



CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
BOARD OF ZONING APPEALS

November 16, 2018

Daniel & Alice Herlihy
707 Tiber Lane
Richmond, Virginia 23226

Baker Development Resources
11 South 12th Street, Suite 500
Richmond, Virginia 23219
Attn: Mark Baker

To Whom It May Concern:

RE: **CASE NO. 48-18**

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on Wednesday, December 5, 2018 at 1:00 p.m. in the 5th floor conference room, City Hall, 900 East Broad Street, to consider an application for a building permit to construct a one-story addition to a single-family dwelling at 707 TIBER LANE (Tax Parcel Number W021-0252/003), located in an R-1 (Single-Family Residential District).

Please be advised that the applicant or the applicant's representative must be present at the hearing. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA CASE NO. 48-18

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November 16, 2018

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <http://www.richmondgov.com/PlanningAndDevelopmentReview/civicasociationgroupin formation.aspx> . Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each.

Please be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. Please note that the Board's Rules of Procedure require payment of a \$150.00 continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbors and neighborhood association(s). Please contact your neighborhood association to determine their meeting schedule. Be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. For your convenience a list of the property owner(s) which have been identified based on the City Assessor's records as being located within a 150' radius of subject property is being provided to you (see attachment).

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,



Roy W. Benbow, Secretary

Phone: (804) 240-2124

Fax: (804) 646-5789

E-mail: Roy.Benbow@richmondgov.com

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Barnett William G & Lucinda S
703 Tiber Ln
Richmond VA 23226

Davis Guy & Rachel
6402 Three Chopt Rd
Richmond VA 23226

Donofrio David J Jr & Allison L
711 Tiber Lane
Richmond VA 23226

Gottwald Kimberly C Trustee Blue Canyon Trust
6410 Three Chopt Rd
Richmond VA 23226

Hopkins J Brian & Lane S
700 Tiber Lane
Richmond VA 23226

Hubbard William S Jr & Hampton S
706 Tiber Rd
Richmond VA 23226

Hunter Katherine & James Warren C/o Wells
Fargo
P.o. Box 13519
Arlington TX 76094

Massie Henry M Jr Trs & Elizabeth C Trs
602 Levering Ln
Richmond VA 23226

Nelson Kinloch & Melissa B
4206 Grove Avenue
Richmond VA 23220

Thompson W Wardlaw Jr & Stella U
6309 Wesley Rd
Richmond VA 23226

Property: 707 Tiber Lane **Parcel ID:** W0210252003**Parcel**

Street Address: 707 Tiber Lane Richmond, VA 23226-3122
Owner: HERLIHY DANIEL L AND ALICE N
Mailing Address: 707 TIBER LN, RICHMOND, VA 23226
Subdivision Name : NONE
Parent Parcel ID:
Assessment Area: 130 - Westham/CCV
Property Class: 120 - R Two Story
Zoning District: R-1 - Residential (Single Family)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2018
Land Value: \$181,000
Improvement Value: \$387,000
Total Value: \$568,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 33552
Acreage: 0.77
Property Description 1: 0201.37X0180.00 IRG0000.000
State Plane Coords(?<#>): X= 11765136.500019 Y= 3736677.399961
Latitude: 37.58148319 , **Longitude:** -77.52617203

Description

Land Type: Residential Lot A
Topology:
Front Size: 201
Rear Size: 180
Parcel Square Feet: 33552
Acreage: 0.77
Property Description 1: 0201.37X0180.00 IRG0000.000
Subdivision Name : NONE
State Plane Coords(?<#>): X= 11765136.500019 Y= 3736677.399961
Latitude: 37.58148319 , **Longitude:** -77.52617203

Other

Street improvement:
Sidewalk:

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2019	\$181,000	\$396,000	\$577,000	Reassessment
2018	\$181,000	\$387,000	\$568,000	Reassessment
2017	\$181,000	\$371,000	\$552,000	Reassessment
2016	\$181,000	\$366,000	\$547,000	Reassessment
2015	\$181,000	\$362,000	\$543,000	Reassessment
2014	\$181,000	\$353,000	\$534,000	Reassessment
2013	\$181,000	\$330,000	\$511,000	Reassessment
2012	\$178,000	\$342,000	\$520,000	Reassessment
2011	\$178,000	\$342,000	\$520,000	CarryOver
2010	\$178,000	\$342,000	\$520,000	Reassessment
2009	\$177,900	\$421,100	\$599,000	Reassessment
2008	\$177,900	\$421,100	\$599,000	Reassessment
2007	\$177,900	\$421,100	\$599,000	Reassessment
2006	\$177,900	\$401,000	\$578,900	Reassessment
2005	\$177,900	\$352,100	\$530,000	Reassessment
2004	\$164,700	\$326,000	\$490,700	Reassessment
2003	\$158,400	\$313,500	\$471,900	Reassessment
2002	\$158,400	\$313,500	\$471,900	Correction
2001	\$120,000	\$293,300	\$413,300	Reassessment
2000	\$100,000	\$293,300	\$393,300	Reassessment
1998	\$100,000	\$255,000	\$355,000	Not Available

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
06/15/2009	\$550,000	NELSON C M KINLOCH AND MARY D	ID2009-12789	1 - VALID SALE-Valid, Use in Ratio Analysis
06/17/2008	\$500,000	PURCELL NANCY C	ID2008-16413	2 - INVALID SALE-DO NOT USE
03/04/1981	\$0	Not Available	00125-1053	

Planning

Master Plan Future Land Use: SF-LD
Zoning District: R-1 - Residential (Single Family)
Planning District: Far West
Traffic Zone: 1112
City Neighborhood Code: TCHP
City Neighborhood Name: Three Chopt
Civic Code: 3010
Civic Association Name: Westhampton Citizens Association
Subdivision Name: NONE
City Old and Historic District:
National historic District:
Neighborhoods in Bloom:
Redevelopment Conservation Area:

Economic Development

Care Area: -
Enterprise Zone:

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	2018	0505002	050500
1990	245	0505002	050500

Schools

Elementary School: Mary Munford
Middle School: Hill
High School: Jefferson

Public Safety

Police Precinct: 3
Police Sector: 311
Fire District: 19
Dispatch Zone: 057A

Public Works Schedules

Street Sweep: TBD
Leaf Collection: TBD
Refuse Collection: Monday
Bulk Collection:

Government Districts

Council District: 1
Voter Precinct: 115
State House District: 68
State Senate District: 10
Congressional District: 4

Extension 1 Details

Extension Name: R01 - Residential record #01
Year Built: 1946
Stories: 2
Units: 0
Number Of Rooms: 9
Number Of Bed Rooms: 4
Number Of Full Baths: 3
Number Of Half Baths: 1
Condition: good for age
Foundation Type: Full Crawl
1st Predominant Exterior: Wood siding / Wood shake
2nd Predominant Exterior: N/A
Roof Style: Gable
Roof Material: Slate or tile
Interior Wall: Plaster
Floor Finish: Hardwood-std oak
Heating Type: Heat pump
Central Air: Y
Basement Garage Car #: 0
Fireplace: Y
Building Description (Out Building and Yard Items) : Residential Shed - Small Utility,
Residential Fencing

Extension 1 Dimensions

Finished Living Area: 2740 Sqft
Attic: 0 Sqft
Finished Attic: 0 Sqft
Basement: 0 Sqft
Finished Basement: 0 Sqft
Attached Garage: 0 Sqft
Detached Garage: 0 Sqft
Attached Carport: 0 Sqft
Enclosed Porch: 0 Sqft
Open Porch: 18 Sqft
Deck: 0 Sqft

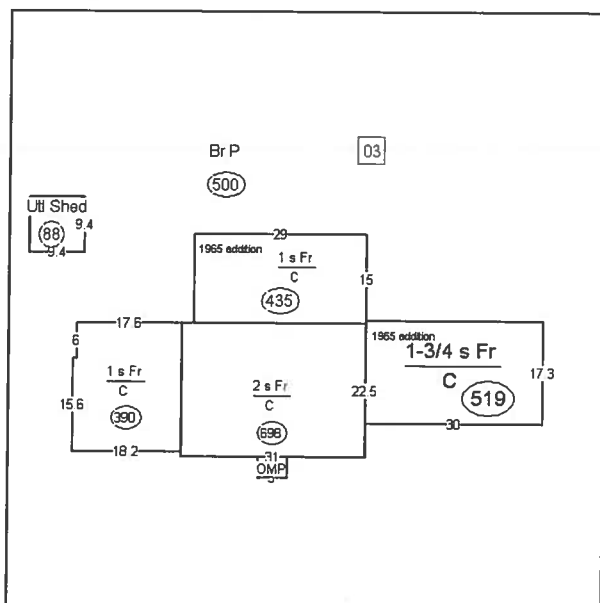
[<#>](#)**Property Images**

Name:W0210252003 Desc:R01

[Click here for Larger Image](#)

Sketch Images

Name:W0210252003 Desc:R01



48-18

RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

PROPERTY		TO BE COMPLETED BY THE APPLICANT	
OWNER: <u>Daniel & Alice Herlihy</u>	PHONE: (Home) () () () () () (Mobile) <u>(804) 370-3518</u>		
ADDRESS: <u>707 Tiber Lane</u>	FAX: () () () () () (Work) () () ()		
<u>Richmond, Virginia 23226</u>	E-mail Address: <u>nhungerford@verizon.net</u>		
PROPERTY OWNER'S			
REPRESENTATIVE: <u>Baker Development Resources</u>	PHONE: (Home) () () () () () (Mobile) <u>(804) 822-5428</u>		
(Name/Address) <u>11 South 12th Street, Suite 500</u>	FAX: () () () () () (Work) () () ()		
<u>Richmond, Virginia 23219</u>	E-mail Address: <u>markbaker@bakerdevelopmentresources.com</u>		
<u>Attn: Mark Baker</u>			

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 707 Tiber Lane

TYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-402.5(1)

APPLICATION REQUIRED FOR: A building permit to construct a one-story addition to a single-family dwelling.

TAX PARCEL NUMBER(S): W021-0252/003 ZONING DISTRICT: R-1 (Single-Family Residential)

REQUEST DISAPPROVED FOR THE REASON THAT: The front yard (setback) requirement is not met. A front yard of thirty-five feet (35') is required along the Tiber Lane property line; 25.4' is proposed.

DATE REQUEST DISAPPROVED: October 19, 2018 FEE WAIVER: YES ☐ NO: ☒

DATE FILED: October 19, 2018 TIME FILED: 11:37 am PREPARED BY: Josh Young RECEIPT NO. BZAR-043692-2018

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:	
SECTION 17.20 PARAGRAPH(S) _____	OF THE CHARTER OF THE CITY OF RICHMOND
SECTION 15.2 -2309.2	OF THE CODE OF VIRGINIA [OR]
SECTION 1040.3 PARAGRAPH(S) <u>(1)</u>	OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT	
I have received the handouts, Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter <input checked="" type="checkbox"/>	
I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.	
SIGNATURE OF OWNER OR AUTHORIZED AGENT: <u>[Signature]</u>	DATE: <u>10/31/18</u>

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: 48-18 HEARING DATE: December 5, 2018 AT 1:00 P.M.

BOARD OF ZONING APPEALS CASE NO. 48-18
150' Buffer

APPLICANT(S): Daniel & Alice Herlihy

PREMISES: 707 Tiber Lane

(Tax Parcel Number W021-0252/003)

SUBJECT: A building permit to construct a one-story addition to a single-family dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-402.5(1)
of the Zoning Ordinance for the reason that:
The front yard (setback) requirement is not met.

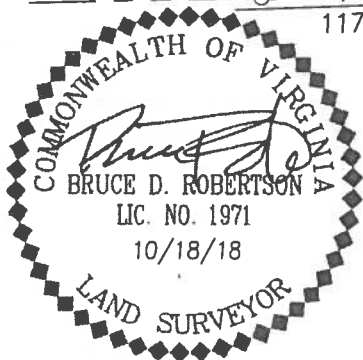
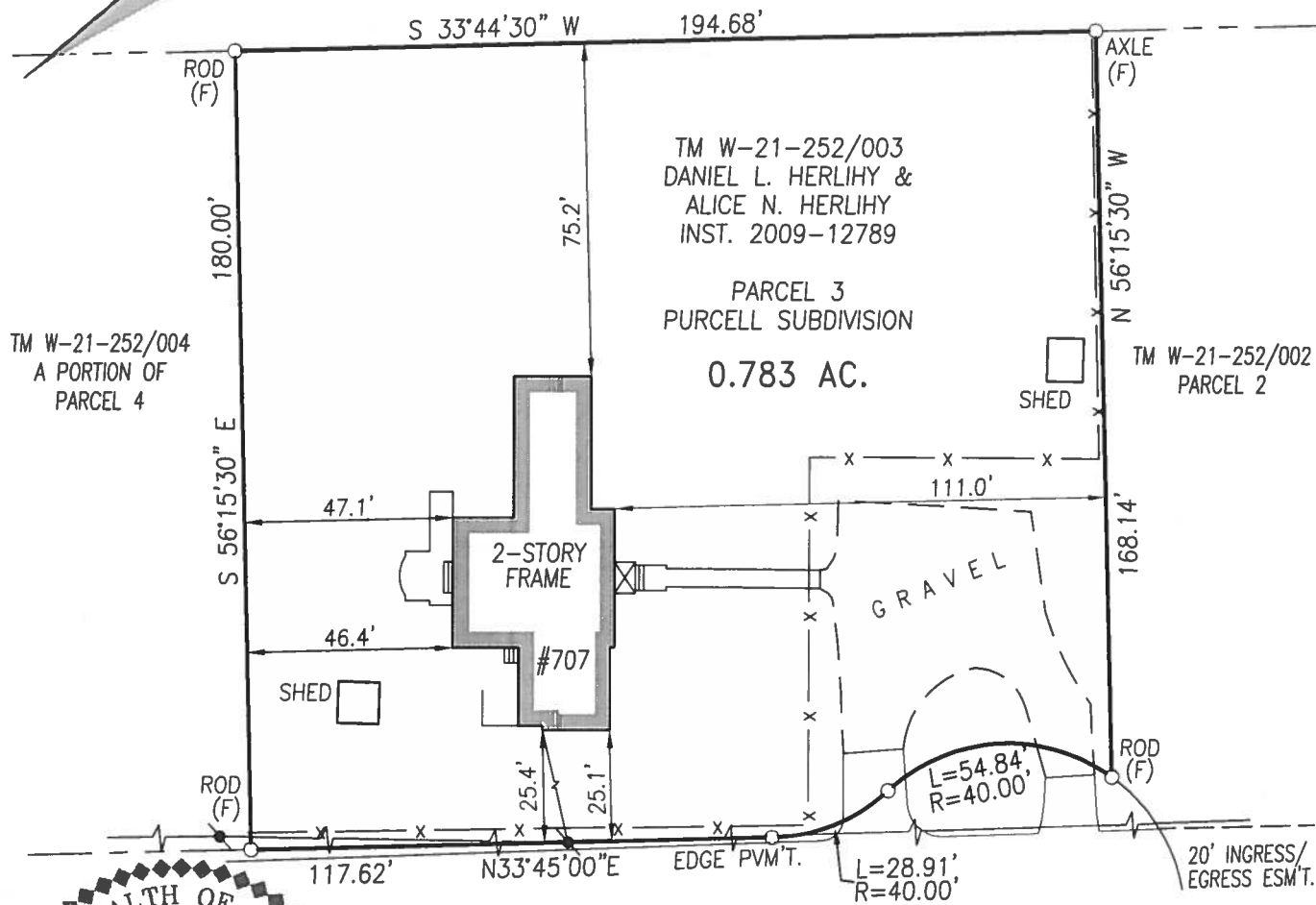


LOCATION OF U/G UTILITIES SHOWN ON THIS MAP IS BASED ON FIELD OBSERVATION AND RECORD INFORMATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN.

