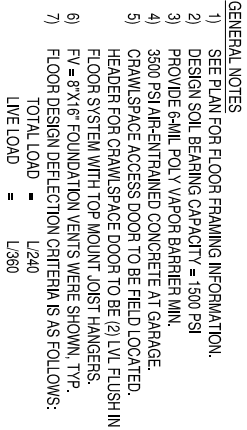


5310 MARKEL RD, SUITE 104
RICHMOND, VA 23230
804-510-0333

12154 LINCOLN LAKE WAY
FAIRFAX, VA 22030
(703) 675-4592 PHONE

1301 N 30TH STREET
RICHMOND, VA 2322

SHEET OF

PROPOSED FOUNDATION PLAN

N 30TH STREET

S STREET

PROPERTY OWNER

CAVA CAPITAL, LLC.

5310 MARKEL RD, SUITE 104
RICHMOND, VA 23230
804-510-0333

PRIME CONSULTANT



12154 LINCOLN LAKE WAY
FAIRFAX, VA 22030
(703) 675-4592 PHONE

SEAL

PROJECT TITLE

PROPOSED PLANS
FOR MIXED-USE
PROPERTY

1301 N 30TH STREET
RICHMOND, VA 23223

ISSUES	NO.	DATE	DESCRIPTION
	1	6-17-17	EXISTING PLANS FROM FIELD MEASUREMENTS

REVISIONS	NO.	DATE	DESCRIPTION
	1	7-6-17	EXISTING PLANS UPDATED
	2	7-18-17	PROPOSED PLANS
	3	8-8-17	SQUARE FOOTAGE AND ELEVATIONS
	4	5-8-18	6" PLAN REDUCTION BY EDDIE
	4	5-8-18	STRUCTURAL INFORMATION ADDED

PROJECT NO:

CAD DWG FILE: 1301 N 30TH STREET NEW PLANS 5-8-18.DWG

DRAWN BY:

CHK'D BY:

SCALE: 1/8"=1'-0"

