



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

### PROPERTY (location of work)

Address 12/14 West Leigh Street  
Historic district Jackson Ward

Date/time rec'd: \_\_\_\_\_  
Rec'd by: \_\_\_\_\_  
Application #: \_\_\_\_\_  
Hearing date: \_\_\_\_\_

### APPLICANT INFORMATION

Name Elizabeth Dwyer Bosch  
Company 12/14 West Leigh St LLC  
Mailing Address 13412 Rupert Ct  
Henrico VA 23233

Phone 804. 367.1717  
Email lizere@boschfil.com  
Applicant Type: ☒ Owner ☐ Agent  
☐ Lessee ☐ Architect ☐ Contractor  
☐ Other (please specify): \_\_\_\_\_

### OWNER INFORMATION (if different from above)

Name \_\_\_\_\_ Company \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Phone \_\_\_\_\_  
Email \_\_\_\_\_

### PROJECT INFORMATION

Review Type: ☐ Conceptual Review ☐ Final Review  
Project Type: ☐ Alteration ☐ Demolition ☐ New Construction  
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Please see enclosed plans and proposal

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date

1/24/19



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

**Well in advance** of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** \_\_\_\_\_

### BUILDING TYPE

- |  |  |
|--|--|
| <input type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence  | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building     | <input type="checkbox"/> other               |
| <input type="checkbox"/> mixed use building      |  |
| <input type="checkbox"/> institutional building  |  |

### ALTERATION TYPE

- |  |   |
|--|---|
| <input type="checkbox"/> addition                | <input type="checkbox"/> roof             |
| <input type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

### WRITTEN DESCRIPTION

- ☐ property description, current conditions and any prior alterations or additions
- ☐ proposed work: plans to change any exterior features, and/or addition description
- ☐ current building material conditions and originality of any materials proposed to be repaired or replaced
- ☐ proposed new material description: attach specification sheets if necessary

**PHOTOGRAPHS** place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- ☐ elevations of all sides
- ☐ detail photos of exterior elements subject to proposed work
- ☐ historical photos as evidence for restoration work

**DRAWINGS** (refer to required drawing guidelines)

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> current site plan      | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides)   |
| <input type="checkbox"/> proposed site plan     | <input type="checkbox"/> list of proposed window and door  | <input type="checkbox"/> proposed elevations (all sides)  |
| <input type="checkbox"/> current floor plans    | <input type="checkbox"/> current roof plan                 | <input type="checkbox"/> demolition plan                  |
| <input type="checkbox"/> proposed floor plans   | <input type="checkbox"/> proposed roof plan                | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" |  |   |

## **12 & 14 W. Leigh Street**

January 23, 2019

### **CAR – Applicant's Description**

The attached application is for a CAR Certificate of Appropriateness at 12 & 14 W. Leigh Street (known collectively as 12 W. Leigh street), located in the Jackson Ward Historic District. The existing vacant historic structure is two stories tall and occupies a majority of its small site. This structure was originally two single family attached structures that had been converted to attached duplexes and most recently offices. We are retaining the front exterior expansion per DHR's request. The rear of the building will remain as is other than the existing pressure treated stair that is to be removed and discarded. Based on the new single family use, the stair is not needed for egress and will not be rebuilt.

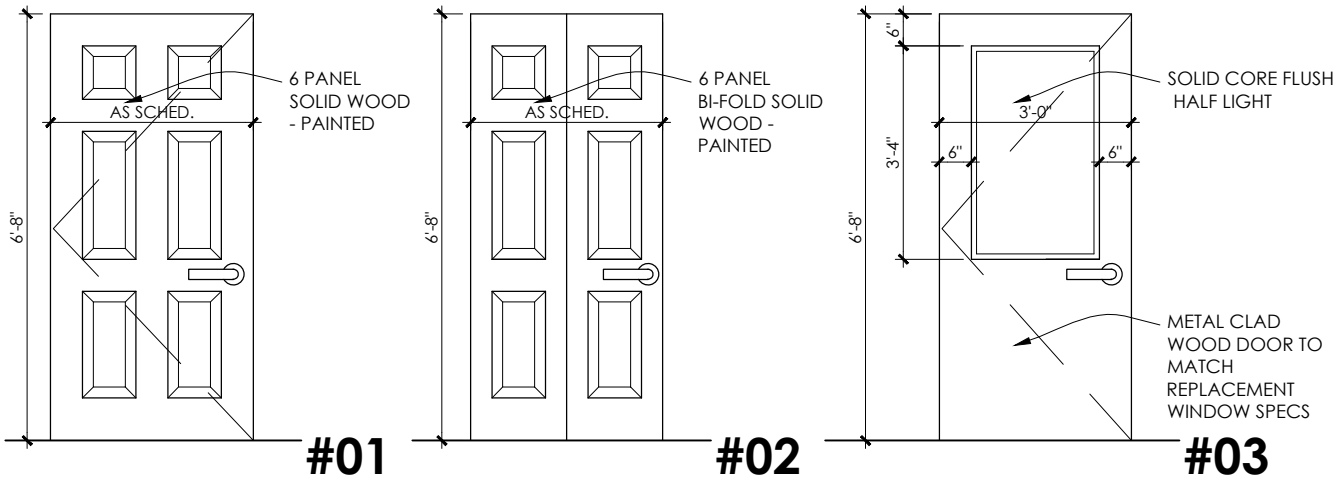
All masonry will be repointed as required per NPS guidelines and repainted, since the structure is currently painted. Windows, doors, and trim will also be painted. See attached Paint Sheet with selections from the CAR Color Pallet. With the existing windows beyond repair and the front ones NOT being historic, we will be replacing with a historically correct window meeting NPS guidelines

Several interior historic features are to be retained including the front façade. While not historic to the original porch, DHR has requested we keep the existing extension based on Judge Sheffield's historic representation in Richmond and the community. The original storefront will also remain and be refurbished as needed.

Using this building for a residential function will enhance the overall environment by increasing both social and economic activity in the surrounding area and meets the current zoning and City Master Plan. Two parking spaces will be achieved on site. The characteristics of the building's end use and features will contribute the community and will not be detrimental to the safety, health, morals and general welfare of the community involved. We further feel the project will not tend to create congestion in streets, roads, alleys, and other public ways and places in the area involved.

DRAWING INDEX

- CS-1 COVER SHEET & DOOR SCHEDULE
- CS-2 ASSEMBLY DETAILS
- D-1 FIRST & SECOND FLOOR DEMOLITION PLANS
- AS-1 EXISTING BOUNDARY SURVEY
- AS-2 ARCHITECTURAL SITE PLAN
- A-1 NEW CONSTRUCTION NOTES
- A-2 FIRST & SECOND FLOOR NEW CONSTRUCTION PLANS
- A-3 ROOF PLAN
- A-4 FIRST & SECOND FLOOR REFLECTED CEILING PLANS
- A-5 SOUTH ELEVATION (FRONT)
- A-6 NORTH ELEVATION (BACK)
- A-7 NEW WINDOW DETAILS



HARDWARE SCHEDULE

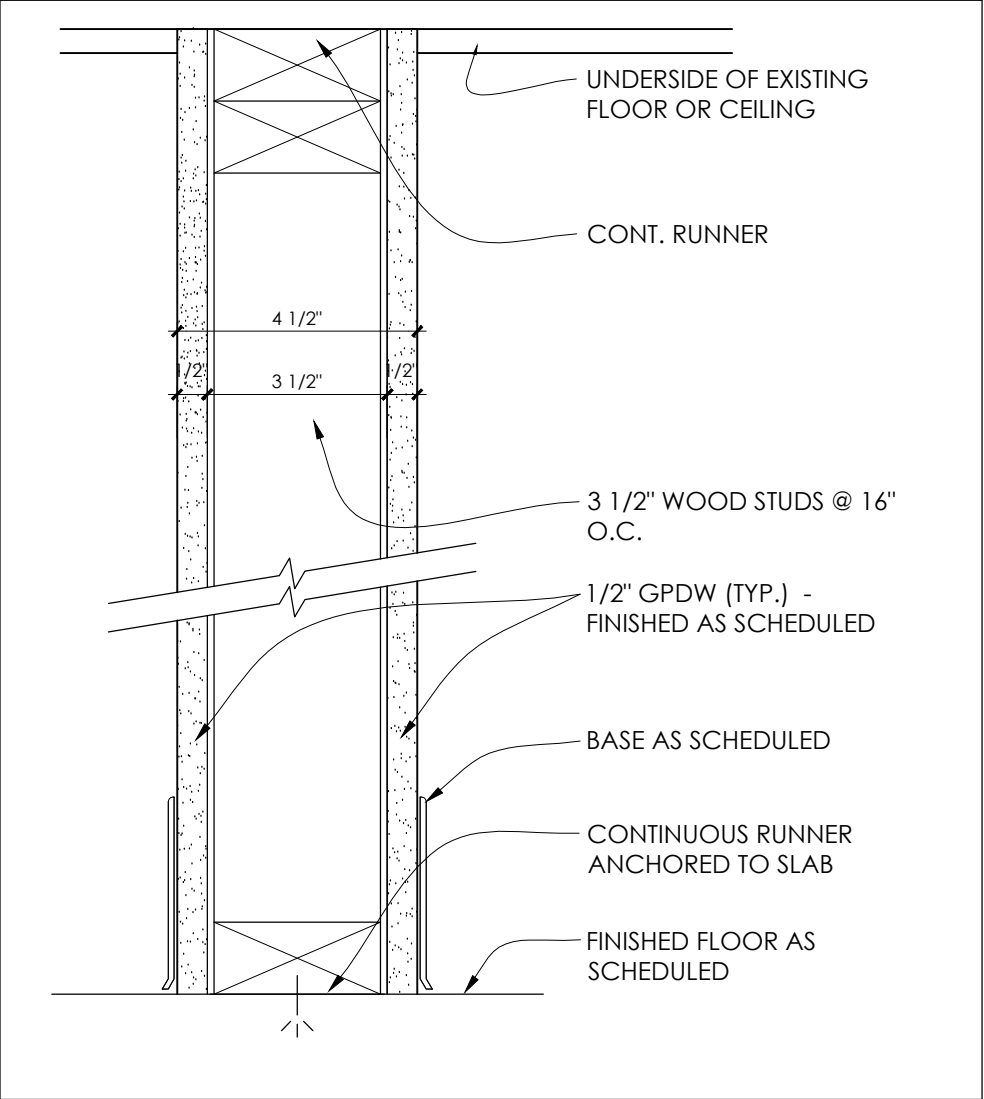
SET #	DESCRIPTION	MANUF.	STYLE	FINISH	HINGES	REMARKS
01	ENTRANCE TYPE	NOTE #03	NOTE #03	AS SELECTED BY OWNER	NOTE #01	NOTE #02
02	NOT USED	AS SELECTED BY OWNER	AS SELECTED BY OWNER	AS SELECTED BY OWNER	NOTE #01	NOTE #02
03	PRIVACY TYPE	AS SELECTED BY OWNER	AS SELECTED BY OWNER	AS SELECTED BY OWNER	NOTE #01	NOTE #02
04	CLOSET TYPE	AS SELECTED BY OWNER	AS SELECTED BY OWNER	AS SELECTED BY OWNER	NOTE #01	NOTE #02

