



CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
BOARD OF ZONING APPEALS

March 11, 2019

Lee Medical Building LLC
11100 West Broad Street
Glen Allen, Virginia 23060
Attention: Matt Raggi

Jennifer D. Mullen, Esquire
11 South 12th Street, Suite 500
Richmond, Virginia 23219

To Whom It May Concern:

RE: **BZA 15-2019**

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on Wednesday, April 3, 2019 at 1:00 p.m. in the 5th floor conference room, City Hall, 900 East Broad Street, to consider an application for a building permit to convert a nonconforming office building to a multi-family dwelling containing 63 dwelling units at 1805 MONUMENT AVENUE (Tax Parcel Number W000-0861/020), located in an R-6 (Single-Family Attached Residential District).

Please be advised that the applicant or the applicant's representative must be present at the hearing. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

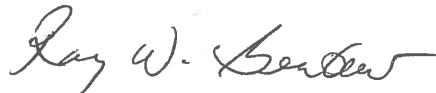
BZA 15-2019
Page 2
March 11, 2019

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <http://www.richmondgov.com/PlanningAndDevelopmentReview/civicasociationgroupinformation.aspx>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each.

Please be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. Please note that the Board's Rules of Procedure require payment of a \$150.00 continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbors and neighborhood association(s). Please contact your neighborhood association to determine their meeting schedule. Be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. For your convenience a list of the property owner(s) which have been identified based on the City Assessor's records as being located within a 150' radius of subject property is being provided to you (see attachment).

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,



Roy W. Benbow, Secretary
Phone: (804) 240-2124
Fax: (804) 646-5789
E-mail: Roy.Benbow@richmondgov.com

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Aramin Properties LLC
4504 Wythe Avenue
Richmond VA 23221

Arcadia Condominium Unit Owners Association
407 N Allen Ave
Richmond VA 23220

Baird Carol F Revocable Trust Trs
407 N Allen Ave Unit #2
Richmond VA 23220

Baird Carol P Revocable Trust Trs
407 N Allen Ave Unit 3
Richmond VA 23220

Bauder Page Wharton Revocable Trust Trs
1225 Lorraine Ave
Richmond VA 23227

Blandford Robin J & Nancy C Everett
1812 Park Ave
Richmond VA 23220

Blankenship E Randolph Jr
1808 Monument Ave
Richmond VA 23220

Calvert Frederic R Jr & Esra O
1810 Park Ave
Richmond VA 23220

Carreras Brett S
402 N Allen Ave
Richmond VA 23220

City Of Richmond Row - Public Works
900 E Broad St
Richmond VA 23219

Commonwealth Of Virginia Division Of
Engineering
1100 Bank Street Suite 506
Richmond VA 23219

Cooke Nicholas T Iii
407 N Allen St Unit 1
Richmond VA 23220

Drummond Douglas B
1817 Rear Monument Ave
Richmond VA 23220

Ewing A Hugh Iii & Susan S
1811 Monument Ave
Richmond VA 23220

Iain's LLC
18 10th St #436
San Francisco CA 94103

Johnston Charles M Jr
1808 Park Ave
Richmond VA 23220

Jones Sidney R Iii & Susan W
1806 Park Ave
Richmond VA 23220

Kennedy Kevin J Sr
8085 Bisbrooke Ct
Mechanicsville VA 23116

Khonsari Anahita & Johnson Joseph
1819 Monument Ave
Richmond VA 23220

Lucky George Investment LLC
328 Harbor Dr
Macon NC 27551

Nuckolls Stephen C & Janice H
1815 Monument Ave
Richmond VA 23220

Smith Ronald C & Gerry R
1804 Park Ave
Richmond VA 23220

Warthen Martha A
1802 Park Ave
Richmond VA 23220

Waters Lawrence W & Haidee F
2271 Banstead Rd
Midlothian VA 23113

Wickham George B & Mary T
1817 Monument Ave
Richmond VA 23220

Property: 1805 Monument Ave **Parcel ID:** W0000861020**Parcel**

Street Address: 1805 Monument Ave Richmond, VA 23220-7005
Alternate Street Addresses: 1801 Monument Ave
Owner: ARAMIN PROPERTIES LLC
Mailing Address: 4504 WYTHE AVENUE, RICHMOND, VA 23221
Subdivision Name : NONE
Parent Parcel ID:
Assessment Area: 450 - Fan/Near West
Property Class: 441 - B General Office
Zoning District: R-6 - Residential (Single Family Attached)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2019
Land Value: \$936,000
Improvement Value: \$1,407,000
Total Value: \$2,343,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 17332
Acreage: 0.3979
Property Description 1: 0155.00X0151 IRG0000.397
State Plane Coords(?<#>): X= 11784126.115279 Y= 3726852.632632
Latitude: 37.55378471 , **Longitude:** -77.46077537

Description

Land Type: Primary Commercial/Indust Land
Topology:
Front Size: 155
Rear Size: 0
Parcel Square Feet: 17332
Acreage: 0.3979
Property Description 1: 0155.00X0151 IRG0000.397
Subdivision Name : NONE
State Plane Coords(?<#>): X= 11784126.115279 Y= 3726852.632632
Latitude: 37.55378471 , **Longitude:** -77.46077537

Other

Street improvement:
Sidewalk:

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2019	\$936,000	\$1,407,000	\$2,343,000	Reassessment
2018	\$858,000	\$1,342,000	\$2,200,000	Reassessment
2017	\$858,000	\$1,342,000	\$2,200,000	Reassessment
2016	\$485,000	\$1,563,000	\$2,048,000	Reassessment
2015	\$485,000	\$1,465,000	\$1,950,000	Reassessment
2014	\$485,000	\$1,465,000	\$1,950,000	Reassessment
2013	\$485,000	\$1,465,000	\$1,950,000	OfficeReview
2012	\$485,000	\$1,843,000	\$2,328,000	Reassessment
2011	\$364,000	\$1,964,000	\$2,328,000	CarryOver
2010	\$364,000	\$1,964,000	\$2,328,000	Reassessment
2009	\$364,000	\$1,964,300	\$2,328,300	Reassessment
2008	\$364,000	\$1,964,300	\$2,328,300	BOR
2008	\$364,000	\$2,057,000	\$2,421,000	Reassessment
2007	\$364,000	\$1,759,700	\$2,123,700	BOR
2006	\$182,000	\$1,963,000	\$2,145,000	Correction
2005	\$208,000	\$2,162,000	\$2,370,000	Reassessment
2004	\$281,500	\$613,400	\$894,900	Reassessment
2003	\$244,800	\$613,400	\$858,200	Reassessment
2002	\$244,800	\$613,400	\$858,200	Reassessment
1998	\$180,000	\$451,000	\$631,000	Not Available

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
07/01/2005	\$2,400,000	RUBEN STEPHEN D	ID2005- 21567	1 - VALID SALE-Sale Includes Multiple Parcels
12/27/2002	\$2,100,000	LEE MOB L L C	ID2003-703	
11/07/1996	\$0	Not Available	09600-23438	
11/01/1996	\$0	Not Available	009600- 202917	

Planning

Master Plan Future Land Use: SF-MD
Zoning District: R-6 - Residential (Single Family Attached)
Planning District: Near West
Traffic Zone: 1093
City Neighborhood Code: FAN
City Neighborhood Name: The Fan
Civic Code: 0350
Civic Association Name: Fan District Association
Subdivision Name: NONE
City Old and Historic District: Monument Avenue
National historic District: Monument Avenue
Neighborhoods in Bloom:
Redevelopment Conservation Area:

Economic Development

Care Area: -
Enterprise Zone: III

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	1010	0405001	040500
1990	109	0405001	040500

