



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 1604 St James St.

Historic district Jackson Ward

Date/time rec'd: 5/15/2019
Rec'd by: CLS
Application #: COA-054511-2019
Hearing date: 5/28/2019

APPLICANT INFORMATION

Name Elizabeth Dwyer - Basch

Phone 809.387.1717

Company _____

Email lizzie@baschfil.com

Mailing Address 13412 Rupert Ct

Applicant Type: ☒ Owner ☐ Agent

Henrico 23233

☐ Lessee ☐ Architect ☐ Contractor

☐ Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Review Type: ☐ Conceptual Review ☒ Final Review

Project Type: ☐ Alteration ☐ Demolition ☐ New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

See attachment.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner [Signature]

Date 5/3/19



Commission of Architectural Review

CITY OF RICHMOND
900 EAST BROAD STREET
RICHMOND VIRGINIA 23219
(804) 646-6335

CERTIFICATE OF APPROPRIATENESS

This certificate is issued pursuant to Chapter 30, Article IX, Division 4 of the Richmond City Code (Old and Historic Districts) to the applicant:

Elizabeth Drucker-Basch
13412 Ruprt Ct
Henrico, VA 23233

For the property at: 604 ST JAMES ST

with respect to the exterior architectural features as described in the application for this certificate and the information and plans filed with the application for this property, pursuant to the following resolution adopted by the Commission of Architectural Review and recorded in the minutes of the Commission:

Resolution:

WHEREAS, the applicant proposes to rehabilitate an existing building; and

the three small windows to the North are now storefront (being non-historic windows). The West window are on the property line and need to be 2-hour masonry for building code reasons.

WHEREAS, the bricked-in windows on plan north and west be re-opened; and

existing elevation included. no new window type other than storefront since Wet windows cannot be opened

WHEREAS, the applicant will submit dimensioned existing and proposed elevations and specifications for new windows to staff for review and approval; and

WHEREAS, the applicant will submit the Part II application and approval letters from DHR and the NPS and any additional conditions imposed by the Virginia Department of Historic Resources and/or the National Park Service to staff for review and approval; and

trash shown on first floor plan. condensers are centered on the roof

WHEREAS, the applicant will submit a site plan with the location of the proposed HVAC system and trash receptacles; and

WHEREAS, the application is approved as submitted for the reasons cited in the staff report with the noted conditions; and

NOW, THEREFORE, LET IT BE RESOLVED that the Commission approves the work as being in conformity with the intent of Division 4 Section 30-930 of the Richmond City Code.

The applicant shall comply with all City Codes in the execution of this project. The certificate shall be valid for a period of one year from the date of issuance.

Sincerely,

CODE INFORMATION

Designed under:
2012 Virginia Residential Code
2012 Virginia Rehabilitation Code (as applicable for
Historic Structures)
ICC / ANSI A117.1-2003

Project is for the historic renovation of an existing building into
a Duplex Residence

Building USE to be classified as R-5 Duplex on one lot

Type of Construction: 3B (Existing to remain)

A sprinkler system is not required or installed

Table 503 Area Limitation for "R5" use
and 3B construction is unlimited

Actual Building Fire Areas (existing to remain):
1st Floor = 613
2nd Floor = 613
Total = 1,226 GSF

Allowable Building Height = 55' & 4 stories
Actual Building Height = ±24' - 8" & 2 story (existing to remain)

Building Occupancy (existing to remain): 6
1st Floor = 3
2nd Floor = 3

Number of exits	Required	Provided
First Floor	1	1
Second Floor	1	1
All sleeping room/area windows to meet egress requirements		

Required Fire Ratings		
Exterior walls - load bearing	2 hour	
Exterior walls - nonloadbearing	0 hour	
(See fire separation chart below)		
Exit enclosures	0 hour	
(Unless accessed by rated shafts and therefore equal)		
Other shafts	1 hour	
(See stair code modification & Existing Building Code)		
Exit access corridors	1 hour	
(but not less than shaft access rating)		
Tenant separations	0 hour	
(not applicable)		
Dwelling Unit separation	1 hour	
(not applicable)		
Fire & Party walls	2 hour	
Smoke partitions	1 hour	
(not applicable)		
Roof construction	0 hour	
Floor construction	0 hour	
(Unless part of Dwelling Unit Separation)		
Corridor construction	5 hour	
Interior load bearing and supporting construction	0 hour	
(but not less than the required rating of the structure to be supported)		

Maximum Area of Exterior Wall Openings - Table 705.8

0' - 3'	Not Permitted
3' - 5'	15%
5' - 10'	25%
10' - 15'	45%
15' - 20'	75%
Greater than 20'	No Limit

South and East walls are over 20' Fire Separation Distance

West wall has 0" lat line set back existing. No new
OPENINGS are to be installed. Existing opening is to receive
new 2 hour infill.

North wall has 10'-6" lat line set back existing to Alley center.
Existing opening to be re-opened with storefront glazing
system and will be under the 25% allowable opening for
this elevation. See exterior elevations.

ADA and Accessibility guidelines are not required to be met
for Two Family Historic Renovation.

OWNER

604 St. James St., LLC
13412 Rupert Ct.
Richmond, Va 23233

ARCHITECT

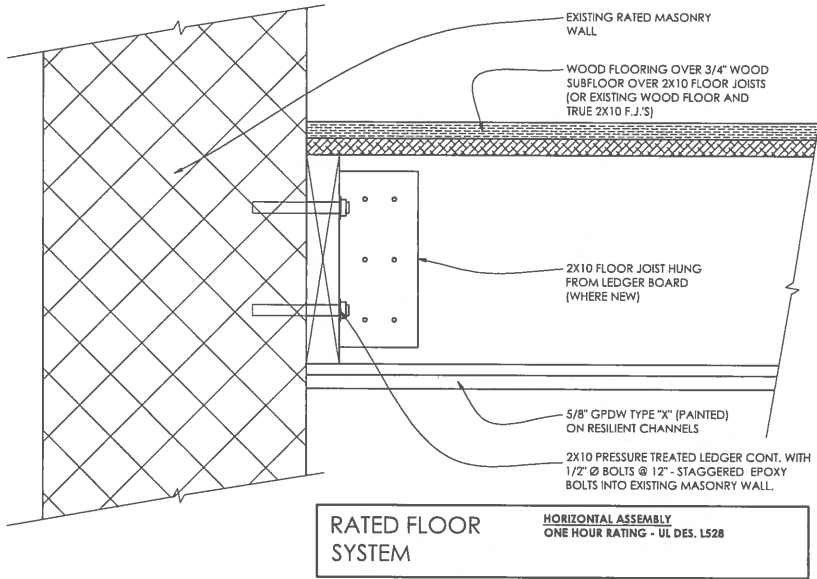
Ratio
1406 Confederate Avenue
Richmond VA 23227

MEP ENGINEER

To be design- Build under the General
Contractor's scope of work

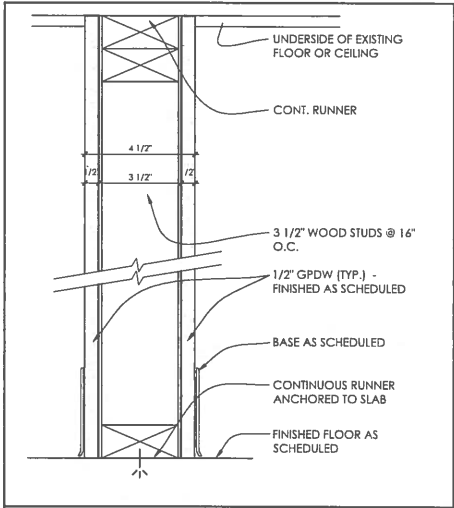
DRAWING INDEX

- CS.01 COVER SHEET, GENERAL NOTES, CODE
INFORMATION, PLAT & ASSEMBLY
DETAILS
CS.02 WINDOW DETAILS AND DOOR
SCHEDULES
A1.01 DEMOLITION & NEW CONSTRUCTION
FLOOR PLANS
A2.01 REFLECTED CEILING & SUPPLEMENTAL
ELECTRICAL PLANS
A4.01 EXTERIOR ELEVATIONS