HARDWARE NOTES:  
01. Provide (3) hinges per door installed per manufacturer recommendations.  
02. All doors are to receive wall stops. Coordinate final selection and locations with Owner. Where wall stops are not feasible, provide floor stops.  
03. Entrance hardware to be exterior grade as selected by owner.

DOOR SCHEDULE

MARK	DESCRIPTION	ELEV.	WIDTH	HEIGHT	THK.	MATERIAL	FRAME	HDWR.	REMARKS
01	EXIST. FULL LIGHT ENTRANCE DOOR	01/A4.01	3'-0"	7'-0"	1 3/4"	WOOD/ GL	WOOD	01	-
02	NEW BACK ENTRANCE DOOR	03	2'-8"	7'-0"	1 3/4"	WOOD/ GL	WOOD	01	NOTE 01
03	INT. DOOR	01	3'-0"	6'-8"	1 3/8"	WOOD	WOOD	04	-
04	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	03	-
05	INT. DOOR	01	2'-6"	6'-8"	1 3/8"	WOOD	WOOD	04	-
06	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	03	-
07	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	-
08	INT. DOOR	01	2'-0"	6'-8"	1 3/8"	WOOD	WOOD	04	-
09	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	04	-
10	INT. DOOR	02	(2) 2'-6"	6'-8"	1 3/8"	WOOD	WOOD	04	-

DOOR NOTES:  
01. CONFIRM DOOR SIZE ON SITE TO FIT EXISTING HISTORIC OPENING.

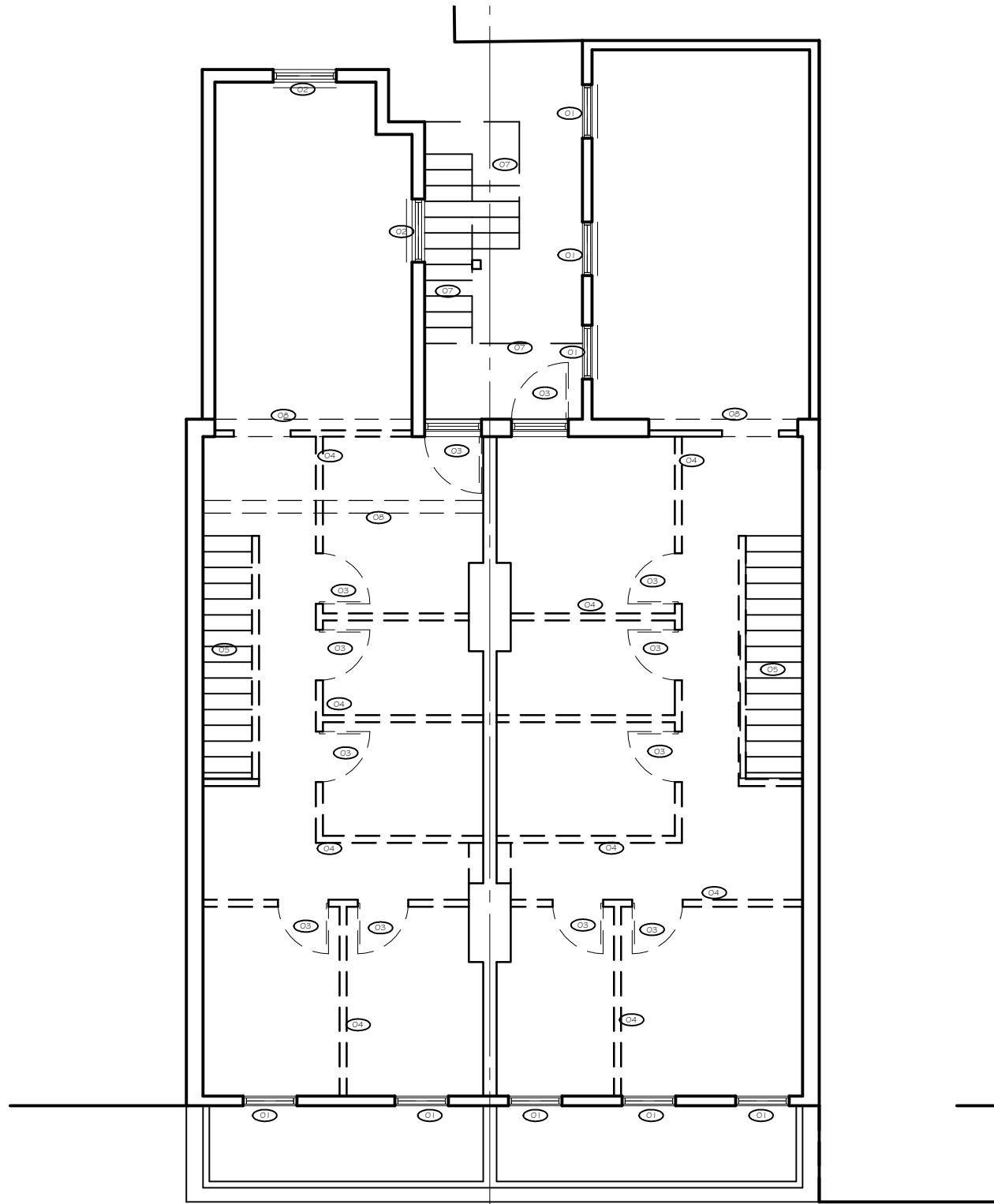


**PARTITION TYPE B1** EXISTING MASONRY WALL INHERENTLY **TWO HOUR RATED** - CONSISTS OF 12" MIN. TO ±16" SOLID BRICK (DEMISING WALL AND LOT LINE FIRE WALL - ALL EXISTING TO REMAIN)

