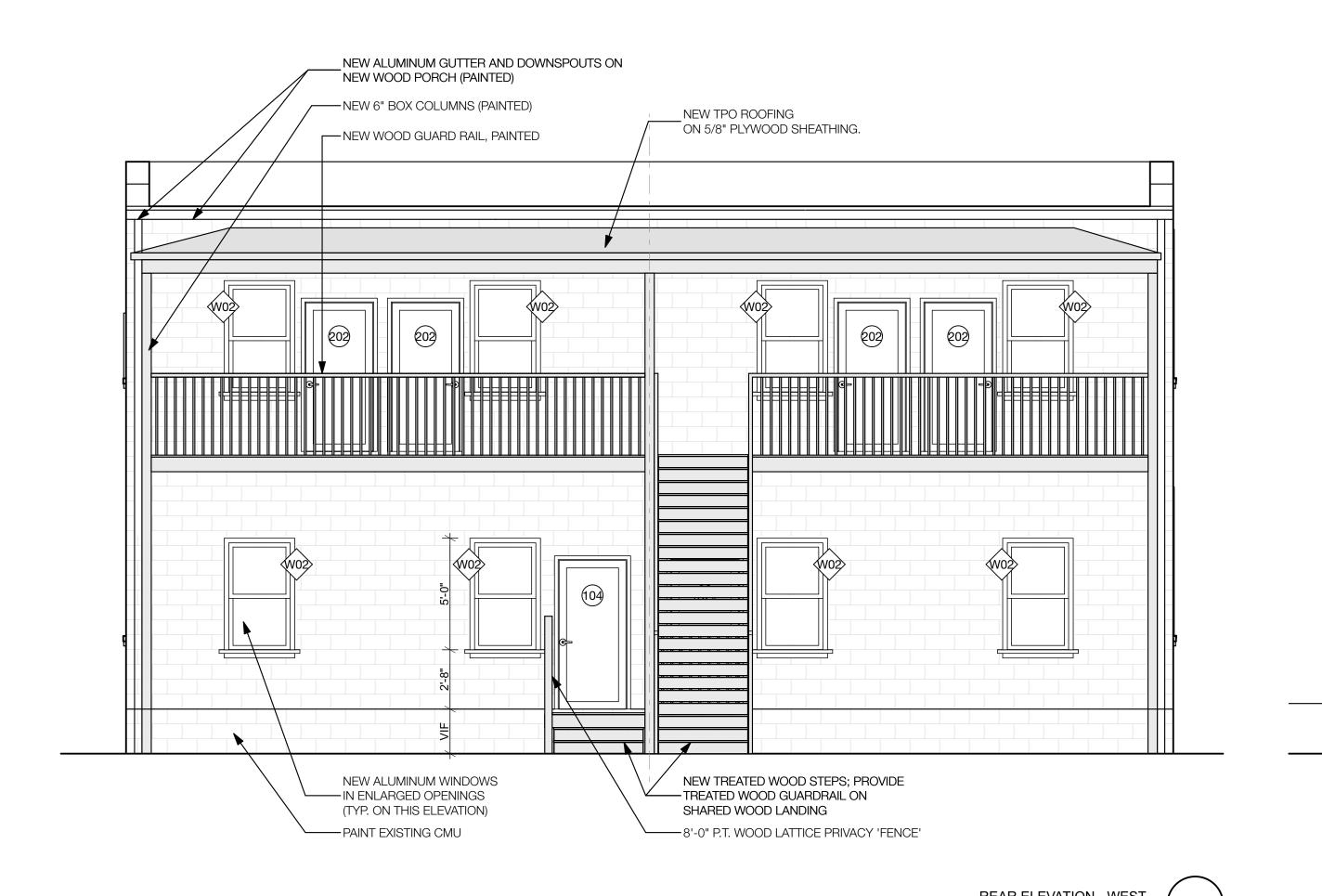


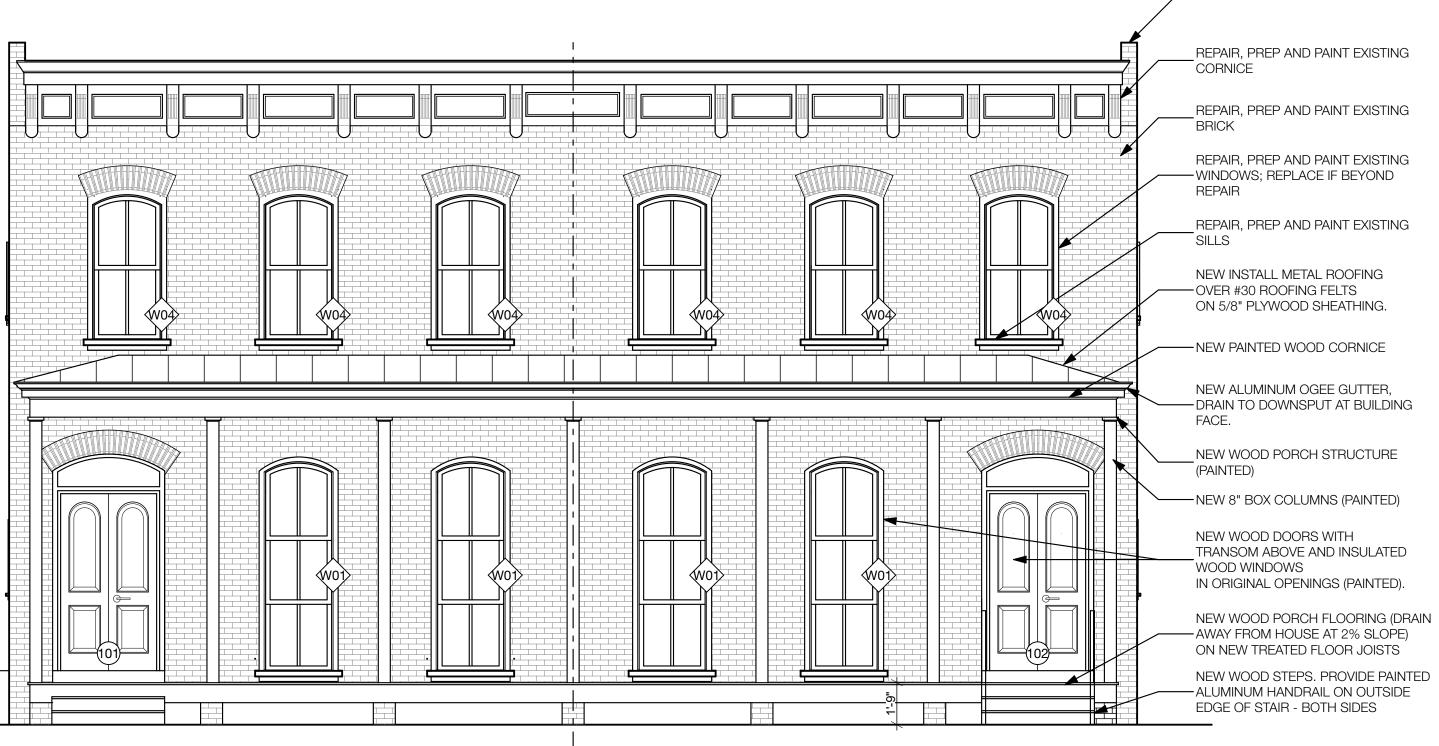
walter PARKS ARCHITECT

313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 10/18/19

AS IS ELEVATIONS AS .302





REPAIR AND SEAL PARAPET

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Virgini

Richmon

Lic. Ng. 007463

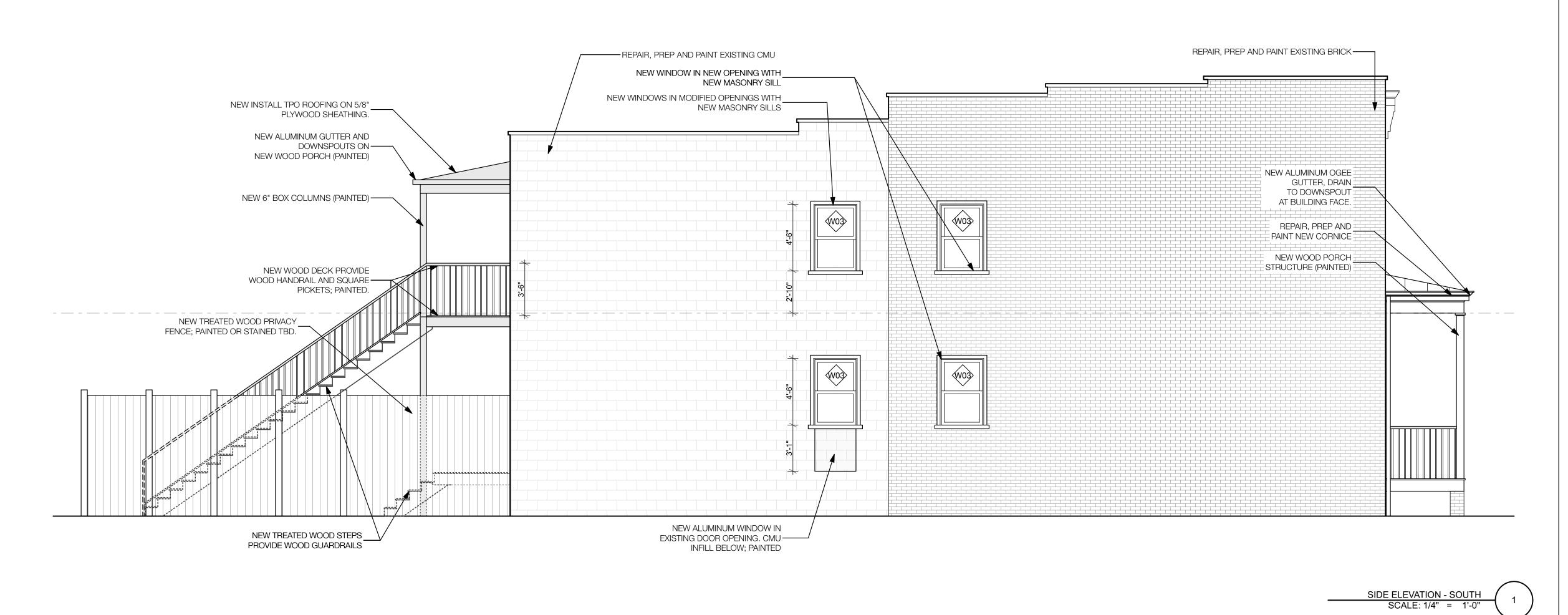
REVISIONS TAG DATE

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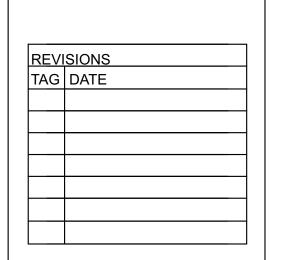
PROJECT #: 13.41 DATE: 10/18/19

A.301



REPAIR, PREP AND PAINT EXISTING BRICK REPAIR, PREP AND PAINT EXISTING CMU -----NEW WINDOW IN NEW OPENING WTIH NEW MASONRY SILL _ NEW WINDOWS IN ENLARGED