02 ASSEMBLY TYPES

SCALE: 3" = 1'-0"



PARTITION TYPE A1 (SHOWN ABOVE)

PARTITION TYPE A2 SIM. TO "A1" ABOVE BUT FURRING TO EXISTING WALL - 1/2" GPDW AT OUTSIDE FACE ONLY

PARTITION TYPE A3 SIM. TO "A1" ABOVE BUT WITH ONE (1) LAYERS 5/8" TYPE "X" GPDW @ EACH SIDE - UL DES. U305 - 1-HOUR

GENERAL NOTES

1 The General Contractor and subcontractor(s) shall inspect premises prior to bid submital and work commencement to verify existing and indicated conditions. Should a Contractor find conditions which he believes would impede his work, he shall report such conditions immediately to the Architect. Failure to so advise will constitute notice that the Contractor accepts the existing conditions and that he intends to perform his obligations with no allowance either in time or money for any impediments to his work.

2 Each Contractor shall verify all dimensions and conditions in field. The drawings reflect conditions reasonably interpreted from the existing visible conditions, or from drawings or information furnished by the Owner, but cannot be guaranteed by the Architect. If dimensional errors occur or conditions not covered in the drawings are encountered, the Contractor shall notify the Architect before commencing that portion of the work.

3 All work shall comply with the 2012 Virginia Rehabilitation Code & Virginia Construction Code.

4 All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with the manufacturers' written specifications or instructions.

5 The General Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction and/or installation means, methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract.

6 Dimensions take precedence over scale on construction documents. Drawings may be rough scaled for estimating and general reference. Field verify all conditions prior to construction and/or fabrication.

7 All dimensions are given Finish unless noted otherwise.

8 All work shall be executed in a neat and workmanlike manner. Contractor shall keep the construction site free and clear of all debris and keep out all unauthorized persons. Upon completion of work, the entire construction area shall be completely cleaned to Architect & Owner's satisfaction.

9 When work not specifically called out is required to complete the project, the appropriate Contractor shall provide same and it shall be of the best materials and workmanship. If additional costs are required to complete the work, the Contractor shall notify the Architect prior to bid submital and prior to starting the work, allowing a reasonable period of time for response and approval. No claims for extra compensation based on ignorance of visible or implied conditions or assumptions or disclaimers after the fact shall be considered.

10 The General Contractor and Sub-contractors shall guarantee in writing all workmanship and materials for a period of one year from the date of substantial completion and approval. Materials and/or equipment carrying a manufacturer's guarantee shall be covered by the maximum term offered by the manufacturer, but in no case less than one year. All defects discovered during construction shall be repaired to the Owner's satisfaction, at the Contractor's and/or Sub-contractor's expense, at no cost to the Owner or Architect.

11 Unless otherwise specifically noted, the General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, transportation and other facilities and services necessary for proper execution and completion of the work.

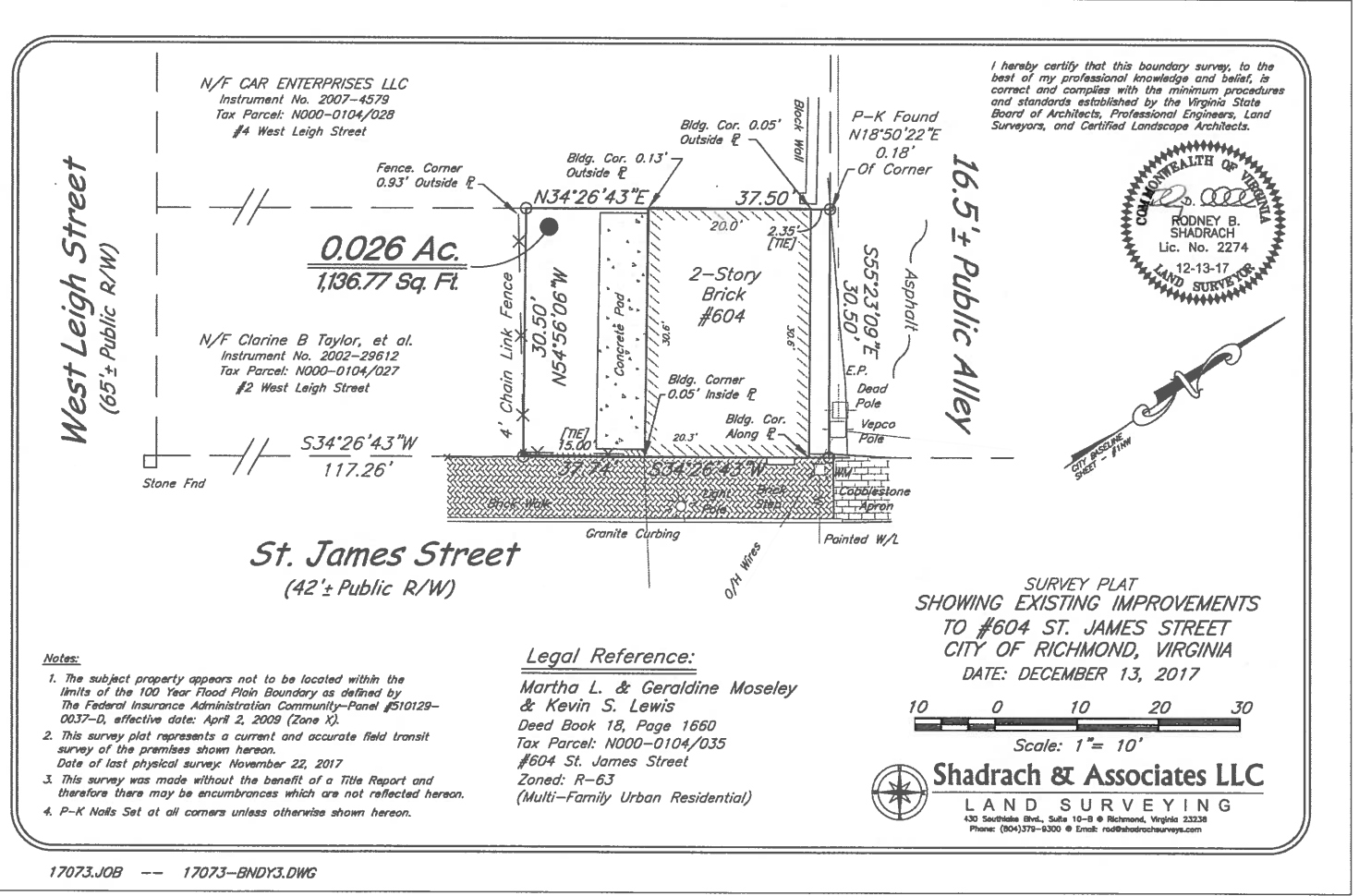
12 The General Contractor shall obtain and pay fees for all required permits, schedule all required inspections, obtain all code approvals, etc. necessary for proper completion of the work.

13 Contractor shall coordinate all work procedures with local authorities, planning commissions, neighborhood associations or building management or Board of Directors' requirements.

14 Contractor shall be responsible for the protection of all existing and new conditions and materials within the proposed construction area. Any damage caused by or during the execution of the work is the responsibility of the Contractor and shall be repaired or replaced to the Architect & Owner's satisfaction at the expense of the Contractor or Sub-contractor.