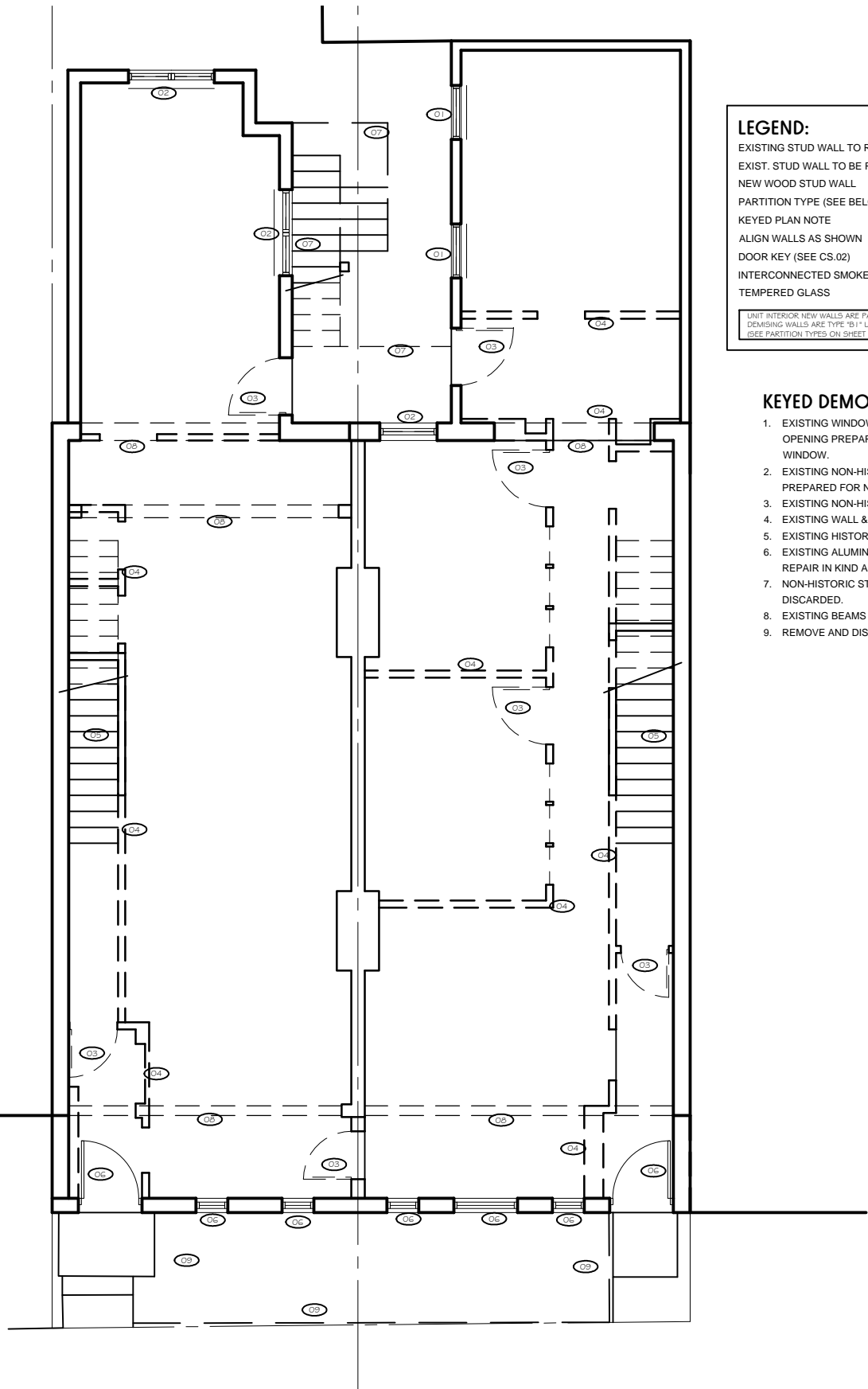
**PARTITION TYPE C1** NEW MASONRY WALL **TWO HOUR RATED** - CONSISTS OF 8" RATED CMU WITH 2X4 FURRING AND 5/8" GPDW TO FLUSH OUT WITH EXISTING DEMISING WALL (WALL TO RUN FROM SLAB BELOW TO UNDERSIDE OF EXISTING ROOF ABOVE - FIREBLOCK CMU AS REQUIRED.)

**NOTE: ANY NEW WALL INSULATION TO BE BATT. INSULATION (NO SPRAY FOAM ALLOWED)**

<b>PARTITION TYPE A1</b>	(SHOWN ABOVE)
<b>PARTITION TYPE A2</b>	SIM. TO "A1" ABOVE BUT WITH 2X6 (5 1/2") STUDS (WET WALL)
<b>PARTITION TYPE A3</b>	SIM. TO "A1" ABOVE BUT FURRING TO EXISTING WALL - 1/2" GPDW AT OUTSIDE FACE ONLY
<b>PARTITION TYPE A4</b>	SIM. TO "A3" FURRING WALL ABOVE BUT TOP OF AT EXISTING WINDOW SILL HEIGHT. PROVIDE WOOD CAP.



**COORDINATION NOTE:**  
GENERAL CONTRACTOR TO PERFORM  
SELECTIVE DEMOLITION TO CONFIRM EXISTING  
FLOOR AND CEILING JOISTS CLEAR SPAN SIDE  
TO SIDE OF BUILDING. INTERMEDIATE BEARING  
WALLS ARE NOT ASSUMED TO BE PRESENT. GC  
TO REVIEW IN FIELD WITH OWNER & ARCHITECT  
PRIOR TO FULL DEMOLITION AS NOTED.



**LEGEND:**

EXISTING STUD WALL TO REMAIN  
EXIST. STUD WALL TO BE REMOVED  
NEW WOOD STUD WALL  
PARTITION TYPE (SEE BELOW)  
KEYED PLAN NOTE  
ALIGN WALLS AS SHOWN  
DOOR KEY (SEE CS.02)  
INTERCONNECTED SMOKE DETECTOR  
TEMPERED GLASS

UNIT INTERIOR NEW WALLS ARE PARTITION TYPE "A1" &  
DEMISING WALLS ARE TYPE "B1" U.N.O.  
(SEE PARTITION TYPES ON SHEET CS.01)

**KEYED DEMOLITION NOTES**

1. EXISTING WINDOW BEYOND REPAIR. WINDOW TO BE REMOVED AND OPENING PREPARED FOR RECEIVING NEW HISTORIC REPLACEMENT WINDOW.
2. EXISTING NON-HISTORIC WINDOW TO BE REMOVED AND OPENING PREPARED FOR NEW HISTORIC REPLACEMENT WINDOW.
3. EXISTING NON-HISTORIC DOOR TO BE REMOVED AND DISCARDED.
4. EXISTING WALL & CABINETS TO BE REMOVED AND DISCARDED.
5. EXISTING HISTORIC STAIR TO REMAIN.
6. EXISTING ALUMINUM FRAMED WINDOW AND DOORS TO REMAIN. CLEAN AND REPAIR IN KIND AS NEEDED.
7. NON-HISTORIC STAIR AT BACK OF BUILDING TO BE REMOVED AND DISCARDED.
8. EXISTING BEAMS ABOVE TO REMAIN.
9. REMOVE AND DISCARD EXISTING CONCRETE PAD AT FRONT.

# 12 & 14 W. Leigh Renovation

12 W. LEIGH STREET  
RICHMOND, VA 23220

DATE: 01 . 23 . 19

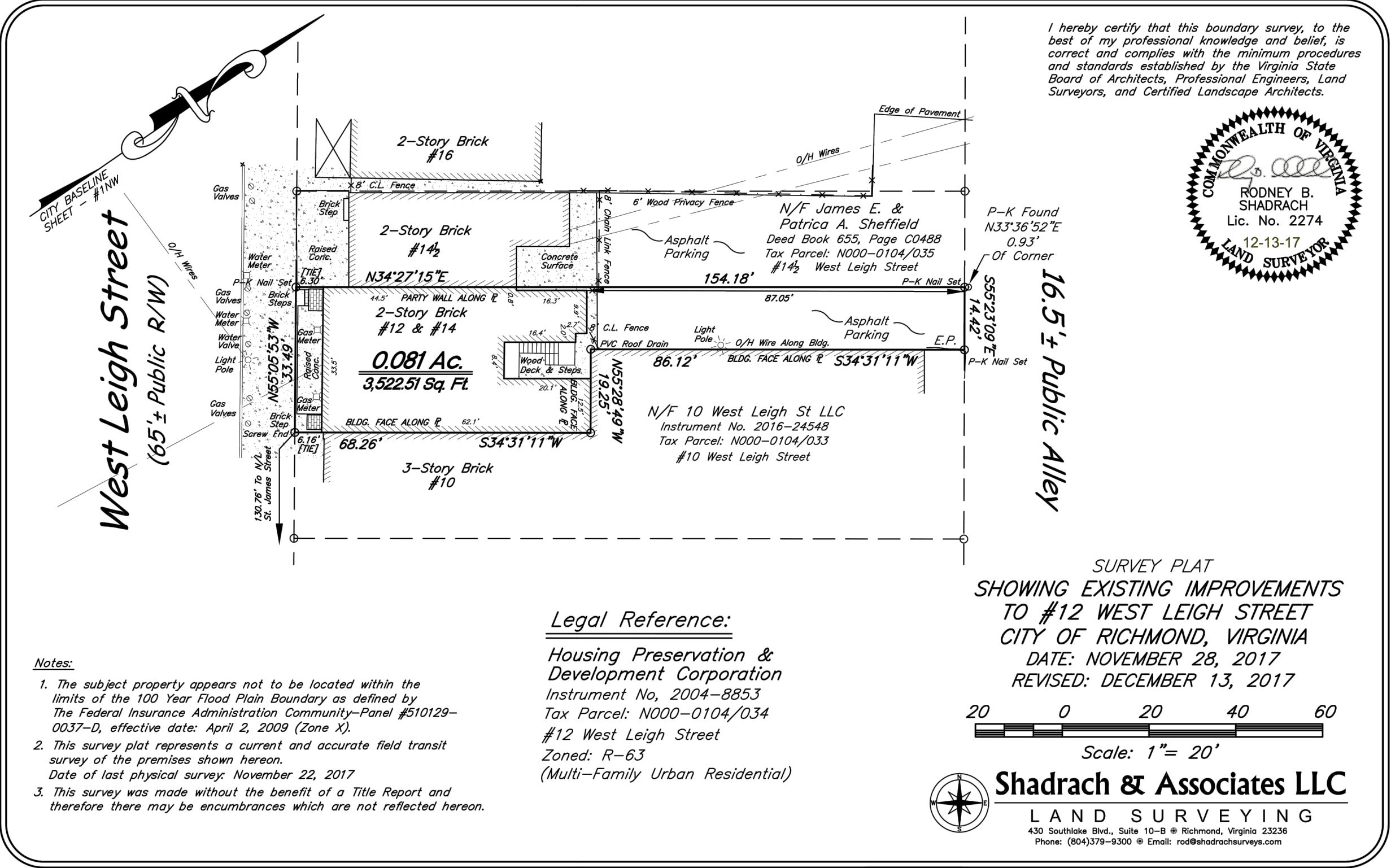
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## FIRST & SECOND FLOOR DEMOLITION PLANS

SCALE: 1/8" = 1'-0"

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# D-1



## 12 & 14 W. Leigh Renovation

12 W. LEIGH STREET  
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## EXISTING BOUNDARY SURVEY

SCALE: 1" = 1'-0"