Schools

Elementary School: Fox
Middle School: Hill
High School: Jefferson

Public Safety

Police Precinct: 3
Police Sector: 313
Fire District: 10
Dispatch Zone: 035A

Public Works Schedules

Street Sweep: TBD
Leaf Collection: TBD
Refuse Collection: Wednesday
Bulk Collection:

Government Districts

Council District: 2
Voter Precinct: 204
State House District: 71
State Senate District: 9
Congressional District: 4

Extension 1 Details

Extension Name: C01 - Com Medical clinic/offices
Year Built: 1920
Stories: 6
Units: 0
Number Of Rooms: 0
Number Of Bed Rooms: 0
Number Of Full Baths: 0
Number Of Half Baths: 0
Condition: normal for age
Foundation Type:
1st Predominant Exterior:
2nd Predominant Exterior: N/A
Roof Style: 1
Roof Material:
Interior Wall:
Floor Finish:
Heating Type: 0 sf
Central Air: N
Basement Garage Car #: 0
Fireplace: N
Building Description (Out Building and Yard Items) : Paving

Extension 1 Dimensions

Finished Living Area: 41826 Sqft
Attic: 0 Sqft
Finished Attic: 0 Sqft
Basement: 6971 Sqft
Finished Basement: 0 Sqft
Attached Garage: 0 Sqft
Detached Garage: 0 Sqft
Attached Carport: 0 Sqft
Enclosed Porch: 0 Sqft
Open Porch: 0 Sqft
Deck: 0 Sqft

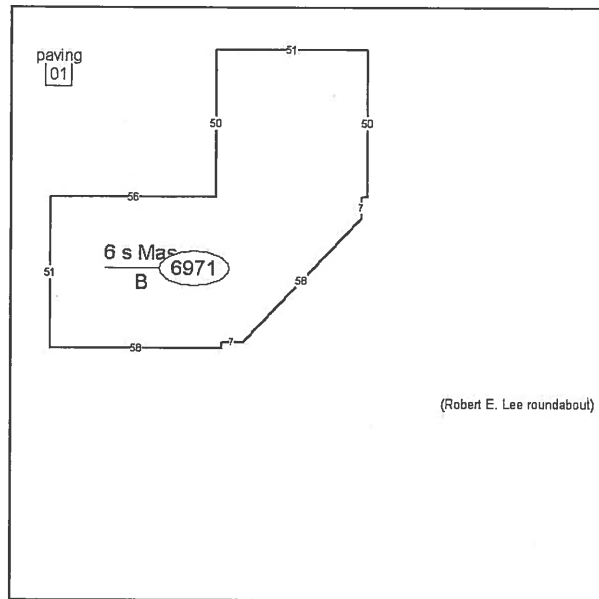
[<#>](#)**Property Images**

Name:W0000861020 Desc:C01

[Click here for Larger Image](#)

Sketch Images

Name: W0000861020 Desc: C01



BZA 15-2019

RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

PROPERTY**TO BE COMPLETED BY THE APPLICANT**OWNER: Lee Medical Building LLC

PHONE: (Home) () (Mobile) ()

ADDRESS 11100 West Broad Street

FAX: () (Work) (804) 344-7156

Glen Allen, Virginia 23060Attention: Matt RagziE-mail Address: matt.ragzi@thalbimer.com**PROPERTY OWNER'S**REPRESENTATIVE: Jennifer D. Mullen, Esquire

PHONE: (Home) () (Mobile) (804) 977-3374

(Name/Address) 11 South 12th Street, Suite 500

FAX: (804) 441-8438 (Work) (804) 441-8440

Richmond, Virginia 23219E-mail Address: jmullen@rothjackson.com**TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE**PROPERTY ADDRESS(ES): 1805 Monument AvenueTYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER _____ZONING ORDINANCE SECTION NUMBERS(S): 30-300, 30-412.1, 30-800.1 & 30-800.2(a)APPLICATION REQUIRED FOR: A building permit to convert a nonconforming office building to a multi-family dwelling containing 63 dwelling units.TAX PARCEL NUMBER(S): W000-0861/020 ZONING DISTRICT: R-6 (Single-Family Attached Residential District)

REQUEST DISAPPROVED FOR THE REASON THAT: A nonconforming use shall not be extended, expanded, enlarge or moved to occupy a different or greater area of land, buildings or structures than was occupied by such use at the time it became nonconforming. No building devoted to a nonconforming use shall be structurally altered unless such building is thereafter devoted to a conforming use. Extension, expansion, enlargement and occupancy of a greater area of the building than was previously occupied by the nonconforming use is proposed. Areas of the building previously used as a mechanical room, duct and mechanical shafts are proposed to be converted into areas to be used as floor area for dwelling units. Structural alterations are proposed, including structural support and concrete slabs for dwelling use floor area.

DATE REQUEST DISAPPROVED: February 7, 2019FEE WAIVER: ☐ YES ☒ NODATE FILED: February 15, 2019 TIME FILED: 2:02 p.m. PREPARED BY: Rich Saunders RECEIPT NO. BZAC-049437-2019AS CERTIFIED BY: [Signature] (ZONING ADMINSTRATOR)**I BASE MY APPLICATION ON:**

SECTION 17.20 PARAGRAPH(S) _____ OF THE CHARTER OF THE CITY OF RICHMOND

SECTION 15.2 -2309.2 ☐ OF THE CODE OF VIRGINIA [OR]SECTION 1040.3 PARAGRAPH(S) (13) OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND**TO BE COMPLETED BY APPLICANT**I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter* ☒

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] DATE: 3-5-19***** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS *****CASE NUMBER: BZA 15-2019 HEARING DATE: April 3, 2019 AT 1:00 P.M.