15 All penetrations through floor slabs and/or roof systems, such as piping, conduit, ducts, etc., shall be packed and sealed off with fire-rated material and sealed against water penetration as appropriate to the assembly being penetrated.

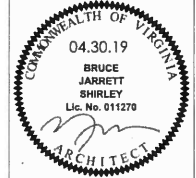
16 Contractor to coordinate draft stopping locations (if required) with Architect. attic areas are not to exceed 3,000 sq. ft. per Section 718.4.2 Exception D3.



17073.JOB -- 17073--BNDY3.DWG

01 PLAT SURVEY

SCALE: AS NOTED



604 St. James St. Renovation

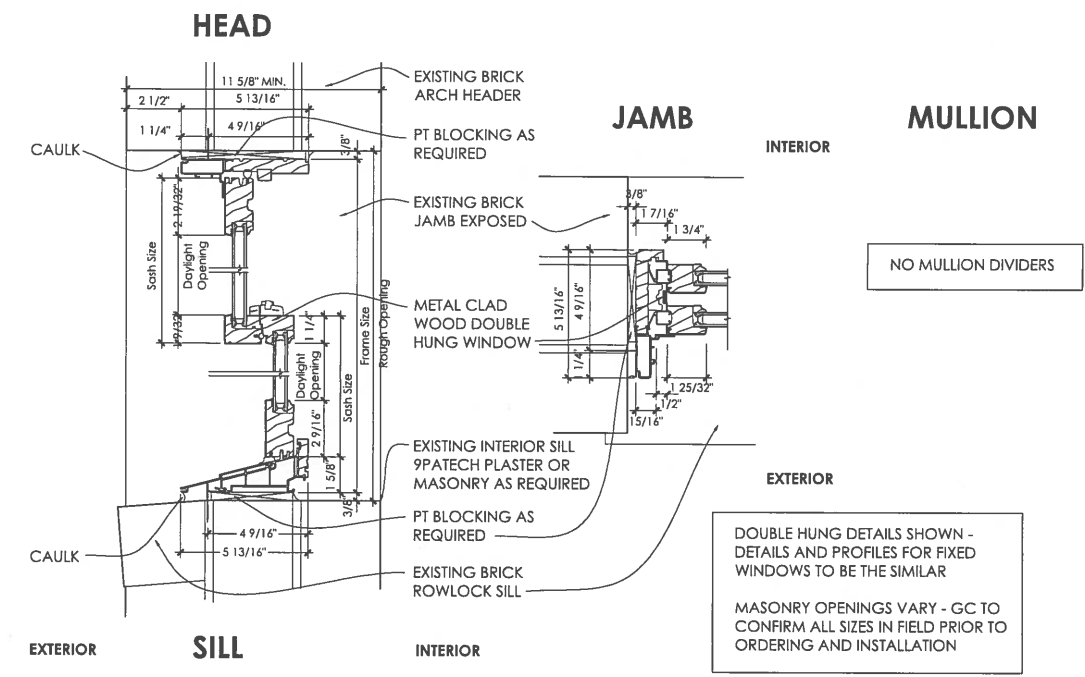
604 St. James Street
Richmond, Virginia 23220

COVER, CODE INFO,
GENERAL NOTES,
PLAT SURVEY &
ROOF PLAN

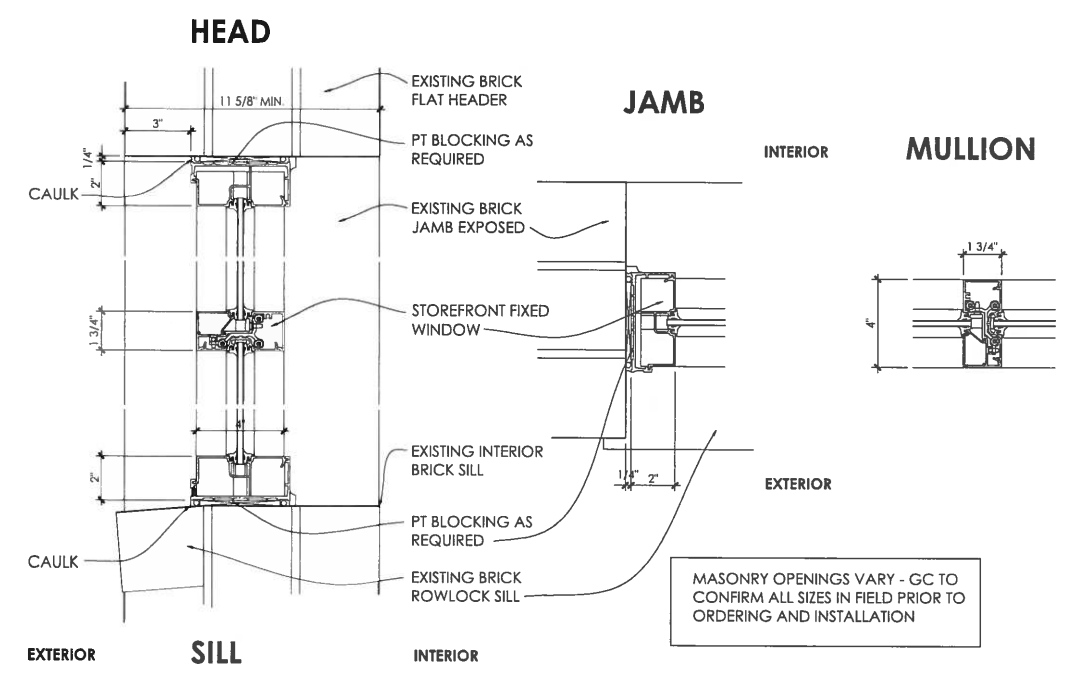
CS 01

HARDWARE SCHEDULE						
SET #	DESCRIPTION	MANUF.	STYLE	FINISH	HINGES	REMARKS
01	ENTRANCE TYPE	NOTE #03	NOTE #03	AS SELECTED BY OWNER	NOTE #01	NOTE #02
02	PASSAGE TYPE	AS SELECTED BY OWNER	AS SELECTED BY OWNER	AS SELECTED BY OWNER	NOTE #01	NOTE #02
03	PRIVACY TYPE	AS SELECTED BY OWNER	AS SELECTED BY OWNER	AS SELECTED BY OWNER	NOTE #01	NOTE #02
04	CLOSET TYPE	AS SELECTED BY OWNER	AS SELECTED BY OWNER	AS SELECTED BY OWNER	NOTE #01	NOTE #02
HARDWARE NOTES:						
01. Provide (3) hinges per door installed per manufacturer recommendations.						
02. All doors are to receive wall stops. Coordinate final selection and locations with Owner. Where wall stops are not feasible, provide floor stops.						
03. Entrance hardware to be exterior grade as selected by owner.						

DOOR SCHEDULE									
MARK	DESCRIPTION	ELEV.	WIDTH	HEIGHT	THK.	MATERIAL	FRAME	HDWR.	REMARKS
01	HALF LIGHT ENTRANCE DOOR	02	3'-0"	7'-0"	1 3/4"	WOOD/ GL	WOOD	01	NOTE 01
02	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	02	-
03	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	-
04	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	04	-
DOOR NOTES:									
01. CONFIRM DOOR SIZE ON SITE TO FIT EXISTING HISTORIC OPENING.									



