



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)Address 2218 E Grace StHistoric district St. John's Church

Date/time rec'd: _____

Rec'd by: _____

Application #: _____

Hearing date: _____

APPLICANT INFORMATIONName Mark BakerCompany Baker Development ResourcesMailing Address 11 S 12th St., Suite 500
Richmond, VA 23219Phone (804)441-5019Email mark@bakerdevelopmentresources.comApplicant Type: ☐ Owner ☒ Agent☐ Lessee ☐ Architect ☐ Contractor

Other (please specify): _____

OWNER INFORMATION (if different from above)Name Twenty Three Hundred, LLCMailing Address 3725 Blue Lake Dr.
Richmond, VA 23223

Company _____

Phone (804)441-5019Email dmbranch@live.com**PROJECT INFORMATION**Review Type: ☐ Conceptual Review ☒ Final ReviewProject Type: ☒ Alteration ☐ Demolition ☐ New Construction

(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

The scope of work is as such: we would like to remove and replace the front porch columns with a similar style and keep the existing finial brackets. Would also like to add a new deck at the rear with a new 6-lite door and sidelights. The existing fences will be adjusted in order to accommodate (8) new bike storage units. The project will follow the Old & Historic District Design Review Guidelines where applicable.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Cathy B. Branch, Member Manager
Twenty-Three Hundred LLC

Date

10.22.18



October 25, 2018

City of Richmond Department of Planning and Development Review
Commission of Architectural Review
City Hall, 900 East Broad Street
Richmond, VA 23219

RE: Commission of Architectural Review: 2218 E Grace Street (E0000259010)

Members of the Commission,

I represent Twenty Three Hundred, LLC in its application for review by the Commission of Architectural Review of proposed structural improvements to the property at 2218 E Grace Street (Parcel # E0000259010) (“Property”). These improvements consist of: removing and replacing the failing front porch columns with a similar style while keeping the existing finial brackets; adding a new deck at the rear of the structure with a new 6-lite door and sidelights; and constructing 8 new bike storage units.

This property is located on the northwest corner of East Grace Street and N 23rd Street and lies in the St. John’s Church Old and Historic District. This District is primarily developed with homes and churches built prior to the Civil War, with infill development occurring after the Civil War. These buildings have created a vernacular that includes a combination of Greek Revival, 19th century Federal, and Victorian architectures. The proposed improvements to the Property are in keeping with this historical context. The project is consistent with the will follow the Design Guidelines where applicable.

The front porch columns on the Grace Street elevation would be replaced with a comparable colonial style column. Photographic evidence available through the Valentine archives (Exhibit A) shows that the existing columns are likely not original to the building. The existing columns have been subject to failure as the design utilized two column sections spliced together at the rail height, creating a potential hinge point. The existing brackets would be removed and re-installed with the new columns in order to maintain the existing character. The new columns will be 6” Colonial style Permapost® columns, manufactured by HB & G. The replacement columns were chosen in consultation with staff such that the proportions of the columns will better match with those of the existing brackets; the “turned” portion of the column will transition to “square” relatively in line with the bottom of the brackets. This will allow for consistency in appearance with the existing, albeit perhaps not original, column design.

The proposed rear door would be a 6-lite door and would include sidelites. The door and sidelites would be exterior-grade wood, painted to match a neutral color per the Old Historic Handbook Guidelines. As a follow up to our preapplication discussion with staff, we consulted the 1905 Sanborn map (Exhibit B) which shows that there was a 1 story rear addition to the rear of the existing rear brick wall, which would have included openings through the wall in question for access. As a result, the proposed door is not inconsistent with the original design, which would have included openings on this façade. A majority of the door would not be visible from the right-of-way due to the existing privacy fence inclosing the rear of the property.

A rear porch/deck is proposed in order to provide an exterior amenity and in order to transition from the rear door to grade. The entirety of the porch, including railings would not be visible from the right-of-way due to the existing privacy fence. The deck would consist of pressure treated columns, beams and joists with rot resistant decking materials. Railings would be PVC/rot-resistant, and would be of a Chippendale style.