DATE: 5-8-18

SHEET TITLE

PROPOSED FIRST AND
SECOND FLOOR PLANS

SHEET NUMBER

A-101

SHEET

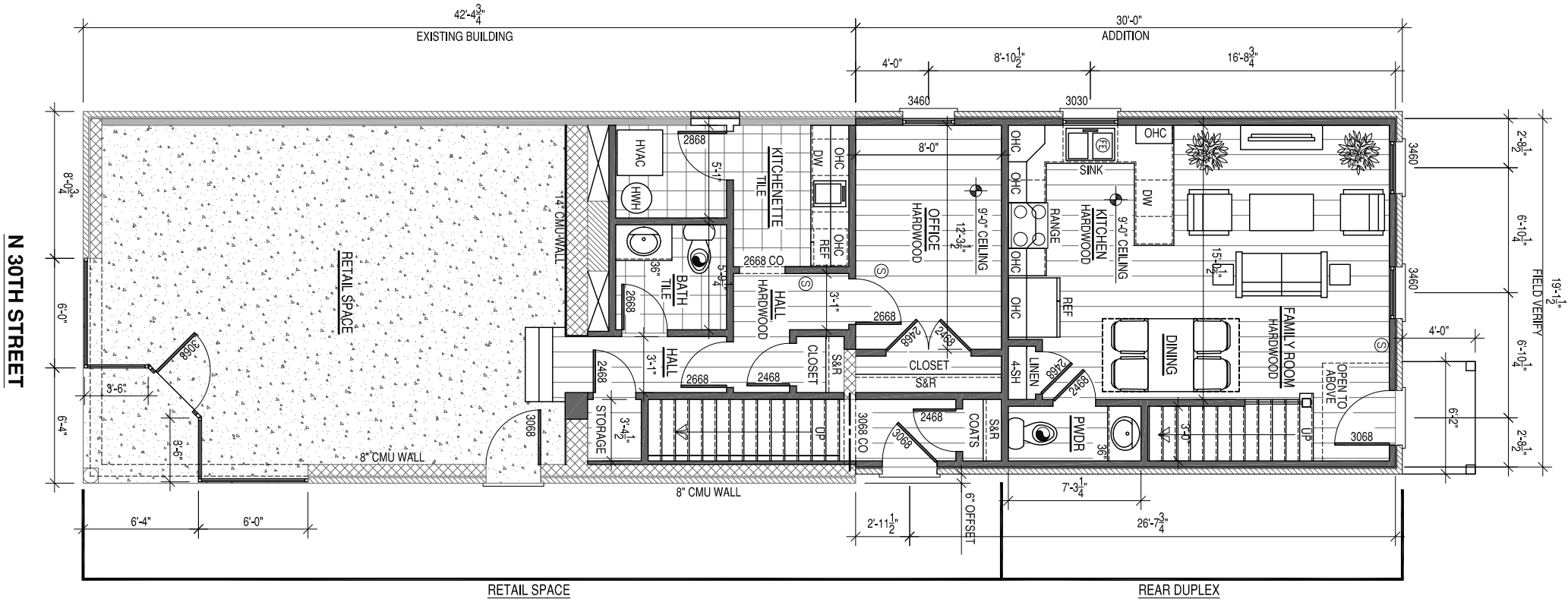
OF

PLAN NOTES

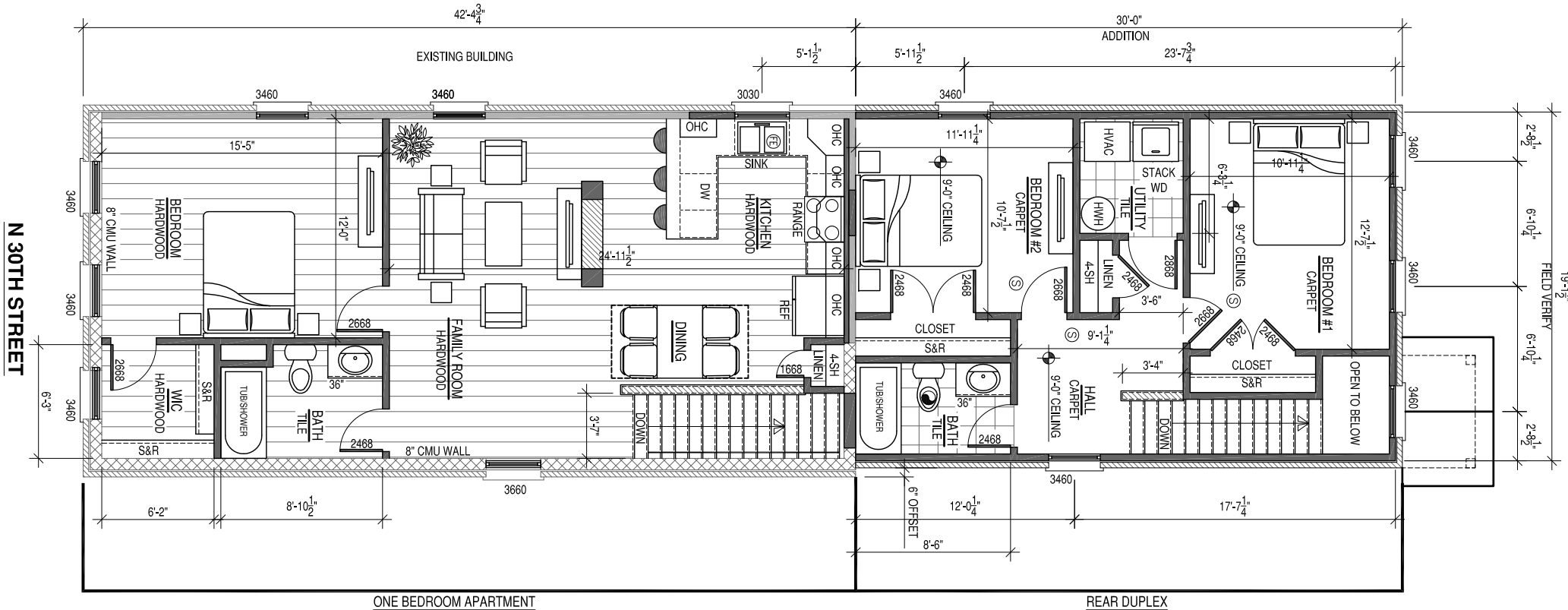
- MEASUREMENTS OBTAINED IN FIELD. CONTRACTOR TO VERIFY ALL MEASUREMENTS SHOWN AND CONTACT DESIGNER OF RECORD WITH ANY DISCREPANCIES.
- FLOOR AND ROOF FRAMING DIRECTIONS ASSUMED. CONTRACTOR TO VERIFY FRAMING DIRECTIONS DURING DEMOLITION AND NOTIFY DESIGNER OF RECORD OF ANY DISCREPANCIES.
- STRUCTURAL FRAMING (WALL, FLOOR AND ROOF FRAMING) NOT INDICATED. CONTRACTOR TO NOTIFY DESIGNER OF RECORD OF STRUCTURAL FRAMING AND ANY STRUCTURAL DAMAGE DURING DEMOLITION.