BOARD OF ZONING APPEALS CASE BZA 15-2019
150' Buffer

APPLICANT(S): Lee Medical Building LLC

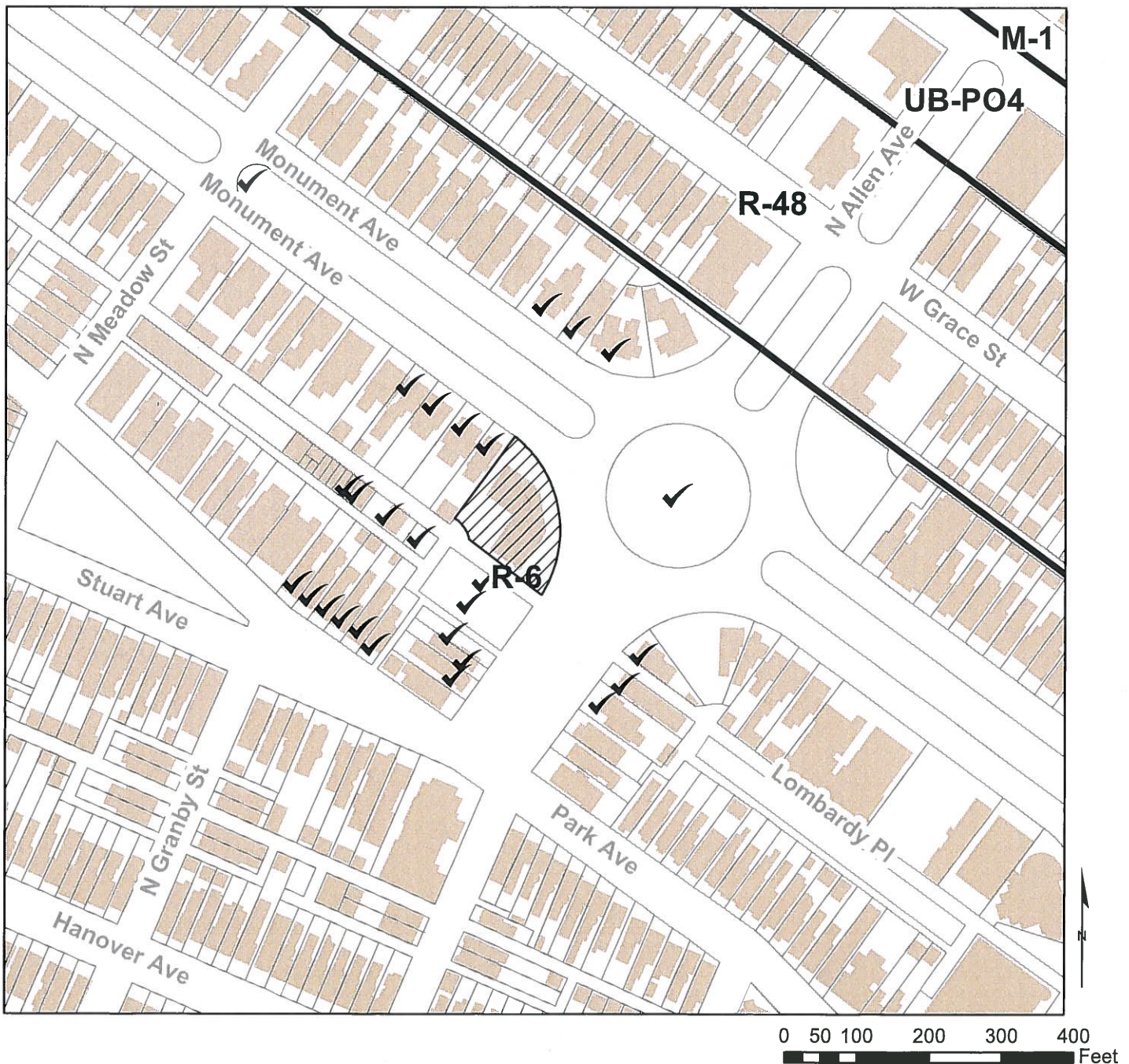
PREMISES: 1805 Monument Avenue

(Tax Parcel Number W000-0861/020)

SUBJECT: A building permit to convert a nonconforming office building to a multi-family dwelling containing 63 dwelling units.

REASON FOR THE REQUEST: Based on Sections 30-300, 30-412.1, 30-800.1 & 30-800.2(a) of the Zoning Ordinance for the reason that:

A nonconforming use shall not be extended, expanded, enlarged or moved to occupy a different or greater area of land, buildings or structures than was occupied by such use at the time it became nonconforming.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

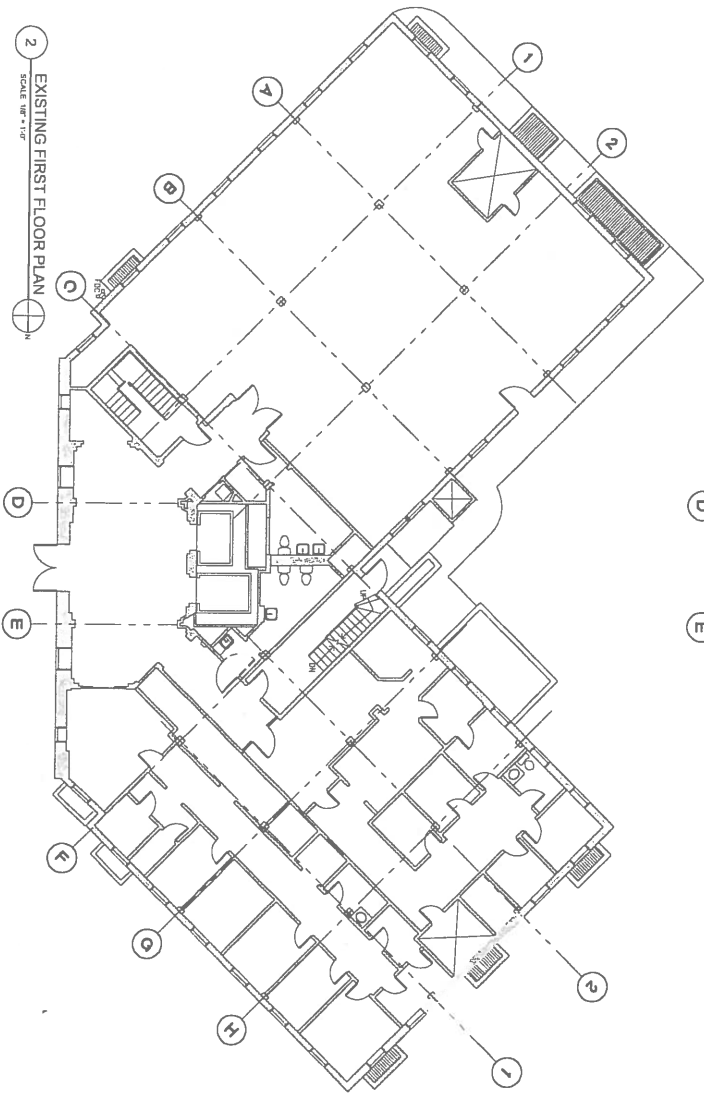
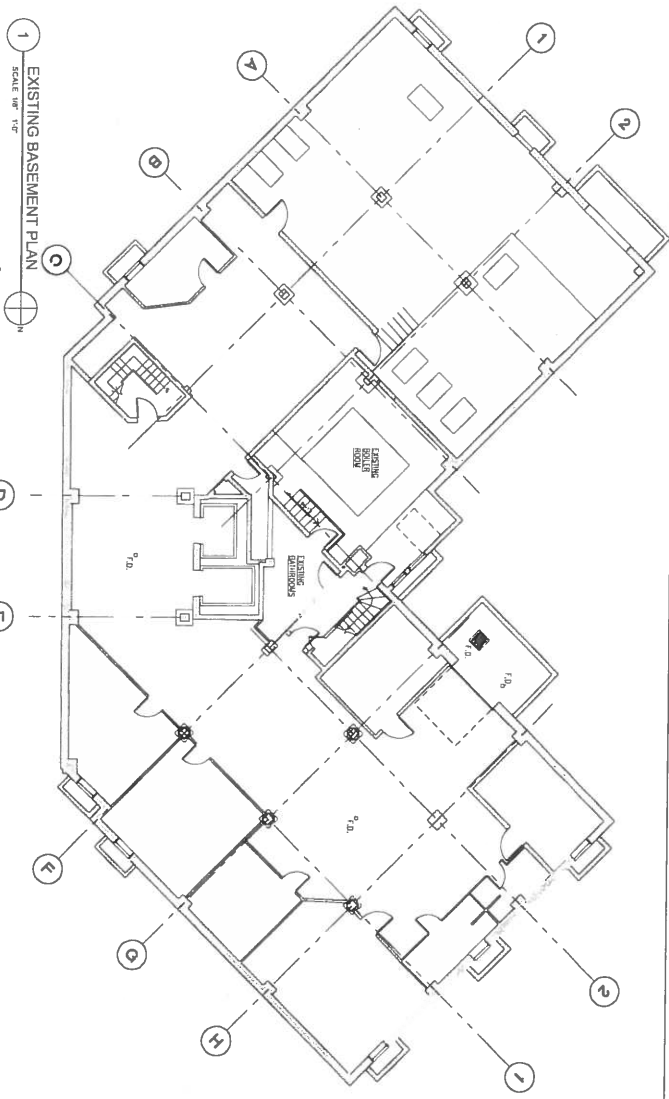
CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (646-6340/6701). Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it absolutely essential that you discuss your case with your neighbors (notification letters are sent to property owners within a 150-foot radius of your property) as well as your neighborhood association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained from the City's website at <http://www.richmondgov.com/PlanningAndDevelopmentReview/civicasociationgroupinformation.aspx>. Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.
4. Please be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a \$150.00 continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).
4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow (804-240-2124) well before the hearing. The Secretary can be helpful by explaining the BZA public hearing process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: x 