The new bike storage units would be also be obscured to a large extent by the existing privacy fence. The fence would be partially relocated as a part of this request in order to accommodate the storage units. The storage units would be located in a new “service area” on the western side of the rear yard area and would be oriented away from the existing rear patio area. The bike storage units would be constructed of wood and would be painted to match existing fencing.

We thank you for the care and assistance in reviewing our application. Should you have any questions after reviewing this request, please feel free to contact me at (804)874-6275.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark R. Baker', with a stylized, cursive script.

Mark R. Baker

Baker Development Resources, LLC

Exhibit A

Valentine Archives Collection



Item Nbr

P.75.23.102

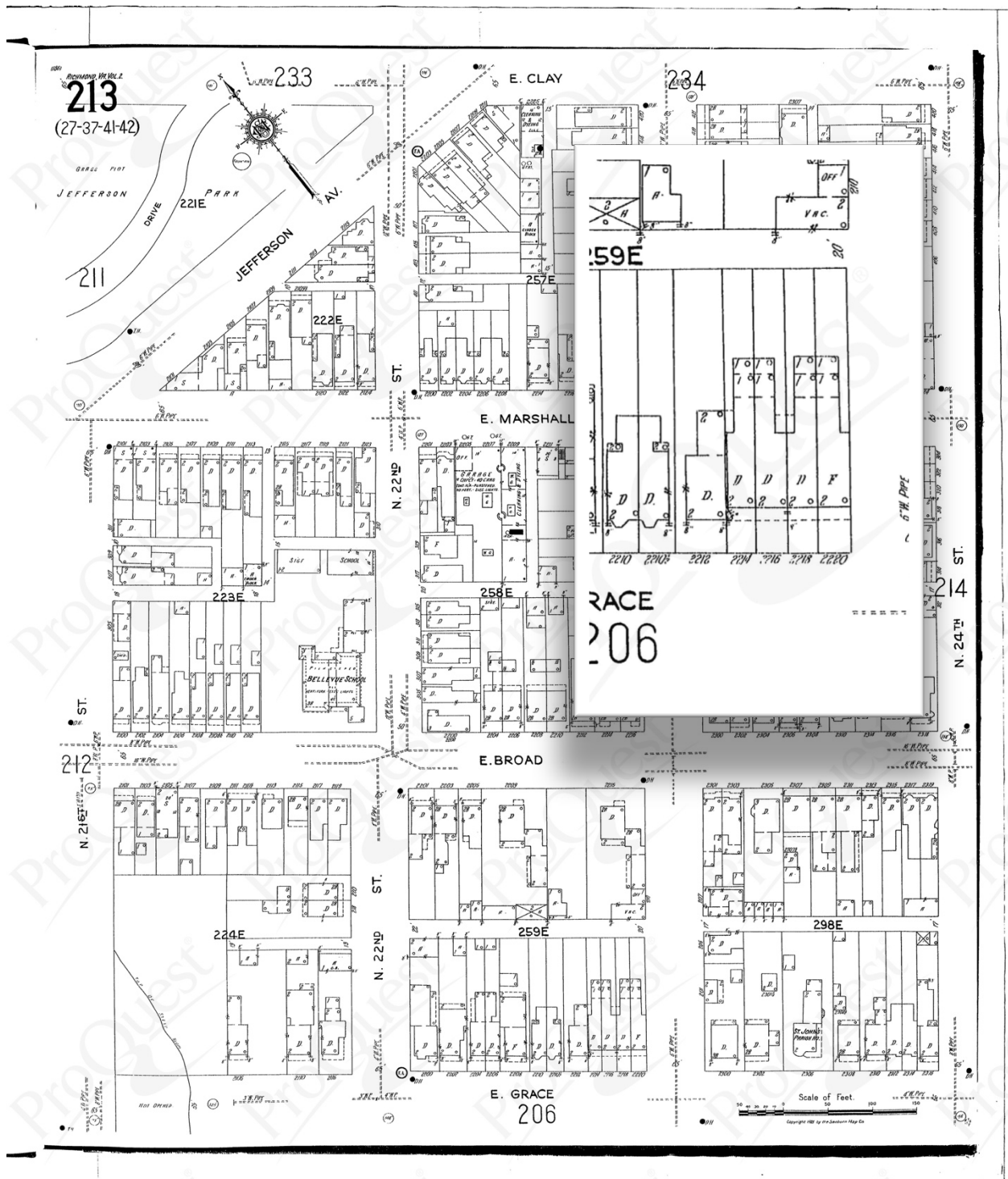
Phys Desc

[Print, Photographic](#)