SQUARE FOOTAGE

RETAIL SPACE	=	840 SF
REAR DUPLEX	=	1050 SF
ONE BEDROOM APT.	=	800 SF
TOTAL	=	2690



PROPOSED FIRST FLOOR PLAN - RETAIL SPACE



PROPOSED SECOND FLOOR PLAN - RESIDENTIAL

FRAMING NOTES

- ALL NEW EXTERIOR WALL FRAMING TO BE SPF NO.2 2X4s AT 16" OC, TYP.
- ALL NEW NON-LOAD BEARING INTERIOR WALL FRAMING TO BE SPF NO.2 2X4s AT 24" OC, TYP.
- SECOND FLOOR FRAMING AT NEW ADDITION TO BE 16" TJI AT 19.2" CO - 230 SERIES.

PROPERTY OWNER

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1301 N 30TH STREET
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PROPOSED
ROOF PLAN

SHEET NUMBER

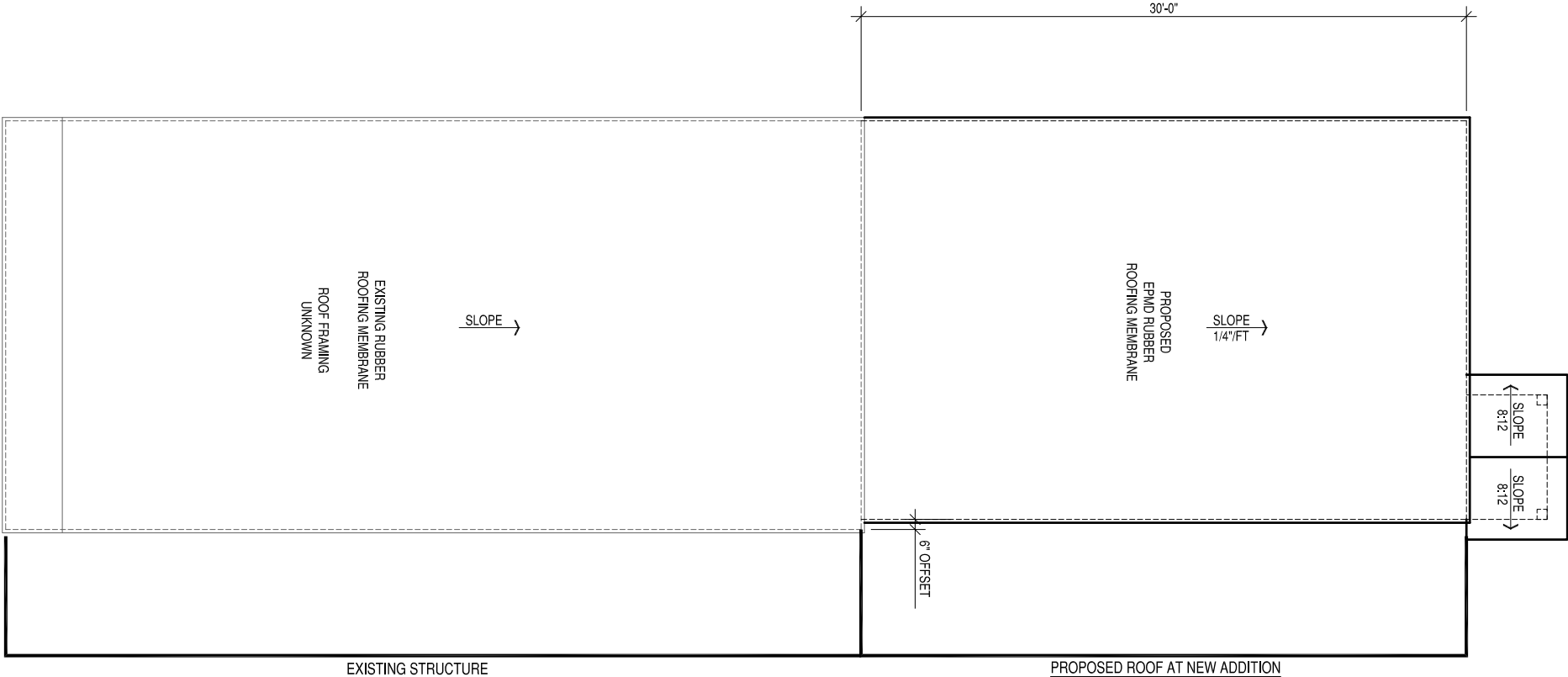
A-102

SHEET

OF

PLAN NOTES

- MEASUREMENTS OBTAINED IN FIELD. CONTRACTOR TO VERIFY ALL MEASUREMENTS SHOWN AND CONTACT DESIGNER OF RECORD WITH ANY DISCREPANCIES.
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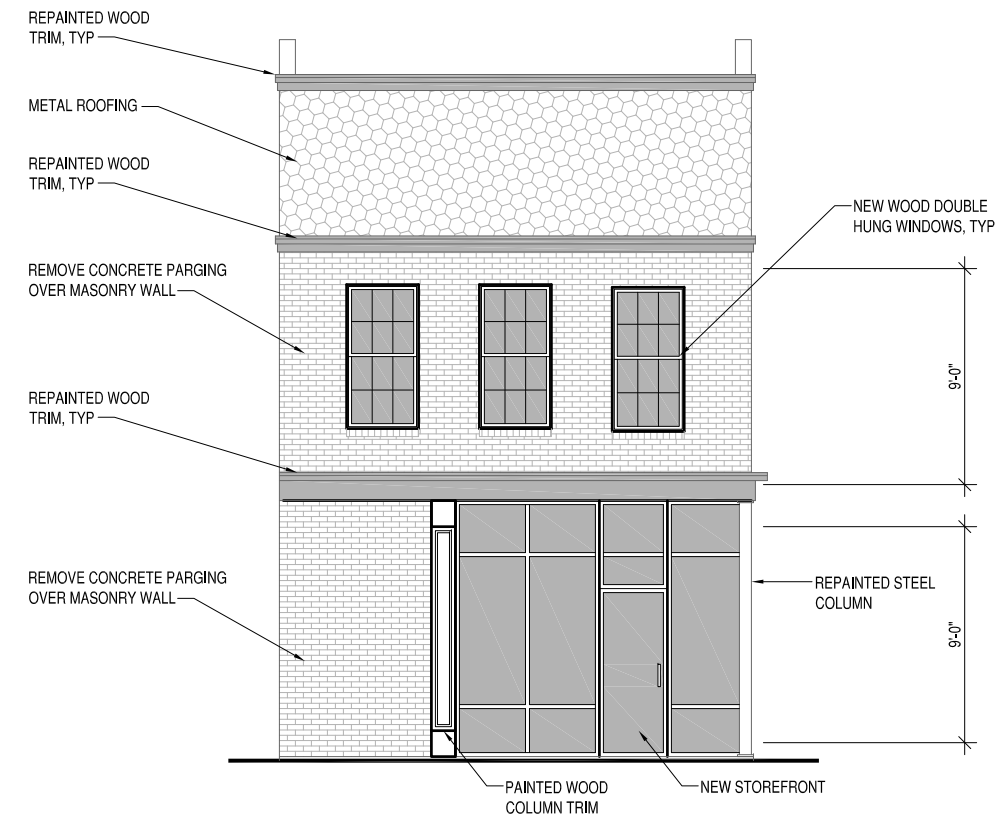
STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.
HANDRAILS & PICKETS: 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
LABEL DRYER VENT LENGTH ON DUCT
ALL DRYWALL TO BE 1/2"
FE = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
☯ = BATH FAN VENTED TO EXTERIOR CO = CARBON MONOXIDE DETECTOR SD = SMOKE DETECTOR