BUILDING SETBACKS OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY.

LOT 3 ROBBIN



Plotted Plans to be filed
with the Board of Zoning Appeals

10-19-2018

**SURVEY SHOWING IMPROVEMENTS
ON PROPERTY LOCATED AT
707 TIBER LANE**

CITY OF RICHMOND, VIRGINIA

This is to certify that on 10/18/18
I made an accurate field survey of the premises shown
hereon, that all improvements and easements known or
visible are shown hereon, that there are no encroach-
ments by improvements either from adjoining premises
or from subject premises upon adjoining premises other
than as shown hereon.

That was prepared without the
benefit of a title report and may not,
therefor, indicate all easements or
conditions affecting subject property.

Date: 10/18/18

Scale: 1"=40'



Bruce Robertson Land Surveying, P.C.

P.O. Box 35311 Richmond, Virginia Phone/Fax (804)330-2801

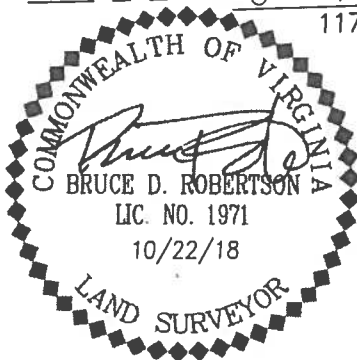
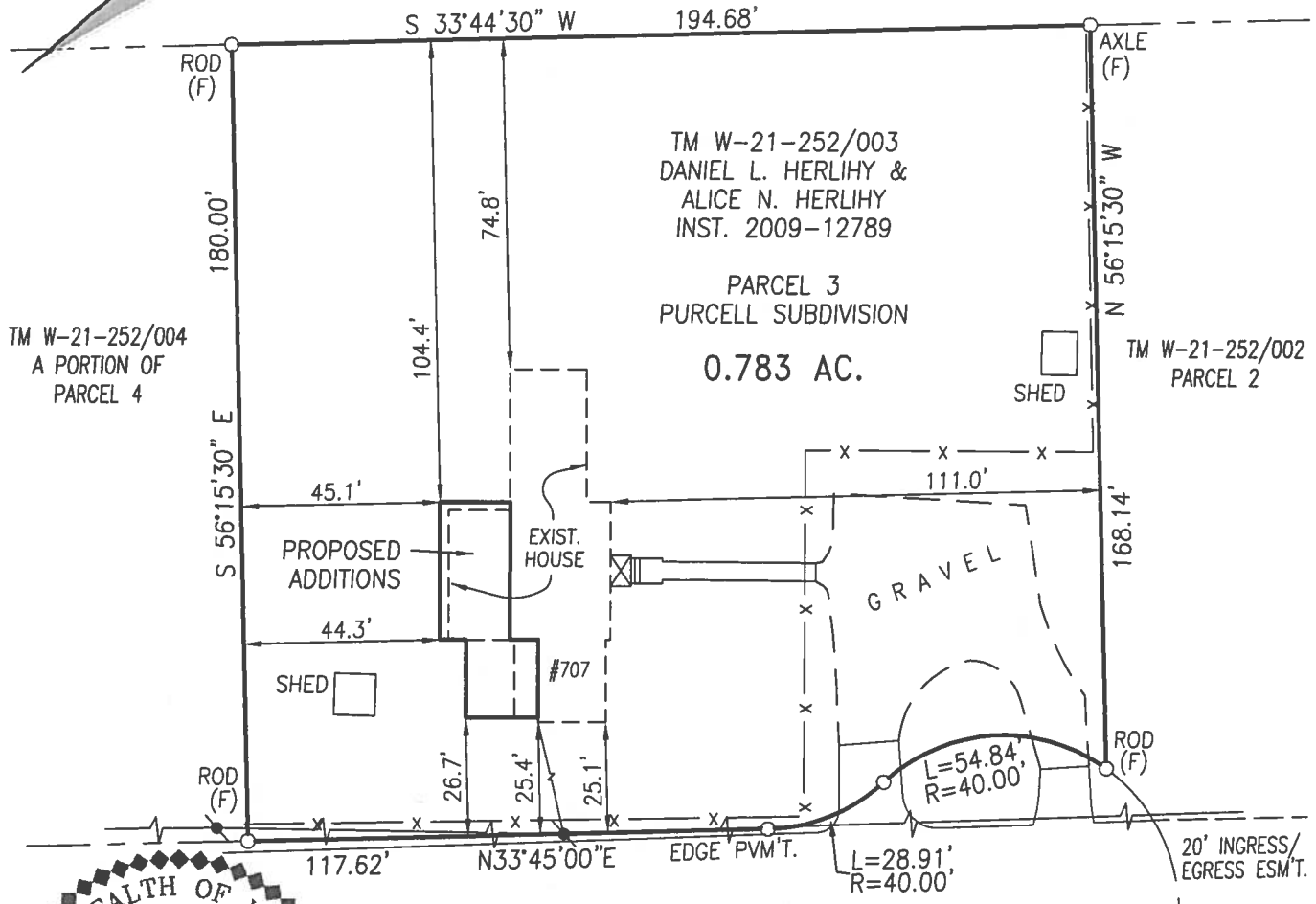
JN 18186

LOCATION OF U/G UTILITIES SHOWN ON THIS MAP IS BASED ON FIELD OBSERVATION AND RECORD INFORMATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN.

BUILDING SETBACKS OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY.

LOT 3 ROBFIN



TIBER LANE

Rejected Plans to be filed
with the Board of Zoning Appeals

10-19-2018

**PLOT PLAN SHOWING
PROPOSED IMPROVEMENTS
ON PROPERTY LOCATED AT
707 TIBER LANE
CITY OF RICHMOND, VIRGINIA**

THE LOCATION OF PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN IS BASED ON A FIELD SURVEY BY BRUCE ROBERTSON LAND SURVEYING, P.C. ON 10/18/18

NOT ALL IMPROVEMENTS SHOWN.

This plot was prepared without the benefit of a title report and may not, therefor, indicate all easements or conditions affecting subject property.

Date: 10/22/18

Scale: 1"=40'



Bruce Robertson Land Surveying, P.C.

P.O. Box 35311 Richmond, Virginia Phone/Fax (804)330-2801

JN 18186

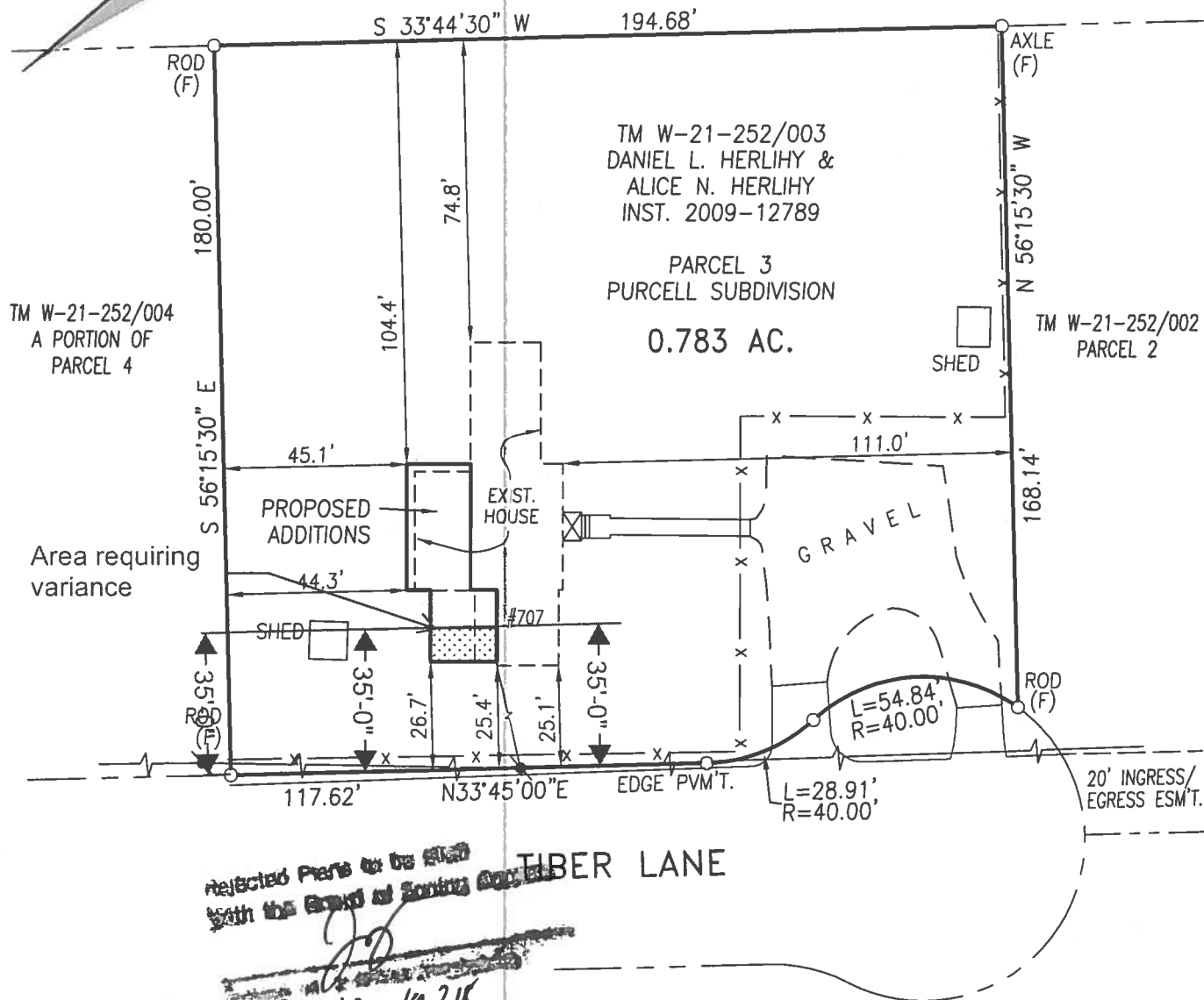


LOCATION OF U/G UTILITIES SHOWN ON THIS MAP IS BASED ON FIELD OBSERVATION AND RECORD INFORMATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN.

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WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY.

LOT 3 ROBFIN



THE LOCATION OF PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN IS BASED ON A FIELD SURVEY BY BRUCE ROBERTSON LAND SURVEYING, P.C. ON 10/18/18

NOT ALL IMPROVEMENTS SHOWN.

This plot was prepared without the benefit of a title report and may not, therefore, indicate all easements or conditions affecting subject property.

**PLOT PLAN SHOWING
PROPOSED IMPROVEMENTS
ON PROPERTY LOCATED AT
707 TIBER LANE
CITY OF RICHMOND, VIRGINIA**

Date: 10/22/18

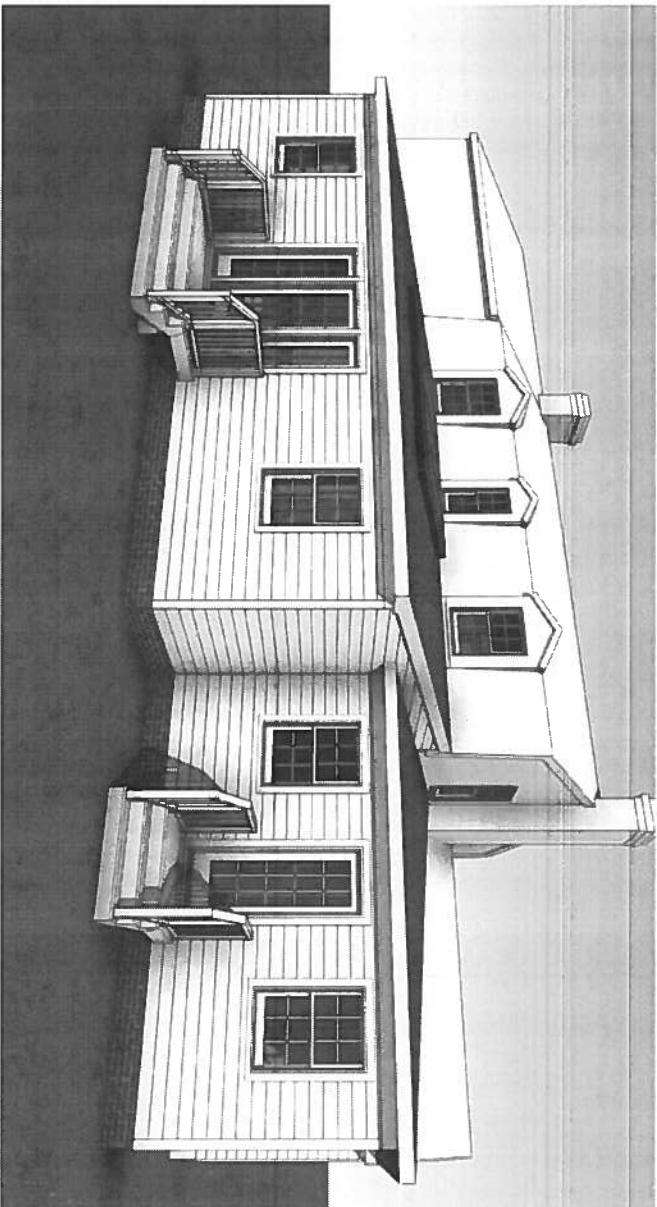
Scale: 1"=40'



Bruce Robertson Land Surveying, P.C.