Title

The Group Relaxes During Tour of Church Hill; a House
Undergoing Restoration Is in Background

Exhibit B:





WARNING
NEIGHBORHOOD
WATCH
SEE NEIGHBORS ARE WATCHING
FOR ANY SUSPICIOUS ACTIVITY
TO THE NEIGHBORHOOD POLICE

200
N 23RD ST
E










NO PARKING
UNAUTHORIZED
VEHICLES WILL BE
TOWED AWAY
AT VEHICLE
OWNER'S EXPENSE

**RESERVED
PARKING**
FOR THE
CLUB





Item Nbr

P.75.23.102

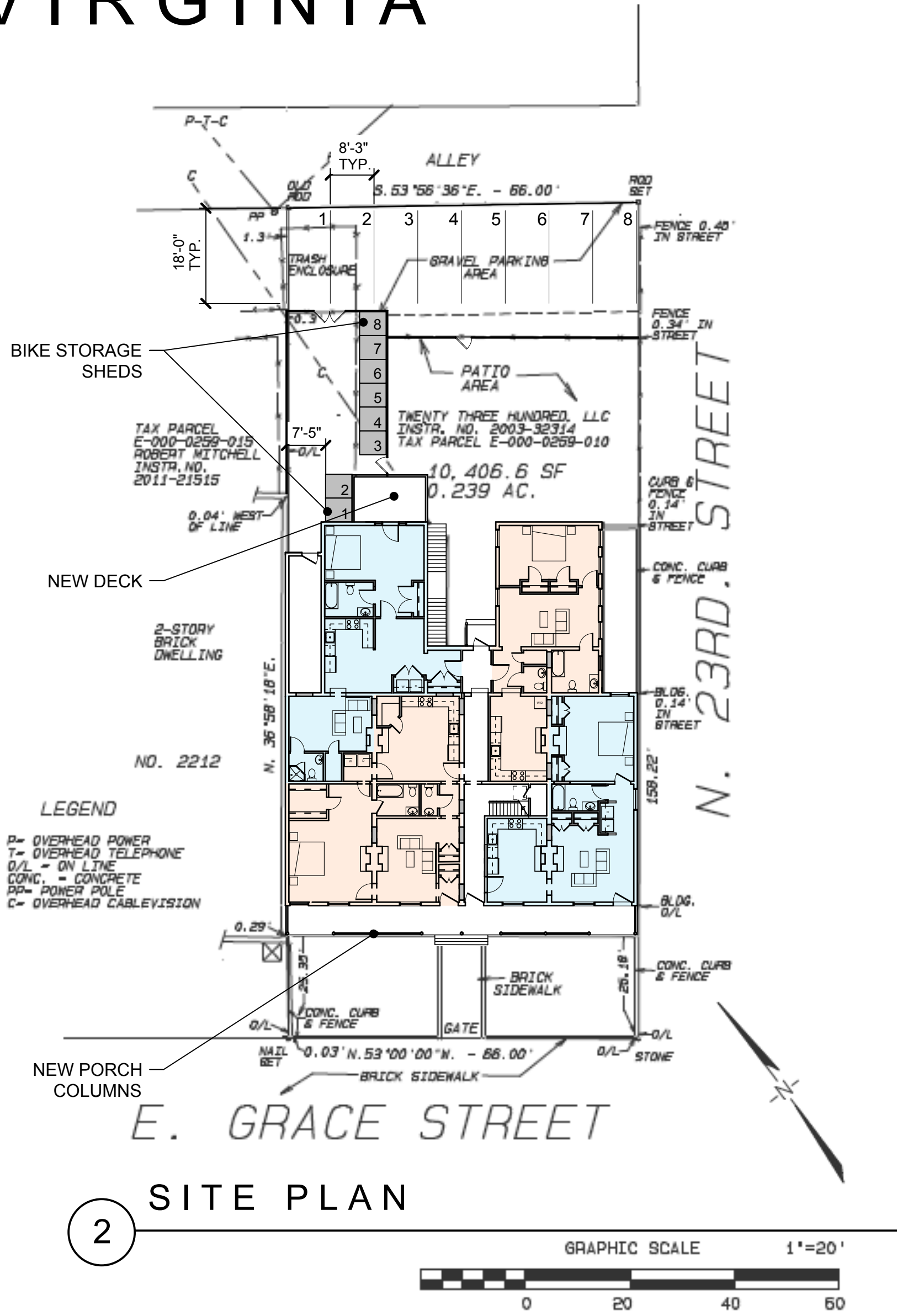
Phys Desc

[Print, Photographic](#)

Title

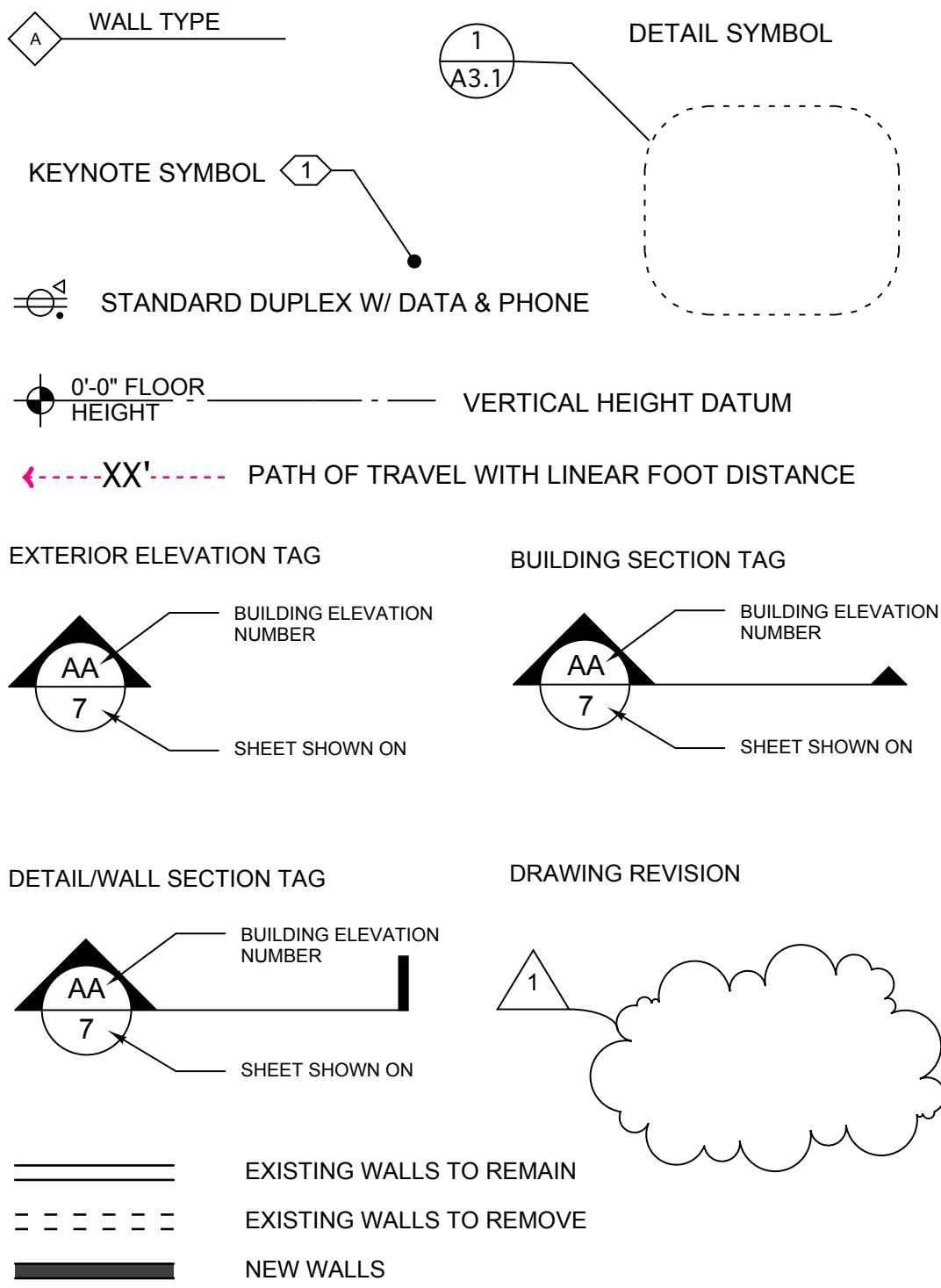
The Group Relaxes During Tour of Church Hill; a House Undergoing Restoration Is in Background