PROPOSED ROOF PLAN - TOTAL BUILDING

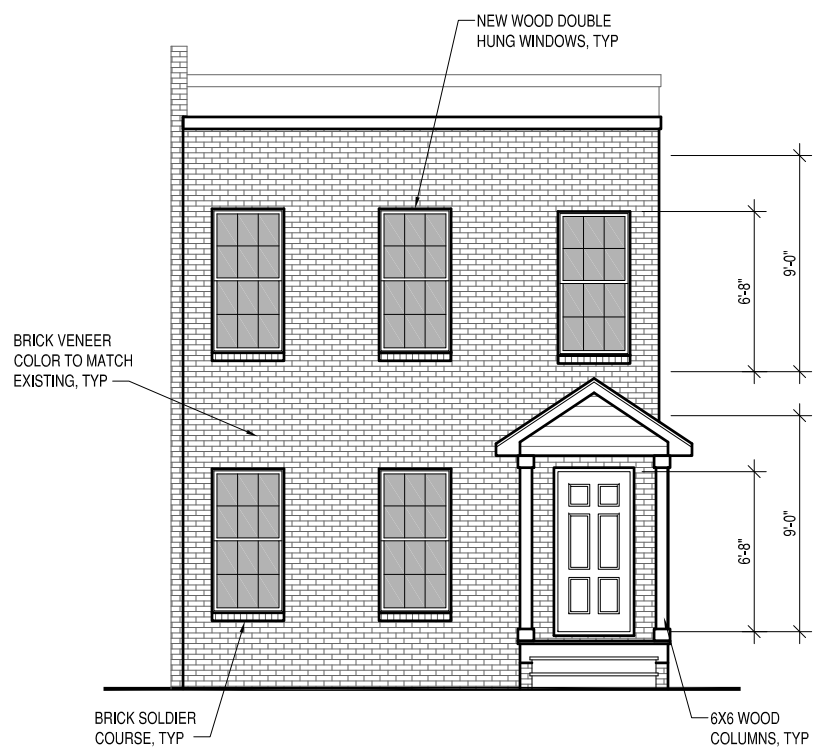
ROOF FRAMING NOTES

- ROOF FRAMING AT NEW ADDITION TO BE SLOPED PRE-ENGINEERED ROOF TRUSSES AT 24" OC.
- ROOF FRAMING AT NEW FRONT PORCH TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC.
- FRONT PORCH ROOF SUPPORT BEAMS TO BE SPF NO.2 (2) 2X10s.