(Revised: 4/28/16)



LEE MEDICAL APARTMENTS ADAPTIVE-REUSE RENOVATION 1505 MONUMENT AVE. RICHMOND, VIRGINIA 23220

RM
ARCHITECT

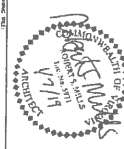
30 Lexington Road
Richmond, Virginia 23220
804.644.1111
www.rmarchitect.com

YR
ARCHITECT

DATE: 04-18-13
REVISION: 1
1-7-2013

PROJECT: LEE MEDICAL APARTMENTS
FLOOR PLANS

EC1.0



DATE: 04-18-13
REVISION: 1
1-7-2013

PROJECT: LEE MEDICAL APARTMENTS
FLOOR PLANS

EC1.0

1. REMOVE ALL EXISTING FLOOR FINISHES THROUGHOUT U.N.O.
2. ALL EXISTING WINDOWS ARE TO REMAIN U.N.O.
3. ALL EXISTING DOORS SHOWN TO BE REMOVED ARE "NON-HISTORIC" UNLESS NOTED OTHERWISE.

SEE DOOR/WINDOW SCHEDULE FOR SIZE OF DOOR/WINDOW AND CRUICK OPENING APPROPRIATELY SIZED TO ACCOMMODATE NEW DOOR/WINDOW PRODUCT NEW STEEL TRIMMS AS REQUIRED WITH 8" BEARING EACH SIDE FOR MASONRY WALLS, TOOTH IN BRICK SO THAT NO SAW CUTS ARE VISIBLE.

- [illegible]

ACCESS NOT YET AVAILABLE TO THIS FLOOR.
DESIGN ARCHITECTS SITE SURVEY FOR
CONSTRUCTION OF THIS FLOOR.
CONSTRUCTION TO BE REMOVED AS IS SHOWN
IN OFFICIAL MAP, THIS FLOOR.

RM
ARCHITECT

10 Leavenworth Road
Riverside, Virginia 21228
404.355.9745
lee@leavenwortharchitect.com
www.leavenwortharchitect.com

+

10 Leavenworth Road
Riverside, Virginia 21228
404.355.9745
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www.leavenwortharchitect.com

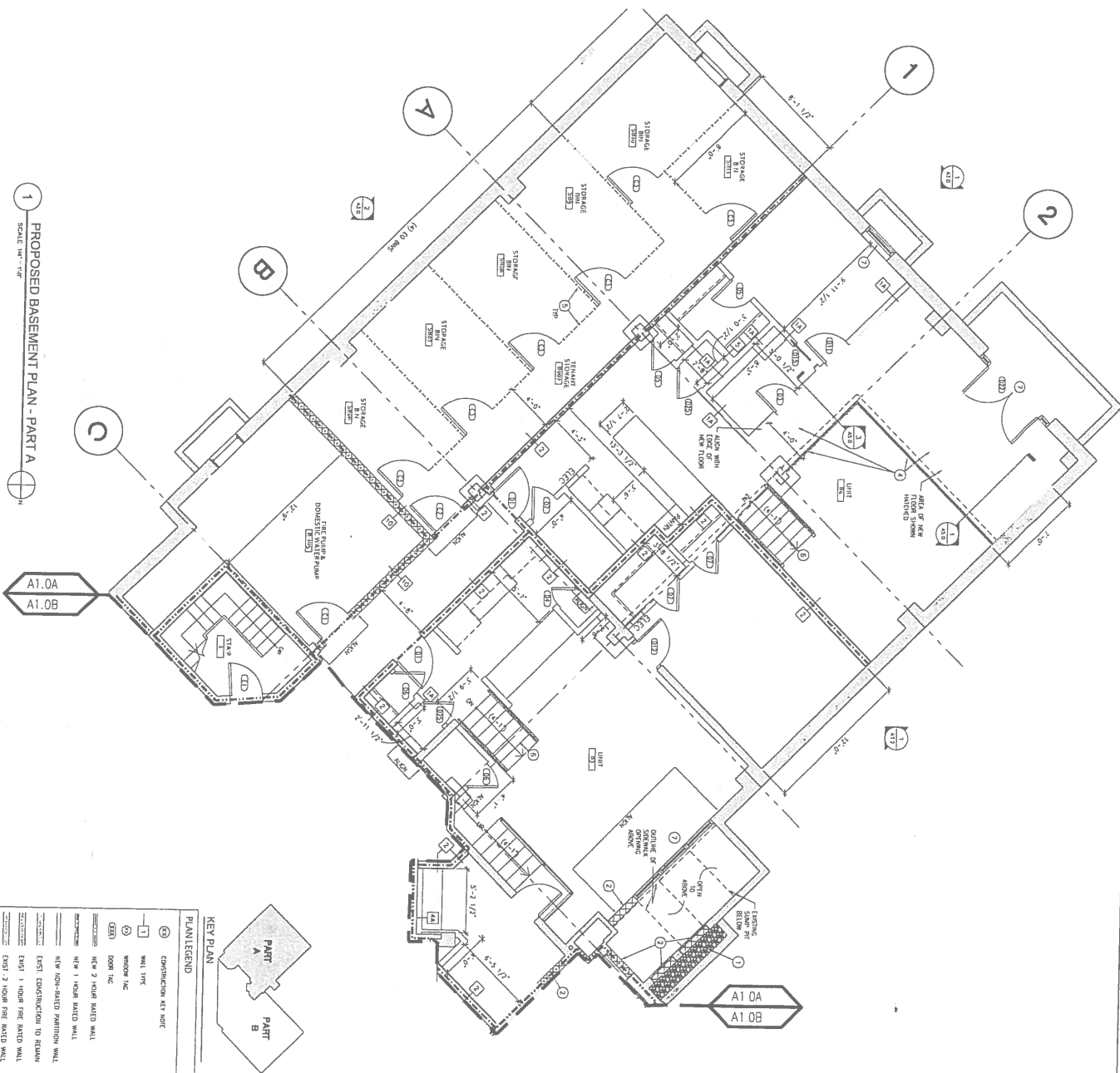
DEMOLITION -
BASEMENT & FIRST
FLOOR PLANS

AD1.0

PROJECT NAME: 1718
PROJECT NO.: LEE MEDICAL APARTMENTS
RENOVATION

PLAN KEY NOTES

- [illegible]



1505 MONUMENT AVE.
RICHMOND, VIRGINIA 23220

[illegible]

+

3D Engineering Fund
Richmond, Virginia 23220
804 355 6745
3dproductmanagement.com
www.robintmiller.com/index1.htm