P.O. Box 35311 Richmond, Virginia Phone/Fax (804)330-2801

JN 18186



HERLIHY RESIDENCE

PERMIT DRAWINGS

SEPTEMBER 21, 2018

Sealed Plans for review
with the Board of Zoning Appeals

10-14-2018

JK
ARCHITECT

James F. Jones, AIA
1125 Blackhawk Drive
Mankato, Virginia 23112
Email: james.k@jonesarch.com
Phone: 804.221.0430

HERLIHY RESIDENCE

PROJECT LOCATION
707 HERLIHY
RICHMOND, VA

PROJECT OWNER
ALICE AND DANIEL HERLIHY

CONTRACTOR



PERMIT DRAWINGS

DATE
SEPTEMBER 21, 2018

SCALE
AS SHOWN

COVER SHEET

A0

GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH ALL GOVERNING LAWS, CODES & ORDINANCES INCLUDING, BUT NOT LIMITED TO, THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND THE INTERNATIONAL BUILDING CODE. IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR SHALL NOT PROCEED WITH THE EFFECTED WORK AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. THIS SHALL SPECIFICALLY INCLUDE ON-SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, IT SHALL SPECIFICALLY INCLUDE THE PROTECTION OF ANY EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT.
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN ANY AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED.
4. THE CONTRACTOR SHALL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR SHALL ALSO PROVIDE A PROFESSIONAL CLEANING AT PROJECT COMPLETION.
5. ALL MECHANICAL, PLUMBING OR ELECTRICAL WORK, AS REQUIRED, TO BE COMPLETED BY LICENSED CONTRACTOR IN THEIR RESPECTIVE TRADES. EACH SUB-CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE PERMITS AS NECESSARY FROM THE MUNICIPALITY HAVING JURISDICTION.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN OR REPLACED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REFINISHED TO MATCH OR EXCEED EXISTING CONDITIONS.
5. THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE JOB SITE. IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM JOB SITE.
6. THE OWNER HAS FIRST RIGHT TO SALVAGE ITEMS. ITEMS NOT CLAIMED BY THE OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED OF FROM THE JOB SITE.
7. THE CONTRACTOR SHALL PROPERLY SECURE AND STORE ANY SALVAGED ITEMS FOR REUSE IN A SUITABLE STORAGE AREA PROVIDED BY THE CONTRACTOR OR AS DETERMINED BY THE OWNER.

STRUCTURAL NOTES

- ALL WORK SHALL CONFORM TO THE UNIFORM STATEWIDE BUILDING CODE 2012 EDITION EXCEPT WHERE MORE RESTRICTIVE REQUIREMENTS ARE SPECIFIED.
- STRUCTURAL CONCRETE**
28 DAY COMPRESSIVE STRENGTH, MAX. SLUMP:
FOUNDATIONS: 3,000 PSI, 4"
- STRUCTURAL FRAMING**
GIRDS: TREATED 5 Y.F. #2 OR BETTER
FLOOR JOISTS: T11 210 OR EQUIVALENT
CEILING JOISTS: 5YF #2 OR BETTER
ROOF RATTERS: 5 Y.F. #2 OR BETTER
HEADERS: 5 Y.F. #2 OR BETTER
- LAMINATED VENEER LUMBER (LVL)**
STRUCTURAL HEADERS:
TRUSJOIST 2.0E MICROLAM LVL OR EQUIVALENT
- REINFORCING STEEL**
DEFORMED BARS: ASTM A615 (GRADE 60)
COVER TO REINFORCEMENT: 3"
- STRUCTURAL STEEL**
W-BEAMS: ASTM A992, GRADE 50
PLATES, ANGLES, CHANNELS & BARS: ASTM A36
- DESIGN LOADS**
FLOOR LIVE LOAD: 40 PSF (LIVING AREAS)
ROOF LIVE LOAD: 30 PSF (SLEEPING AREAS)
ROOF DEAD LOAD: 20 PSF
WIND LOAD: 90 MPH, 3 SEC. GUST

BUILDING DATA

- OWNER**
DANIEL & ALICE HERLIHY
707 TIGER LANE
RICHMOND, VIRGINIA
- BUILDING CODE**
VA RESIDENTIAL CODE 2012
- USE GROUP**
R - RESIDENTIAL
- ZONING**
R-1 (RESIDENTIAL)
- PARCEL ID**
W0210252003
- SETBACKS**
FRONT YARD 35 FT
SIDE & REAR YARD 10 FT
- AREAS**
1ST FLOOR: 403 SF
DEM. SLEEPING (UNHEATED)
DEM. POWDER ROOM (HEATED)
NEW KITCHEN ADDITION (HEATED)
TOTAL NET CHANGE (HEATED) 625 SF
- 2ND FLOOR: NO CHANGES TO AREA

DOOR SCHEDULE

Width x Height	DESCRIPTION	QTY
2'-0" 1/4" X 6'-10 1/2"	EXTERIOR DOOR SILENTS	2
2'-6" X 6'-6"	POCKET DOOR	2
2'-6 1/4" X 6'-10 1/2"	EXTERIOR DOOR	1
3'-0 1/4" X 6'-10 1/2"	EXTERIOR DOOR	1

WINDOW SCHEDULE

WIDTH X HEIGHT	DESCRIPTION	QTY	REMARKS
34X74	SKYLIGHT	4	SEE NOTE 3.
22X49	DOUBLE HUNG WOOD WINDOW	1	REPLACEMENT WINDOW, VERIFY SIZE WITH EXISTING CONDITIONS. SEE NOTE 2.
20X46	DOUBLE HUNG WOOD WINDOW	2	
30X49	DOUBLE HUNG WOOD WINDOW	1	
34X46	DOUBLE HUNG WOOD WINDOW	7	
36X49	DOUBLE HUNG WOOD WINDOW	2	REPLACEMENT WINDOW, VERIFY SIZE WITH EXISTING CONDITIONS

- NOTES:
1. VERIFY ALL WINDOW SIZES BEFORE ORDERING.
 2. REPLACEMENT WINDOW ON GABLE END TO BE SMALLER TO ACCOMMODATE NEW ROOF OVER AUDITORIUM.
 3. SKYLIGHT WINDOWS SHALL BE INSTALLED PER MFR. REQUIREMENTS. DETAILS PROVIDED FOR DESIGN INTENT.

DRAWING INDEX

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A5	NEW WORK - FOUNDATION PLAN
A6	NEW WORK - 1ST FLOOR PLAN
A7	NEW WORK - 1ST FLR ROOF & 2ND FLR PLAN
A8	BRACED WALL PLAN
A9	ROOF FRAMING PLAN
A10	REAR ELEVATION NEW ADDITION
A11	SIDE ELEVATION NEW ADDITION
A12	BUILDING SECTION
A13	TYPICAL WALL SECTION
A14	ENLARGED KITCHEN PLAN
A15	INTERIOR ELEVATIONS
A16	INTERIOR ELEVATIONS
A17	REFLECTED CEILING AND LIGHTING PLAN

PERMIT DRAWINGS

SEPTEMBER 21, 2018

AS SHOWN

PROJECT INFO, NOTES & SCHEDULES

A1

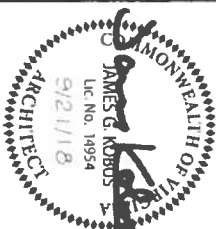


JAMES G. KOBOS, JR.
11412 Blackwing Drive
Manassas, Virginia 20108
Tel: 703.844.4444
Fax: 703.844.4444

HERLIHY RESIDENCE

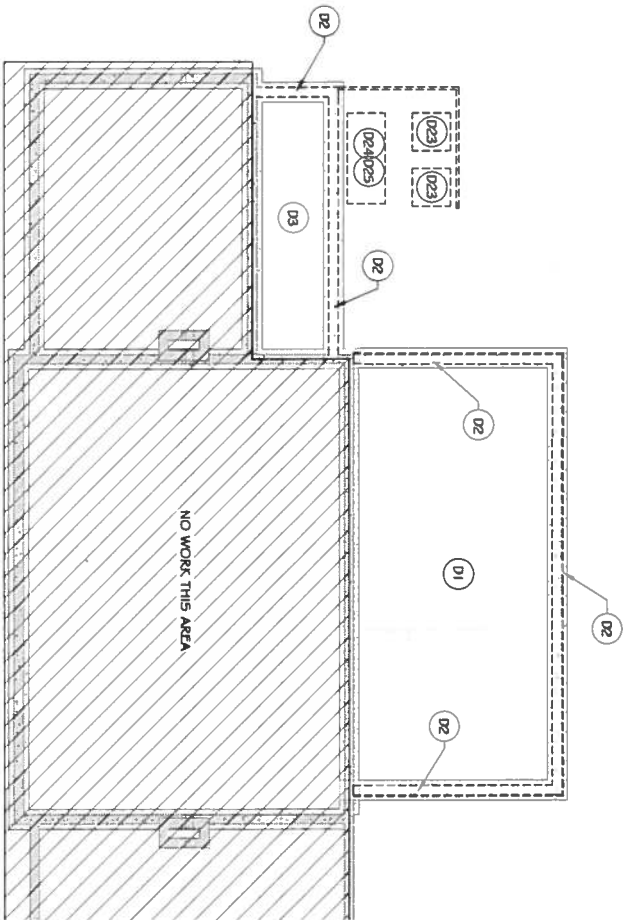
PROJECT NO.:
707 TIGER LANE
RICHMOND, VA

DATE: 09/21/18
SCALE: 1/8" = 1'-0"



DEMOLITION KEYNOTES

- D1 DEMOLISH SUNROOM FLOOR IS STRUCTURAL CONCRETE SLAB WITH FLAGSTONES SET IN MORTAR. IT IS UNKNOWN IF SLAB IS ON STRUCTURAL FILL. BUT CONTRACTOR SHALL PROVIDE ALLOWANCE FOR DEMOLITION OF CONCRETE SLAB, STONE PAVES, AND EXCAVATION OF STRUCTURAL FILL.
- D2 DEMOLISH EXISTING BRICK MASONRY FOUNDATION WALL TO FOOTING. EXISTING FOOTING MAY REMAIN IN PLACE UNLESS OTHERWISE NOTED.
- D3 DEMOLISH EXISTING FLOORING, SUBFLOOR, FLOOR JOISTS AND GIRDERS IF PRESENT. EXISTING FLOOR LEVEL IN THIS AREA TO BE RAISED TO MATCH FIRST FLOOR LEVEL OF MAIN HOUSE.
- D4 DEMOLISH EXISTING SUNROOM WINDOWS, SLIDING PATIO DOORS, AND ALUMINUM FRAMES.
- D5 DEMOLISH EXISTING FRENCH DOOR AND FRAME.
- D7 DEMOLISH EXISTING STORAGE DOORS, HARDWARE AND ALL BUILT-IN CASWORK.
- D8 DEMOLISH EXISTING STUD WALL AS INDICATED. IF LOAD BEARING, PROVIDE STRUCTURAL SHORING UNTIL NEW STRUCTURAL HEADER OR BEAM IS INSTALLED.
- D9 DEMOLISH EXISTING WOOD WINDOW, FRAME & TRIMS AS INDICATED.
- D10 DEMOLISH EXISTING DOOR AND FRAME AS INDICATED.
- D11 DEMOLISH EXISTING PLUMBING FIXTURES AS INDICATED. DEMOLISH ALL SANITARY PIPING, VENT PIPING AND COLD-HOT WATER SUPPLY LINES AND CAP AS REQUIRED. NEW PLUMBING TO ROUTED FOR NEW KITCHEN, LAUNDRY AND POWER ROOM. SEE NEW WORK PLANS FOR DETAILS.
- D12 REMOVE ALL EXISTING APPLIANCES IN KITCHEN AS INDICATED. DEMOLISH ALL ELECTRICAL WIRING AND RECEPTACLES AS REQUIRED. SEE NEW WORK PLANS FOR MORE INFORMATION.
- D13 DEMOLISH EXISTING CASWORK AS INDICATED. WHERE EXISTING FINISHES TO LIFE NEW CONDITION IF NECESSARY.
- D14 DEMOLISH EXISTING CAGED OPENING FRAME & TRIM. DEMOLISH EXISTING HEADER AND PORTION OF EXISTING STUD WALL TO ENLARGE OPENING. SEE NEW WORK PLANS FOR MORE INFORMATION.
- D15 DEMOLISH EXISTING FLOORING IN KITCHEN. PATCH AND/OR REPAIR EXISTING SUBFLOOR TO RECEIVE NEW FLOOR FINISH TO MATCH EXISTING.
- D16 EXISTING PLUMBING VENT STACK IN WALL TO BE REROUTED IF FEASIBLE. BID ALTERNATE - 2ND FLOOR POWDER RM TO BE CONVERTED TO CLOSET. PLUMBING FIXTURES AND PIPING TO BE REMOVED.
- D18 DEMOLISH EXISTING STRUCTURAL POSTS SUPPORTING SUNROOM ROOF.
- D19 DEMOLISH FLARED PORTION OF THE MANSARD ROOF, AS INDICATED, TO RECEIVE NEW ROOF CONSTRUCTION.
- D20 CAREFULLY REMOVE EXISTING WOOD WINDOW AND FRAME AS INDICATED. NEW WINDOWS TO BE INSTALLED IN EXISTING OPENING.
- D21 DEMOLISH EXISTING WINDOW, FRAME AND HEADER TO BE REPLACED WITH NEW HEADER. SEE NEW WORK PLANS FOR NEW HEADER INFORMATION. HEADER TO BE RAISED TO RECEIVE NEW WINDOW INSTALLED HIGHER. PORTION OF WALL BELOW SHALL BE COMPLETELY REPAIRED TO LIFE NEW UPON INSTALLATION OF NEW WINDOW.
- D23 REMOVE AND SALVAGE A/C CONDENSER UNIT FOR RELOCATION. SEE NEW WORK PLANS FOR MORE INFORMATION.
- D24 REMOVE AND DISPOSE OF ABANDONED, ABOVE GROUND OIL STORAGE TANK.
- D25 SAFELY EXCAVATE, REMOVE AND DISPOSE OF UNDERGROUND STORAGE TANK (UST) PER VERO VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS. NOTIFY THE VDEQ UPON COMPLETION OF WORK.
- D26 DEMOLISH FLOORING AND SLAB IN MECHANICAL ROOM. DEMOLISH THE STEPS DOWN IN MECHANICAL ROOM. MECHANICAL ROOM TO RECEIVE NEW FLOOR. SEE NEW WORK FOR MORE INFORMATION.
- D27 REMOVE ALL APPLIANCES, REMOVE WATER HEATER AND SALVAGE FOR REUSE DURING NEW CONSTRUCTION. ELECTRICAL PANELS AND AND CONDUITS TO REMAIN DURING NEW CONSTRUCTION. USE CARE TO PROTECT.