OPENINGS WITH NEW MASONRY SILL NEW INSTALL TPO ROOFING ON 5/8" PLYWOOD SHEATHING. NEW ALUMINUM GUTTER AND - DOWNSPOUTS ON NEW WOOD PORCH (PAINTED) --- NEW 6" BOX COLUMNS (PAINTED) T NEW ALUMINUM OGEE ∓GUTTER, DRAIN TO DOWNSPOUT # AT BUILDING FACE. W03 REPAIR, PREP AND PAINT NEW CORNICE NEW WOOD PORCH STRUCTURE (PAINTED) NEW WOOD DECK PROVIDE -WOOD HANDRAIL AND SQUARE PICKETS; PAINTED. NEW TREATED WOOD PRIVACY FENCE; PAINTED OR STAINED TBD. W03 NEW ALUMINUM WINDOW IN - EXISTING DOOR OPENING. CMU NEW TREATED WOOD STEPS INFILL BELOW; PAINTED PROVIDE WOOD GUARDRAILS SIDE ELEVATION - NORTH 1st Street Apartments 524 - 526 N. 1st Street

Virginia

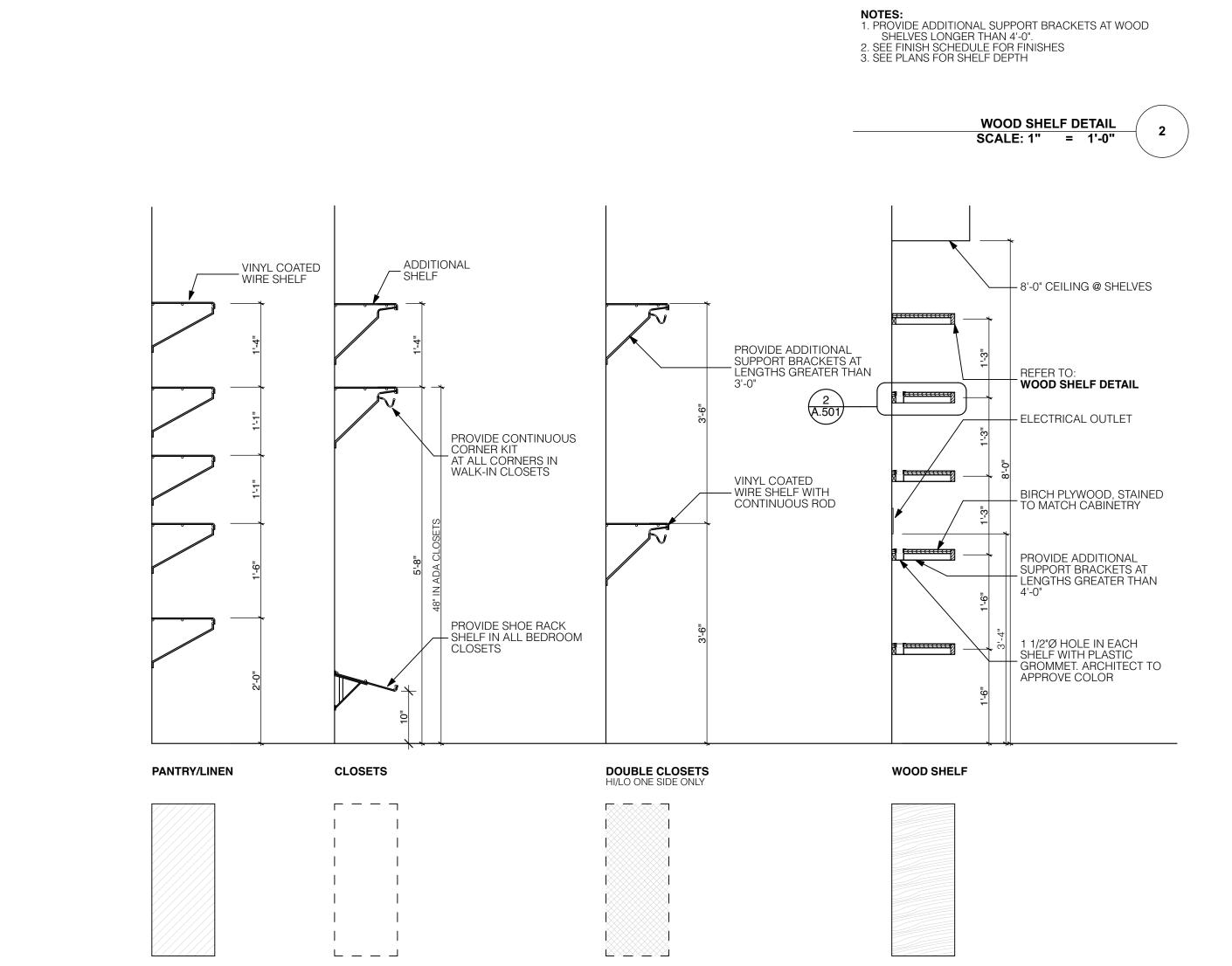


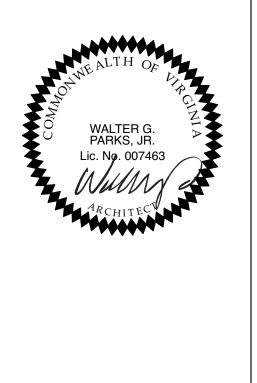
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> PROJECT #: 13.41 DATE: 10/18/19