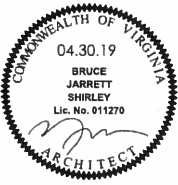
02 METAL CLAD WOOD WINDOW DETAILS
SCALE: 3" = 1'-0"



01 STOREFRONT WINDOW DETAILS
SCALE: 3" = 1'-0"

ratio

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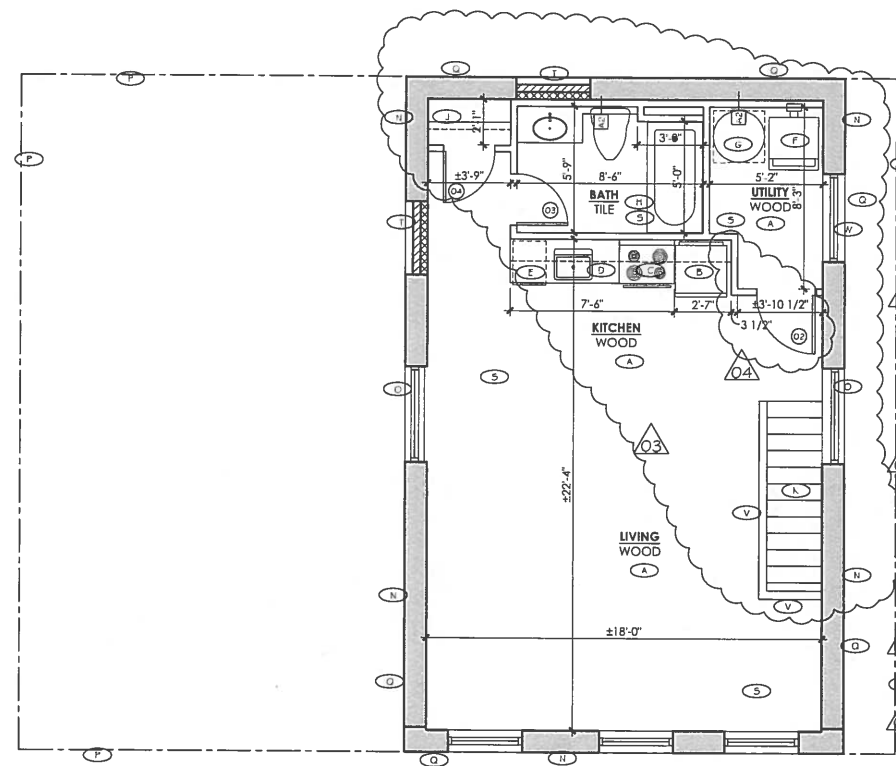
11.13.18
Permit Set
Revisions:
01: 01.23.19 (DHR edits)
02: 01.31.19 Opening Flip
03: 02.05.19 Duplex
04: 04.30.19 CAR Edits

DOOR SCHEDULES &
WINDOW DETAILS

CS 02

604 St. James St. Renovation

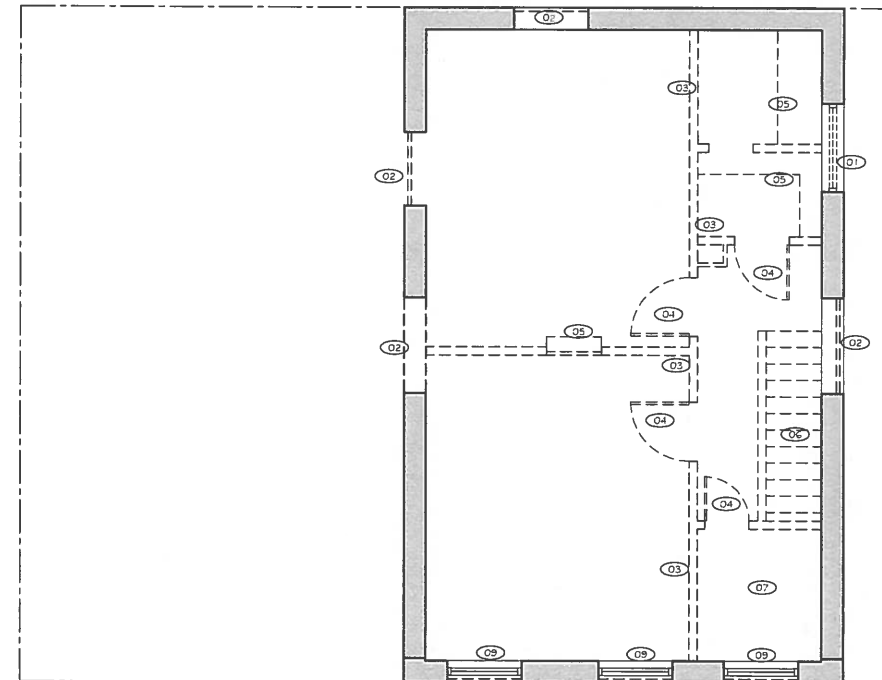
604 St. James Street
Richmond, Virginia 23220



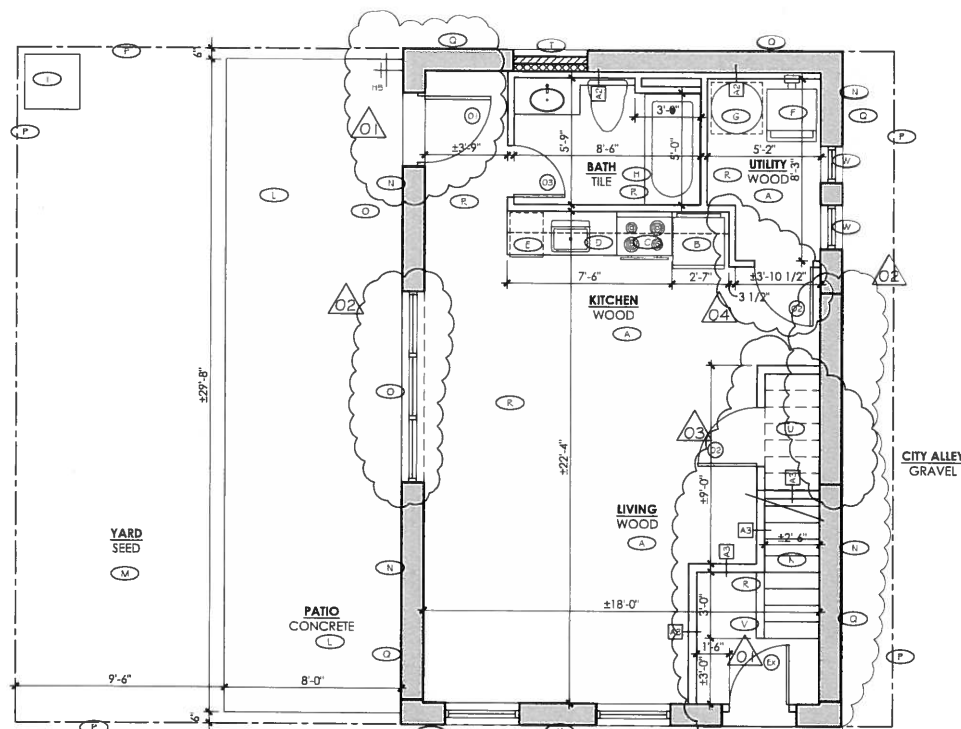
04 SECOND FLOOR NEW CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