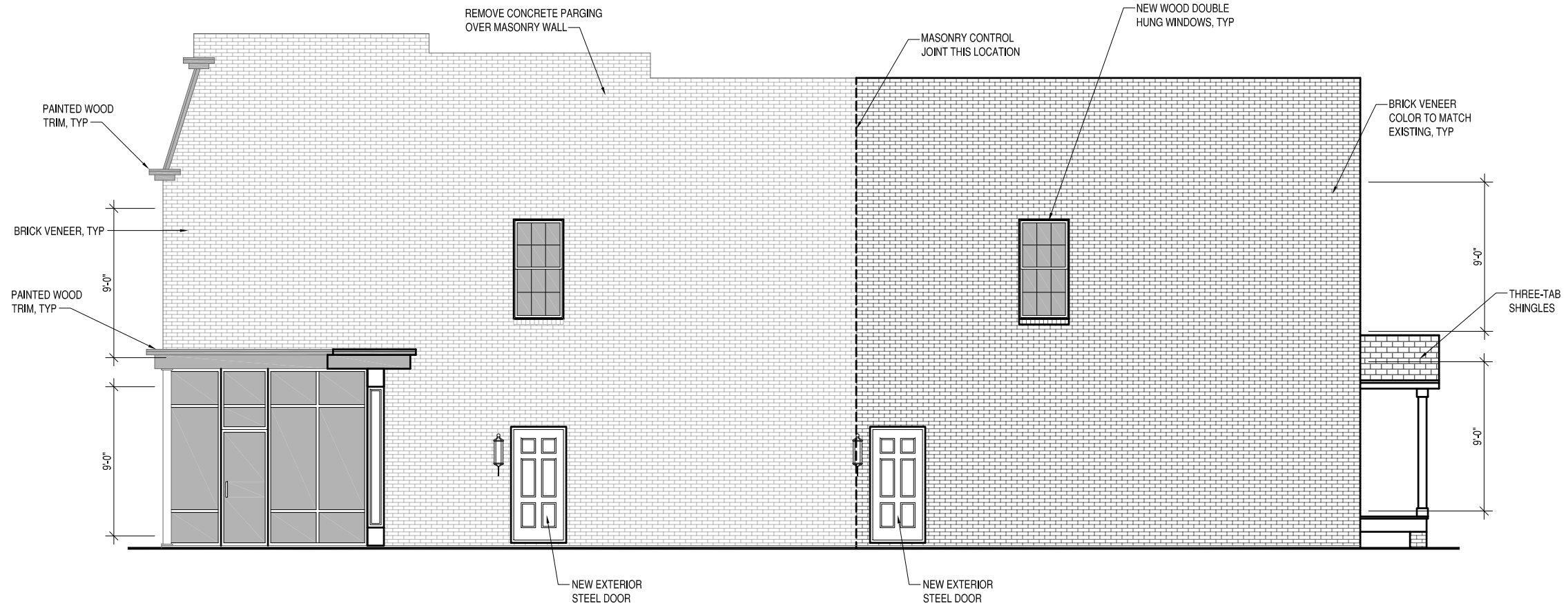
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PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED RIGHT ELEVATION

PROPERTY OWNER
CAVA CAPITAL, LLC.
5310 MARKEL RD, SUITE 104
RICHMOND, VA 23230
804-510-0333

PRIME CONSULTANT

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FAIRFAX, VA 22030
(703) 675-4592 PHONE

SEAL

PROJECT TITLE
**PROPOSED PLANS
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1301 N 30TH STREET
RICHMOND, VA 23223