A.302





1st Street Apartments 524 - 526 N. 1st Street Richmond, Virginia 23220

___ 12" DEEP UNLESS OTHERWISE NOTED

BIRCH PLYWOOD, STAINED TO MATCH CABINETRY

WOOD TRIM, STAINED TO MATCH CABINETRY

- WOOD BLOCKING

— PROVIDE BLOCKING

SHELVING DETAIL
SCALE: 3/4" = 1'-0"

REVISIONS
TAG DATE

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313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 10/18/19

> > DETAILS

A.501

TYPICAL KITCHEN CABINETS
SCALE: 1" = 1'-0" 3

3" WOOD CAP -

TYPICAL UPPER CABINET: CABINET DOOR PANEL; FULL -OVERLAY, SEE FINISH SCHEDULE

UNDER CABINET LIGHTING -

FULL HEIGHT BACKSPLASH, _ SEE FINISH SCHEDULE _

3CM GRANITE COUNTERTOP WITH EASED EDGES

TYPICAL BASE CABINET -

4" TOE KICK -

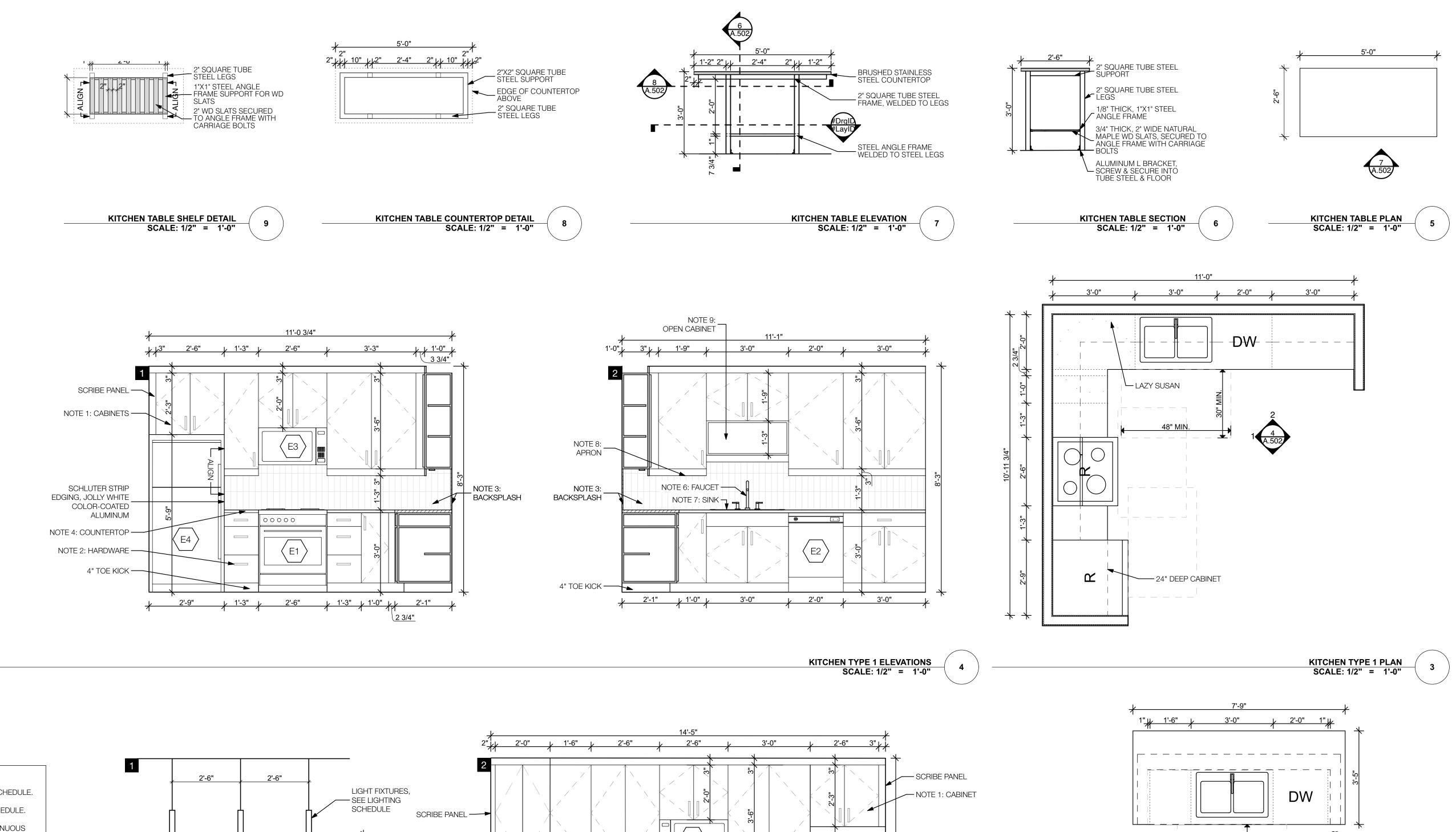
10" OVERHANG

> GRANITE COUNTERTOP, SEE FINISH SCHEDULE; POLISH ALL EXPOSED EDGES

- ZIP BEAD & CAULK SEAM

— TYPICAL BASE CABINET

_ LOW WALL AS SCHEDULED; SEE PLANS 3" WOOD APRON -



KITCHEN NOTES

1. CABINETS: FULL OVERLAY CABINET, SEE FINISH SCHEDULE. 2. HARDWARE: SEE PLUMBING & ACCESSORIES SCHEDULE.

3. BACKSPLASH: FULL HEIGHT BACKSPLASH (CONTINUOUS BEHIND RANGES), SEE FINISH SCHEDULE. EXPOSED TILE EDGE TO HAVE SCHLUTER STRIP TO MATCH TILE DEPTH. 2CM 4"

4. COUNTERTOP: 3CM GRANITE, EASED EDGES, SQUARE CORNERS, SEE FINISH SCHEDULE. POLISH EXPOSED EDGES.

GRANITE SIDE SPLASH WHERE COUNTER ABUTS SIDE WALL.

5. APPLIANCES: STAINLESS STEEL, SEE SPECS. "E" APPLIANCE SYMBOL, REFER TO APPLIANCE SCHEDULE FOR DETAILS.

6. FAUCET: FIXTURE B, SEE PLUMBING SCHEDULE.

7. SINK: FIXTURE A, SEE PLANS & PLUMBING SCHEDULE.

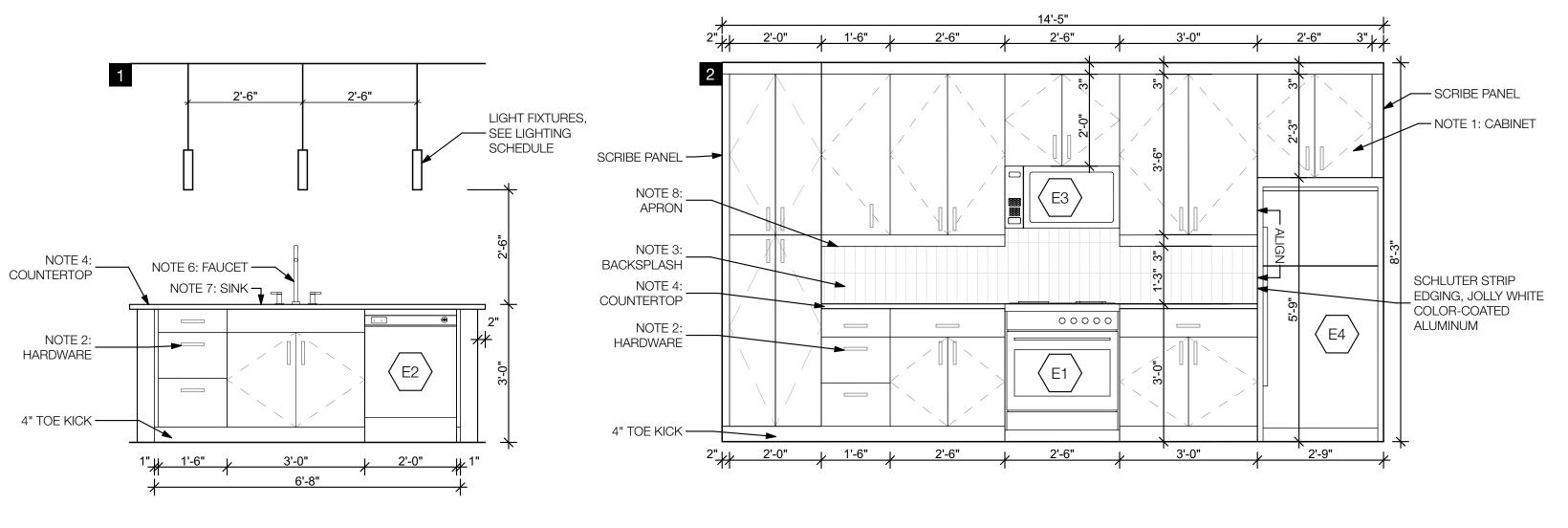
8. APRON: ALL SIDES NEED TO BE FINISHED TO MATCH