MODIFICATIONS TO: 2218 E. GRACE STREET RICHMOND, VIRGINIA



1 LOCATION MAP
N.T.S.

SYMBOL LEGEND



SCOPE OF PROJECT

PERFORM CHANGE OF USE MODIFICATIONS TO CONVERT THE 1ST FLOOR FROM A RESTAURANT A-2 INTO 4 UNITS R-2.

EXISTING 2ND FLOOR UNITS & EXIT TO REMAIN UNALTERED.

MODIFICATIONS WILL BE IN ACCORDANCE WITH CHAPTER 14 - PERFORMANCE COMPLIANCE METHOD UNDER THE 2012 VIRGINIA REHABILITATION CODE

REPLACE EXISTING PORCH COLUMNS W/ NEW EXTERIOR TURNED FRONT PORCH COLUMNS, EXISTING FINIALS TO BE REMOVED AND RE-USED.

NEW REAR PRESSURE TREATED WOOD DECK AND NEW FRENCH DOOR

2HR FIRE SEPARATION PER UL - L511
- CEILINGS ABOVE ALL 4 UNITS AND THE CEILING OF THE EGRESS HALLWAY.

2HR COMPARTMENTALIZATION OF (2) UNITS (UNITS 2& 3) REQUIRING 2HR WALLS CONSISTING OF EITHER EXISTING 8" MASONRY OR NEW 2HR WALLS PER U301 SEE A1.0 FOR WALL TYPES AND RATED WALL LOCATIONS.

M, E, P WILL BE PERFORMED DESIGN-BUILD BY THE RESPECTIVE SUBCONTRACTORS AND SUBMITTED SEPARATELY.

ALL EXTERIOR WORK INCLUDING DECK AND BIKE SHEDS TO BE PERFORMED DESIGN-BUILD BY THE PROPERTY OWNER AND SUBMITTED DEPARATELY.

BUILDING CODE DATA

JURISDICTION:
RICHMOND, VIRGINIA

APPLICABLE CODES:
2015 VIRGINIA REHABILITATION CODE (VRC)
2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

(B) TABLE 1401.7
SUMMARY SHEET-BUILDING CODE

Existing occupancy	A-2 RESTAURANT	Proposed occupancy	R-2 MULTI-FAMILY
Year building was constructed	A-2 RESTAURANT	Number of stories	2
Type of construction	VB	Area per floor	4,024
Percentage of open perimeter increase	.48 %	Corridor wall rating	NONE - OCCUPANCY LESS THAN 10
Completely suppressed:	Yes No X	Required door closers:	Yes X No
Compartmentation:	Yes X No	Fire-resistance rating of vertical opening enclosures	2 HR
Type of HVAC system	HEAT PUMP	Automatic fire detection:	Yes X No
Fire alarm system:	Yes X No	Fire alarm system:	Yes X No
Smoke control:	Yes No X	Smoke control:	Yes No X
Adequate exit routes:	Yes X No	Dead ends:	Yes No X
Maximum exit access travel distance:	6'	Elevator controls:	Yes No X
Means of egress emergency lighting:	Yes X No	Mixed occupancies:	Yes No X

SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS OF EGRESS (ME)	GENERAL SAFETY (GS)
1401.6.1 Building Height	0	0	0
1401.6.2 Building Area	5.33	5.33	5.33
1401.6.3 Compartmentation	44	44	44
1401.6.4 Tenant and Dwelling Unit Separations	2	2	2
1401.6.5 Corridor Walls	0	0	0
1401.6.6 Vertical Openings	1	1	1
1401.6.7 HVAC Systems	0	0	0
1401.6.8 Automatic Fire Detection	6	6	6
1401.6.9 Fire Alarm System	0	0	0
1401.6.10 Smoke control	****	0	0
1401.6.11 Means of Egress	****	0	0
1401.6.12 Dead ends	****	2	2
1401.6.13 Maximum Exit Access Travel Distance	****	17.9	17.9
1401.6.14 Elevator Control	-2	-2	-2
1401.6.15 Means of Egress Emergency Lighting	****	4	4
1401.6.16 Mixed Occupancies	0	****	0
1401.6.17 Automatic Sprinklers	-6	-6 +2 = -3	-6
1401.6.18 Standpipes	X	X	X
1401.6.19 Incidental Use	0	0	0
Building score—total value	50.33	83.23	80.23

*** No applicable value to be inserted.

(B) TABLE 1401.8
EVALUATION FORMULAS*

FORMULA	T1401.7	T1401.8	SCORE	PASS	FAIL
FS - MFS ≥ 0	50.33 (FS)	21 (MFS)	=	29.33	X
ME - MME ≥ 0	83.23 (ME)	38 (MME)	=	45.23	X
GS - MOS ≥ 0	80.23 (GS)	38 (MGS)	=	42.23	X

* FS = Fire Safety
ME = Means of Egress
GS = General Safety
MFS = Mandatory Fire Safety
MME = Mandatory Means of Egress
MGS = Mandatory Means of Safety

INDEX OF DRAWINGS

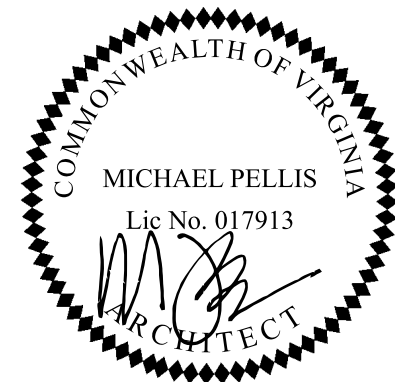
SHEET	DESCRIPTION
CS	COVER SHEET
D1.0	DEMOLITION FLOOR PLAN
A1.0	PROPOSED FLOOR PLAN & EGRESS PLAN
A2.0	ELEVATIONS

CONTACT INFORMATION

OWNER:
TWENTY THREE HUNDRED, LLC
3725 BLUE LAKE DR.
RICHMOND, VA 23233
CONTACT: DAVID BRANCH
dbranch@live.com
804.441.5019

CONTRACTOR:
XXXXXX

ARCHITECT:
MICHAEL PELLIS ARCHITECTURE, PLC
1816 RED QUEEN COURT
N. CHESTERFIELD, VA 23235
michael@michaelpellis.com
804.212.9024