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# AS-1

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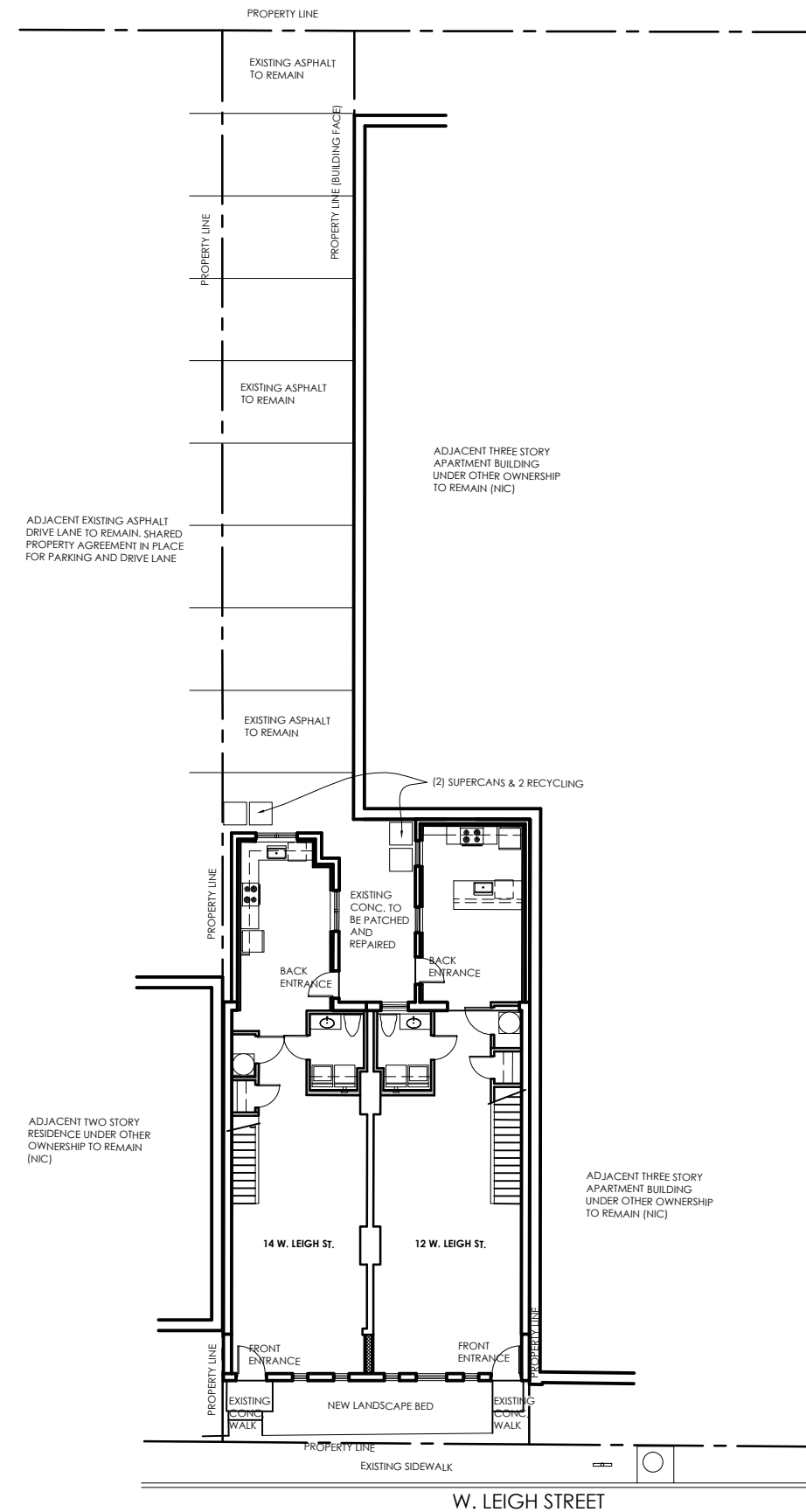
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## ARCHITECTURAL SITE PLAN

SCALE: 1/16" = 1'-0"

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# AS-2



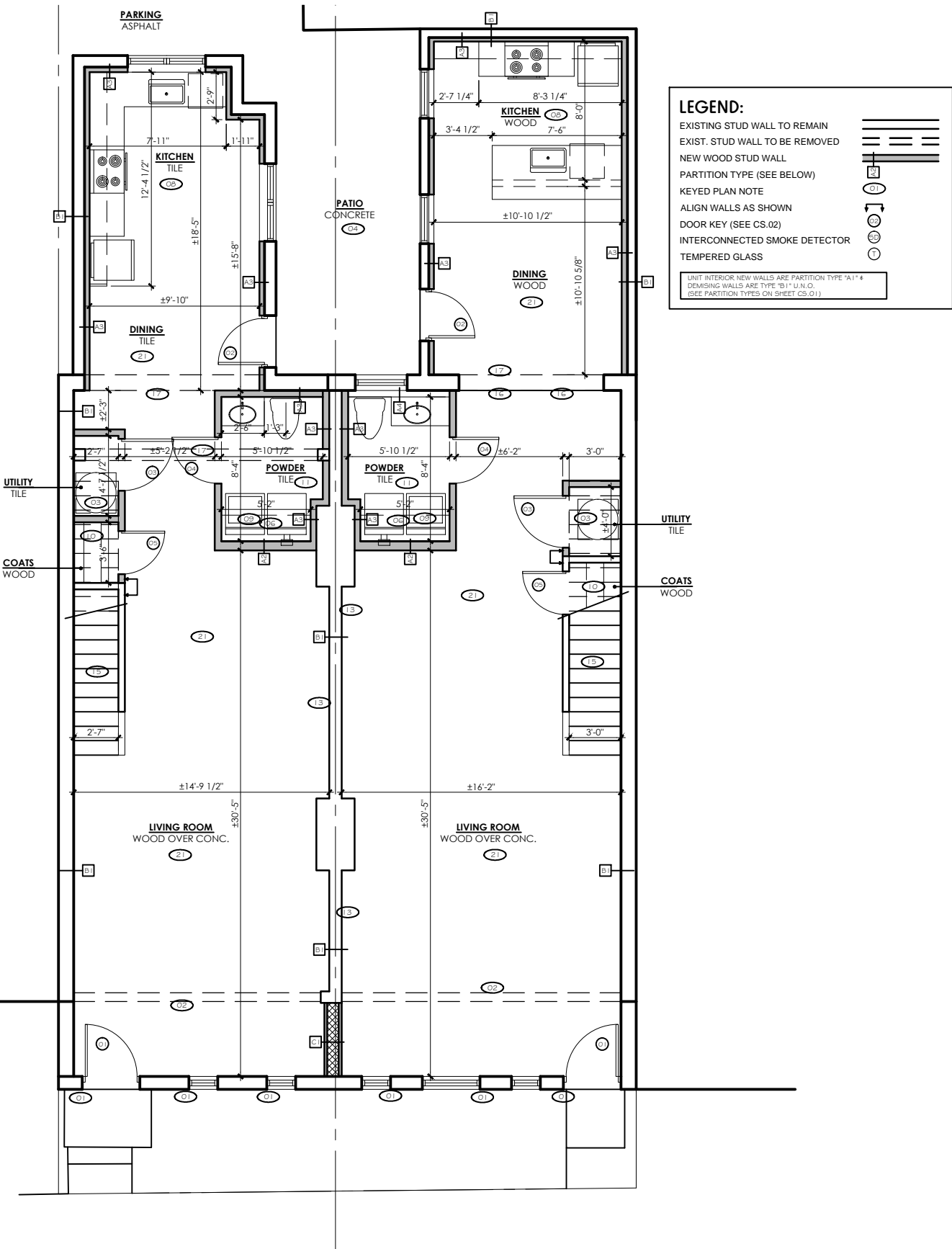
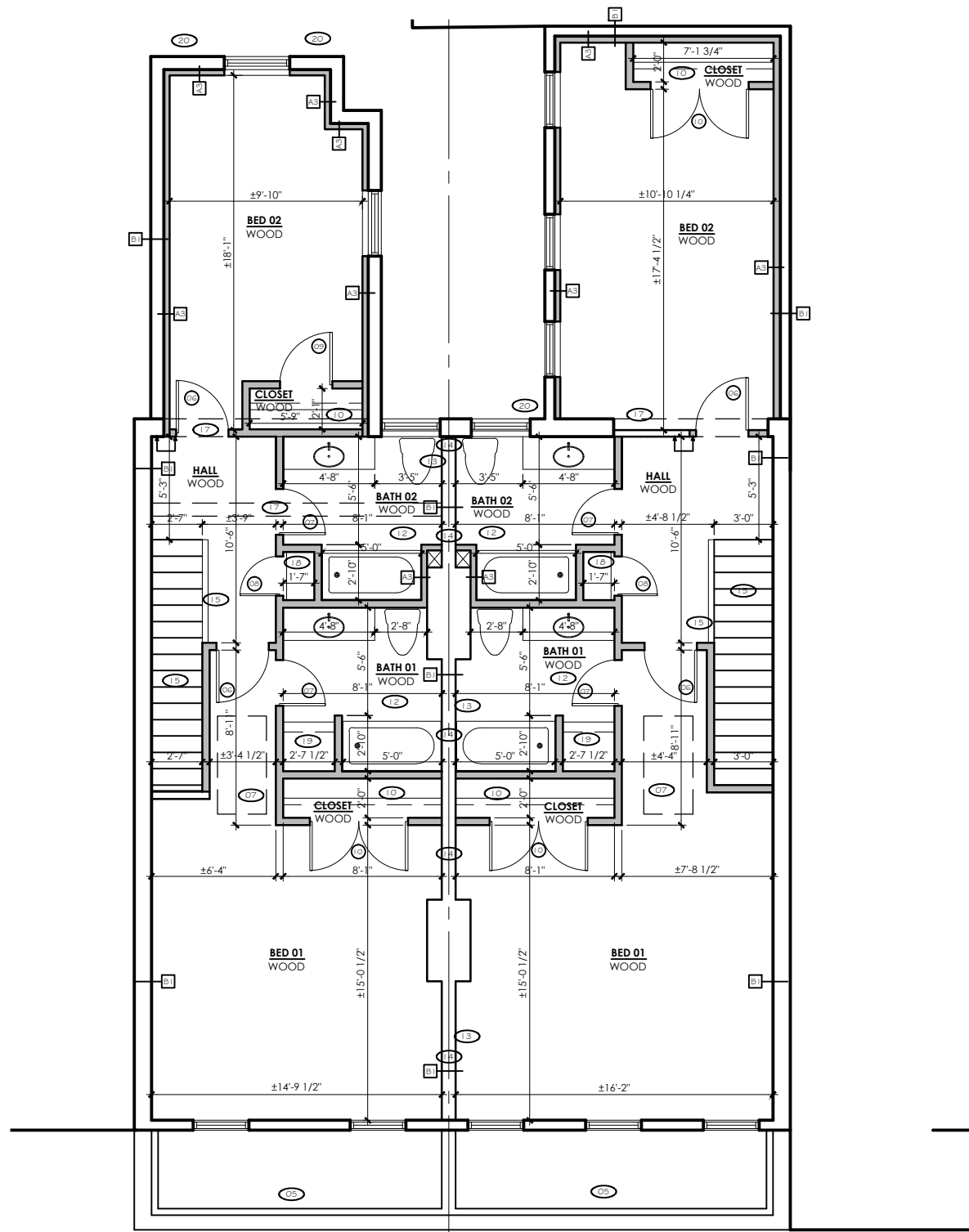