KEYED NEW CONSTRUCTION NOTES

- EXISTING WOOD FLOOR TO BE SANDED AND REPAIRED IN KIND AS NEEDED TO MEET NPS GUIDELINES
- NEW REFRIGERATOR.
- NEW 30" RANGE.
- 24" DEEP BASE CABINET AND 12" DEEP UPPERS WITH SINGLE BOWL SINK PROVIDE DISPOSAL.
- 18" DISHWASHER
- PROVIDE CONNECTIONS FOR CLOTHES WASHER AND DRYER.
- MECHANICAL UNIT WITH LOWBOY HWH BELOW. CONFIRM DUCT LAYOUT WITH OWNER AND ARCHITECT FOR POSSIBLE CHANGES. OUTDOOR CONDENSER TO BE INSTALLED ON ROOF.
- PROVIDE TYPICAL TUB SHOWER INSERT AND ELONGATED BOWL TOILET IN BATH. EXISTING CONCRETE PATIO AT GRADE. PATCH AND REPAIR AS NEEDED VANITY IS A 30" BASE CABINET. CONFIRM ALL SELECTIONS WITH OWNER INCLUDING TILE FLOOR.
- TRASH CAN
- PROVIDE PAINTED WOOD SELF AND ROD IN CLOSET (TYP.).
- NEW WOOD STAIR TO FIT EXISTING STAIR OPENING - CONFIRM RUN HEIGHT IN FIELD AND COORDINATE WITH ARCHITECT FINAL LAYOUT. RISERS TO BE $\pm 8"$ MAX. TREADS TO BE 9" WITH 1" NOSING. PROVIDE WOOD GUARD AND HAND RAIL.
- EXISTING CONCRETE PAD/ PATIO TO REMAIN.
- CONFIRM SEED OR GRAVEL FOR SIDE YARD WITH OWNER
- RE-POINT ALL MASONRY AS REQUIRED PER NPS GUIDELINES ONCE VEGETATION IS REMOVED.
- PROVIDE NEW ALUM. STOREFRONT IN EXISTING MASONRY OPENING. CONFIRM FINAL SIZE N FIELD. SEE EXTERIOR ELEVATIONS. ALL METAL TO BE BRONZE IN COLOR
- PROPERTY LINE
- EXISTING MASONRY WALL IS INHERENTLY 2-HOUR RATED AS REQUIRED BY BUILDING CODE
- EXISTING FLOOR ABOVE TO BE 1-HOUR RATED. SEE ASSEMBLY ON CS.01.
- PROVIDE BLOWN-IN CELLULOSE IN ENTIRE ROOF SPACE. INSTALL NEW ROOF AND FLASH TO EXISTING PARAPET AND CAP AS REQUIRED. PROVIDE NEW GUTTER AND DOWNSPOUT.
- INFILL EXISTING OPENING AT THIS LOCATION WITH 2-HOUR RATED 4" BRICK ON 4" CMU (CMU TO INTERIOR).
- UNDERSIDE OF STAIR TO RECEIVE 5/8" TYPE "X" GPDW.
- PROVIDE PARTIAL HEIGHT WALL FOR STAIR GUARD @ 40" AFF WITH PAINTED WOOD CAP
- PROVIDE NEW METAL CLAD WOOD WINDOW IN EXISTING OPENING. CONFIRM SIZE IN FIELD



02 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



03 FIRST FLOOR NEW CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

KEYED DEMOLITION NOTES

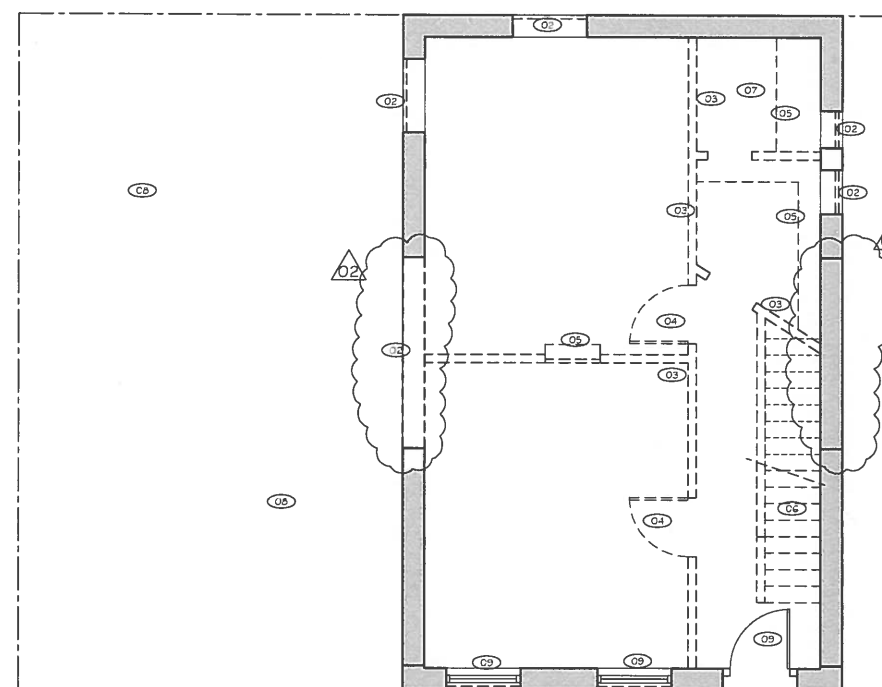
- EXISTING WINDOW BEYOND REPAIR. WINDOW TO BE REMOVED AND OPENING PREPARED FOR RECEIVING NEW HISTORIC REPLACEMENT WINDOW.
- EXISTING MASONRY OR WOOD INFILL TO BE REMOVED AND DISCARDED. PREPARE OPENING FOR NEW HISTORIC REPLACEMENT OR STOREFRONT WINDOW PER NEW CONSTRUCTION PLANS.
- EXISTING WALL TO BE REMOVED AND DISCARDED.
- EXISTING NON-HISTORIC DOOR TO BE REMOVED AND DISCARDED.
- EXISTING NON-HISTORIC CABINETS AND SHELVING TO BE REMOVED AND DISCARDED.
- EXISTING NON-HISTORIC STAIR TO BE REMOVED AND DISCARDED. PREPARE OPENING FOR NEW STAIRS PER NEW CONSTRUCTION PLANS.
- REMOVE AND DISCARD ALL REMAINING PLUMBING FIXTURES.
- REMOVE AND DISCARD EXISTING OVERGROWN VEGETATION.
- EXISTING WOOD WINDOW OR DOOR TO REMAIN AND BE REFURBISHED.

LEGEND:

- EXISTING MASONRY WALL TO REMAIN
- EXIST. STUD WALL TO BE REMOVED
- NEW WOOD STUD WALL
- PARTITION TYPE (SEE BELOW)
- KEYED PLAN NOTE
- ALIGN WALLS AS SHOWN
- DOOR KEY (SEE CS.02)
- TEMPERED GLASS
- UNIT INTERIOR NEW WALLS ARE PARTITION TYPE "A1" & DEMISING WALLS ARE TYPE "B" & "C" (SEE PARTITION TYPES ON SHEET CS.01)

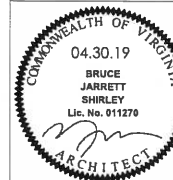
COORDINATION NOTE:

GENERAL CONTRACTOR TO PERFORM SELECTIVE DEMOLITION TO CONFIRM EXISTING FLOOR AND CEILING JOISTS CLEAR SPAN SIDE TO SIDE OF BUILDING. INTERMEDIATE BEARING WALLS ARE NOT ASSUMED TO BE PRESENT. GC TO REVIEW IN FIELD WITH OWNER & ARCHITECT PRIOR TO FULL DEMOLITION AS NOTED.