PROJECT:
MODIFICATIONS TO:
2218 E. GRACE STREET, RICHMOND, VIRGINIA

OWNER:
TWENTY THREE HUNDRED, LLC
3725 BLUE LAKE DRIVE, RICHMOND, VIRGINIA

COVER SHEET & CODE DATA

REVISIONS

N/A

N/A

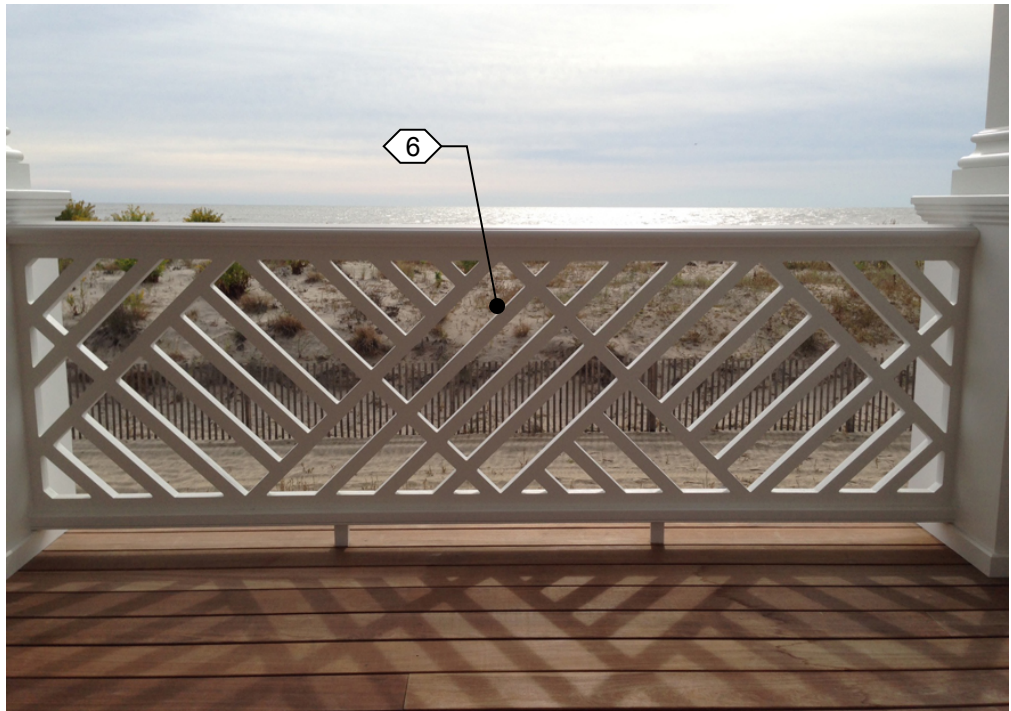
N/A

N/A

N/A

CS

DATED
OCTOBER 7, 2018



CHIPPENDALE RAILING
NTS 5



PROPOSED REAR ELEVATION
NTS 4



PROPOSED FRONT ELEVATION
NTS 2



EXISTING REAR ELEVATION
NTS 3



EXISTING FRONT ELEVATION
NTS 1

PROPOSED ELEVATION KEY NOTES

- 1 REMOVE AND REUSE FINIAL BRACKETS

2 REMOVE EXISTING 4 X 4 WOOD COLUMNS

3 INSTALL NEW 6" COLONIAL STYLE PERMAPOST® COLUMNS AS MANUFACTURED BY HB & G. THE PERMAPOST® IS COMPOSED OF A POLYETHYLENE SHELL WHICH SURROUNDS A GALVANIZED STEEL PIPE - 13 GAUGE FOR THE 6" POST AND POLYURETHANE FOAM FILLER. THE 6" PERMAPOST® IS TESTED TO CARRY A LOAD OF UP TO 5,000 LBS., (ASTM A500 (40 K.S.I.))

4 NEW SINGLE SIX LITE DOOR & SIDELITES
- 5 NEW EXTERIOR DECK
- DECK: PRESSURE TREATED COLUMNS, BEAMS AND JOISTS WITH ROT RESISTANT DECKING MATERIAL

