



## Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review  
Planning & Preservation Division  
900 E. Broad Street, Room 510  
Richmond, Virginia 23219  
(804) 646-6335

<http://www.richmondgov.com/CommitteeUrbanDesign>

### Application Type

☐ Addition/Alteration to Existing Structure  
☐ New Construction  
☐ Streetscape  
☐ Site Amenity

☐ Encroachment  
☐ Master Plan  
☐ Sign  
☐ Other

### Review Type

☐ Conceptual  
☐ Final

Project Name: \_\_\_\_\_

Project Address: \_\_\_\_\_

Brief Project Description (this is not a replacement for the required detailed narrative) : \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Applicant Information

(on all applications other than encroachments, a City agency representative must be the applicant)

Name: \_\_\_\_\_ Email: \_\_\_\_\_

~~City Agency:~~ \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Main Contact (if different from Applicant): \_\_\_\_\_

Company: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

### Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

### Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

### UDC Background

The UDC is a ten member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06 and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.



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### Submission Requirements

- 10 copies of the application cover sheet and all support materials (see below), unless the application is for an encroachment, in which case only 6 copies are required. Plan sheets should be 11" x 17", folded to 8 1/2" x 11". If it is not possible to scale plans to these dimensions, please provide one set of larger, scaled plans.
- An electronic copy (PDF preferred) of all application materials, which can be burned to disc, emailed, or delivered by FTP.

All applications must include the attached cover sheet and the following support materials, as applicable to the project:

#### For Conceptual Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan which shows the general location and character of plant materials and notes any existing tree to be removed.

#### For Final Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan that includes a complete plant schedule, the precise location of all plant materials, and a landscape maintenance analysis. The plant schedule must show number, size and type of each planting proposed. If existing trees are to be removed, their size, type and location must be noted on the landscape plan.
- The location of all lighting units should be noted on a site plan, including wall-mounted, site and parking lot lighting. Other site details, such as benches, trash containers and special paving materials, should also be located. Include specification sheets for each item.
- Samples of all proposed exterior building materials, including but not limited to brick, mortar, shingles, siding, glass, paint and stain colors. When an actual sample cannot be provided, a product information sheet that shows the item or a photo of an existing item may be substituted.

### Review and Processing

Once an application is received, it is reviewed by staff, who compiles a report that is sent to the UDC. A copy of the report and the meeting agenda will be sent to the applicant prior to the meeting. The applicant or a representative should be present at the UDC meeting or the application may be deferred to the next regularly scheduled meeting. It is also strongly suggested that a representative of the City Agency which will have final responsibility for the item be present at the meeting (if the applicant and the representative are not the same). Once the UDC recommends action on the application, it is automatically placed on the agenda for the next City Planning Commission (CPC) meeting. An exception to this is encroachment applications, recommendations for which are forwarded to the Department of Public Works. The applicant or a representative must be present at the CPC meeting or the application may be deferred to the next regularly scheduled meeting.

# CITY OF RICHMOND

## URBAN DESIGN COMMITTEE (UDC)

### MEETING SCHEDULE

| UDC Meetings             | UDC Submission Deadlines | Anticipated Date of Planning Commission Following the UDC Meeting |
|--------------------------|--------------------------|---|
| <b>December 7, 2017</b>  | November 9, 2017         | December 18, 2017   |
| <b>January 4, 2018</b>   | December 7, 2017**       | January 16, 2018 <sup>1</sup>                                     |
| <b>February 8, 2018</b>  | January 18, 2018         | February 20, 2018 <sup>2</sup>                                    |
| <b>March 8, 2018</b>     | February 15, 2018        | March 19, 2018  |
| <b>April 5, 2018</b>     | March 15, 2018           | April 16, 2018  |
| <b>May 10, 2018</b>      | April 19, 2018           | May 21, 2018  |
| <b>June 7, 2018</b>      | May 17, 2018             | June 18, 2018   |
| <b>July 5, 2018</b>      | June 14, 2018            | July 16, 2018   |
| <b>August 9, 2018</b>    | July 19, 2018            | August 20, 2018 <sup>3</sup>                                      |
| <b>September 6, 2018</b> | August 16, 2018          | September 17, 2018  |
| <b>October 4, 2018</b>   | September 13, 2018       | October 15, 2018  |
| <b>November 8, 2018</b>  | October 18, 2018         | November 19, 2018   |
| <b>December 6, 2018</b>  | November 15, 2018*       | December 17, 2018 <sup>4</sup>                                    |

<sup>1</sup> Monday, January 15, 2018 is a City of Richmond Holiday.

<sup>2</sup> Monday, February 19, 2018 is a City of Richmond Holiday.

<sup>3</sup> This August CPC Meeting may be canceled. If so, Planning Commission hearing would be Tuesday, September 4, 2018.

<sup>4</sup> This December CPC Meeting may be canceled. If so, Planning Commission hearing would be Monday, January 7, 2019.