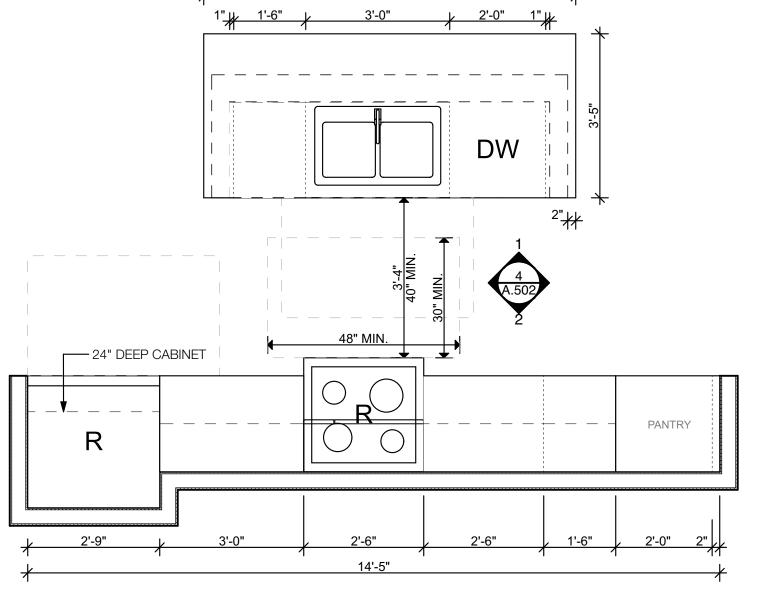
9. OPEN CABINET: PROVIDE OPEN CABINET. INTERIOR FINISH TO MATCH EXTERIOR CABINET FINISH.

10. DIMENSIONS TO FINISH.

11. ALL RECEPTACLES & SWITCHES TO BE WHITE, ALL COVERS/ PLATES TO BE WHITE.

12. DRAWER BASES THAT ARE 12" WIDE OR LESS, SPECIFY BOTTOM MOUNTED DRAWER SLIDES TO OPTIMIZE INNER DRAWER WIDTH.





KITCHEN TYPE 2 PLAN
SCALE: 1/2" = 1'-0"

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TAG DATE

313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 10/18/19

KITCHEN DETAILS A.502

KITCHEN TYPE 2 ELEVATIONS
SCALE: 1/2" = 1'-0"

BATH NOTES

1. VANITY CABINETS: 18" DEEP CABINET, REFER TO BATH ELEVATIONS FOR DEPTH.

2. HARDWARE: SEE PLUMBING AND BATH ACCESSORIES

3. BACKSPLASH: 2CM 4" GRANITE BACKSPLASH, SEE FINISH SCHEDULE. PROVIDE SIDE SPLASHES AT ALL CONDITIONS WHERE COUNTER ABUTS WALL.

4. COUNTERTOP: 3CM GRANITE, EASED EDGES, SEE FINISH SCHEDULE. GRANITE DOES NOT SHOW ANY OVER HANG. TYPICAL.

5. SHOWER CURTAIN ROD: CURVED, SEE PLUMBING SCHEDULE, LENGTH VARIES BETWEEN TUB & SHOWER LOCATIONS. PROVIDE BLOCKING AT ENDS.