6 NEW EXTERIOR DECK RAILINGS
- RAILINGS: CHIPPENDALE STYLE - CELLULAR PVC SEE DETAIL 5 THIS SHEET.

7 RELOCATE EXISTING FENCING TO ACCOMMODATE BIKE STORAGE

8 BIKE STORAGE UNITS PAINTED TO MATCH EXISTING FENCING

PROJECT: 2218 E. GRACE STREET, RICHMOND, VIRGINIA

OWNER: TWENTY THREE HUNDRED, LLC
3725 BLUE LAKE DRIVE, RICHMOND, VIRGINIA

COMMISSION OF ARCHITECTURAL
REVIEW SUBMISSION APPLICATION

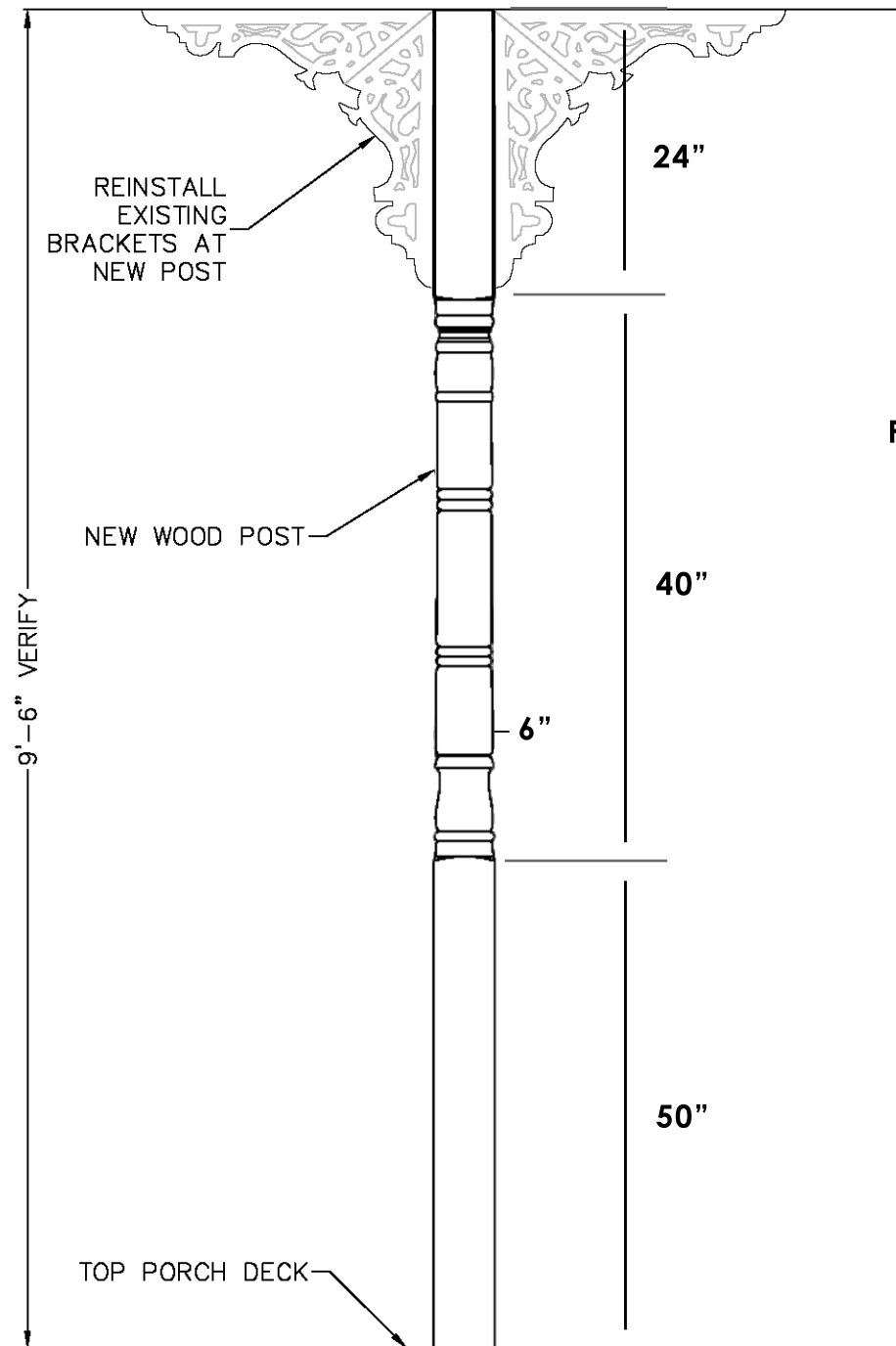
REVISIONS

N/A
N/A
N/A
N/A
N/A

CAR 2

DATE MAY 15, 2018

MICHAEL PELLIS ARCHITECTURE
www.michaelpellis.com
804.212.9024
michael@michaelpellis.com



**Permapost Number 100
Turned Wood Post.**

NEW POST

SCALE: 3/4" = 1'-0"