2007

PM

PROPOSED BASEMENT
PLAN - PART A

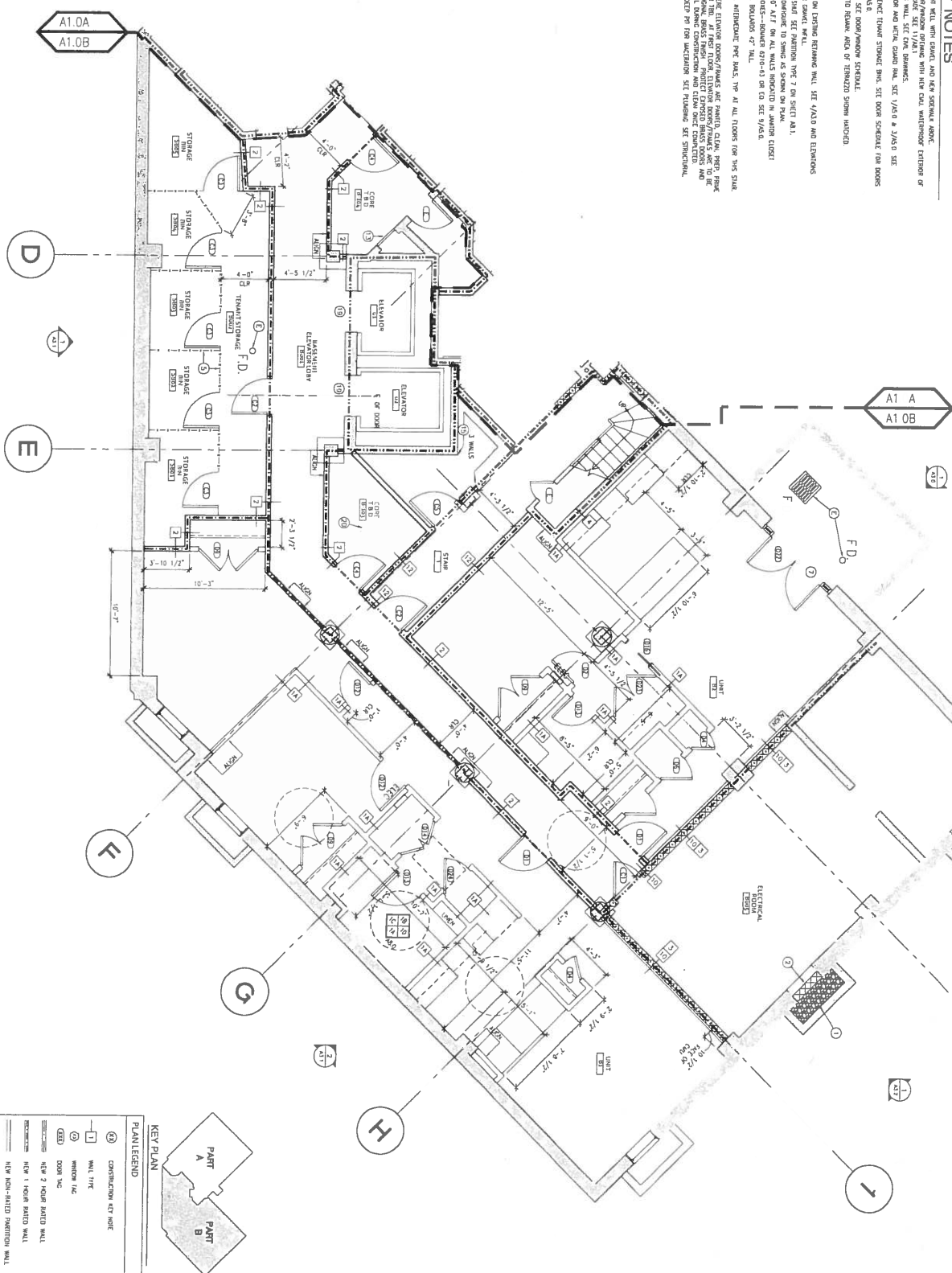
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IF YOU WANT TO KNOW MORE

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PLAN KEY NOTES

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1 PROPOSED BASEMENT PLAN - PART B
SCALE 1/4" = 1'-0"

KEY PLAN

PLAN LEGEND	
(N)	CONSTRUCTION KEY NOTE
①	WALL TYPE
②	WINDOW IAC
(ED)	DOOR IAC
=====	NEW 2 HOUR RATED WALL
=====	NEW 1 HOUR RATED WALL
=====	EXIST CONSTRUCTION TO REMAIN
=====	EXIST 1 HOUR FIRE RATED WALL
=====	EXIST 2 HOUR FIRE RATED WALL
ALL NEW EXTERIOR WALLS ARE TYPE "I" UNLESS OTHERWISE NOTED	