1 FOUNDATION DEMOLITION PLAN
1/8" = 1'-0"

Project Photos to be filed with the Permit of Demolition

10-11-2018



JAMES K. KOBUS, AIA
11420 Lakeside Drive
Madison, Virginia 22112
Phone: 541-271-5043
Fax: 541-271-5043

HERLIHY RESIDENCE

PROJECT ADDRESS
707 TIER 114
RICHMOND, VA

DESIGNER NAME
A.E.C. AND DANIEL HERLIHY

2/28/2018



PERMIT DRAWINGS

SEPTEMBER 21, 2018

DATE

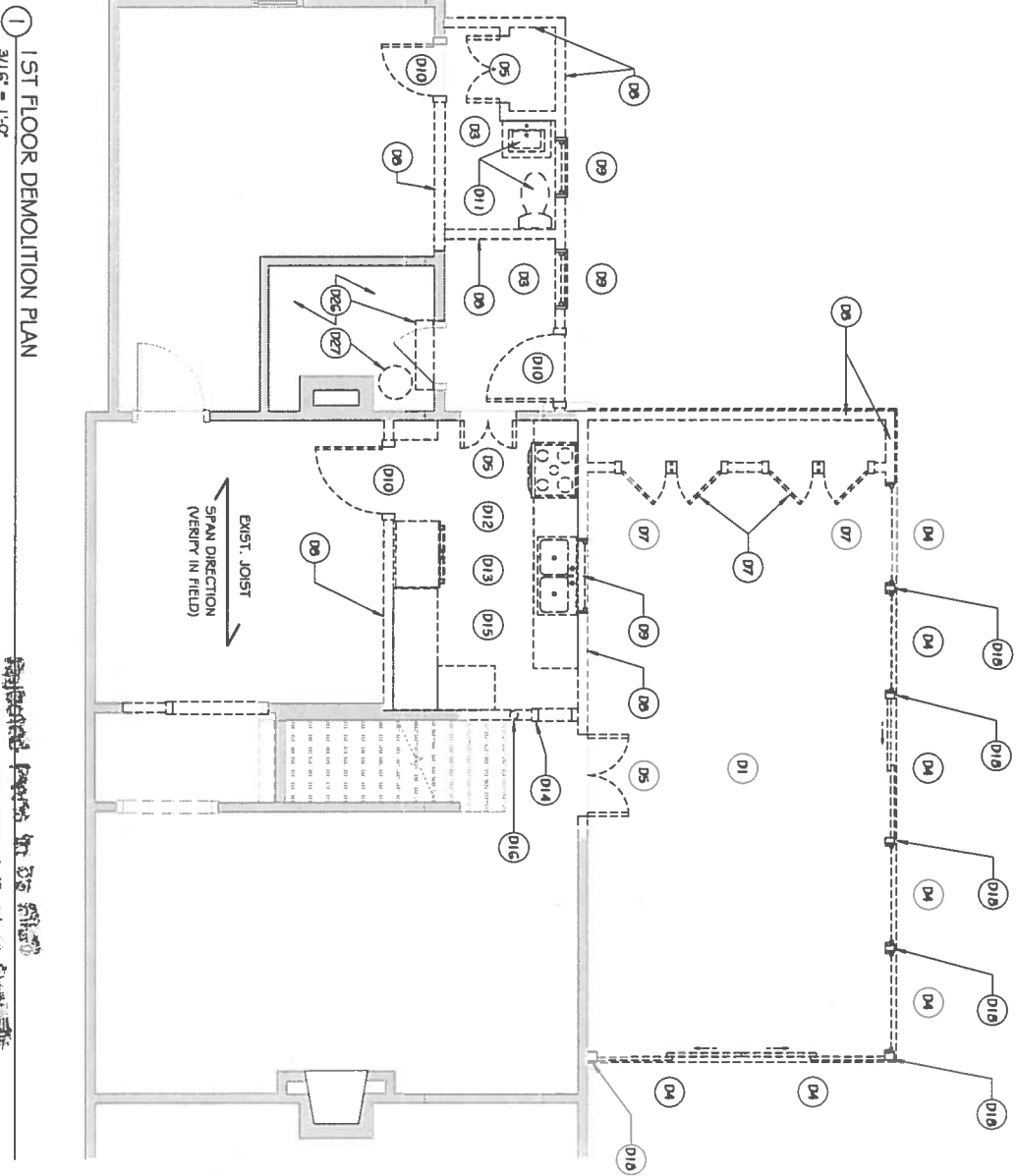
AS SHOWN

FOUNDATION
DEMOLITION PLAN

A2

DEMOLITION KEYNOTES

- D1 EXISTING SUNROOM FLOOR IS STRUCTURAL CONCRETE SLAB WITH FLAGSTONES SET IN MORTAR. IT IS UNKNOWN IF SLAB IS ON STRUCTURAL FILL. BUT CONTRACTOR SHALL PROVIDE ALLOWANCE FOR DEMOLITION OF CONCRETE SLAB, STONE PAVERS, AND EXCAVATION OF STRUCTURAL FILL.
- D2 DEMOLISH EXISTING BRICK MASONRY FOUNDATION WALL TO FOOTING. EXISTING FOOTING MAY REMAIN IN PLACE UNLESS OTHERWISE NOTED.
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- D4 DEMOLISH EXISTING SUNROOM WINDOWS, SLIDING PATIO DOORS, AND ALUMINUM FRAMES.
- D5 DEMOLISH EXISTING FRENCH DOOR AND FRAME.
- D6 DEMOLISH EXISTING STORAGE DOORS, HANDRAIL AND ALL BUILT-IN CASKWORK.
- D7 DEMOLISH EXISTING STUD WALL AS INDICATED. IF LOAD BEARING, PROVIDE STRUCTURAL SHORING UNTIL NEW STRUCTURAL HEADER OR BEAM IS INSTALLED.
- D8 DEMOLISH EXISTING WOOD WINDOW, FRAME & TRIMS AS INDICATED.
- D9 DEMOLISH EXISTING DOOR AND FRAME AS INDICATED.
- D10 DEMOLISH EXISTING PLUMBING FIXTURES AS INDICATED. DEMOLISH ALL SANITARY PIPING, VENT PIPING AND COLD-HOT WATER SUPPLY LINES AND CAP AS REQUIRED. NEW PLUMBING TO ROUTED FOR NEW KITCHEN, LAUNDRY AND POWDER ROOM. SEE NEW WORK PLANS FOR DETAILS.
- D11 REMOVE ALL EXISTING APPLIANCES IN KITCHEN AS INDICATED.
- D12 DEMOLISH ALL ELECTRICAL WIRING AND RECEPTACLES AS REQUIRED. SET NEW WORK PLANS FOR MORE INFORMATION.
- D13 DEMOLISH EXISTING CASKWORK AS INDICATED. WHERE EXISTING DRYWALL IS TO REMAIN, AVOID DAMAGE TO FINISH. REPAIR EXISTING FINISHES TO LIKE NEW CONDITION IF NECESSARY.
- D14 DEMOLISH EXISTING CASING OPENING FRAME & TRIM. DEMOLISH EXISTING HEADER AND PORTION OF EXISTING STUD WALL TO ELUARGE OPENING. SET NEW WORK PLANS FOR MORE INFORMATION.
- D15 DEMOLISH EXISTING FLOORING IN KITCHEN, PATCH AND/OR REPAIR EXISTING SUBFLOOR TO RECEIVE NEW FLOOR FINISH TO MATCH EXISTING.
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- D26 DEMOLISH FLOORING AND SLAB IN MECHANICAL ROOM. DEMOLISH THE STEPS ROOM IN MECHANICAL ROOM. MECHANICAL ROOM TO RECEIVE NEW FLOOR. SEE NEW WORK FOR MORE INFORMATION.
- D27 REMOVE ALL APPLIANCES. REMOVE WATER HEATER AND SALVAGE FOR CONDUITS TO REMAIN DURING NEW CONSTRUCTION. USE CARE TO PROTECT.



1 1ST FLOOR DEMOLITION PLAN
3/16\"/>



James K. Kline, AIA
11425 Blanketing Drive
Madison, Virginia 22112
Phone: 804.427.5500

HERLIHY RESIDENCE

PROJECT ADDRESS
707 LEBEL LANE
RICHMOND, VA

DESIGNED BY
ALICE AND DANIEL HERLIHY



PERMIT DRAWINGS

DATE
SEPTEMBER 21, 2018

SCALE
AS SHOWN

1ST FLOOR
DEMOLITION PLAN

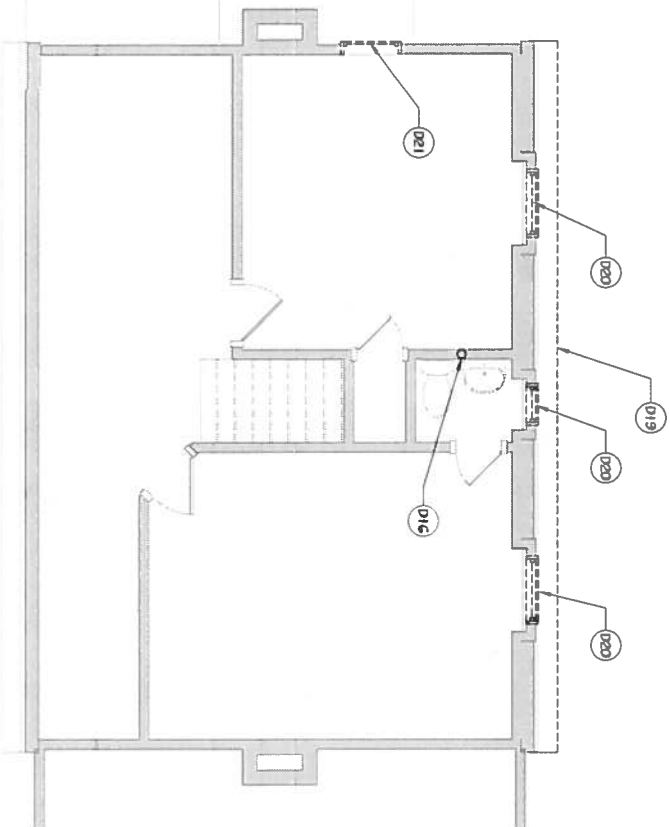
A3

10-6-2018

DEMOLITION KEYNOTES

- D1 EXISTING SUNROOM FLOOR IS STRUCTURAL CONCRETE SLAB WITH FLAGSTONES SET IN MORTAR. IT IS UNKNOWN IF SLAB IS ON STRUCTURAL FILL. BUT CONTRACTOR SHALL PROVIDE ALLOWANCE FOR DEMOLITION OF CONCRETE SLAB, STONE PAVERS, AND EXCAVATION OF STRUCTURAL FILL.
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- D14 DEMOLISH EXISTING CASEROCK OFFERING, FRAME & TRIM. DEMOLISH EXISTING HEADER AND PORTION OF EXISTING STUD WALL TO ENLARGE OFFERING. SEE NEW WORK PLANS FOR MORE INFORMATION.
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1 2ND FLOOR DEMOLITION PLAN
3/16" = 1'-0"



Subjected Plans to be filed with the Board of Zoning Appeals
10-19-2018



JAMES K. KOBUS, AIA
11425 Braddock Drive
Manassas, Virginia 20112
Email: james.kobus@jka.com
Phone: 541-221-0643

HERLIHY RESIDENCE

PROJECT ADDRESS
707 HERLIHY
RICHMOND, VA

PROJECT OWNER
AILEE AND DANIEL HERLIHY

CONTRACTOR



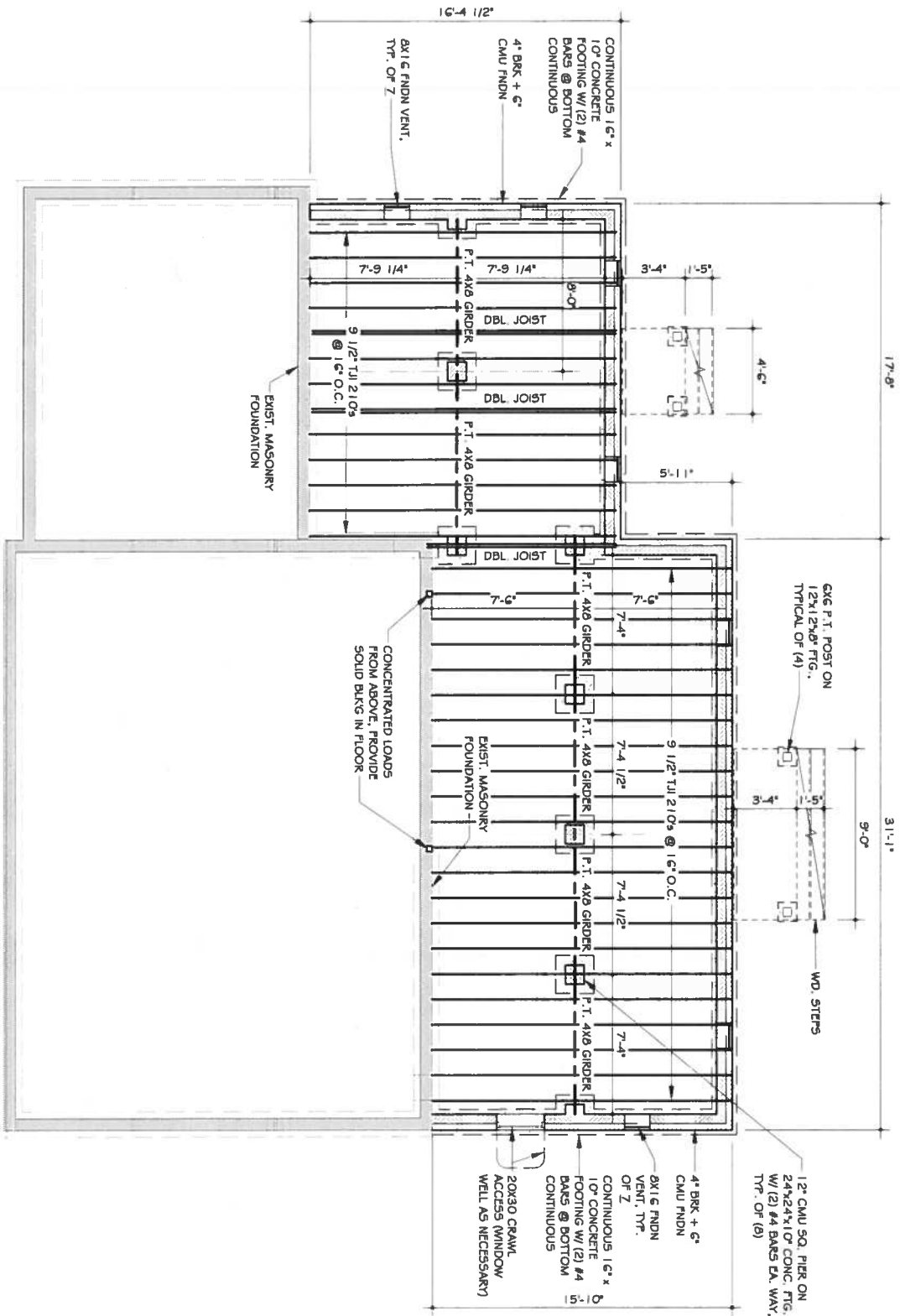
PERMIT DRAWINGS

DATE: SEPTEMBER 21, 2018

SHEET: AS SHOWN

2ND FLOOR
DEMOLITION PLAN

A4



1 NEW WORK - FNDN PLAN
3/16" = 1'-0"

Noted Plans for the project
with the Board of Building Inspection

10-4-11



JAMES KIRK, AIA
11425 Brookland Drive
Manassas, Virginia 20108
Email: james.kirk@jka.com
Phone: 541.221.9539