KEYED NEW CONSTRUCTION NOTES

- 1. EXISTING FIRST FLOOR FRONT EXTENSION TO REMAIN. RE-POINT BRICK AS NEEDED PER NPS GUIDELINES. EXISTING STOREFRONT TO REMAIN AS WELL. SEE ELEVATIONS.
- 2. EXISTING HEADER BEAM ABOVE TO REMAIN.
- 3. FIRST FLOOR MECHANICAL UNIT WITH LOWBOY HWH BELOW. CONFIRM DUCT LAYOUT WITH OWNER AND ARCHITECT FOR POSSIBLE SOFFIT CHANGES.
- 4. EXISTING CONCRETE PATIO AT GRADE. PATCH AND REPAIR AS NEEDED.
- 5. PROVIDE NEW MEMBRANE ROOF AND FLASHING FOR EXISTING TAPPERED ROOF. REPAIR OR REPLACE EXISTING ROOF DRAIN AS NEEDED. REPAIR IN KIND EXISTING CAST CONCRETE PARAPET.
- 6. PROVIDE CONNECTIONS FOR CLOTHES WASHER AND DRYER.
- 7. SECOND FLOOR MECHANICAL UNIT IN ATTIC SPACE. CONFIRM LOCATION AND ATTIC PULL DOWN STAIR WITH OWNER AND ARCHITECT IN FIELD.

- 8. KITCHEN WITH STANDARD APPLIANCES AND CABINET DETAIL PER OWNER SELECTIONS.
- 9. PROVIDE PAINTED WOOD SHELF AND ROD OVER WASHER AND DRYER 18" DEEP.
- 10. PROVIDE PAINTED WOOD SELF AND ROD IN CLOSET (TYP.)
- 11. PROVIDE TYPICAL POWDER ROOM FIXTURES AND 3'-4" VANITY CABINET PER OWNER SELECTIONS.
- 12. PROVIDE TYPICAL BATHROOM FIXTURES AND 4'-8" VANITY CABINET PER OWNER SELECTIONS..
- 13. PATCH ANY OPENING BETWEEN UNITS WITH MASONRY TO MEET 2-HOUR RATING.
- 14. PROVIDE TWO HOUR PARTY WALL IN ATTIC ABOVE DEMISING WALL. COORDINATE WITH ARCHITECT ONCE ATTIC IS OPENED DURING SELECTIVE DEMOLITION.

- 15. EXISTING STAIRS TO REMAIN. PROVIDE NEW HANDRAIL/ GUARD RAIL TO MATCH HISTORIC PROFILE. CONTINUE RAIL/ GUARD AROUND OPENING AT SECOND FLOOR WHERE OPEN AT BOTH SIDES.
- 16. EXISTING STEP UP TO BE MAINTAINED INTO KITCHEN AREA. RAISE UTILITY CLOSET NOTED FOR PROPER DOOR OPERATION.
- 17. EXISTING BEAMS ABOVE TO REMAIN. WRAP IN GPDW PER REFLECTED CEILING PLANS.
- 18. PROVIDE 5 EQUALLY SPACED PAINTED WOOD SHELVES @ 1'-6" DEEP IN LINEN CLOSET.
- 19. PROVIDE TYPICAL BASE CABINET (30" DEEP) TO MATCH VANITY WITH 3 EQUALLY SPACED SHELVES ABOVE @ 24" DEEP.
- 20. ROOF TO BE FULLY REPLACED WITH WHITE TPO. REPAIR AND/ OR REPLACE IN KIND EXISTING GUTTERS AND DOWNSPOUTS.
- 21. COORDINATE WITH OWNER AND ARCHITECT IN FIELD POSSIBLE SISTERING OF JOISTS ABOVE AS NEEDED.



**LEGEND:**

- EXISTING STUD WALL TO REMAIN
- EXIST. STUD WALL TO BE REMOVED
- NEW WOOD STUD WALL
- PARTITION TYPE (SEE BELOW)
- KEYED PLAN NOTE
- ALIGN WALLS AS SHOWN
- DOOR KEY (SEE CS.02)
- INTERCONNECTED SMOKE DETECTOR
- TEMPERED GLASS

UNIT INTERIOR NEW WALLS ARE PARTITION TYPE "A1" & DEMISING WALLS ARE TYPE "B1" U.N.O. (SEE PARTITION TYPES ON SHEET CS.01)

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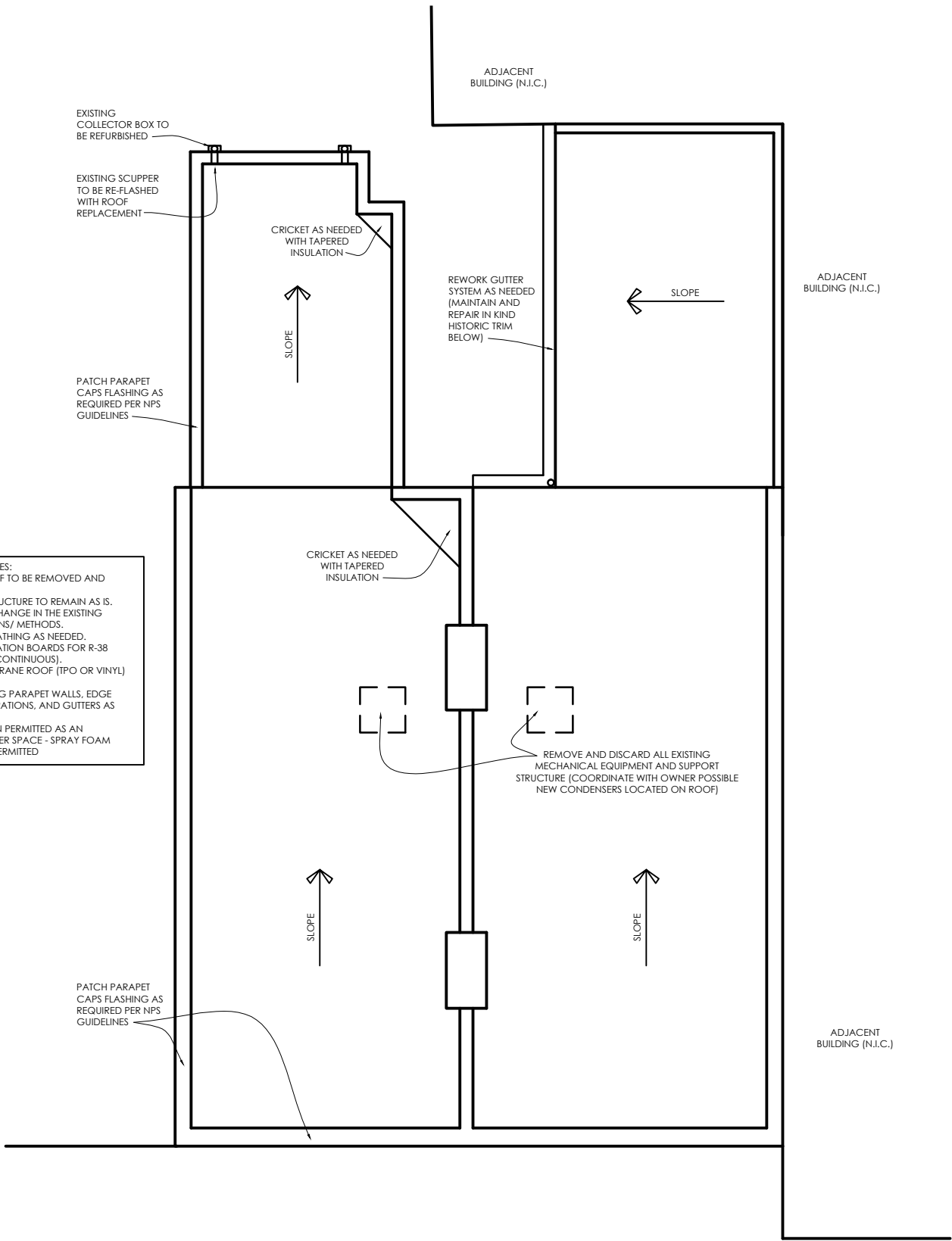
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## FIRST & SECOND FLOOR NEW CONSTRUCTION PLANS