\*\* Moved forward to account for Winter Holiday Schedule

The Richmond Urban Design Committee (UDC) is a ten member advisory committee created by City Council in 1968. Its purpose is to advise the City Planning Commission on the design of City projects. The UDC reviews projects for appropriateness in "location, character and extent" and for consistency with the City's Master Plan and forwards recommendations to the Planning Commission. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.

Regular meetings are scheduled for the Thursday after the first Monday of each month at 10:00 a.m. in the 5<sup>th</sup> floor conference room of City Hall. Special meetings are scheduled as needed.

**For additional information, please contact the Planning and Preservation Division staff at (804) 646-3741 or [joshua.son@richmondgov.com](mailto:joshua.son@richmondgov.com).**

# THE SAUER CENTER

## BROAD STREET STREETSCAPE NARRATIVE

August 16, 2018

### PROJECT PURPOSE

With redevelopment of the 20-acre portion of The Sauer Center site, located on the north side of the 2000 block of West Broad Street between North Meadow Street and Allison Street, the sidewalk north of West Broad Street needed repair and a new functional design to encourage pedestrian activity and upgrade the streetscape appeal related to our development. With most street trees currently missing, portions of the sidewalk in poor condition, street light poles being shifted as required by the City, pedestrian lighting levels below desirable levels, the existing curb almost flush with the asphalt driving lanes (being raised as required by the City), redesign of the streetscape was critical to reflect the first-class development intentions of The Sauer Center. The streetscape design will be the front door to The Sauer Center, creating the first visual impression of this special development. This development will also draw new pedestrian activity and for those reasons the design makes extensive use of quality materials such as brick to this section of the City, granite tree well curbing, new site furniture and new pedestrian lighting. Sustainable items incorporated into the streetscape design include larger than usual 6'x18' tree wells, electric car charging stations and solar panels (extensively used on roof tops and carports within The Sauer Center site outside of the right of way). The large tree wells are designed to provide more space for tree root development, hence providing for longer longevity of the street trees. Natural gray scored concrete has been incorporated to create visual interest in the walkways. Brick pavers have been used to create a 'site furnishings' zone along the curb for tree wells, benches, trash receptacles, bike racks, and more. Brick pavers have also been used at special entrances in front of the Putney building (formerly Department of Taxation), and the Whole Foods Broad Street entrance and outdoor dining area (under roof). The pavers incorporate patterns that help define the site furnishings zone, walking zone, potential outdoor dining zone, and call attention to the special building entrances. LED In-ground up-lights are being used to light the building facades starting with The CF Sauer Company headquarter building and working west to the end of the development at the Putney building. The intent is to accentuate the development at night much in the same fashion as the buildings have been lit up on Main Street in the Fan district between Morris and Harvie Streets by the developer in the last part of the 20<sup>th</sup> century.

### PROJECT BACKGROUND

The total Sauer Center development is comprised of approximately 40 acres of land north of Broad Street assembled over many years with 20 acres on each side of Hermitage Road. This application concerns the Broad Street streetscape connected to the 20 acres west of Hermitage Road. Sauer Properties, the real estate arm of The CF Sauer Company whose existing



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headquarters renovation is part of the project, is currently redeveloping the 20 acres west of Hermitage Road. The site has several historic buildings to be renovated and adapted to new office and retail uses, while the existing headquarters (in operation for over 100 years) will remain an office, warehouse, and manufacturing facility. A future high-rise apartment building with structured parking is proposed behind the Putney Building in a future phase of development. The site was designated a historic district with the intent of rehabilitating the historic buildings back to their original architectural character. Along West Broad Street, the site is comprised of several buildings, starting at the western end with the historic Putney Building, Lee's Famous Recipe Chicken (also getting a complete re-design upgrade), the new Whole Foods (which incorporates the historic Kaufmann building into its design), the historic Shepherd's Ice Cream Building, The CF Sauer warehouse, and finally the CF Sauer Headquarters Building. Previously renovated in 2005 is the historic Atlantic Motors Building on the east side of Meadow/Hermitage Road which won the national Palladio award for its sensitive rehabilitation. The remaining 20 acres of land on the east side of Hermitage Road has future potential opportunities for new construction along Hermitage Road and West Leigh Street. The old Sears building on West Broad Street and its former automotive building (to the rear) was purchased by the CF Sauer Company in 1978 when Sears closed its doors and has been adapted into a manufacturing facility by The CF Sauer Company. It will continue to be used as a manufacturing facility.