HERLIHY RESIDENCE

PROJECT SHEET
707 TIER HILL
RICHMOND, VA

PROJECT DATE
As of: 09/11/18

CONSTRUCTION



PERMIT DRAWINGS

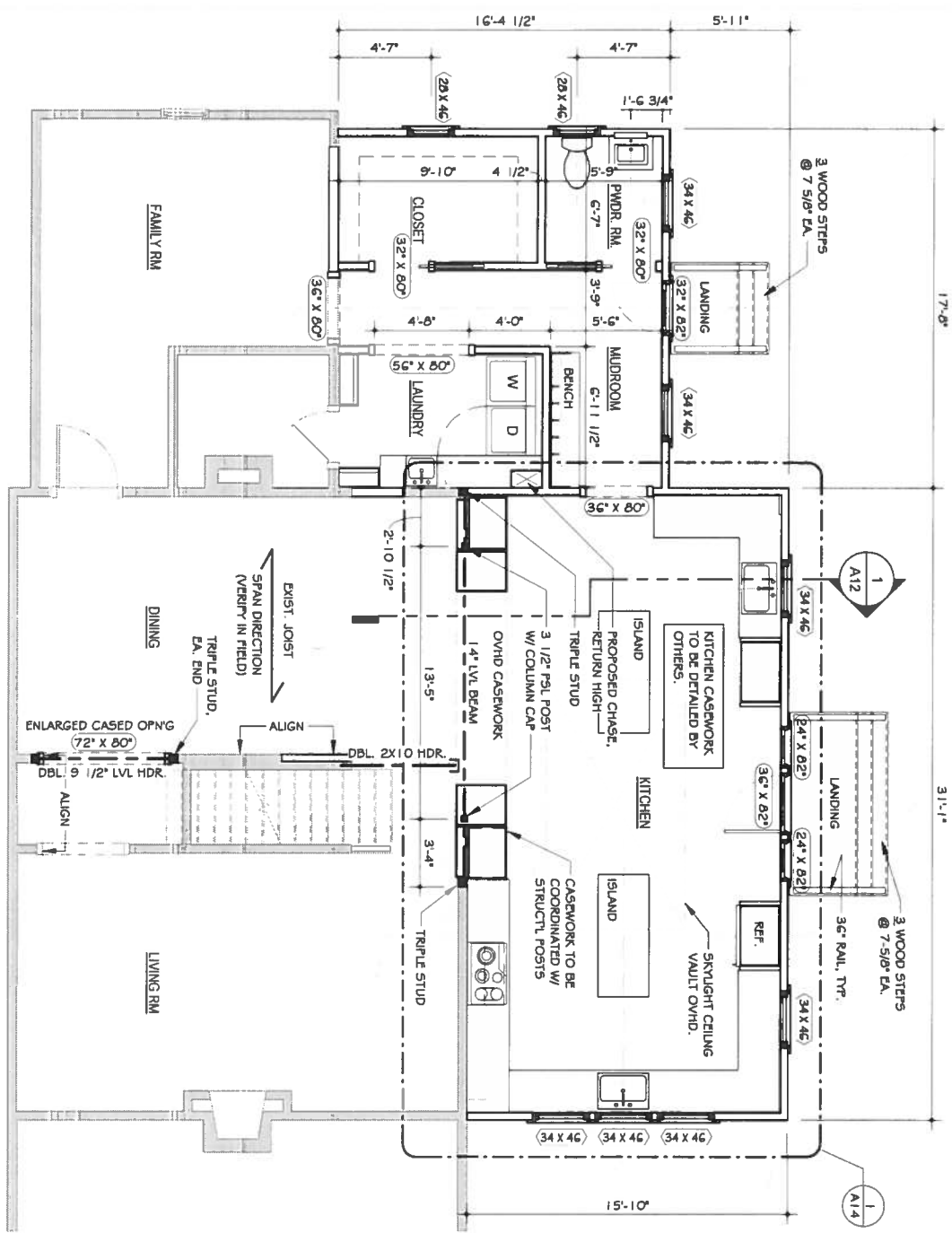
DATE: SEPTEMBER 21, 2018

SHEET: AS SHOWN

NEW WORK -
FOUNDATION PLAN

A5

1 NEW WORK - 1ST FLR PLAN
3/16" = 1'-0"



Projected Photos to be added
with the issue of Permitting Approval

12-11-2011



JAMES G. KOBUS
11425 Buxton Drive
Madison, Virginia 22112
Phone: 800.221.5533

HERLIHY RESIDENCE

PROJECT ADDRESS
707 THE BLVD
RICHMOND, VA

PROJECT OWNER
A.C.L. RICHMOND HERLIHY

DATE
9/21/18



PERMIT DRAWINGS

SEPTEMBER 21, 2018

SCALE
AS SHOWN

NEW WORK - 1ST
FLOOR PLAN

A6



JAMES KOBOS, AIA
11420 Belknapking Drive
Manassas, Virginia 20112
Tel: 703-791-1111
Fax: 703-791-1112
www.jkarchitect.com
Phone: 800-221-0430

HERLIHY RESIDENCE

PROJECT NUMBER:
707 BELKING
RICHMOND, VA

ARCHITECT:
JAMES KOBOS, AIA
AIA, AIA, AIA, AIA, AIA, AIA

DATE: 9/21/18



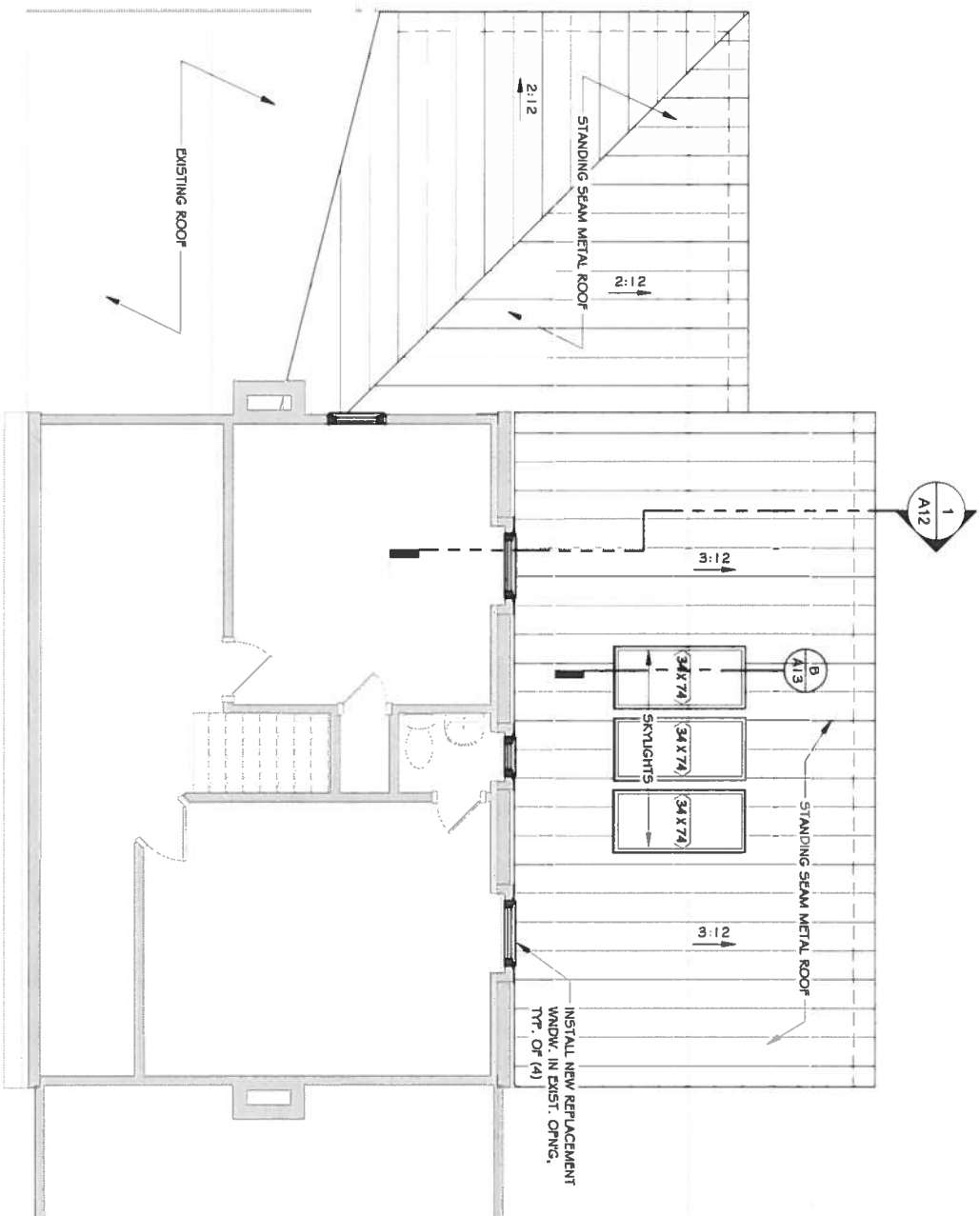
PERMIT DRAWINGS

DATE: SEPTEMBER 21, 2018

SHEET: AS SHOWN

NEW WORK - 1ST FLR
ROOF & 2ND FLR PLAN

A7

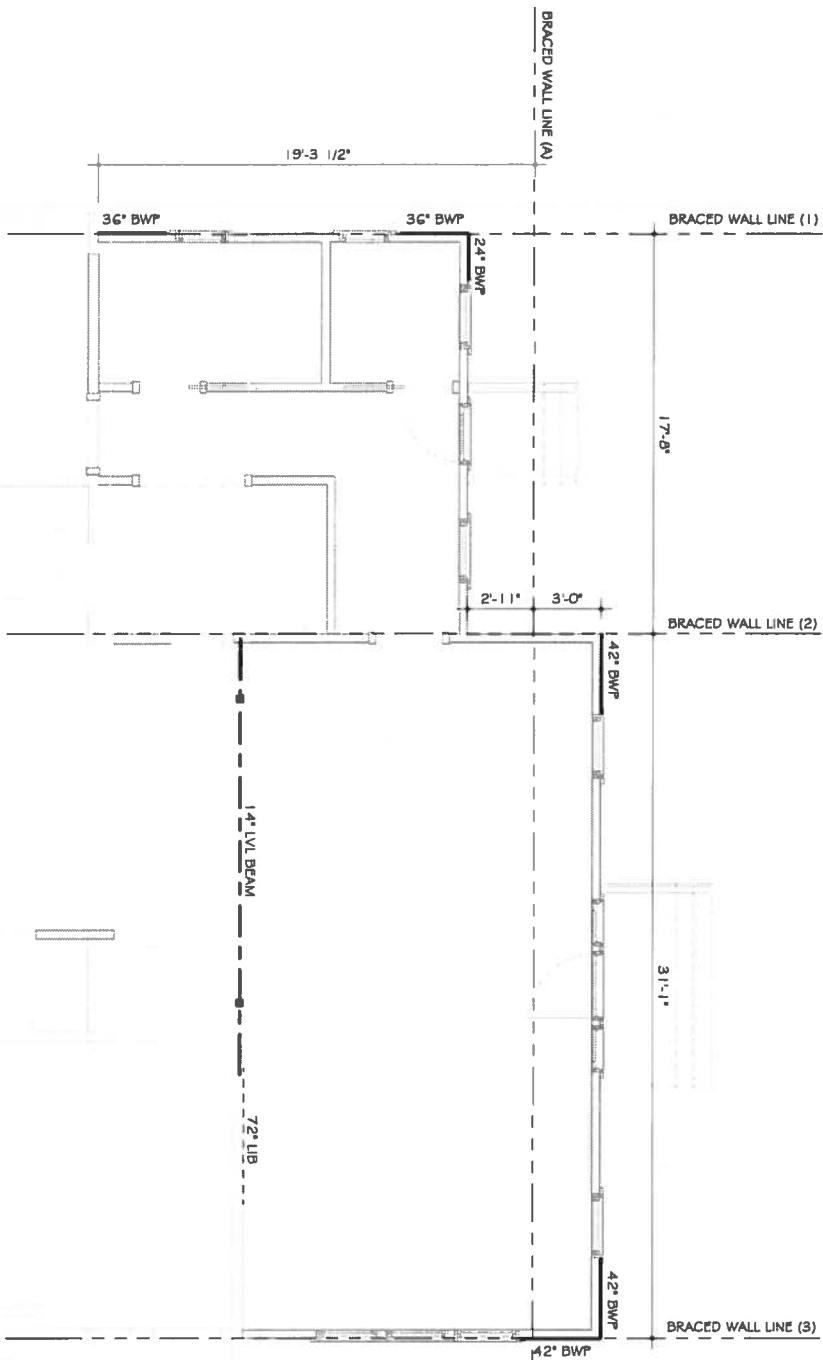


1 NEW WORK - 2ND FLR PLAN
3/16" = 1'-0"

PROJECTED PANS TO BE SET
WITH THE END OF EXISTING ROOF

10-4-2011

1 BRACED WALL PLAN
3/16" = 1'-0"



BWP = BRACED WALL PANEL
LUB = LET-IN BRACE
BRACED WALL PANELS PER CS-WSP METHOD.
- SEC 2012 VA REG. CODE SECTION R602.10

Rejected Plans to the Board
within the Board of Zoning Appeals

6-19-2014



James K. Korbos, AIA
11425 Lakeside Drive
Midlothian, Virginia 23112
Email: james.korbos@jka.com
Phone: 804-271-0500