SCALE: 1/8" = 1'-0"  
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- ROOF REPLACEMENT NOTES:
- ENTIRE EXISTING ROOF TO BE REMOVED AND DISCARDED.
  - EXISTING SLOPED STRUCTURE TO REMAIN AS IS. THERE IS TO BE NO CHANGE IN THE EXISTING DRAINAGE DIRECTIONS/ METHODS.
  - PATCH EXISTING SHEATHING AS NEEDED.
  - PROVIDE NEW INSULATION BOARDS FOR R-38 AVERAGE (OR R-30 CONTINUOUS).
  - PROVIDE NEW MEMBRANE ROOF (TPO OR VINYL) IN WHITE COLOR.
  - FLASH TO ALL EXISTING PARAPET WALLS, EDGE CONDITIONS, PENETRATIONS, AND GUTTERS AS REQUIRED.
  - R-38 BATT INSULATION PERMITTED AS AN ALTERNATIVE IN RAFTER SPACE - SPRAY FOAM INSULATION IS **NOT** PERMITTED

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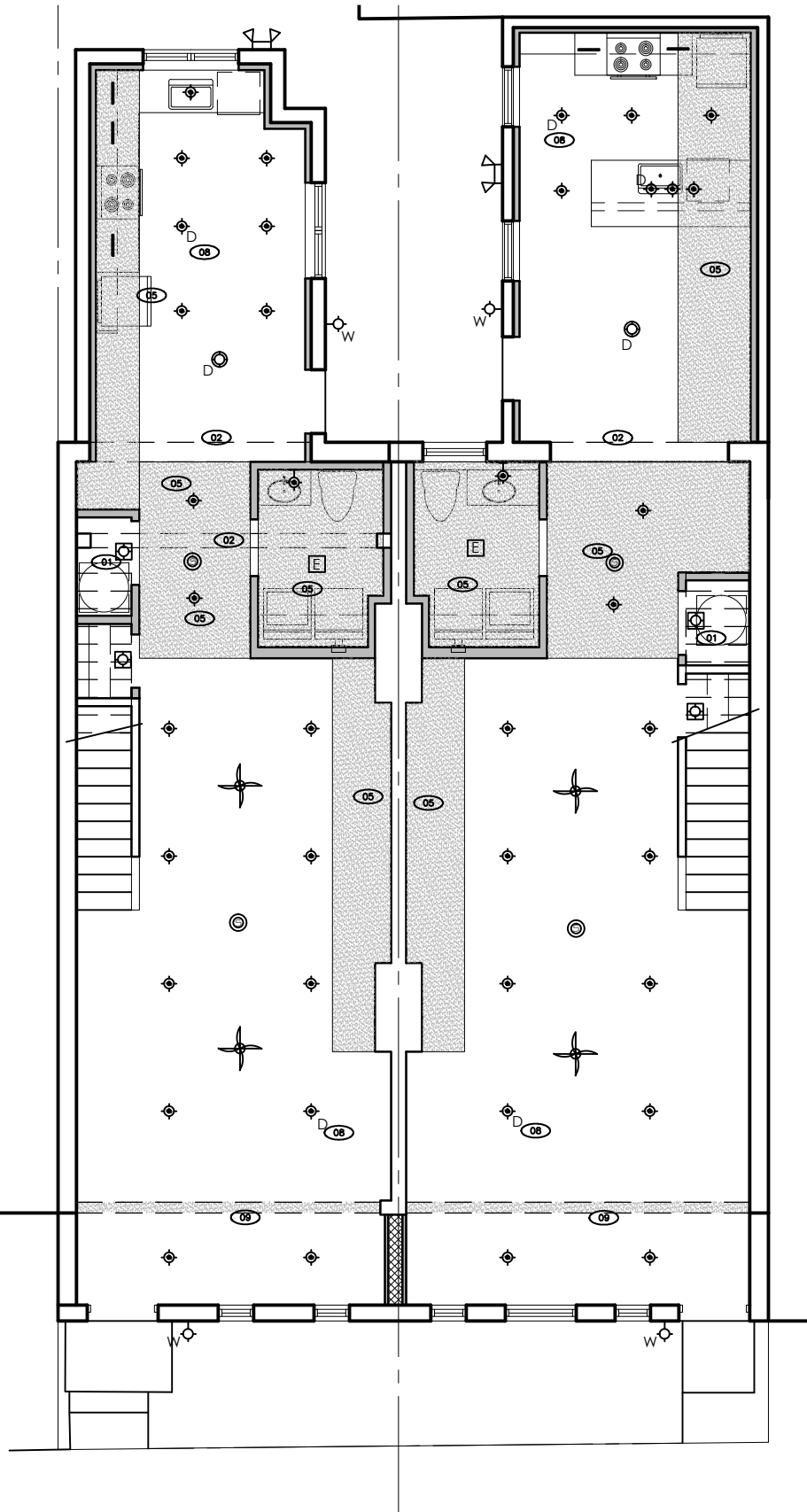
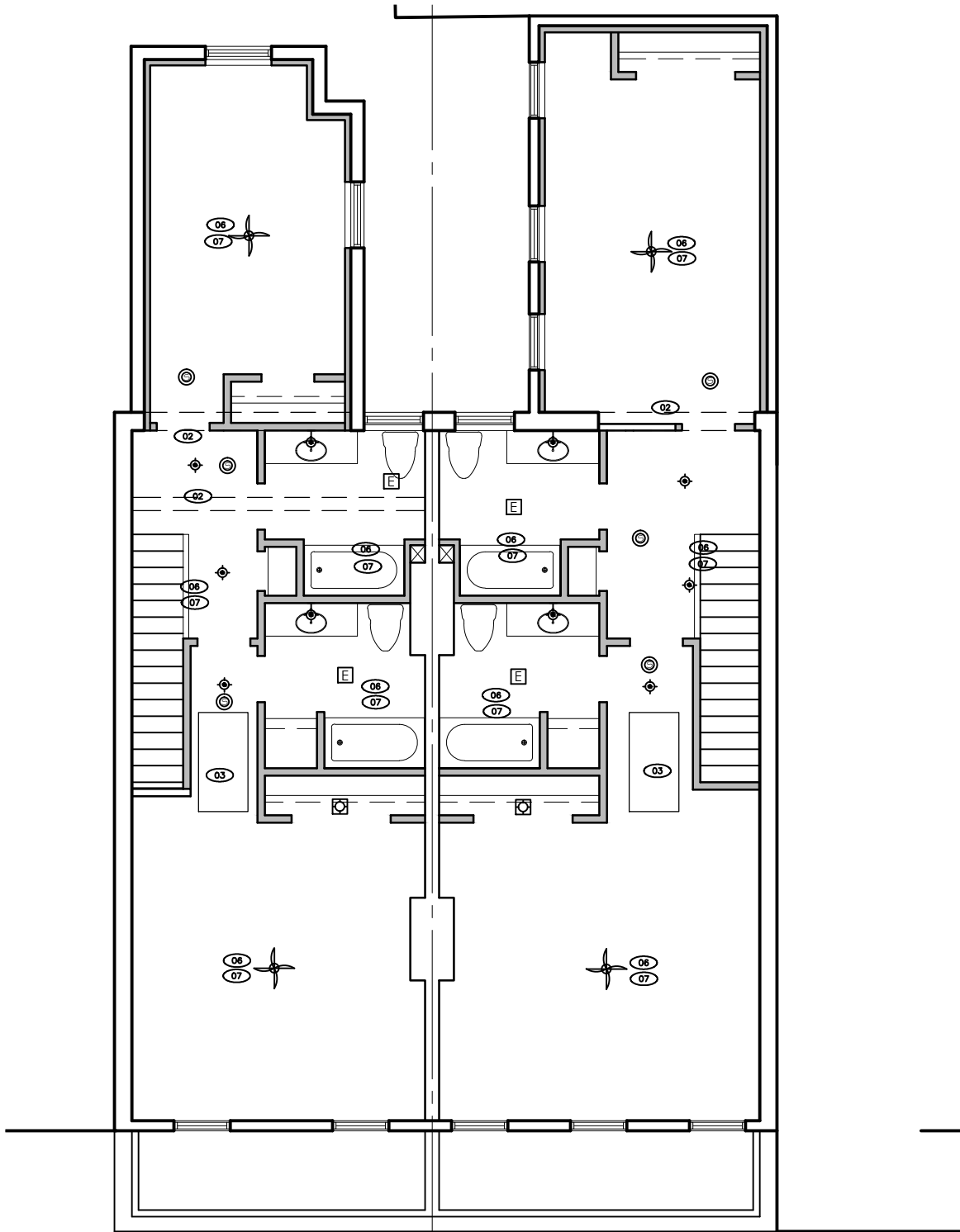
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## ROOF PLAN

SCALE: 1/8" = 1'-0"

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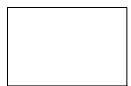

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#### KEYED RCP NOTES

- 01 MECHANICAL CLOSET. OPEN TO DUCTING ABOVE.
- 02 EXISTING HISTORIC BEAM OR ARCH ABOVE TO REMAIN.
- 03 PROVIDE NEW ATTIC ACCESS PULL DOWN STAIR. COORDINATE FINAL LOCATION IN FILED WITH OWNER AND ARCHITECT BASED ON SELECTIVE DEMOLITION, MECHANICAL UNIT PLACEMENT AND AVAILABLE ATTIC HEIGHT.
- 04 NOT USED
- 05 COORDINATE FINAL MECHANICAL DUCTING WITH ARCHITECT FOR POSSIBLE SOFFIT REVISIONS.
- 06 ALL SECOND FLOOR DUCTING IS ASSUMED TO RUN IN ATTIC SPACE.
- 07 PROVIDE 6" SPRAY APPLIED OPEN CELL INSULATION AT UNDERSIDE OF EXISTING ROOF DECK.
- 08 PROVIDE DIMMER FOR ALL LIGHTS IN ROOM GROUP.
- 09 WRAP EXISTING BEAM BELOW CEILING AS NEEDED IN GPDW.