01 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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11.13.18
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DEMOLITION &
NEW CONSTRUCTION
PLANS

A1 01

604 St. James St. Renovation

604 St. James Street
Richmond, Virginia 23220

r a t i o

RCP LIGHTING LEGEND

01. NOT USED
02. LED GLIMPSE STYLE FIXTURE (UNIT ACCENT LIGHTING - SMALL)
03. UNDERCOUNTER LED STRIP FIXTURE
04. SURFACE MOUNT LED FOR KITCHEN
05. WALL SCONCE LED (MOUNT OVER BATH MIRROR)
06. EXTERIOR LED WALL SCONCE
07. NOT USED.
08. SURFACE MOUNTED LED
09. NOT USED.
10. CEILING FAN WITH LED LIGHT KIT AND SEPARATE SWITCHING FOR DIMMING LIGHT AND FAN CONTROL
11. EXHAUST FAN WITH LIGHT KIT (SWITCH SEPARATELY)
12. INTERCONNECTED SMOKE DETECTOR

KEYED RCP NOTES

- 01 MECHANICAL CLOSET. OPEN TO DUCTING ABOVE
- 02 COORDINATE FINAL MECHANICAL DUCTING WITH ARCHITECT FOR POSSIBLE SOFFIT REVISIONS
- 03 PROVIDE SPRAY APPLIED CELLULOSE INSULATION AT ROOF AND FLOOR STRUCTURE

RCP MATERIAL LEGEND

EXISTING CEILING TO REMAIN. REPAIR AS REQUIRED IN KIND.

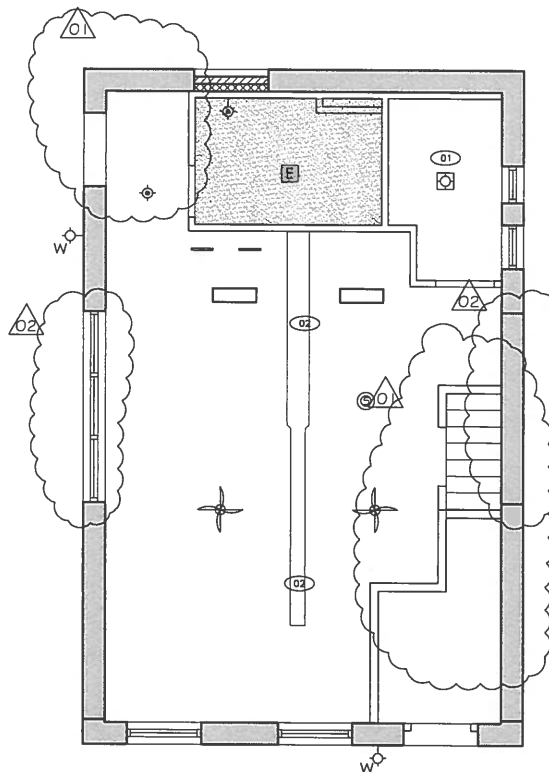
DROPPED GPOW CEILING AT 8'-0" AFF. RUN MECHANICAL ABOVE AS REQUIRED. SURROUNDING WALLS RUN TO UNDERSIDE OF EXISTING DECK/ CEILING ABOVE (PAINTED)

GENERAL RCP NOTES

1. HEIGHT OF CEILINGS ARE ABOVE TOP OF FLOOR STRUCTURE OR CONC. SLAB.
2. ALL DIMENSIONS OF LIGHT FIXTURES ARE AS NOTED ON REFLECTED CEILING PLANS
3. DIMENSIONED LIGHT FIXTURES ARE FROM FINISH FACE OF PARTITIONS TO CENTER LINE OF FIXTURE AND FROM CENTER LINE OF FIXTURE TO CENTER LINE OF FIXTURE. FIXTURES SHALL BE INSTALLED IN CENTER OF CEILING TILE UNO.
4. ALL NEW MULTIPLE LIGHT SWITCH LOCATIONS ARE TO BE GANGED AND INSTALLED WITH A SINGLE FACE PLATE. COVER PLATES SHALL NOT BE CUT AND BUTTED TOGETHER.
5. ANY DISCREPANCIES WITH LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS AS TO LOCATION BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS OR BETWEEN THE DRAWINGS AND EXISTING FIELD CONDITIONS SHALL BE CLARIFIED WITH THE OWNER BEFORE PROCEEDING WITH INSTALLATION
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL WORK TO BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES, REGULATIONS AND REQUIREMENTS FOR THE GOVERNING BODY HAVING JURISDICTION.
7. EACH ROOM IS TO RECEIVE ONE LIGHT SWITCH FOR IT'S RESPECTIVE LIGHT FIXTURES, UNO.
8. CENTER CEILING GRID IN ROOMS UNO.
9. GENERAL CONTRACTOR SHALL HAVE ON PREMISES A COORDINATED LAYOUT DRAWING OF MEP AND ARCHITECTURAL REQUIREMENTS TO AVOID CONFLICTS.
10. CONTRACTOR TO COORDINATE LENGTHS OF SUSPENDED FIXTURES. FIXTURES OF SIMILAR TYPE ARE TO BE HUNG AT THE SAME HEIGHT. SEE FIXTURE SCHEDULE FOR MOUNTING HEIGHTS.
11. FIXTURES SHOWN SUSPENDED FROM CEILING ARE TO BE SUPPORTED INDEPENDENTLY FROM MECHANICAL OR ELECTRICAL DEVICES.
12. ELECTRICAL REQUIREMENTS FOR DEVICES IN EXPOSED CEILING AREAS TO BE RUN IN CONDUIT.
13. COORDINATE ALL FINAL FINISHES AND FIXTURE SELECTIONS WITH OWNER PRIOR TO ORDERING AND INSTALLATION.
14. COORDINATE SUPPORT OF DRYWALL CEILINGS AS REQUIRED. SUPPORTS TO BE MINIMAL AS POSSIBLE AND STILL MAINTAIN STRUCTURAL INTEGRITY OF CEILING.
15. DRYWALL CEILINGS ARE NOT TO CONTAIN ANY ACCESS PANELS. CONTRACTOR TO REVIEW AND COORDINATE WITH EXISTING AND PLANNED CONDITIONS. IF DIRECTION IS UNCLEAR OR IF ACCESS IS REQUIRED, GENERAL CONTRACTOR TO NOTIFY ARCHITECT AND/OR PROVIDE PROVISION IN THE CONTRACT TO ALLOW FOR RELOCATION.
16. MAINTAIN UNIFORM TEMPERATURE OF 60° FAHRENHEIT MINIMUM, AND HUMIDITY OF 20% TO 40%, PRIOR TO, DURING AND AFTER INSTALLATION, UNLESS RECOMMENDED OTHERWISE BY MANUFACTURER.
17. INSTALL EDGE MOLDINGS AT INTERSECTION OF CEILING AND VERTICAL SURFACES, INCLUDING PENETRATIONS, USING LONGEST PRACTICAL LENGTHS. MITER CORNERS, PROVIDE EDGE MOLDING AT JUNCTIONS WITHOUT INTERRUPTIONS. FIELD RABBET PANEL EDGE. WHERE ROUNDED OBSTRUCTIONS OCCUR, PROVIDE PERFORMED CLOSER TO MATCH EDGE MOLDING.
18. CONTRACTOR TO COORDINATE WITH OWNER REQUIREMENTS FOR OWNER'S SECURITY SYSTEM. SOME PREWIRING AND/ OR CONDUIT INSTALLATION WILL BE REQUIRED UNDER THE CONTRACTOR'S SCOPE.
19. GENERAL CONTRACTOR TO COORDINATE MECHANICAL, SPRINKLER, PLUMBING AND ELECTRICAL REQUIREMENTS TO AVOID CONFLICTS (TYP.).