PROPOSŁ BASEMENT
PLAN - PART B

A1.0B

LEE MEDICAL APARTMENTS
ADAPTIVE-REUSE RENOVATION

1505 MONUMENT AVE
RICHMOND, VIRGINIA 23220

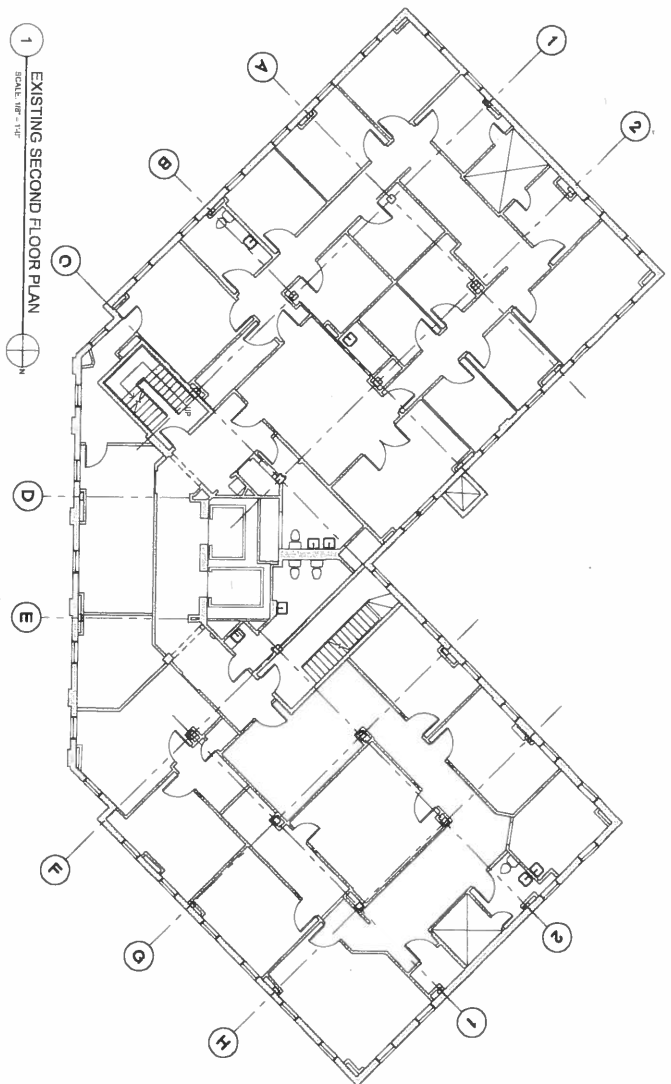
RM
ARCHITECT

407th Room
 Verona
 304 9 8745
 1650 17th Street NW
 Washington, DC 20036

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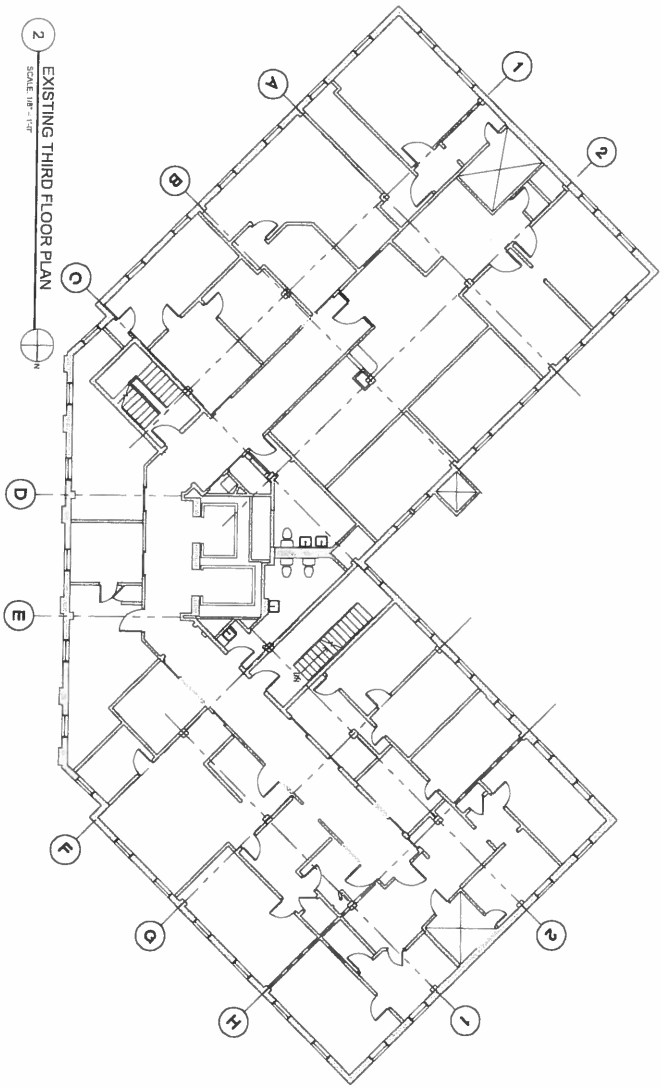
1974 and 1975 depending on 1973 and 1974

Copyright © 2011



1
SCALE: 1/8" = 1'-0"

EXISTING SECOND FLOOR PLAN



2
SCALE: 1/8" = 1'-0"

EXISTING THIRD FLOOR PLAN

LEE MEDICAL APARTMENTS
www.lee-medical.com

RM

ARCHITECT

3000 Lee Medical Blvd.
Richmond, VA 23220
703.353.3344
www.lee-medical.com

LEE MEDICAL APARTMENTS
ADAPTIVE-REUSE RENOVATION

1505 MONUMENT AVE
RICHMOND, VIRGINIA 23220

REVISION

DATE

BY

FOR PROJECT

REVISION

DATE

BY

1505 MONUMENT AVE
RICHMOND, VA 23220

1-7-2018

1-7-2018

EXISTING CONDITIONS
SECOND AND THIRD
FLOOR PLANS

EC1.1

PROJECT NUMBER: 1118
PROJECT NAME: LEE MEDICAL APARTMENTS
RENOVATION
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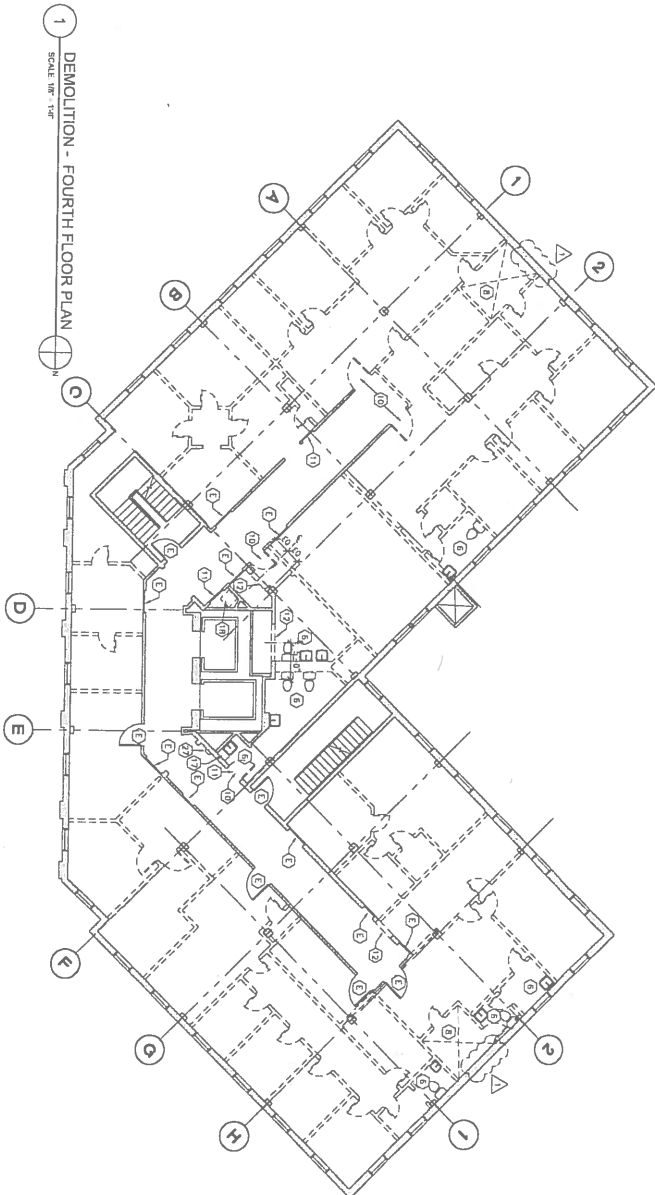
2. ALL EXISTING WINDOWS ARE TO REMAIN U.N.D.
3. REMOVE ALL EXISTING FLOOR FINISHES THROUGHOUT U.N.O.

1. CREATE NEW OPENING IN EXISTING MASONRY/CONCRETE WALL FOR NEW DOOR/WINDOW SET. DOOR/WINDOW SCHEDULE FOR SIZE OF DOOR/WINDOW AND CREATE OPENING APPROPRIATELY SIZED TO ACCOMMODATE NEW DOOR/WINDOW PROVIDE NEW STEEL LINTELS AS REQUIRED WITH 4 BEARING EACH SIDE. FOR MASONRY WALLS, TOOTH IN BRICK SO THAT NO SAW CUTS ARE VISIBLE.

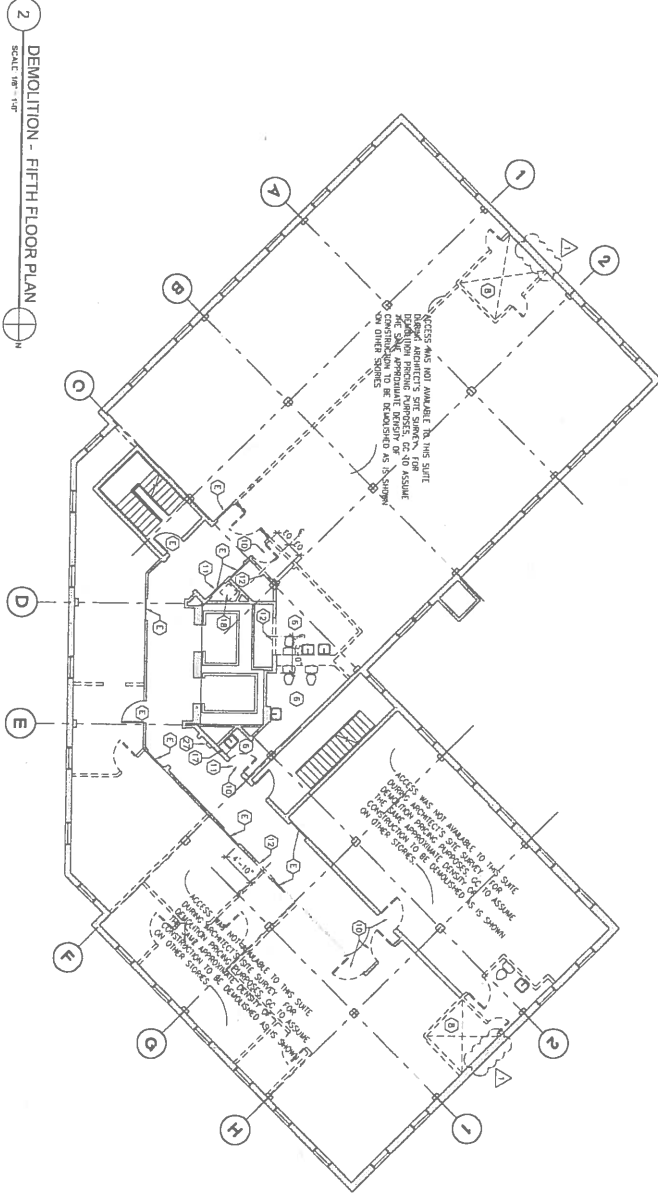
2. NOT USED.