HERLIHY RESIDENCE

PROJECT NO.:
707 HERLIHY
RICHMOND, VA

DESIGNED BY:
ALEX AND DANIEL HERLIHY

CONSTRUCTION



PERMIT DRAWINGS

DATE: SEPTEMBER 21, 2018

SCALE: AS SHOWN

BRACED WALL PLAN

A8

James K. Adams, MA
11425 Brimblebury Drive
Madison Virginia 23112
email james.k.adams@gmail.com
Phone 804.221.6430

PROCESSION ADDRESS
77 THEFT LN
ROCKHILL MD VA

ROCHIMBURG VA

ROCHIMBURG VA

ACKNOWLEDGMENTS

Construction



PERMIT DRAWINGS

SEPTEMBER 21, 2018

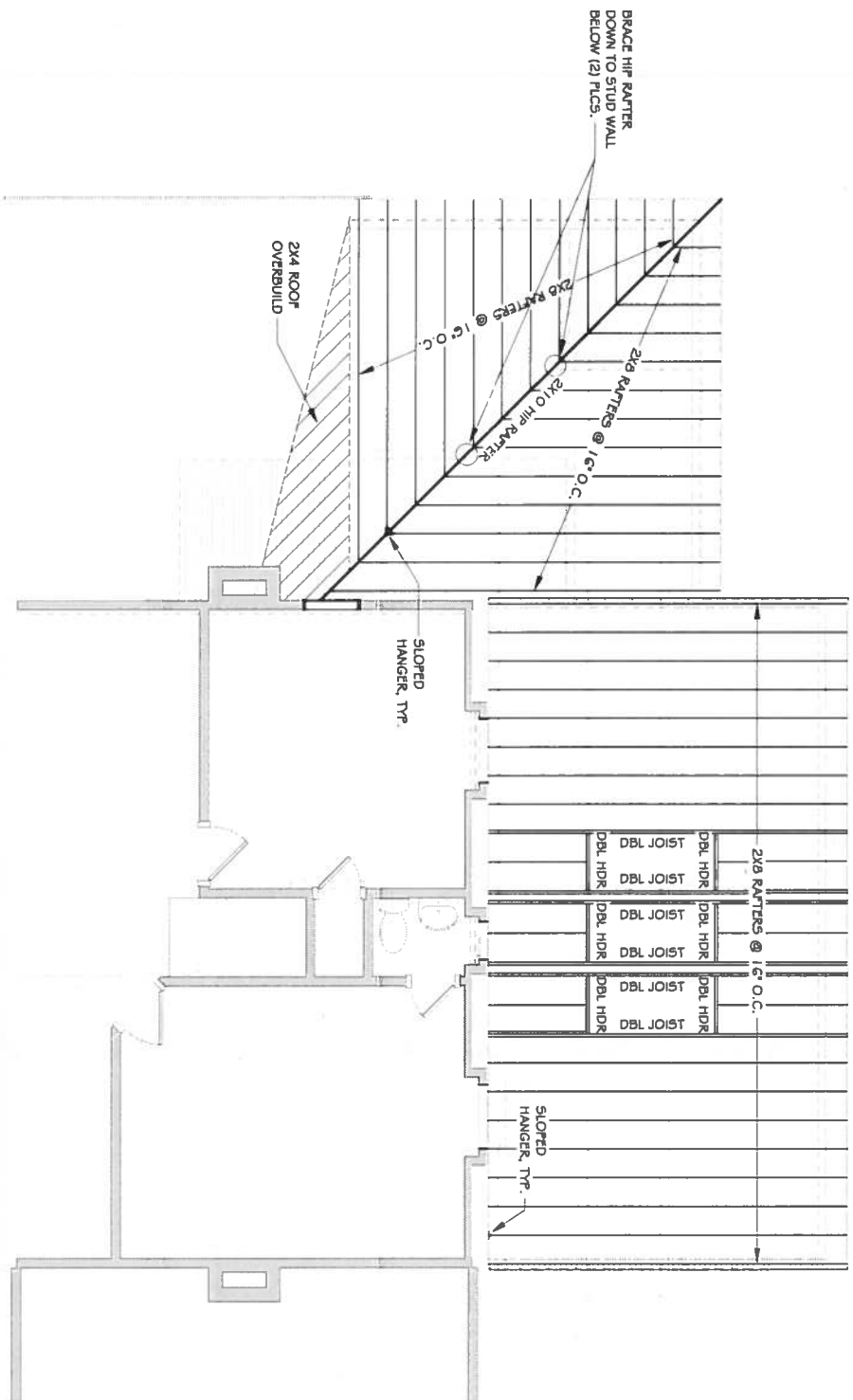
104

AS SHOWN

ROOF FRAMING PLAN

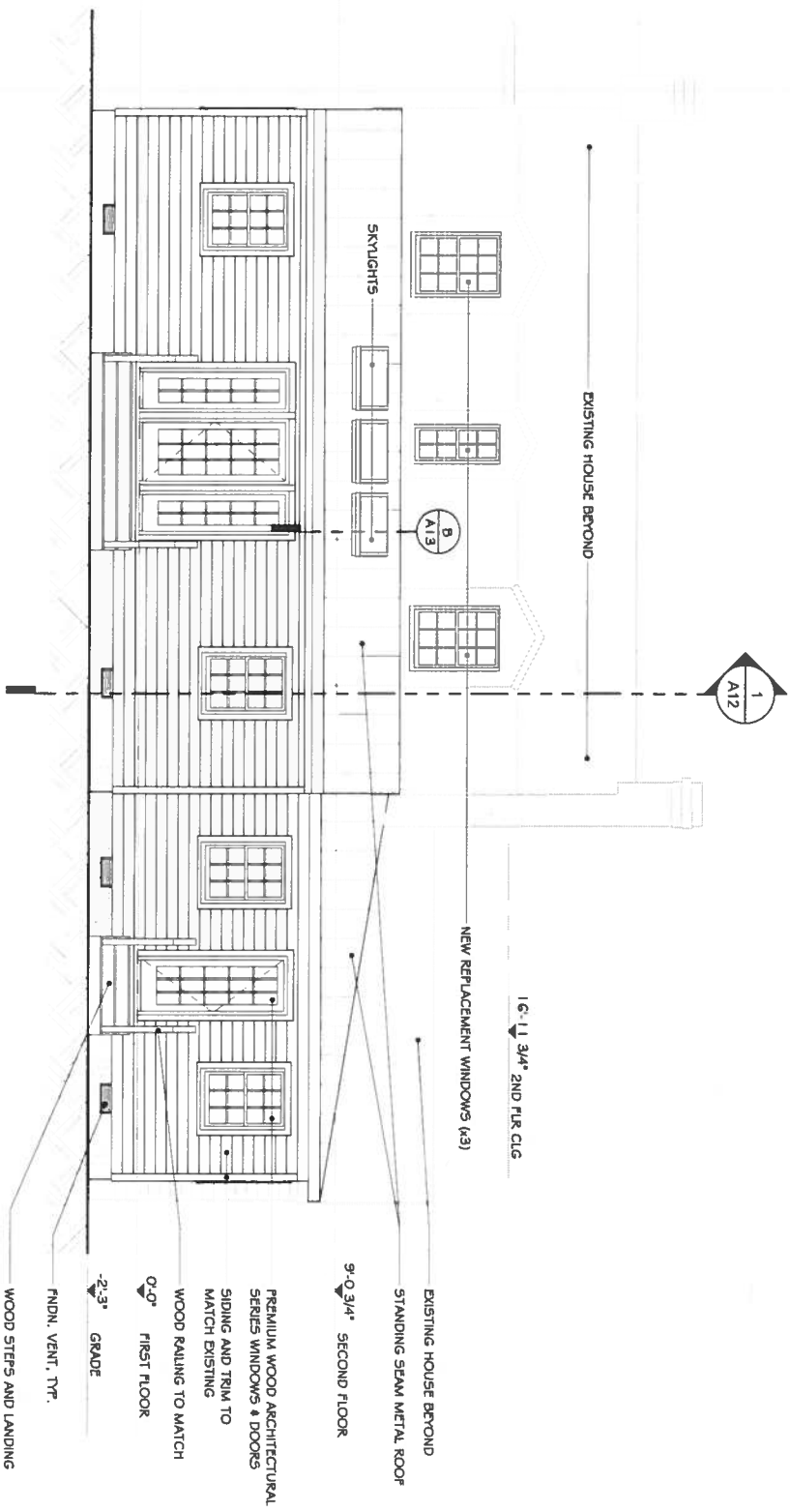
A9

1 NEW WORK - ROOF FRAMING LOW
3/16" = 1'-0"



Accepted Pursuant to the
 Order of the Board of Directors

19-19-2014



Projected photos for the exterior
with the existing zoning code

10-14-2018



James G. Kobus, AIA
11425 Barksdale Drive
Manassas, Virginia 20112
www.jameskobusarchitect.com
Phone: 802.271.0433

HERLIHY RESIDENCE

PROJECT DETAILS
10/1/2018
RICHMOND, VA

PROJECT OWNER
ALEXANDER H. H. H. H.



PERMIT DRAWINGS

SEPTEMBER 21, 2018

AS SHOWN

REAR ELEVATION NEW
ADDITION

A10



JAMES KOBOS, AIA
11425 Blankenship Drive
Bedford, Virginia 23112
Phone 804/271-8430
Fax 804/271-8431

HERLIHY RESIDENCE

PROJECT ADDRESS
R/F THE HILL
RICHMOND, VA

DESIGNER
JAMES KOBOS, AIA
ALICE AND DANIEL HERLIHY

DATE
9/21/18



PERMIT DRAWINGS

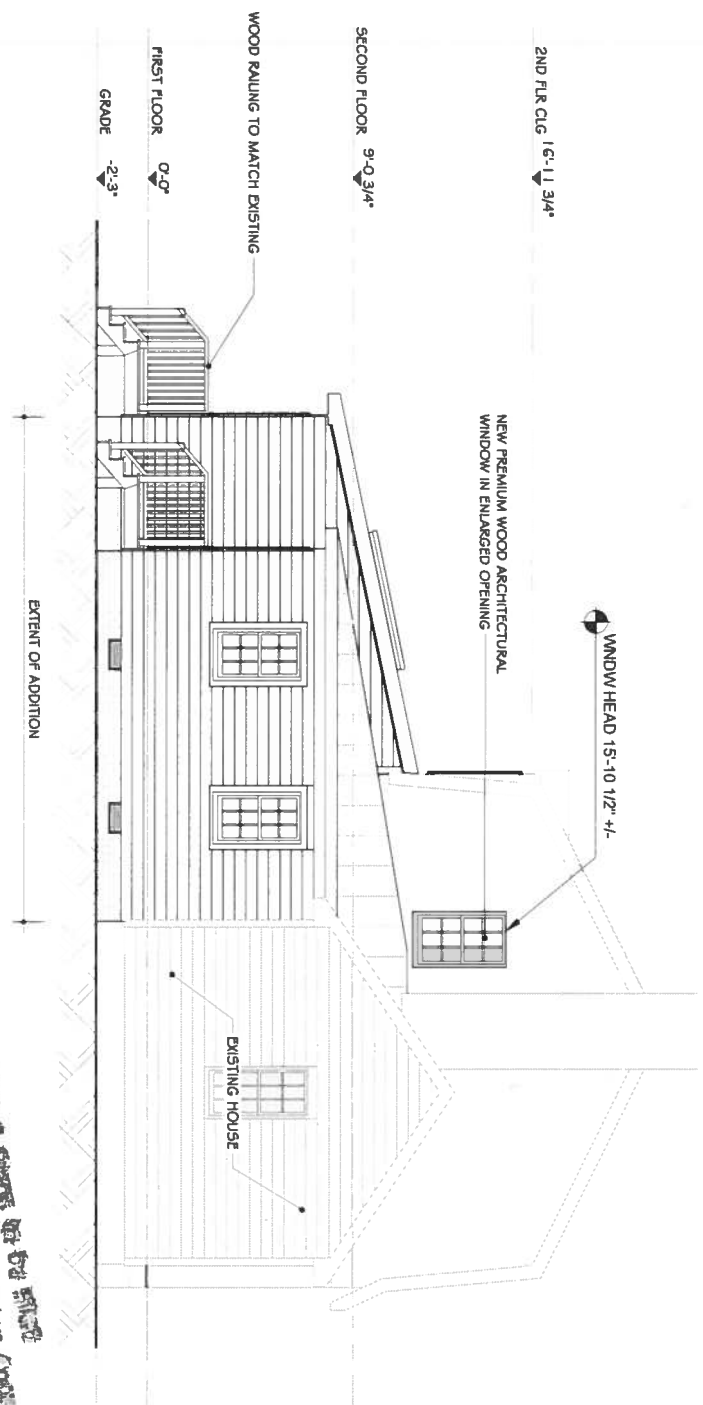
DATE
SEPTEMBER 21, 2018

SCALE
AS SHOWN

SIDE ELEVATION NEW
ADDITION

A11

NOTED PERMITS BE TO BE SECURED
WITH THE EXISTING HOUSE
10-19-2018





James K. Kober
11425 Braxtonburg Drive
Buckhorn, Virginia 23112
Phone: 804-271-5530
Fax: 804-271-5530