04 SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



03 FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



GENERAL POWER & SIGNAL NOTES

1. THE POWER/PHONE/DATA INFORMATION INCLUDED ON THE SUPPLEMENTAL POWER & SIGNAL PLAN HAS BEEN RECORDED FOR USE BY THE OWNER AND ENGINEERS IN COMPLETING THE ENGINEERING FOR THE SPACE. CONTRACTOR TO MAINTAIN OUTLET WITHIN 4" OF INDICATED LOCATION. ANY CHANGES SHALL BE APPROVED BY THE OWNER PRIOR TO ALTERING THE DESIRED LAYOUT.
2. CONTRACTOR SHALL COORDINATE TELEPHONE REQUIREMENTS WITH THE OWNER'S TELEPHONE VENDOR. CONTRACTOR SHALL INSTALL THE BUILDING STANDARD TELEPHONE BACKBOARD AS REQUIRED.
3. POWER, TELEPHONE AND DATA OUTLETS ON WALLS SHALL BE +18" A.F.F., TO CENTERLINE, ON A VERTICAL AXIS UNLESS INDICATED OTHERWISE. OUTLETS OVER COUNTERTOPS (SHOWN AS +32" TO +42") WILL BE SET ON A HORIZONTAL AXIS.
4. ALL OUTLETS NOTED TO BE IN WOOD BASE, SHALL BE SET ON A HORIZONTAL AXIS, CENTERED ON THE BASE, UNLESS OTHERWISE INDICATED.
5. CONTRACTOR TO COORDINATE PULL STRING AT ALL DATA AND TELEPHONE OUTLET LOCATIONS PER OWNER'S VENDOR'S REQUIREMENTS. ALL ABOVE CEILING WIRING TO COMPLY WITH REQUIREMENTS FOR PLENUM CEILINGS AS APPLICABLE.
6. PROVIDE JUNCTION BOXES AS REQUIRED.
7. CONTRACTOR SHALL COORDINATE CABLE TV, SECURITY & POSSIBLE ELECTRONIC REMOTE KEYING. CONTRACTOR TO COORDINATE WITH OWNER AND VENDOR THE REQUIRED SCOPE OF WORK UNDER THIS CONTRACT.
8. MAIN PANELS AND RESPECTIVE CONNECTIONS ARE TO BE COORDINATE AS REQUIRED PER LOCATION ON PLANS.
9. WHERE EQUIPMENT IS SHOWN ON PLANS THAT REQUIRES POWER, PROVIDE AS REQUIRED OR NOTIFY OWNER OF THE SPECIFIC POWER CONFLICT.
10. COORDINATE PANEL LOCATIONS IN FIELD WITH OWNER.

KEYED POWER & SIGNAL NOTES

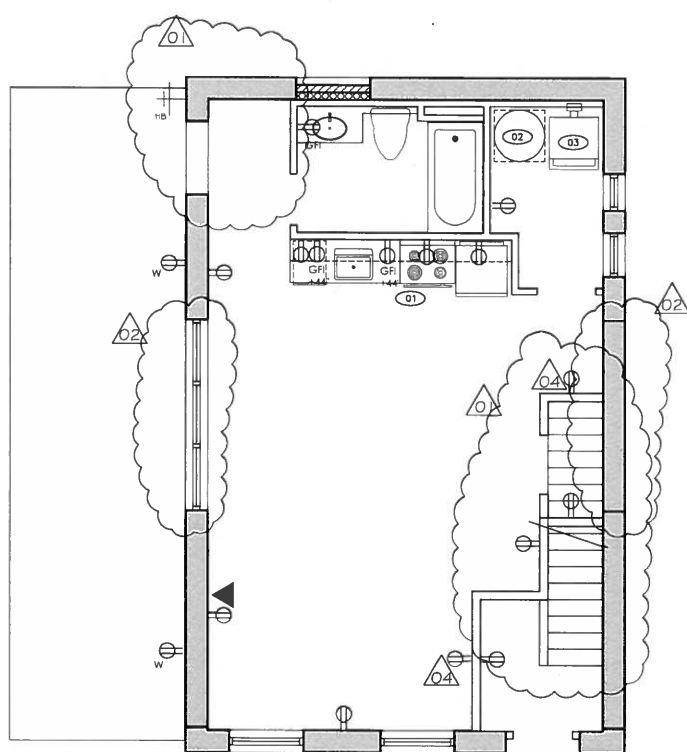
- 01 PROVIDE POWER FOR ALL APPLIANCES INCLUDING MICRO HOOD AND DISPOSAL.
- 02 PROVIDE POWER FOR MECHANICAL SYSTEM AS NEEDED.
- 03 PROVIDE POWER FOR WASHER DRYER AS NEEDED

POWER & SIGNAL LEGEND

- 01 DUPLEX OUTLET WITH MOUNTING HEIGHT (IF OTHER THAN SPECIFIED STANDARD HEIGHT)
- 02 OUTLET WITH GROUND FAULT INTERRUPT
- 03 WET LOCATION EXTERIOR OUTLET
- 04 QUADRAPLEX OUTLET
- 05 FLOOR MOUNTED OUTLET
- 06 CEILING MOUNTED OUTLET - ("W" DENOTES WET LOCATION)
- 07 PHONE/ DATA COMBO OUTLET
- 08 JUNCTION BOX
- 09 SWITCHED OUTLET - COORDINATE WITH RCP

02 SECOND FLOOR SUPPLEMENTAL ELECT. PLAN

SCALE: 1/4" = 1'-0"



01 FIRST FLOOR SUPPLEMENTAL ELECT. PLAN

SCALE: 1/4" = 1'-0"



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11.13.18
Permit Set

Revisions:
01. 01.23.19 (DHR edits)
02. 01.31.19 Opening Flip
03. 02.05.19 Duplex
04. 04.30.19 CAR Edits

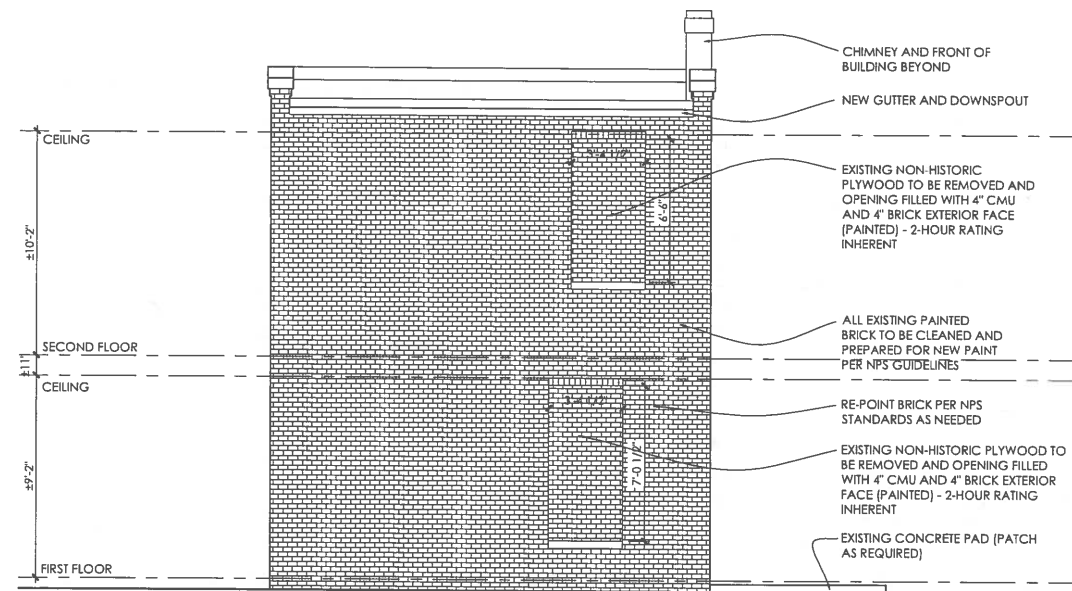
SUPPLEMENTAL
ELECTRICAL &
REFLECTED CEILING
PLANS