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1505 MONUMENT AVE
RICHMOND, VIRGINIA 23220

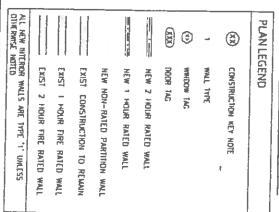
30 Leighton Road
Richmond, Virginia 23226
804 355 8745
be.brock@dmh.virginia.gov
www.richmond.virginia.gov

DEMOLITION -
FOURTH AND FIFTH
FLOOR PLANS

AD1.2

PROJECT NUMBER	1718
PROJECT NAME	ICE MEDICAL APARTMENTS RENOVATION

2. ALL NEW PARTITIONS ARE TO BE TYPE 1 UNO.

[illegible][illegible]

A1.1B

PROJECT NUMBER	1710
PROJECT NAME	LEE MEDICAL APARTMENTS RENOVATION

1. ALL NEW PARTITIONS ARE TO BE TYPE 1 UNO.
2. ALL EXISTING STEEL COLUMNS/BEAMS MUST BE 2 HR FIRE PROTECTED, GC TO VERIFY EXISTING STEEL IS SPACED WITH APPROPRIATE FIRE PROOFING, OR WAPPED IN ONE PLY 5/8" I, IF NOT SPACED WITH FIRE PROOFING OR WAPPED ACCORDINGLY. INSTALL NEW ONE (90) PLY DETAIL STEEL WITHIN THE EXISTING 2HR RATED FLOOR/CEILING ASSEMBLY (90) I DOES NOT NEED TO BE WAPPED. PROTECT PORTHOLE BEAM/COLUMN BELOW THE EXISTING PLASTER CEILING.

[illegible]

SCALE 1/4" = 1'-0"

④

PLANT LEEND

CONSTRUCTION KIT NO. 1

WALL TYPE

WINDING TIE

DOOR TIE

DOOR TIE

NEW 2 HOUR RATED WALL

NEW 1 HOUR RATED WALL

NEW NON-RATED PARTITION WALL

FAST CONSTRUCTION TO RETURN

FAST 1 HOUR FIRE RATED WALL

FAST 2 HOUR FIRE RATED WALL

ALL NEW INTERIOR WALLS ARE TYPE 1, UNLESS OTHERWISE NOTED

1505 MONUMENT AVE
RICHMOND, VIRGINIA 23220

3 Emma Road
Kilmord Virginia 21228
804 35 745
rob@emma.rob.com
emma@emma.rob.com

PROPOSED SECOND FLOOR PLAN - PART 4

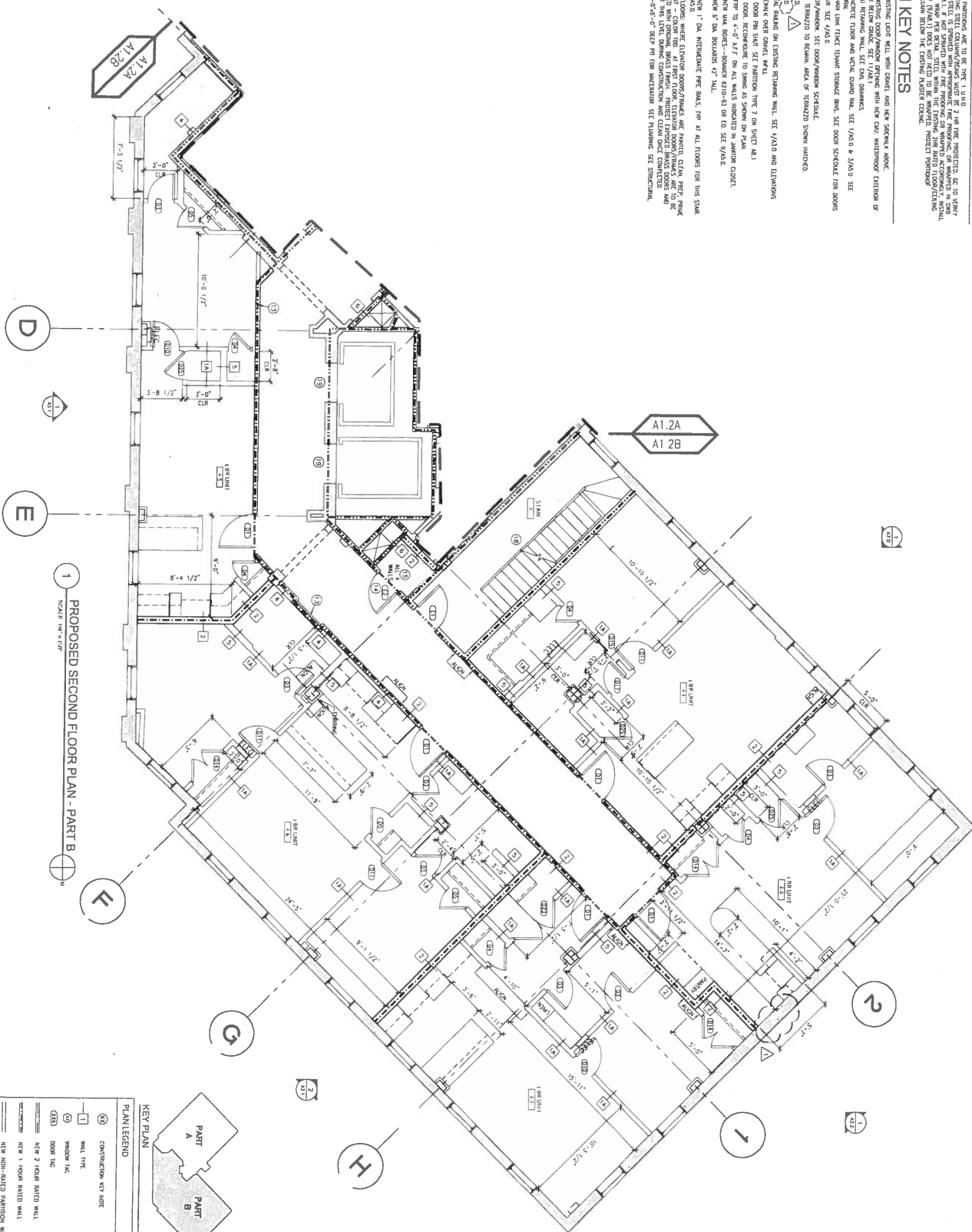
A1.2A

PROJECT NUMBER	1718
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PLAN KEY NOTES

- [illegible]



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RM
ARCHITECT
everyday Road
Kilnwood Village
804 3rd 74th
bcbprojects@earthlink.net
www.rhbfmfranchise.com

PROPOSED SECOND
I-LOOK PLAN - PART'B

A1.2B

PROJECT NUMBER:	1718
PROJECT NAME:	LET MEDICAL ADJUTANTS REINTEGRATE

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CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
ZONING ADMINISTRATION

February 7, 2019

The Capstone Contracting Company
4235 Innslake Drive, Suite 110
Glen Allen, Virginia 23060

ATTN: Chris Allen

RE: 1805 Monument Avenue - Building Permit (PLAN #: 046464-2018)

Dear Mr. Allen:

We are in receipt of the revised plans that were submitted on January 9, 2019, to convert the existing building, containing a nonconforming office use, into a multifamily dwelling containing a total of sixty-three (63) dwelling units.