#### RCP MATERIAL LEGEND

-  EXISTING CEILING TO REMAIN. REPAIR AS REQUIRED IN KIND.
-  DROPPED GPDW CEILING AT 8'-0" AFF. RUN MECHANICAL ABOVE AS REQUIRED. SURROUNDING WALLS RUN TO UNDERSIDE OF EXISTING DECK/ CEILING ABOVE (PAINTED)

#### RCP LIGHTING LEGEND

-  01. NOT USED
-  02. LED GLIMPSE STYLE FIXTURE (UNIT ACCENT LIGHTING - SMALL)
-  03. UNDERCOUNTER LED STRIP FIXTURE
-  04. NOT USED
-  05. WALL SCONCE LED (MOUNT OVER BATH MIRROR)
-  06. EXTERIOR LED WALL SCONCE
-  07. LARGE LED DECORATIVE PENDANT
-  08. SURFACE MOUNTED LED
-  09. (3) LED PENDANT FOR KITCHEN ISLAND. EQUALLY SPACE SIDE TO SIDE AND CENTERED ON ISLAND.
-  10. CEILING FAN WITH LED LIGHT KIT AND SEPARATE SWITCHING FOR DIMMING LIGHT AND FAN CONTROL
-  11. EXHAUST FAN WITH LIGHT KIT (SWITCH SEPARATELY)
-  12. INTERCONNECTED SMOKE DETECTOR
-  EXTERIOR LED FLOOD LIGHT WITH MOTION SENSOR
-  D PROVIDE DIMMER BALLAST AND SWITCH.

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## FIRST & SECOND FLOOR REFLECTED CEILING PLANS

SCALE: 1/8" = 1'-0"  
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EXISTING PAINTED WOOD CORNICE TO  
BE REPAIRED AND PAINTED

PAINTED BRICK

NEW 1 OVER 1 METAL CLAD WOOD  
WINDOWS TO FIT IN EXISTING OPENINGS

REPAIR EXISTING CAST CONCRETE PARAPET  
CAP TO MATCH EXISTING AS NEEDED

EXISTING BRICK AND CORBEL TO REMAIN  
(REPOINT AS REQUIRED PER NPS GUIDELINES)

EXISTING ALUMINUM STOREFRONT SYSTEM  
TO REMAIN. REPAIR TO MATCH EXISTING AS  
NEEDED.

EXISTING BRICK ROWLOCK SILL TO REMAIN  
(REPOINT AS REQUIRED PER NPS GUIDELINES)

EXISTING BRICK AND CONCRETE STEPS TO  
REMAIN - PATCH AND REPAIR AS NEEDED

EXISTING ADJACENT BUILDING TO  
REMAIN (NIC)

THIS WINDOW CURRENTLY BRICK FILLED  
TO BE RE-OPENED

SECOND FLOOR CEILING

8'-9"

SECOND FLOOR

BEARING

11'-3"

FIRST FLOOR @ 12

EXISTING CHANGE IN FIRST FLOOR  
ELEVATION TO REMAIN

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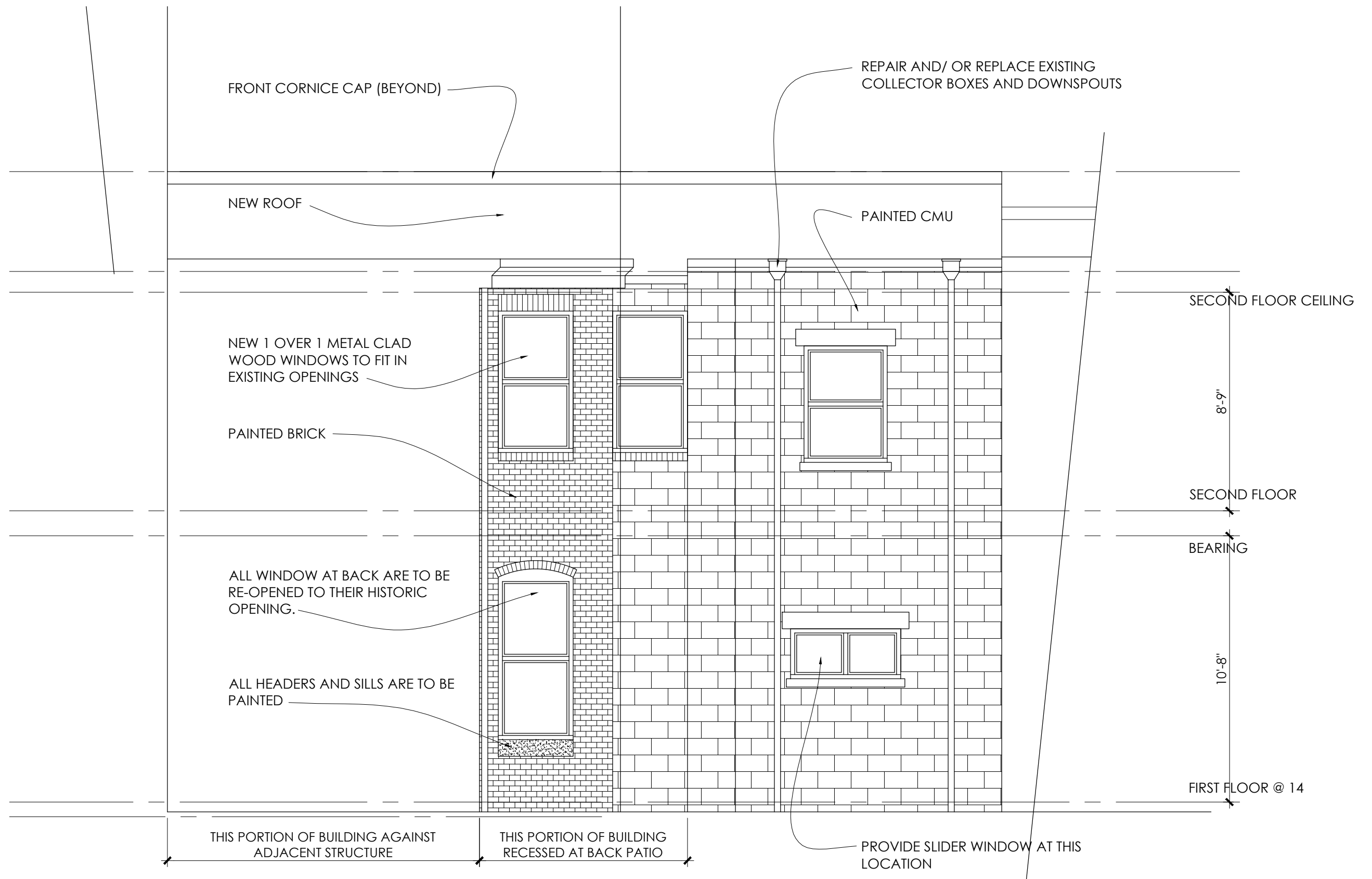
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### SOUTH ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"