HERLIHY RESIDENCE

PROJECT ADDRESS
707 HERLIHY
ROCKLAND, VA

PROJECT OWNER
JACIE AND DANA HERLIHY

CUSTOMER



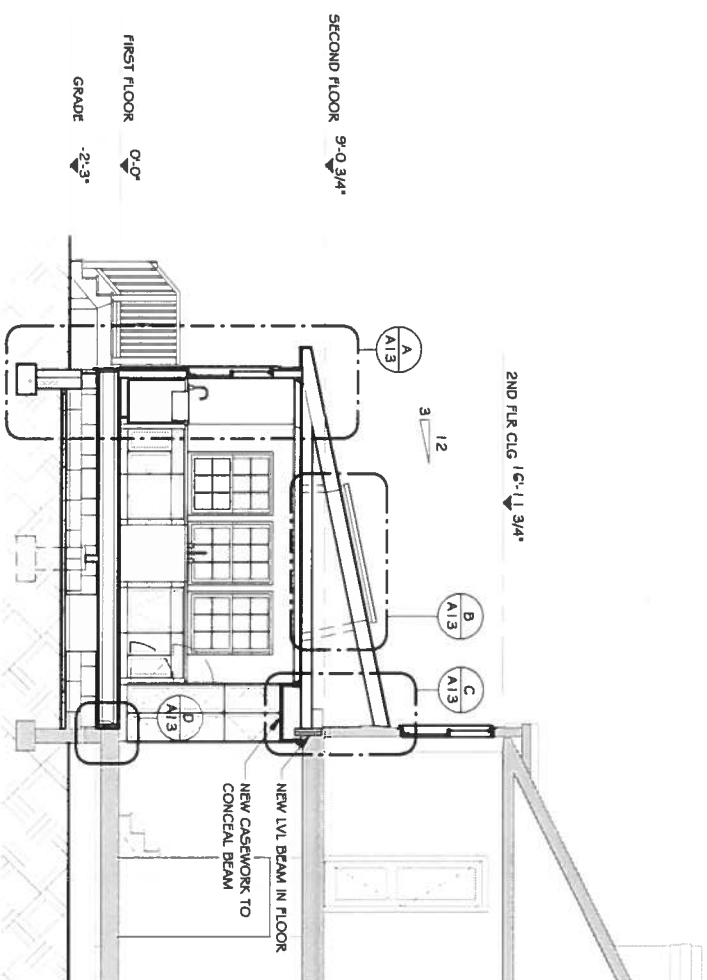
PERMIT DRAWINGS

DATE
SEPTEMBER 21, 2018

SCALE
AS SHOWN

BUILDING SECTION

A12

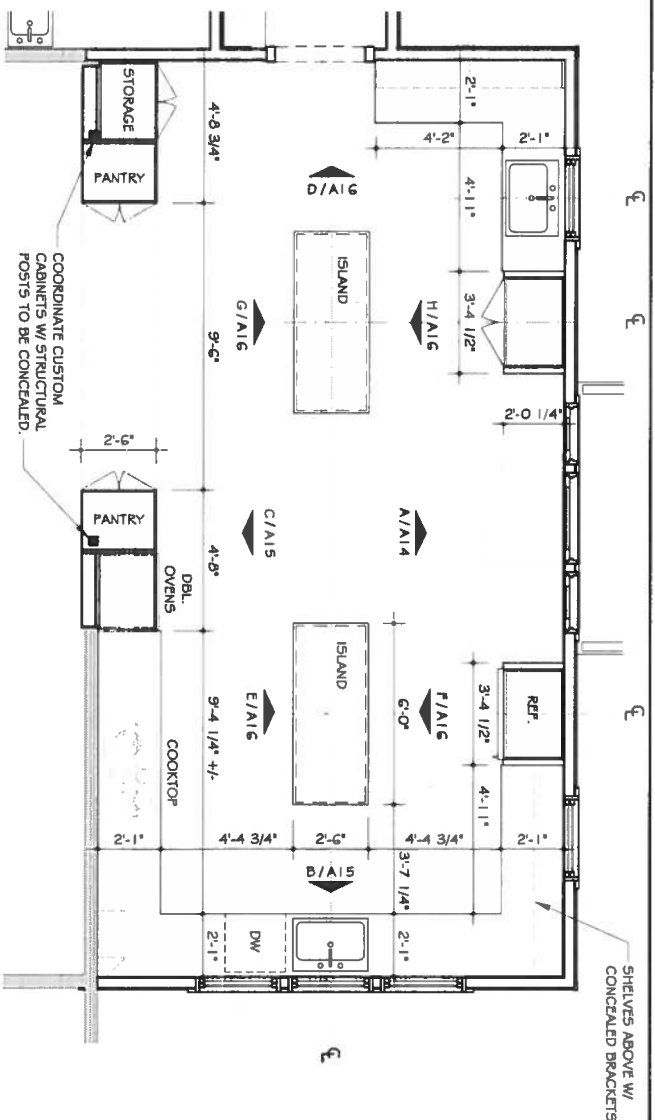


BUILDING SECTION

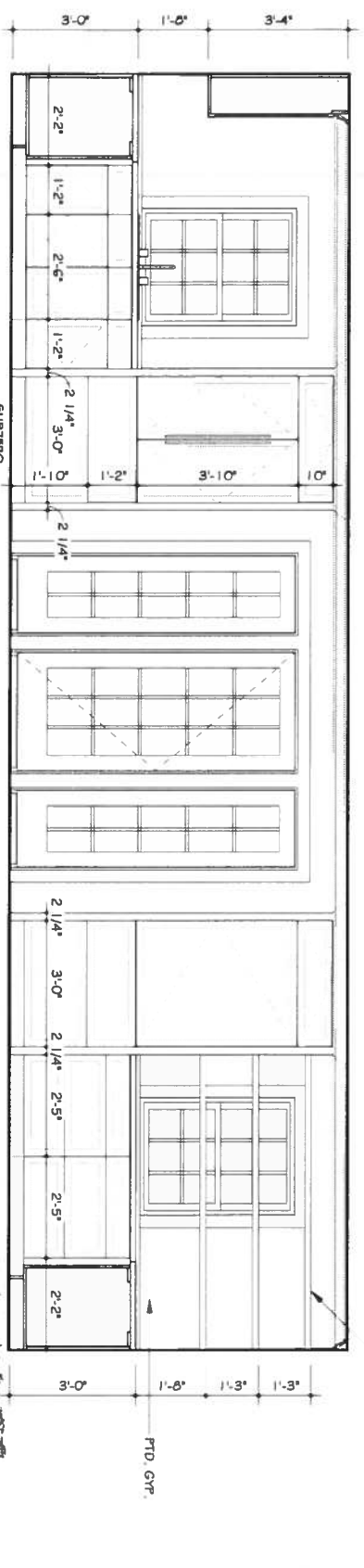
3/16" = 1'-0"

Revised Plans to be made
with the Board of zoning Admin

Date: 12-9-2018



1 ENLARGED KITCHEN PLAN
1/4" = 1'-0"



A KITCHEN ELEVATION 'A'
3/8" = 1'-0"

SUBZERO
REFRIGERATOR w/
FREEZER DRAWERS

Refrigerator Photos by RHP
10-19-2018



JAMES G. KOBUS
11425 Brantford Drive
Manassas, Virginia 20112
info@jameskobus.com
Phone: 541.227.5582

HERLIHY RESIDENCE

PROJECT ADDRESS
707 TIBBETTS
RICHMOND, VA

DATE: 9/21/18
BY: JGK

CONTRACT NO.



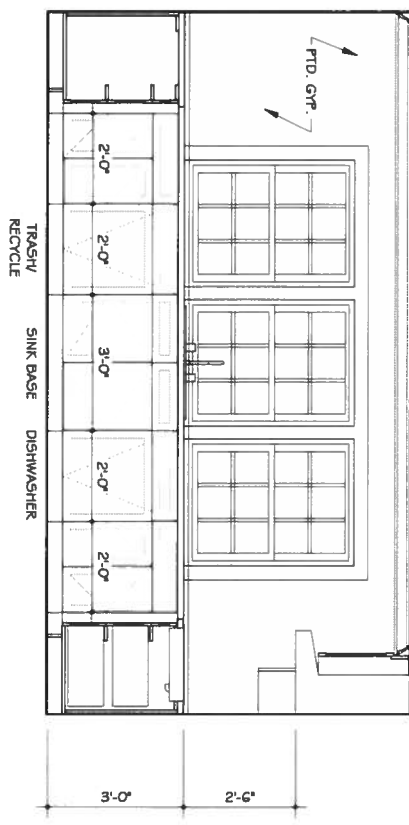
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DATE: SEPTEMBER 21, 2018

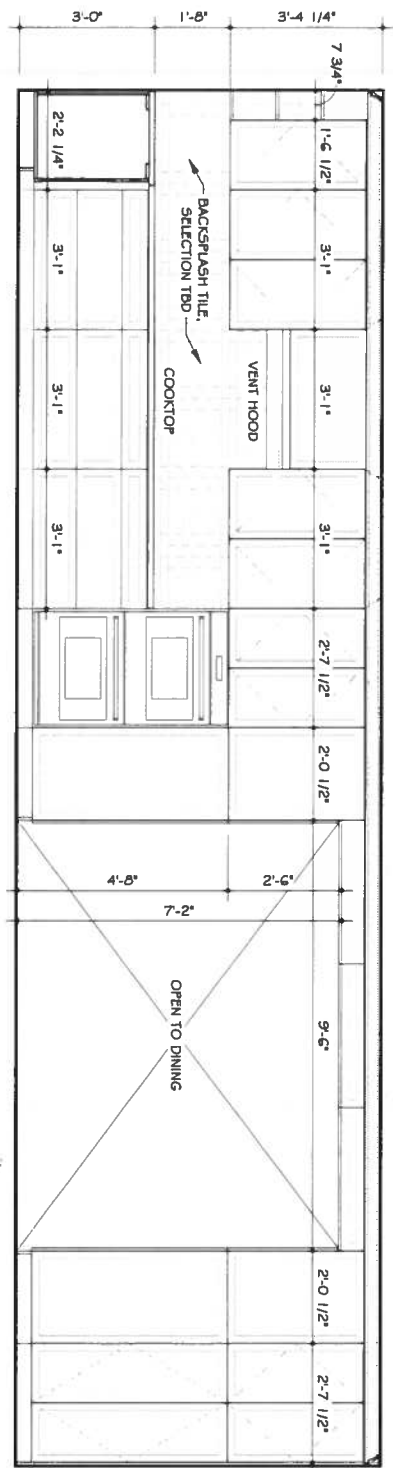
SCALE: AS SHOWN

ENLARGED KITCHEN
PLAN

A14



B' KITCHEN ELEVATION B'
3/8" = 1'-0"



C' KITCHEN ELEVATION C'
3/8" = 1'-0"

JAMES KOBUS, AIA
 11425 Bunkerburg Drive
 Leesman, Virginia 22112
 Phone: 804.721.5430

HERLIHY RESIDENCE

PROJECT ADDRESS:
 707 HERLIHY
 RICHMOND, VA

DESIGN DATE:
 A/E/L: ADDONELLI HERLIHY

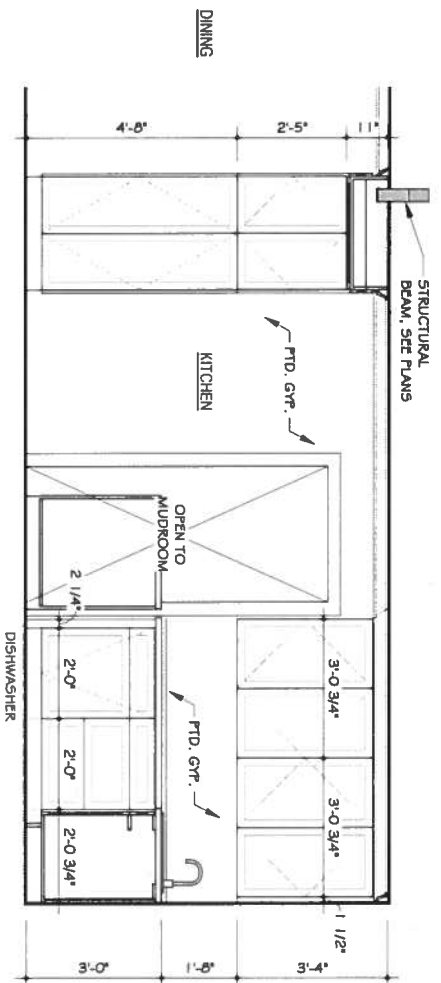
CONSULTOR:

COMMONWEALTH OF VIRGINIA
 JAMES G. KOBUS
 Lic No. 14954
 9/21/18
 JK ARCHITECT

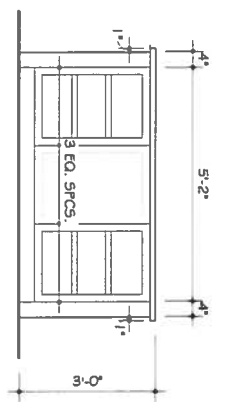
PERMIT DRAWINGS
 DATE: SEPTEMBER 21, 2018
 SCALE: AS SHOWN

INTERIOR ELEVATIONS
A15

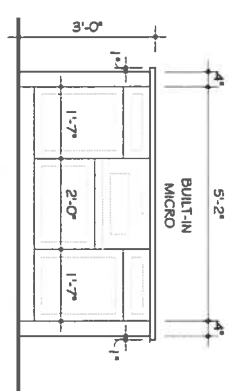
Projected Plans by EITP
 10-19-2018
 10-19-2018



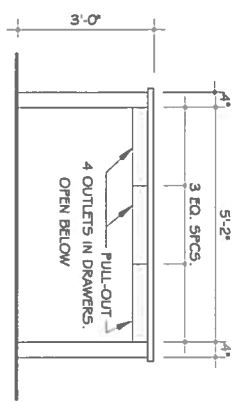
D KITCHEN ELEVATION 'D'
3/8" = 1'-0"



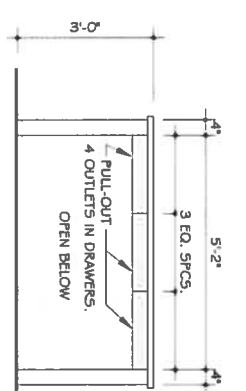
E ISLAND ELEVATION 'E'
3/8" = 1'-0"



F ISLAND ELEVATION 'F'
3/8" = 1'-0"



G ISLAND ELEVATION 'G'
3/8" = 1'-0"



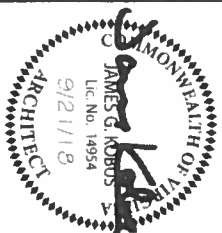
H ISLAND ELEVATION 'H'
3/8" = 1'-0"