6. FAUCET: FIXTURE K, SEE PLUMBING SCHEDULE.

7. SINK: FIXTURE G, SEE PLUMBING SCHEDULE.

8. SHOWER HEAD: FIXTURE H/J, SEE PLUMBING SCHEDULE. MOUNTING HEIGHT AT 78" AFF. MIN FLOW RATE 20 GPM. 60" HOSE MIN.

9. TILE & TILE EDGE: ALUMINUM SCHLUTER STRIP EDGING, THICKNESS TO MATCH TILE; FULL TILE SURROUND, SEE FINISH SCHEDULE.

10. DIMENSIONS TO FINISH.

11. ALL RECEPTACLES & SWITCHES TO BE WHITE, ALL COVERS/PLATES TO BE WHITE.

12. ALL PLUMBING FIXTURES & BATH ACCESSORIES TO BE BRUSHED NICKEL OR STAINLESS STEEL. SEE FOR MOUNTING HEIGHTS.

DECK MOUNTED

CENTER POINT -

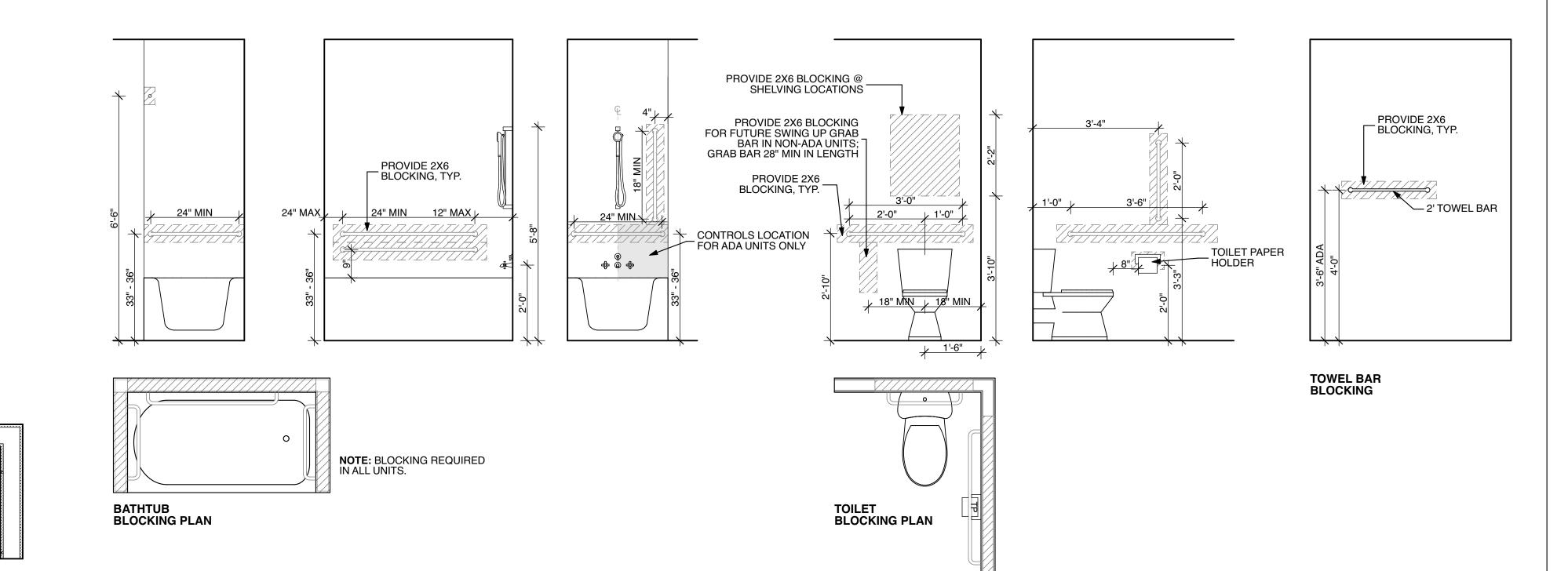
BATH FAUCET DETAIL

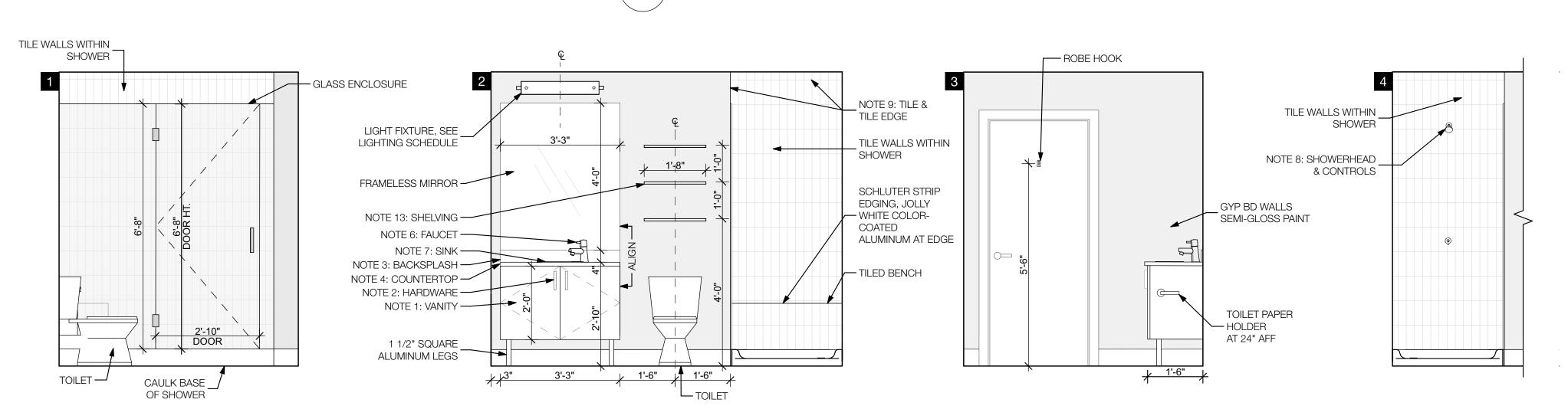
SCALE: 3/4" = 1'-0"

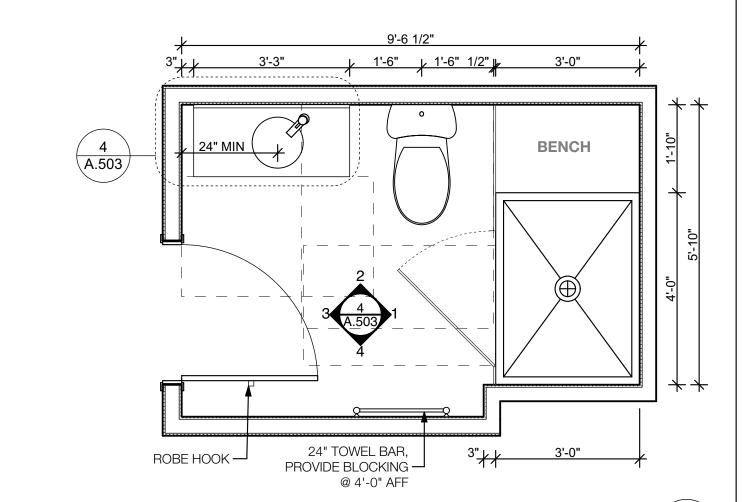
UNDERMOUNT SINK -

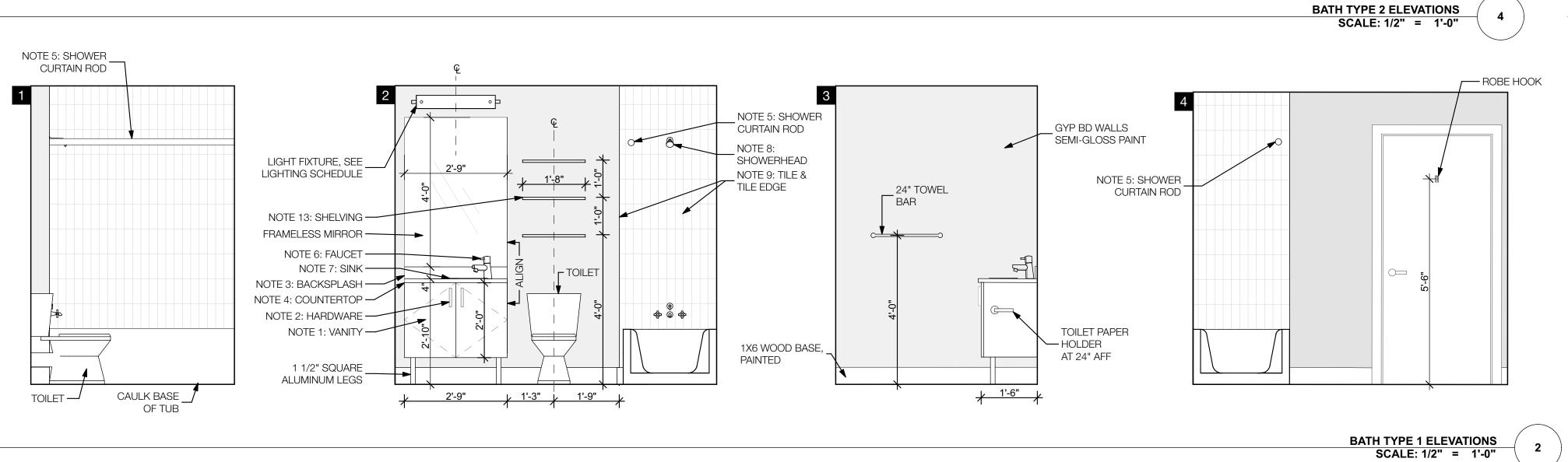
13. SHELVING: 11" DEEP, 3/4" THICK MAPLE WD SHELVES, STAINED TO MATCH VANITY CABINETRY FINISH, PROVIDE BLOCKING. INSTALLED WITH DECORATIVE BRACKETS, SEE PLUMBING & BATH ACCESSORIES SCHEDULE FOR SHELF SUPPORT BRACKET.

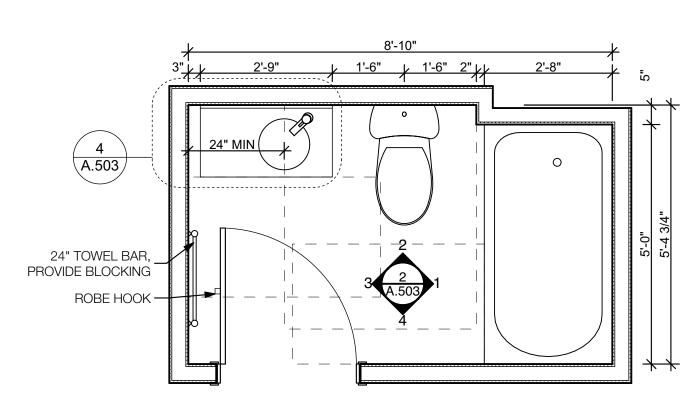
14. REFER TO DRAWING $\frac{3}{(A.503)}$ FOR BLOCKING DETAILS











BATH TYPE 1 PLAN SCALE: 1/2" = 1'-0"

BLOCKING PLAN

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REVISIONS TAG DATE

ARCHITECT

313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 10/18/19

BATH DETAILS A.503

BATH TYPE 2 PLAN
SCALE: 1/2" = 1'-0"

BATH NOTES

1. VANITY CABINETS: 18" DEEP CABINET, REFER TO BATH ELEVATIONS FOR DEPTH.

2. HARDWARE: SEE PLUMBING AND BATH ACCESSORIES

3. BACKSPLASH: 2CM 4" GRANITE BACKSPLASH, SEE FINISH SCHEDULE. PROVIDE SIDE SPLASHES AT ALL CONDITIONS WHERE COUNTER ABUTS WALL.