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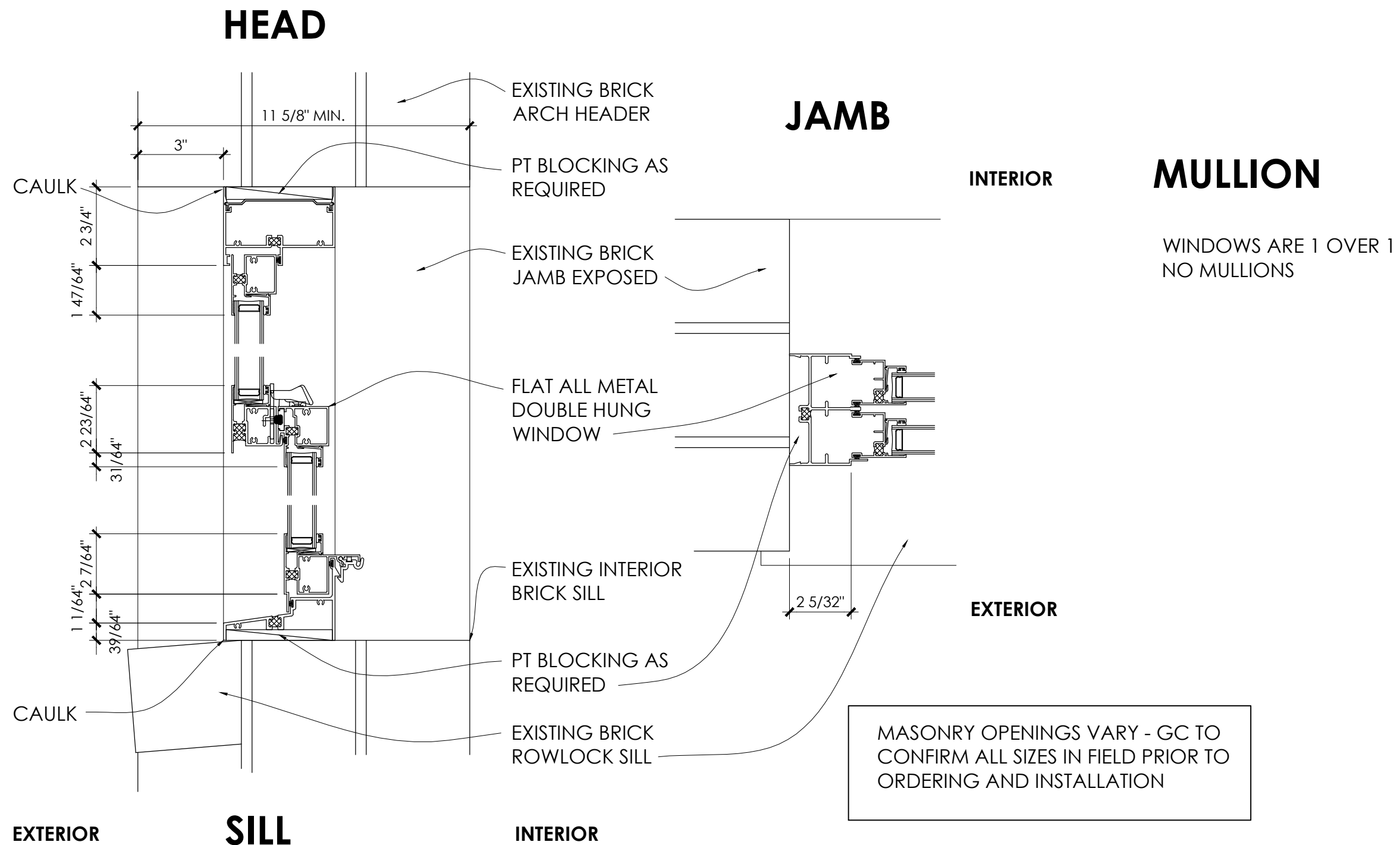
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## NORTH ELEVATION (BACK)

SCALE: 1/4" = 1'-0"

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## WINDOW DETAIL

NEW HISTORIC REPLACEMENT IN EXISTING MASONRY OPENING

SCALE: 3" = 1'-0"

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A-7

12 & 14 W. Leigh Street  
January 23, 2019

CAR – Paint Sheet

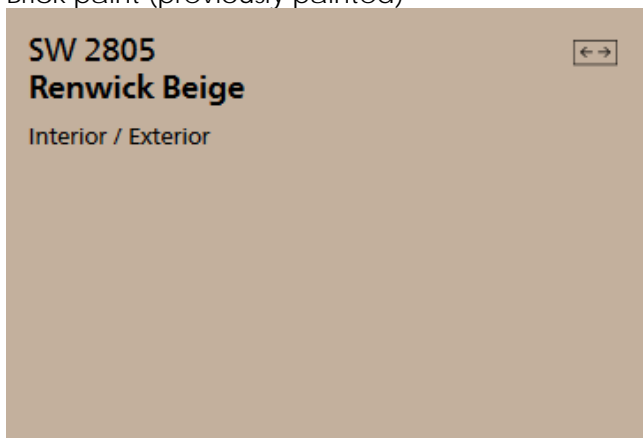
Main trim paint & window exterior color



Door paint – (2) @ back



Brick paint (previously painted)







**TrimLine**  
WINDOWS INCORPORATED



Energy-tight Windows for comfortable living and fuel efficiency

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CORPORATE PROFILE

WHAT'S NEW

PRODUCTS

HISTORIC WOOD WINDOWS

ULTRA - FIT SASH KIT

COMFORT PLUS GLASS

TEST RESULTS

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## Certified Rehabilitation approved by the National Park Service

TrimLine Windows provides quality custom windows for use in historically certified rehabilitation projects.

TrimLine offers a wide variety of products including double hung, casement, and bay windows as well as round top, elliptical and other architectural window products. Custom colors in either all wood or aluminum clad exteriors and interior hardwoods of oak, cherry, and mahogany as well as standard pine, are some of our company's offerings.

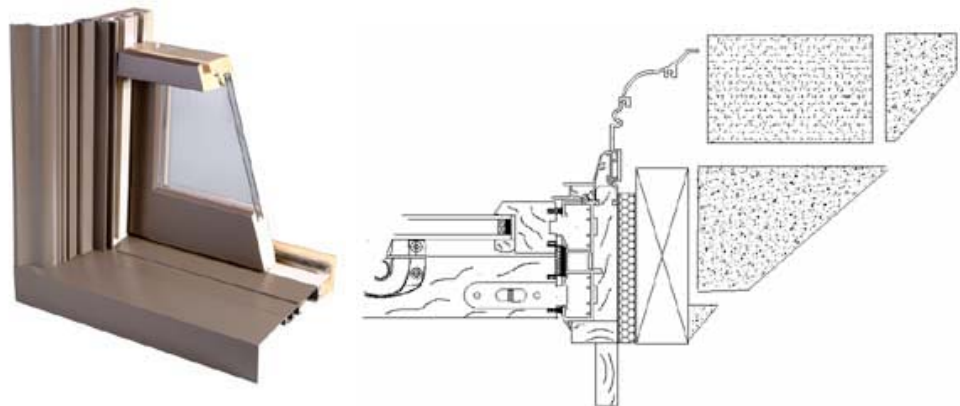
Additionally, custom panning systems, a variety of simulated divided light profiles, and replication of mullion details are some of the custom capabilities where maintenance of historical accuracy is essential.

### Historic Windows features & benefits:

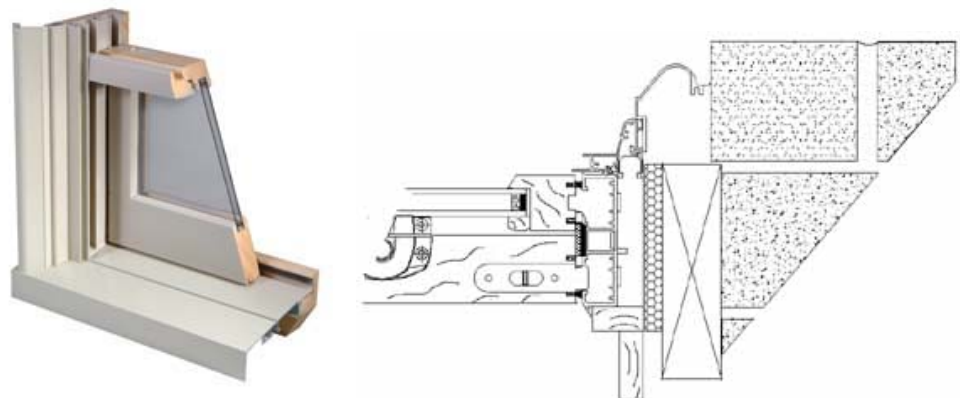
- Historically accurate custom panning systems
- Replication of mullion details
- Custom exterior colors
- National Park Service - Certified Rehabilitation
- Simulated divided lite systems
- Choice of hardwoods - Oak - Mahogany - Cherry
- Double Hung, Casements, Round Top, Elliptical Head, Radius casings
- Sash replacement systems
- High performance glass

Please click [here](#) for Brick Mold options.  
Please click [here](#) for window options.  
Please click [here](#) for Historical Project References

### Panning Options

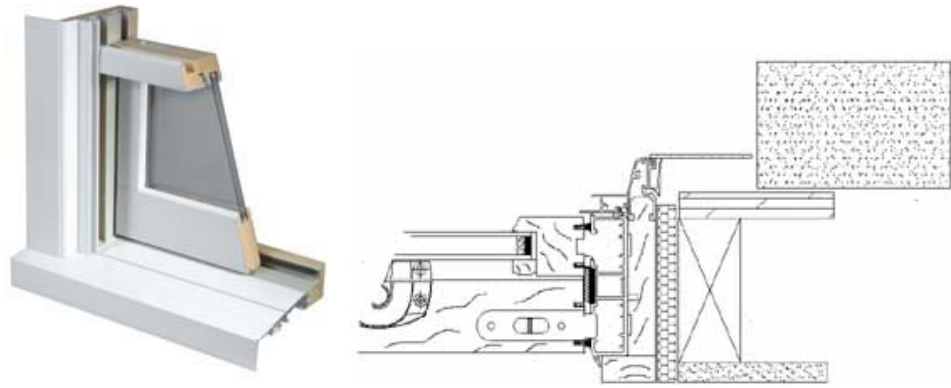


Legends Series DR300 shown in earthtone clad finish with "Colonial" style extruded aluminum panning and historic sill detail.



Legends Series DR300 with "Richmond" style extruded aluminum panning and historic sill detail shown in beige clad finish.

Style to be used



Legends Series DR 300 shown in white with "Arlington" style 2 3/4" flat extruded aluminum panning and Historic sill detail ideal for use in residential or commercial replacement applications of masonry opening. Custom design panning profiles also available.



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