A2 01

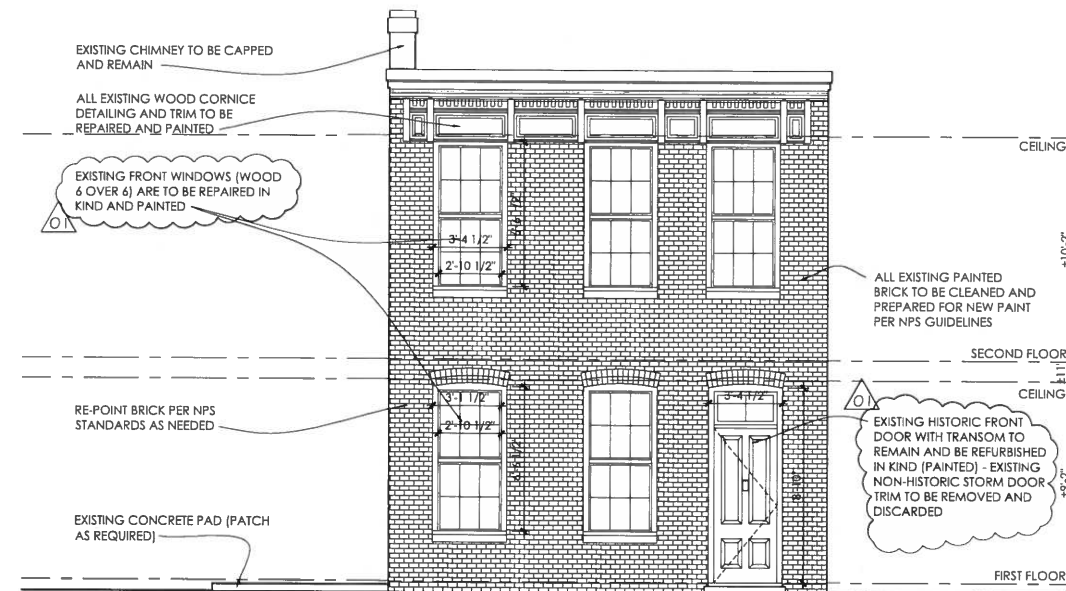
604 St. James St. Renovation

604 St. James Street
Richmond, Virginia 23220

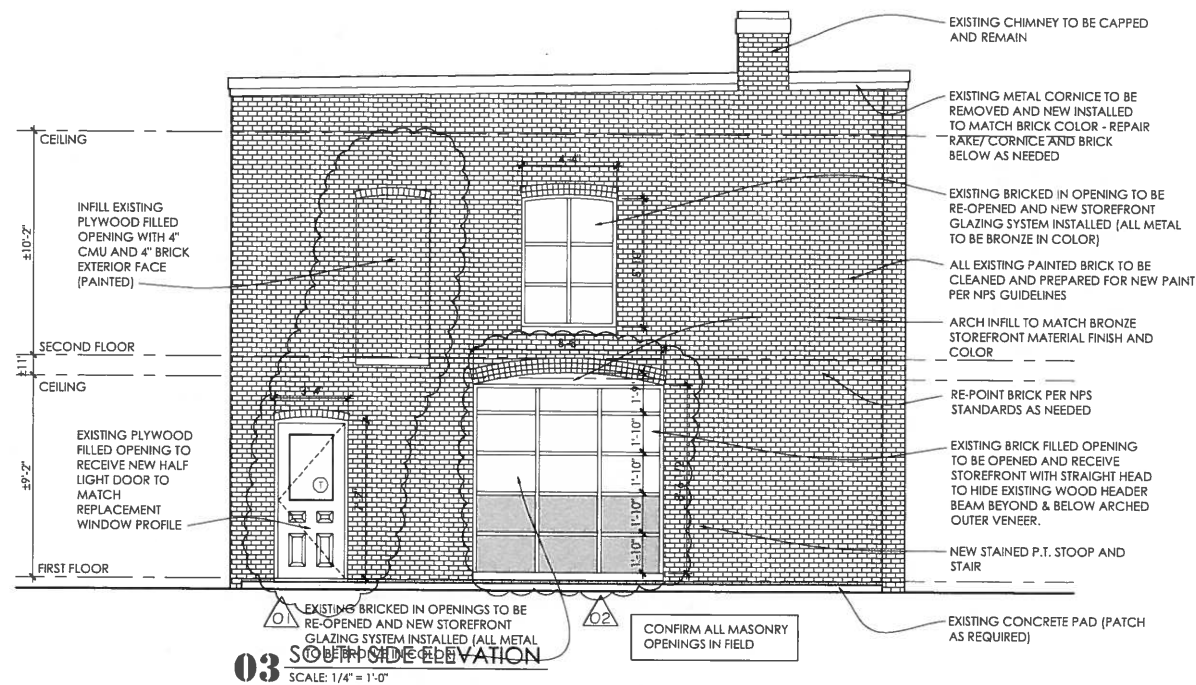
r a t i o



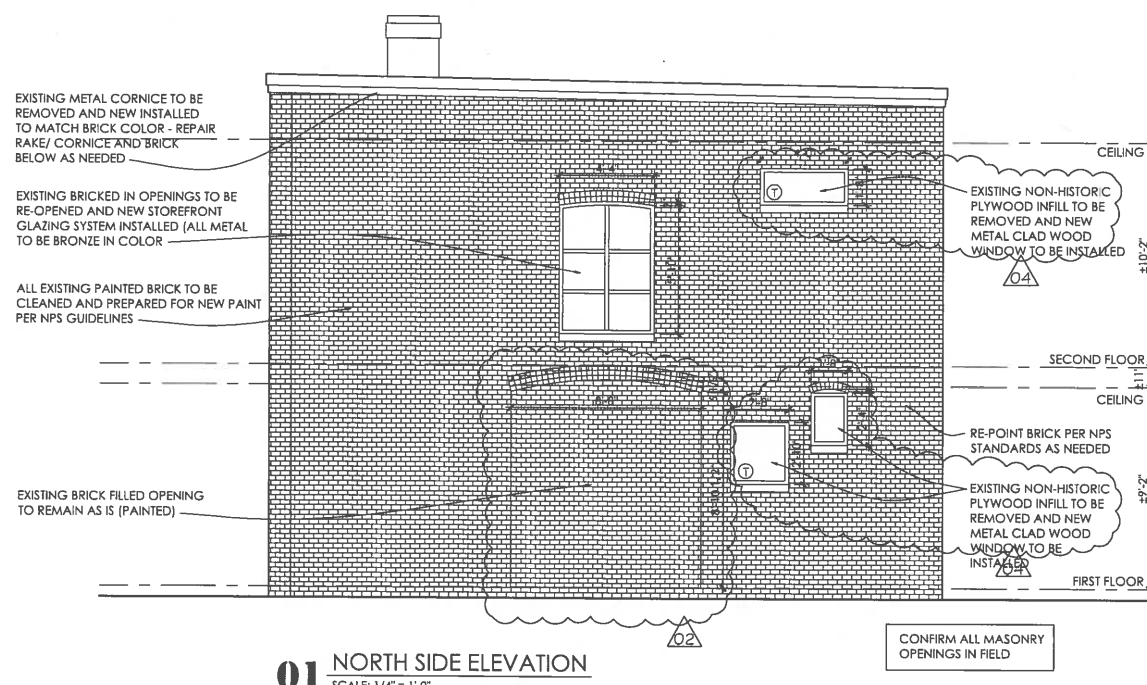
04 BACK ELEVATION
SCALE: 1/4" = 1'-0"



02 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

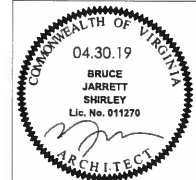


03 SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



01 NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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EXTERIOR
ELEVATIONS

A4 01

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