4. COUNTERTOP: 3CM GRANITE, EASED EDGES, SEE FINISH SCHEDULE. GRANITE DOES NOT SHOW ANY OVER HANG.

5. SHOWER CURTAIN ROD: CURVED, SEE PLUMBING SCHEDULE, LENGTH VARIES BETWEEN TUB & SHOWER LOCATIONS. PROVIDE BLOCKING AT ENDS.

6. FAUCET: FIXTURE K, SEE PLUMBING SCHEDULE.

7. SINK: FIXTURE G, SEE PLUMBING SCHEDULE.

8. SHOWER HEAD: FIXTURE H/J, SEE PLUMBING SCHEDULE. MOUNTING HEIGHT AT 78" AFF. MIN FLOW RATE 20 GPM. 60" HOSE MIN.

9. TILE & TILE EDGE: ALUMINUM SCHLUTER STRIP EDGING, THICKNESS TO MATCH TILE; FULL TILE SURROUND, SEE FINISH SCHEDULE.

10. DIMENSIONS TO FINISH.

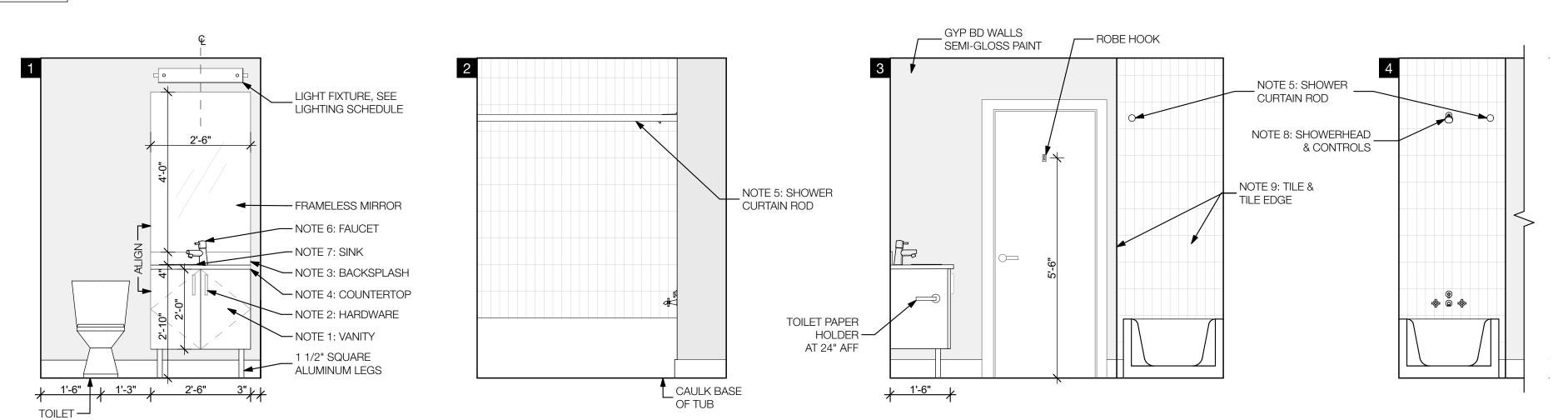
11. ALL RECEPTACLES & SWITCHES TO BE WHITE, ALL COVERS/PLATES TO BE WHITE.

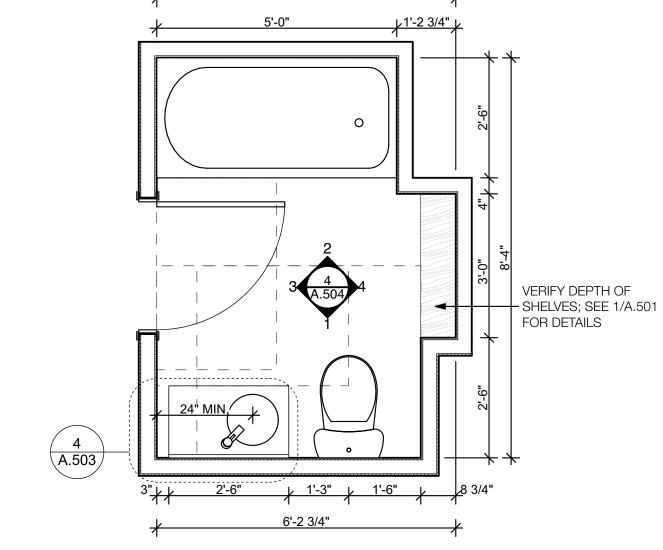
12. ALL PLUMBING FIXTURES & BATH ACCESSORIES TO BE BRUSHED NICKEL OR STAINLESS STEEL. SEE FOR MOUNTING HEIGHTS.

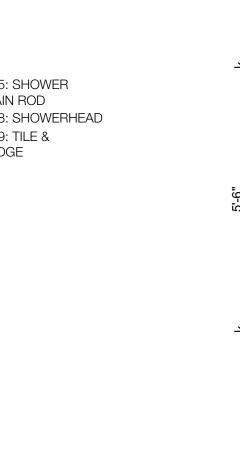
(A.503)

13. SHELVING: 11" DEEP, 3/4" THICK MAPLE WD SHELVES, STAINED TO MATCH VANITY CABINETRY FINISH, PROVIDE BLOCKING. INSTALLED WITH DECORATIVE BRACKETS, SEE PLUMBING & BATH ACCESSORIES SCHEDULE FOR SHELF SUPPORT BRACKET.

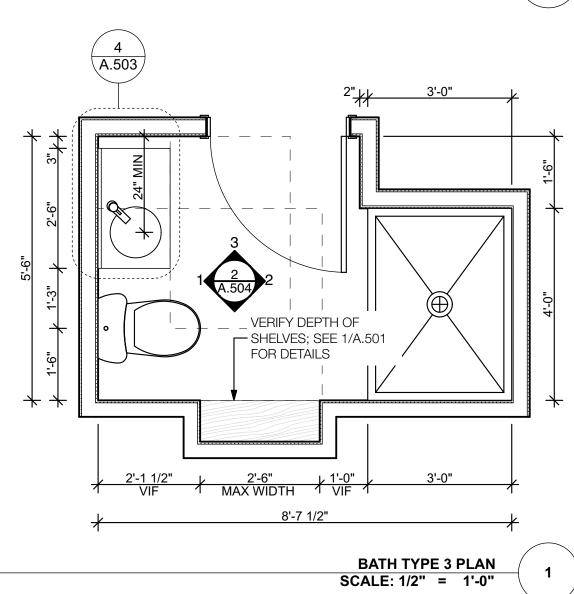
14. REFER TO DRAWING (3) FOR BLOCKING DETAILS







BATH TYPE 4 ELEVATIONS SCALE: 1/2" = 1'-0"



BATH TYPE 4 PLAN
SCALE: 1/2" = 1'-0"