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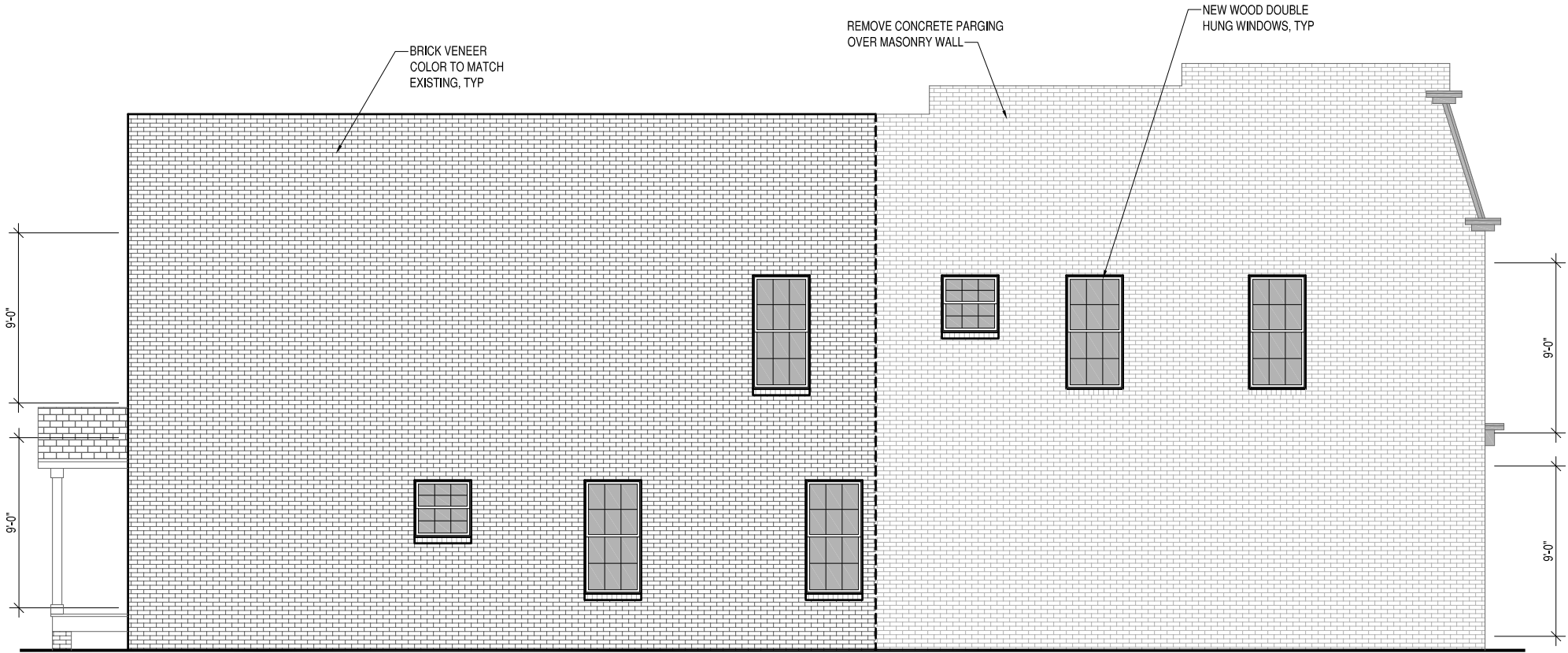
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DATE: 5-8-18

SHEET TITLE
**FRONT, REAR AND
LEFT ELEVATION**

SHEET NUMBER
A-201
SHEET OF

File Location: H:\PENN DESIGN GROUP\CAVA Capital\1301 N 30th Street\1301 N 30th Street NEW PLANS 5-8-18.dwg Last Saved: 5/10/2018 7:21:56 PM, by jpenm Plotted: Thursday, May 10, 2018 7:45:51 PM by Jesse Penn



PROPOSED LEFT ELEVATION

PROPERTY OWNER

CAVA CAPITAL, LLC.

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RICHMOND, VA 23230
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PRIME CONSULTANT



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PROJECT TITLE

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SHEET TITLE

RIGHT ELEVATION

SHEET NUMBER

A-202

SHEET

OF