Please be advised of the following zoning comments (items that need to be addressed are in **bold**):

1. The existing nonconforming use (office building) is located within an R-6 (Single-Family Attached Residential) zoning district. The proposed change, to a multifamily dwelling (63-dwelling units: 56 @ 1 bedroom & 7 @ 2-bedroom), is determined to be permitted under Section 30-800.3, as meeting the following criteria:
 - a. The use is first permitted in the same district or a more restricted district than the district in which the nonconforming use is first permitted, and such use is not a use permitted by conditional use permit in that district. *An office is not a permitted principal use in the R-6 district, but is first permitted as a principal use in the R-73 (Multifamily Residential) zoning district. Multifamily use is not a permitted principal use in the R-6 district, but is first permitted as a principal use in the R-43 (Multifamily Residential) zoning district. The R-43 district is a more restricted district than the R-73 district.*
 - b. The use does not require more off-street parking than the nonconforming use as determined by application of the requirements of Section 30-710.1. *The existing nonconforming office has a parking requirement, based on City Assessor's records, of 106 off-street parking spaces. The proposed multifamily dwelling, containing 63-units, would have an off-street parking requirement of 63-spaces. The proposed use, by application of the requirements, does not require more parking.*

- c. The use does not characteristically have a greater number of employees or a greater amount of traffic, noise, smoke or odor than the nonconforming use. *A multifamily dwelling generally does not employ staff other than within the leasing office or accessory janitorial staff. There is no leasing office shown on the submitted proposed plans. The office use has a greater number of employees than the proposed multifamily dwelling.*

Per trip generation data of the Institute of Transportation Engineers, office use generates a greater amount of traffic than the proposed multifamily dwelling use. In addition, per the International Building Code, the maximum occupancy load for the proposed multifamily use (1 per 200 square feet of floor area) is half that of the existing office use (1 person per 100 square feet of floor area). The use does not characteristically have a greater number of employees or a greater amount of traffic, noise, smoke or odor than the proposed use.

- d. The use does not otherwise constitute a greater deviation from the regulations pertaining to permitted principal or accessory uses applicable in the district in which it is located. *The proposed multifamily use is a residential use and is characteristically more similar to uses permitted an existing within the R-6 district.*
2. The Zoning Ordinance states, under Section 30-800.1, "No building or structure devoted to a nonconforming use shall be enlarged, extended, reconstructed, move or structurally altered unless such building or structure is thereafter devoted to a conforming use, provided nothing in this division shall be construed to prohibit normal repair, strengthening or restoration to a safe condition as may be required by law . . ."

The proposed plans show structural alterations, to include:

- a. **New window openings in the basement level. This is shown as Note 5 on Sheet AD3.0 of the demolition plan and on Note 13 on Sheet A3.2 of the proposed elevations.**
- b. **Remove existing ductwork and mechanical shaft walls and infill floor with new concrete. This is shown as Note 8 on Sheets AD1.0 through AD1.2 on the demolition plan and is shown in more detail on the structural plans.**
- c. **Adding concrete slabs on all floors. This is shown as Note 4 on Sheets A1.0A through A1.6B of the proposed floor plans.**
- d. **Constructing a 4' x 4' x 6' deep pit in the basement for macerator, including underpinning of existing footings. This is shown as Note 20 on Sheet A1.0B of the proposed floor plans and in more detail on Sheet S1.1 of the structural plans.**
- e. **New concrete floor and wall support adjacent to Unit B4 in the basement. This is shown on Sheet A1.0A of the proposed floor plans (Note 4) and in**

more detail on the "Floor Extension Plan" on Sheet S1.1 of the structural plans.

- f. New floor openings and installation of new slab and beams for ductwork on floors 1 through 6. This is shown as Note 17 on Sheets AD1.0 through AD1.3 and in more detail on the "Floor Opening Detail At Elevator Shaft" on Sheet S1.2 of the structural plans.
- g. New staircase being added in basement for Unit B3 and B4. This is shown as Note 6 on Sheet A 1.0A of the proposed floor plans.

Board of Zoning Appeals (BZA) Special Exception or City Council Special Use Permit approval shall be necessary to authorize these structural alterations.

- 3. The Zoning Ordinance states, under Section 30-800.2, "Except as specifically permitted by this division, a nonconforming use shall not be extended, expanded, enlarged or moved to occupy a different or greater area of land, buildings or structures than was occupied by such use at the time it became nonconforming, provided that a nonconforming use may be extended through any parts of a building which were specifically and lawfully designed and arranged for such use at the time it became nonconforming . . ."

The proposed plans show extension, expansion, enlargement and occupancy of a greater area of the building, including an extension into parts of the building that were not specifically and lawfully designed and arranged for such use. These areas include:

- a. Areas in the basement, previously/currently used as ancillary mechanical/storage space. Boiler room equipment (Note 5) and concrete equipment pads (Note 16) are shown as being removed on Sheet AD1.0 of the demolition plan to accommodate dwelling units B3 and B4 that are shown on the proposed floor plan on Sheet A1.0A.
- b. Ductwork and mechanical shaft walls (Note 8) are shown as being removed on the 1st – 6th floors on Sheets AD1.0 through AD1.2. This is to accommodate new dwelling units.

Board of Zoning Appeals (BZA) Special Exception or City Council Special Use Permit approval shall be necessary to authorize these alterations.

- 4. The property currently requires and provides a total of sixty-four (64) off-street parking spaces, both on the property (1805 Monument Avenue) as well as off-premise on adjacent property under common ownership. The parcels at 408-412 North Allen Avenue are also subject to Board of Zoning Appeals (BZA) approval (Case No. 4-00), which waived the front yard (setback) requirement for the parking spaces thereon. A parking layout plan has been submitted and the limits and design of the parking area is consistent with the 2000 BZA approval. Be advised that these parking spaces must continue to be provided solely for the proposed and any future use of 1805 Monument Avenue.

Chris Allen
RE: Building Permit, PLAN # 046464-2018 (1805 Monument Avenue)
February 7, 2019
Page 4

As the items specified do not meet the requirements of the Zoning Ordinance for building permit (BP) approval, you may petition the Board of Zoning Appeals (BZA) for a Special Exception or submit an application for a Special Use Permit City Council to permit and allow these identified structural alterations and expansions.

You are hereby advised that you have thirty (30) days from this notice in which to appeal this decision to the Board of Zoning Appeals, in accordance with §15.2-2311 of the Code of Virginia and §17.19 of the Richmond City Charter, or this decision shall be final and unappealable. Such appeal must be in writing and must be filed with the Secretary to the Board of Zoning Appeals. Said appeal shall indicate in specific terms the grounds for the appeal and must be accompanied by a filing fee of two hundred fifty dollars (\$250.00).

If you have any questions, please contact Richard Saunders, Planner II, at (804) 646-6356 or via E-mail at: Richard.Saunders@Richmondgov.com.

Very truly yours,


William C. Davidson
Zoning Administrator

xc: Roy W. Benbow, Secretary, Board of Zoning Appeals
Matthew Ebinger, Planner III, P&DR-Land Use Administration
Ray Abbasi, Commissioner of Buildings (Acting), P&DR