3



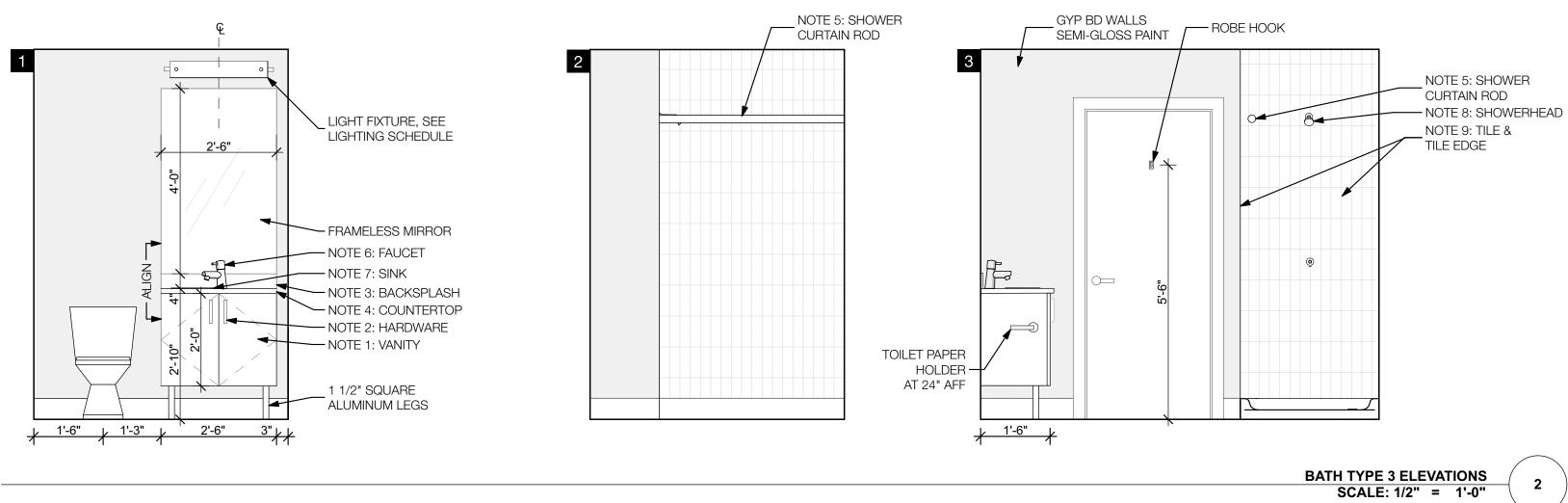
REVISIONS
TAG DATE

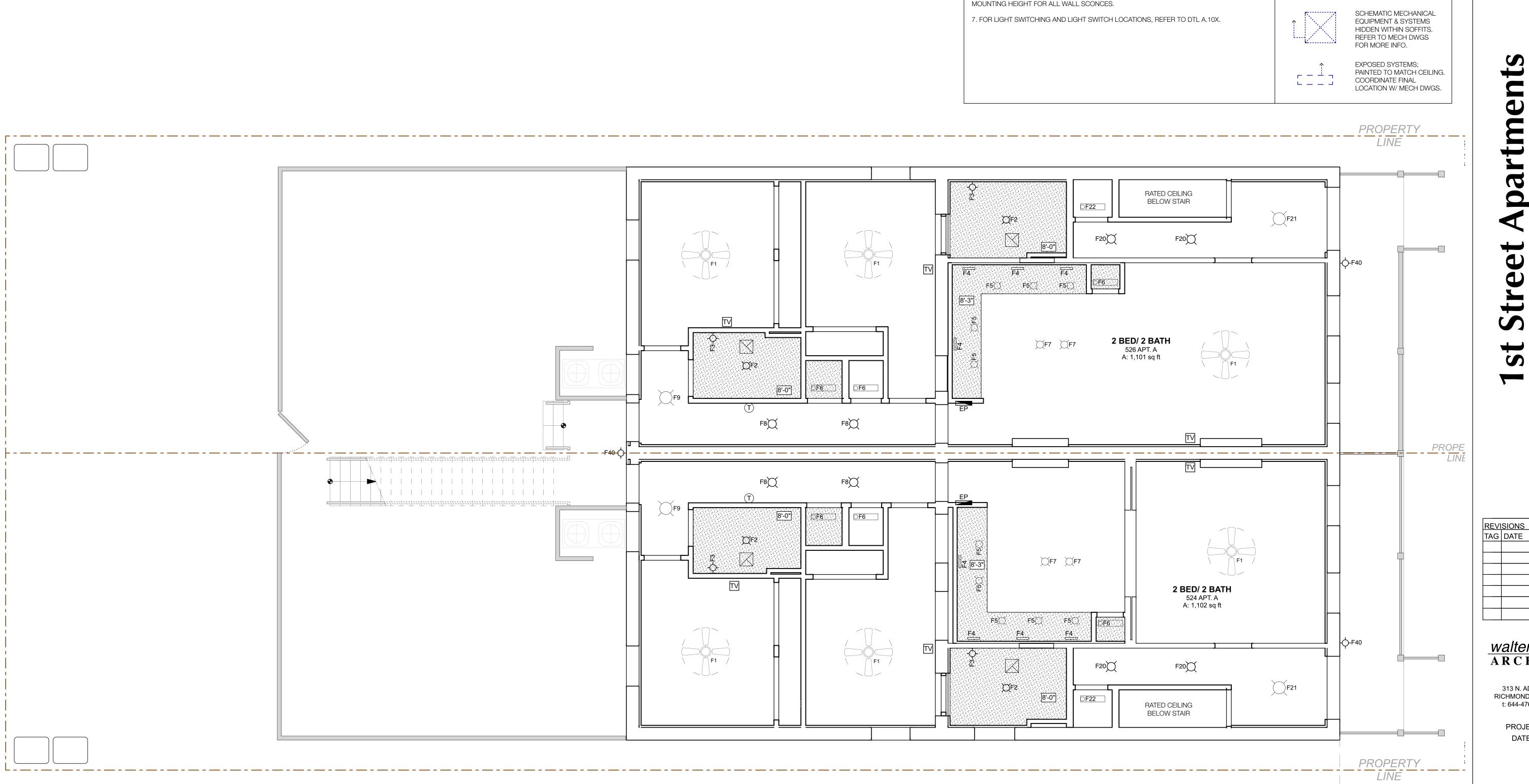
walter PARKS ARCHITECT

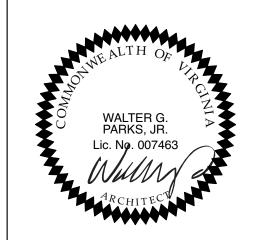
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 13.41 DATE: 10/18/19

BATH DETAILS A.504







REFLECTED CEILING PLAN LEGEND

DROPPED INTERIOR GYPSUM BOARD SOFFITS

FIRE RATED CEILING,

TIGHT TO STRUCTURE

REFER TO A-101 CEILING

ASSEMBLIES FOR FIRE

RATINGS

CEILING HEIGHT

LIGHT FIXTURE

9'-6"

-**∳**- OR X

FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN NOTES

QUANTITY AND LOCATION OF ITEMS NOT INDICATED.

INFORMATION, INCL WALL/PNT TERMINATIONS.

INDICATED IN DRAWINGS.

ENGINEERING DOCUMENTS.

1. REFER TO FLOOR PLANS, WALL SECTIONS AND TYPICAL DETAILS FOR ADDITIONAL

2. REFER TO ELECTRICAL DRAWINGS FOR WALL MOUNTED AND UNDER-CABINET FIXTURES.

3. REFLECTED CEILING PLANS SHALL GOVERN LOCATIONS OF FIXTURES ONLY. REFER TO

CEILINGS, EXCEPT AS INDICATED. REFER TO CONTRACT DOCUMENTS TO DETERMINE EXACT

MECH. AND ELEC, FOR LOCATIONS OF MECHANICAL DUCTS, DIFFUSERS AND GRILLS.

NOTIFY ARCHITECT PRIOR TO INSTALLATION OF ANY CONFLICTS WITH LOCATIONS

4. THESE PLANS GENERALLY INDICATE ITEMS THAT ARE INSTALLED ON AND IN THE

5. FOR LIGHT FIXTURE SCHEDULE REFER TO ARCHITECTURAL SHEET A.10X AND

6. CONFIRM WITH ARCHITECT THE LOCATION, PENDANT LENGTH, AND EXACT FINAL AFF MOUNTING HEIGHT FOR ALL SUSPENDED FIXTURE TYPES. CONFIRM EXACT FINAL AFF