JK
ARCHITECT
James K. Kato, AIA
11425 Blankenship Drive
Arlington, Virginia 22112
www.jkarchitect.com
Phone: 804.221.6430

HERLIHY RESIDENCE

PROJECT LOCATION
707 TIBBETTS
ROCKFORD, VA

DATE: 9/21/18
ALICE AND DANIEL HERLIHY



PERMIT DRAWINGS

DATE: SEPTEMBER 21, 2018

SCALE: AS SHOWN

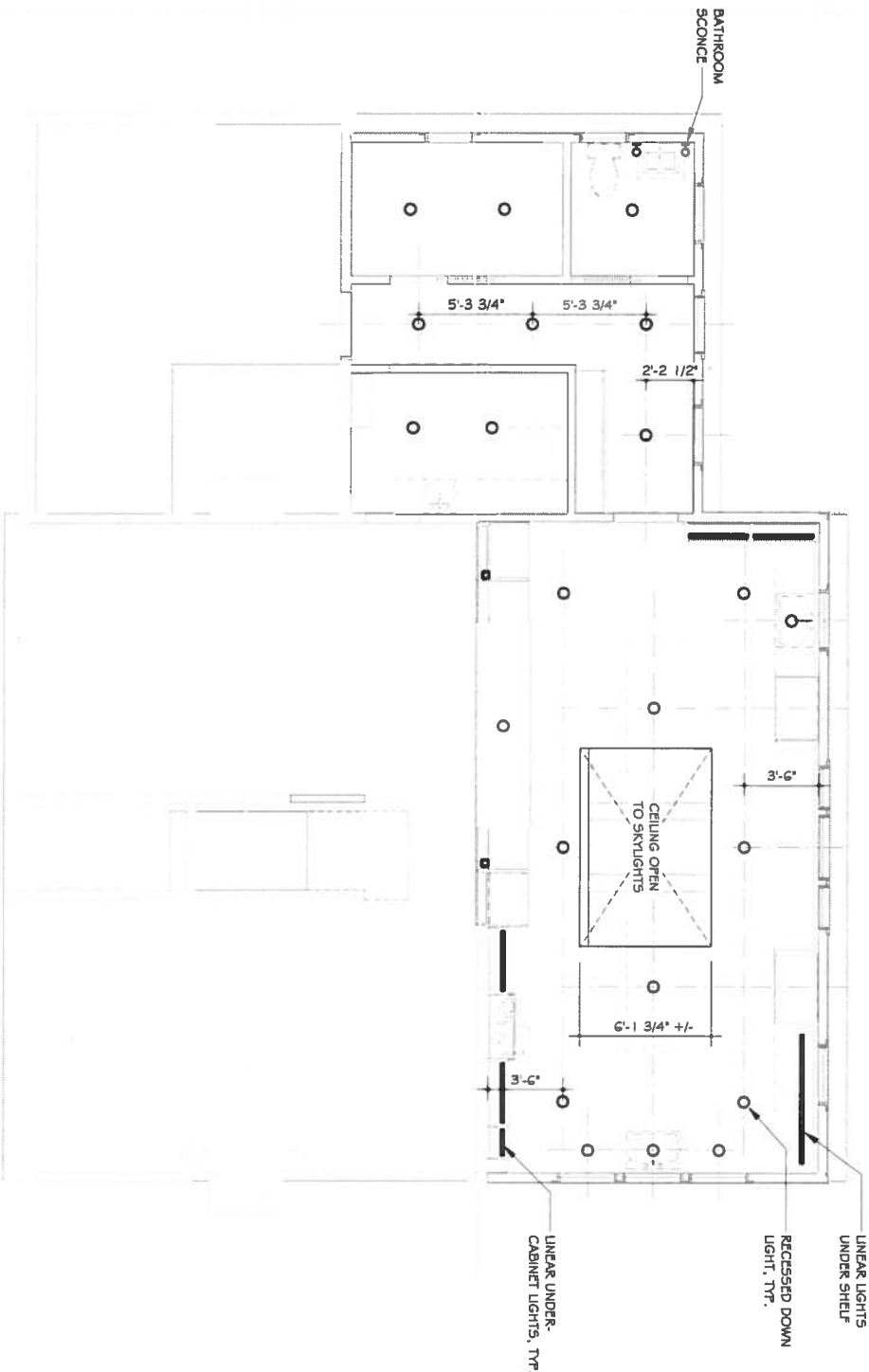
INTERIOR ELEVATIONS

A16

Rejected Plans to be filed
with the Board of Zoning Appeals

10-19-2011

1 REFLECTED CEILING AND LIGHTING PLAN
3/16" = 1'-0"



JAMES KOBOS, AIA
11425 Backus Drive
Madison, Virginia 22112
Phone: 804.271.5530
james.kobos@jka.com

HERLIHY RESIDENCE

PROJECT ADDRESS
707 HERLIHY
ROCKLAND, VA

DESIGN GROUP
A/E/C 440 DOWELL HERLIHY

CONTRACT NO.



PERMIT DRAWINGS

DATE
SEPTEMBER 21, 2018

SCALE
AS SHOWN

REFLECTED CEILING
AND LIGHTING PLAN

A17

Revised plans to be sealed
within the Board of Zoning Appeals
18-19-2018

INSTRUCTIONS:
DO NOT
DETACH THIS STUB

COMPLETE ALL ITEMS ON THIS SIDE OF FORM
NOTE: FAILURE TO FOLLOW THESE INSTRUCTIONS
WILL VOID APPLICATION.



DEPARTMENT OF PLANNING AND DEVELOPMENT REVIEW
BUREAU OF PERMITS AND INSPECTION
ROOM 110 CITY HALL
900 E. BROAD STREET
RICHMOND, VIRGINIA 23219
PHONE (804) 646-4169
FAX (804) 643-1569

BUILDING
PERMIT/CERTIFICATE
APPLICATION

PERMIT NO.

B

TRACK 1 TRACK 2

THIS IS AN APPLICATION ONLY. IT IS NOT AUTHORIZATION TO START ANY WORK.
NO WORK SHALL START UNTIL A PERMIT IS POSTED ON THE JOB SITE.

CONTRACTOR/OWNER INFORMATION	1 JOB-PROPERTY ADDRESS (STREET & NUMBER) 707 Tiber Lane				2 FLOOR ROOM NO.															
	3 CONTRACTOR NAME		4 LICENSE TYPE		5 CLASS A B C		6 STATE LICENSE NO.													
	7 CONTRACTOR STREET ADDRESS				8 CONTRACTOR TELEPHONE (NO. EMAIL ADDRESS)															
	9 CITY STATE ZIP CODE				10 CONTRACTOR FAX NO.															
BUILDING INFORMATION	11 PROPERTY OWNER NAME Daniel & Alice Herlihy				12 PROPERTY OWNER ADDRESS-ZIP 707 Tiber Lane Richmond, VA 23226				13 OWNER DAYTIME TELEPHONE (NO)											
	14 DESCRIBE CURRENT STRUCTURE USE				15 DESCRIBE PROPOSED STRUCTURE USE															
	16 OFFICE USE ONLY 10 NEW ACCESSORY BLDG. ACC 11 ALTER/REMODEL LIGHT AL1 12 ALTER/REMODEL HEAVY AL2 13 DEMOLITION DEM 14 TENANT FITUP FUP 15 RESIDENTIAL CARAGE AD1 16 RESIDENTIAL DECK AD2 17 OPEN PORCH AD3 18 ENCLOSED PORCH AD4 19 ALTER/REMODEL LIGHT AL1 20 ALTER/REMODEL HEAVY AL2 21 DEMOLITION DEM 22 TENANT FITUP FUP 23 RESIDENTIAL CARAGE AD1 24 RESIDENTIAL DECK AD2 25 OPEN PORCH AD3 26 ENCLOSED PORCH AD4 27 MOVING/RELOCATION REL 28 REPAIR/REPLACEMENT REP																			
	29 IF 1 OR 2 FAMILY 30 IF MULTIFAMILY NUMBER OF UNITS PER STRUCTURE 31 CHECK ONE (IF APPLICABLE) 1. LODGING HOUSE 2. NURSING HOME 3. ADULT CARE RESIDENCE																			
CONSTRUCTION COST	32 INSTRUCTIONS: ENTER APPROPRIATE AMOUNTS FOR A, B, C, D, E & F. TOTAL A, B, C, D, E & F. SUBTRACT THIS TOTAL FROM A TO OBTAIN G. COSTS ARE TO INCLUDE MATERIAL, LABOR, SUBCONTRACTS OVERHEAD & PROFIT.				A. TOTAL CONST. COST OF ENTIRE JOB \$				C. MECH. COST \$				E. SPRINKLER COST \$				G. TOTAL CONSTRUCTION COST LESS TRADE PERMITS \$			
	B. ELEC. COST \$				D. PLUMB. COST \$				F. ELEVATOR COST \$											
	33 DESCRIBE SCOPE OF WORK Construct one-story addition on rear of existing single-family dwelling																			
LIEU INFORMATION	34 LIEU AGENT NAME				35 PHONE (NO)															
	36 ADDRESS				ZIP CODE															
	37 CONTACT PERSON Mark Baker				38 CONTACT PHONE NO. 804-822-5428				39 CONTACT FAX NO.											
	40 CONTACT ADDRESS 11 South 12th Street, Suite 500				ZIP CODE 23219				41 EMAIL markbaker@bakerdevelopmentresources											
CONTACT INFORMATION	42 DO YOU WANT TO BE CALLED TO PICK UP PERMIT WHEN ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO				NAME				PHONE NO.											
	43 ENGINEER ARCHITECT NAME				44 ENGINEER ARCHITECT PHONE NO.				45 ENGINEER ARCHITECT FAX NO.				46 EMAIL							
	47 ROOF TYPE 1 (SEE BACK FOR LIST)				48 NO. OF SQUARES				49 ROOF TYPE 2 (SEE BACK FOR LIST)				50 NO. OF SQUARES							
	51 NOT REQUIRED FOR 1 & 2 FAMILY 52 AUTOMATIC SPRINKLERS <input type="checkbox"/> YES <input type="checkbox"/> NO				53 FIRE ALARM SYSTEM <input type="checkbox"/> YES <input type="checkbox"/> NO															
LOT & BUILDING SIZE	54 BUILDING FINISHED AREA NEW OR ADDITION (SQ. FT.)				55 BUILDING UNFINISHED AREA NEW OR ADDITION (SQ. FT.)				56 GARAGE AREA (SQ. FT.)				57 OPEN PORCH AREA (SQ. FT.)				58 ENCLOSED PORCH AREA (SQ. FT.)			
	59 DECK AREA (SQ. FT.)				60 BUILDING AREA EXISTING (SQ. FT.) PER FLOOR				61 TOTAL AREA AT COMPLETION (SQ. FT.) PER FLOOR				62 TOTAL BUILDING HEIGHT				63 NUMBER OF FLOORS			
	64 NO. OF ON SITE PARKING SPACES (STREET SPACES DO NOT COUNT)				65 NO. OF SPACES AT ANOTHER LOCATION				66 LOCATION				LEASE ATTACHED <input type="checkbox"/> YES <input type="checkbox"/> NO							
	67 WILL THERE BE A NEW CURB <input type="checkbox"/> OR RELOCATED CURB <input type="checkbox"/> OR DRIVEWAY <input type="checkbox"/>				68 WILL THERE BE ANY SITE GRADING OR LAND DISTURBING ACTIVITY? <input type="checkbox"/> YES <input type="checkbox"/> NO				69 TOTAL AREA TO BE DISTURBED (SQ. FT.)				70 IS SURVEY OR SITE PLAN ATTACHED? <input type="checkbox"/> YES <input type="checkbox"/> NO							
OWNER'S AFFIDAVIT	I HEREBY AFFIRM THAT UNDER THE PROVISIONS OF TITLE 54.1-1101 OF THE CODE OF VIRGINIA I AM NOT SUBJECT TO LICENSURE AS A CONTRACTOR OR SUBCONTRACTOR BY THIS AFFIDAVIT. I ASSUME FULL RESPONSIBILITY FOR COMPLETION OF THE PROPOSED WORK IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LAW. I ALSO UNDERSTAND IT IS A VIOLATION OF STATE LAW TO KNOWINGLY HIRE AN UNLICENSED CONTRACTOR.																			
	PRINTED NAME				SIGNATURE				DATE											
	A. (NAME OF APPLICANT)				B. CERTIFY THAT THE BUILDING AT (ADDRESS, FLOOR OR SUITE)															
	HAS BEEN INSPECTED OR MEETS THE EXCEPTIONS OF SECTION 110.3, THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE. THE ASBESTOS ABATEMENT WILL BE DONE AS PER REQUIREMENT OF THE "CLEAN AIR ACT" NATIONAL EMISSION STANDARD FOR THE HAZARDOUS AIR POLLUTANT (ESHAP) AND OSHA "STANDARD" FOR CONSTRUCTION WORKERS.																			
OFFICE USE ONLY	ARTS DISTRICT <input type="checkbox"/> YES <input type="checkbox"/> NO				HISTORICAL DISTRICT <input type="checkbox"/> YES <input type="checkbox"/> NO				VIOLATION ON PROPERTY <input type="checkbox"/> YES <input type="checkbox"/> NO				DELINQUENT TAXES DUE? <input type="checkbox"/> YES <input type="checkbox"/> NO				ICC TYPE OF CONSTRUCTION			
	EXISTING USE GROUP				PROPOSED USE GROUP				FEE CALC. TYPE <input type="checkbox"/> B <input type="checkbox"/> U <input type="checkbox"/> C				PERMIT FEE				FEE RECEIVED RECEIPT NO. <input type="checkbox"/> CASH <input type="checkbox"/> CHECK <input type="checkbox"/> CREDIT CARD			
	IS PROPERTY IN 100 YR FLOOD PLAIN? <input type="checkbox"/> YES <input type="checkbox"/> NO				FLOOD ELEV.				SITE ELEV.				CHESAPEAKE BAY PROTECTION AREA? <input type="checkbox"/> YES <input type="checkbox"/> NO				CHESAPEAKE BAY MANAGEMENT AREA? <input type="checkbox"/> YES <input type="checkbox"/> NO			
	APPLICATION APPROVED BY				DATE				APPLICATION DISAPPROVED BY				DATE							

A COPY OF YOUR STATE CONTRACTOR'S LICENSE AND BUSINESS LICENSE MUST BE ON FILE BEFORE A PERMIT WILL BE ISSUED.