treet

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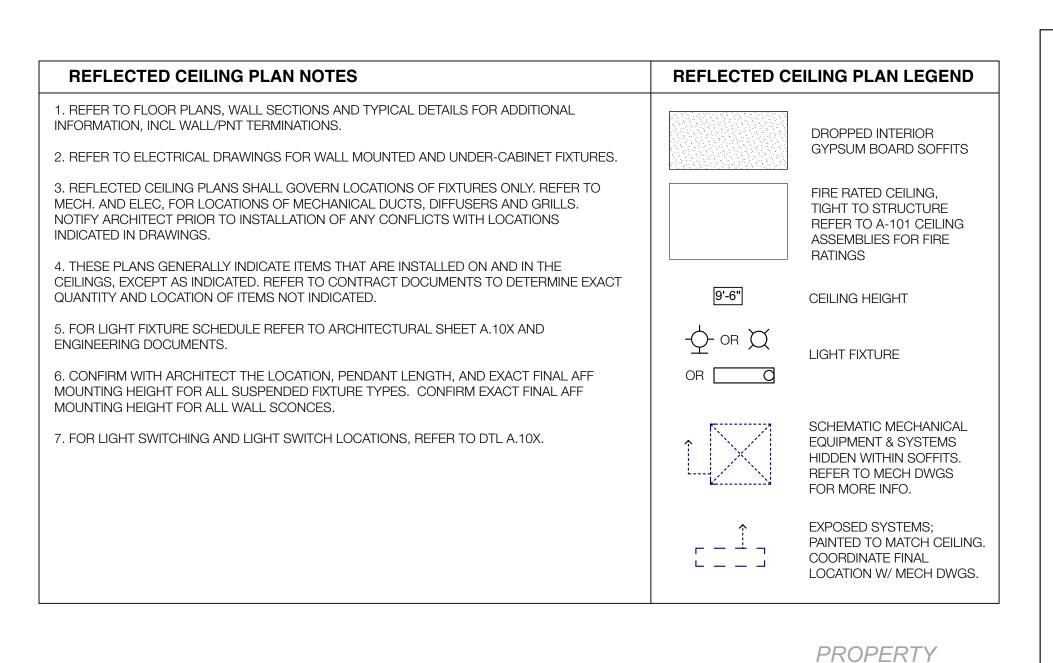
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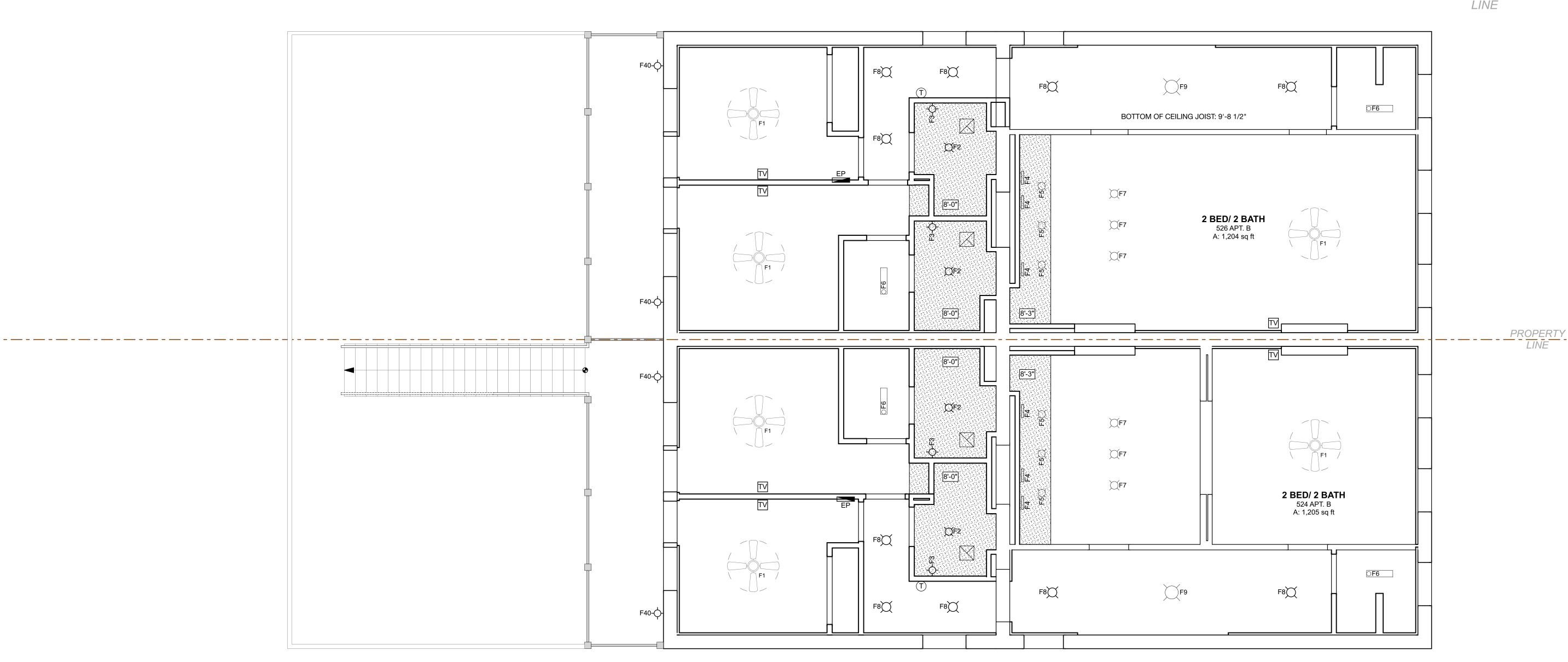
walter PARKS ARCHITECT

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> PROJECT #: 13.41 DATE: 10/18/19

FIRST FLOOR RCP A.601





1st Street Apartments

REVISIONS
TAG DATE

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> PROJECT #: 13.41 DATE: 10/18/19

SECOND FLOOR RCP

A.602

SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



COMMONWEALTH of VIRGINIA

Department of Historic Resources

Matt Strickler Secretary of Natural Resources 2801 Kensington Avenue, Richmond, Virginia 23221

Julie V. Langan *Director*

Tel: (804) 367-2323 Fax: (804) 367-2391 www.dhr.virginia.gov

October 8th, 2018

Steven T. Alexander ALX 1st Stret Townhomes, LLC c/o Colony Apt Homes 9211 Quioccasin Road Henrico, VA – 23229

Re: 524-526 North 1st Street - Richmond

Part 2 Response DHR # 2017-252

Mr. Alexander -

Thank you for submitting the State and Federal Rehabilitation Tax Credit Application, Part 2, "Description of Rehabilitation," for the property located at 524-526 North 1st Street in Richmond. We are also in receipt of the necessary State application fee and appreciate its timely submission. Based on the materials provided, the proposed scope of work is consistent with the Secretary of the Interior's *Standards for Rehabilitation* and the project is approved provided the below conditions are met.

CONDITIONS:

The following conditions should be met in order for the project to receive approval. If additional information is requested, please submit the materials as an Amendment to the Part 2 application. Otherwise, evidence of the completed, compliant work must be submitted with the Part 3 application.

Rear Porch – As this new porch is to be installed off of a non-historic CMU addition, the porch should be contemporary and compatible in design, and should not seek to replicate historic features found elsewhere on the structure. If the historic appropriateness of the new hipped-roof front porch is based on the National Register nomination and Sanborn maps, then the new rear porch should not seek to match the front porch in details. Therefore, please differentiate the rear porch roof so as to provide the necessary differentiation required by *Standard #9*:

#9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Capital Region Office 2801 Kensington Avenue Richmond, VA 23221 Tel: (804) 367-2323 Fax: (804) 367-2391 Western Region Office 962 Kime Lane Salem, VA 24153 Tel: (540) 387-5443 Fax: (540) 387-5446 Northern Region Office 5357 Main Street PO Box 519 Stephens City, VA 22655 Tel: (540) 868-7029 Fax: (540) 868-7033 **First Floor Front Elevation Windows** – Please provide additional information on why 2-over-4 light windows are appropriate for this historic structure. This is not a light configuration typically found on historic structures of this style and period, and so it is unclear how the decision was made to use this distinctive type of window. If historic evidence does not substantiate the use of 2-over-4 light windows on the first floor the front elevation, the new windows should be either 2-over-2 light – as was previously found on the second floor of this structure based on 2007 Google street view images, or simple 1-over-1 light windows.

Please be aware that DHR is conducting a physical inspection of all properties as part of the Part 3 review process. Consequently, we anticipate that review of completed projects will take approximately 60 days from the date of submission.

This conditional approval is for the Part 2 application as submitted. All new information should be sent for review and approval to the Virginia Department of Historic Resources (DHR) as an Amendment to the original application; you can find the appropriate form through the National Park Service's website at http://www.nps.gov/tps/tax-incentives/application.htm. We have forwarded a copy of the application to the National Park Service with our recommendations ~ you will receive their response in a separate letter.

Please feel free to contact me with questions or concerns at 804-482-6452 or by e-mail at Jessica.Ugarte@dhr.virginia.gov.

Sincerely,

Jessica Aurora Ugarte Tax Credit Reviewer

GAW.

Office of Preservation Incentives

cc: Mary Harding Sadler