## SURROUNDING AREA CONTEXT

The surrounding area of The Sauer Center includes the Department of Motor Vehicles (DMV) as a next-door neighbor to its western border. DMV has a suburban building design style with siting on the land not conducive to typical urban development. The land further west has only a few historically significant buildings fronting on West Broad Street including the Virginia Science Museum, which is also set back from the right of way line, and the old William Byrd Hotel, adapted to senior living apartments. The other buildings are scattered between many parking lots. To the immediate south of West Broad Street and The Sauer Center there are several historically significant buildings set forward to the right of way line with some missing buildings that now have small parking lots in their place. Many of the buildings have no parking on site, although the Book Bindery, now an office use, has its own parking garage that is set against the Broad Street right of way line. There are a variety of commercial uses such as restaurants, office, car rental, hair salon, and convenience grocery store. A significant number of vacant buildings also comprises the mix. To the south of the commercial strip along West Broad Street lies the Fan District full of residential single-family row type town houses and apartments. Allison Street and North Meadow Street are two streets providing pedestrian access directly to the West Broad Street sidewalk fronting and providing access to The Sauer Center. The Sauer Center is situated on an unusually long city block of approximately 1,570 linear feet of which The Sauer Center comprises two thirds of the block with over 1,000 linear feet giving The Sauer Center a dominant presence on Broad Street. A typical City block is only about 500-600 linear feet by comparison. The Sauer Center and the immediate historic district neighbors constitute a bit of an historic



island within this part of Broad Street. For that reason, the use of brick pavers on the sidewalk is appropriate and in keeping with buildings built in the late 19<sup>th</sup> century and early 20<sup>th</sup> century throughout Richmond. This new development and sidewalk are expected to be a major 'seed' to encouraging new growth and renovations in this part of West Broad Street.

## PROJECT BUDGET

The costs for implementing the new sidewalk design are based on actual bid pricing as listed below.

|                              |               |
|------------------------------|---------------|
| In-Ground Up-Lights          | \$ 45,000     |
| Irrigation                   | 25,000        |
| Concrete/Curb & Gutter       | 210,000       |
| Hardscapes                   | 175,000       |
| Site Amenities/Furnishings   | 41,000        |
| <u>Landscaping/Plantings</u> | <u>20,000</u> |
| Total                        | \$ 516,000    |

## FUNDING SOURCES

Usually funding for City streetscape projects in the right of way come from the City of Richmond except in this situation. The CF Sauer Company has a long history, commitment, and civic minded philosophy to this location and City of Richmond. Because they would like it to be a special location, they are extensively using brick to set off and elevate their development, and become a major destination point in the City. For that reason, they are taking on the burden of paying for all costs involved in remaking and maintaining the sidewalk within the Broad Street right of way for approximately 1,000 linear feet. While in the early design phase, Sauer Properties was instructed by the Planning Department to use the Children's Hospital next to City Hall as a guide to the streetscape design. Even though the City may not be using brick on the rest of the Broad Street streetscape, the vertical elements of the streetscape and the scored concrete will still be in keeping with the Broad Street streetscape design currently being developed by City consultants.

## DESCRIPTION OF CONSTRUCTION PROGRAM

The intent is to build the entire sidewalk to completion this year from the Putney building to the corner of North Meadow/Hermitage Road. The sidewalk work has been started, but work on the aesthetic items will not begin until after approval by the UDC.

## ESTIMATED CONSTRUCTION START DATE



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Anyone driving down Broad Street can see the new construction taking place with Whole Foods under roof. The general contractor, LF Jennings, thought they had the proper work in right of way permits and has demolished the existing sidewalk not realizing they needed the Urban Design Committee approval first. For that reason and as instructed by Mark Olinger, they will not be proceeding with any aesthetic improvements, but only work on unseen underground utilities and the such. There have been numerous unforeseen delays with permit acquisitions, and deadlines missed, that it is imperative construction be allowed to continue as soon as possible in order to meet the Whole Foods deadlines and not jeopardize the development agreement between them and Sauer Properties. Upon UDC and DPR approval, the contractor intends to charge forward with construction.

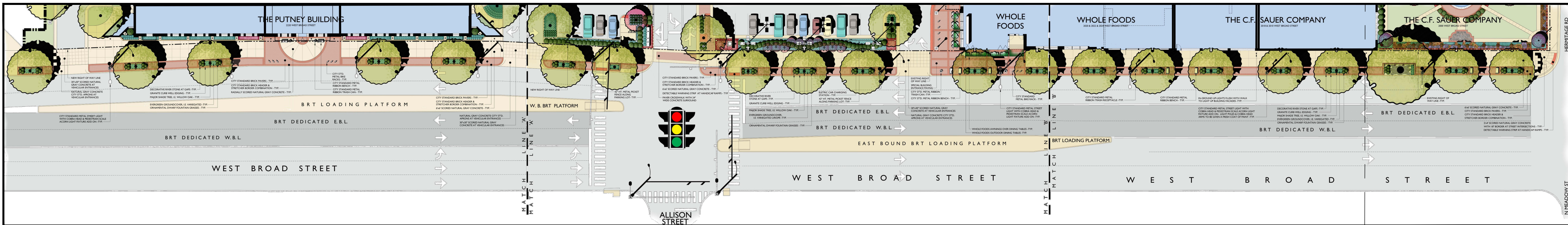


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Proposed Streetscape Plans for:  
**WEST BROAD STREET, RICHMOND, VIRGINIA**

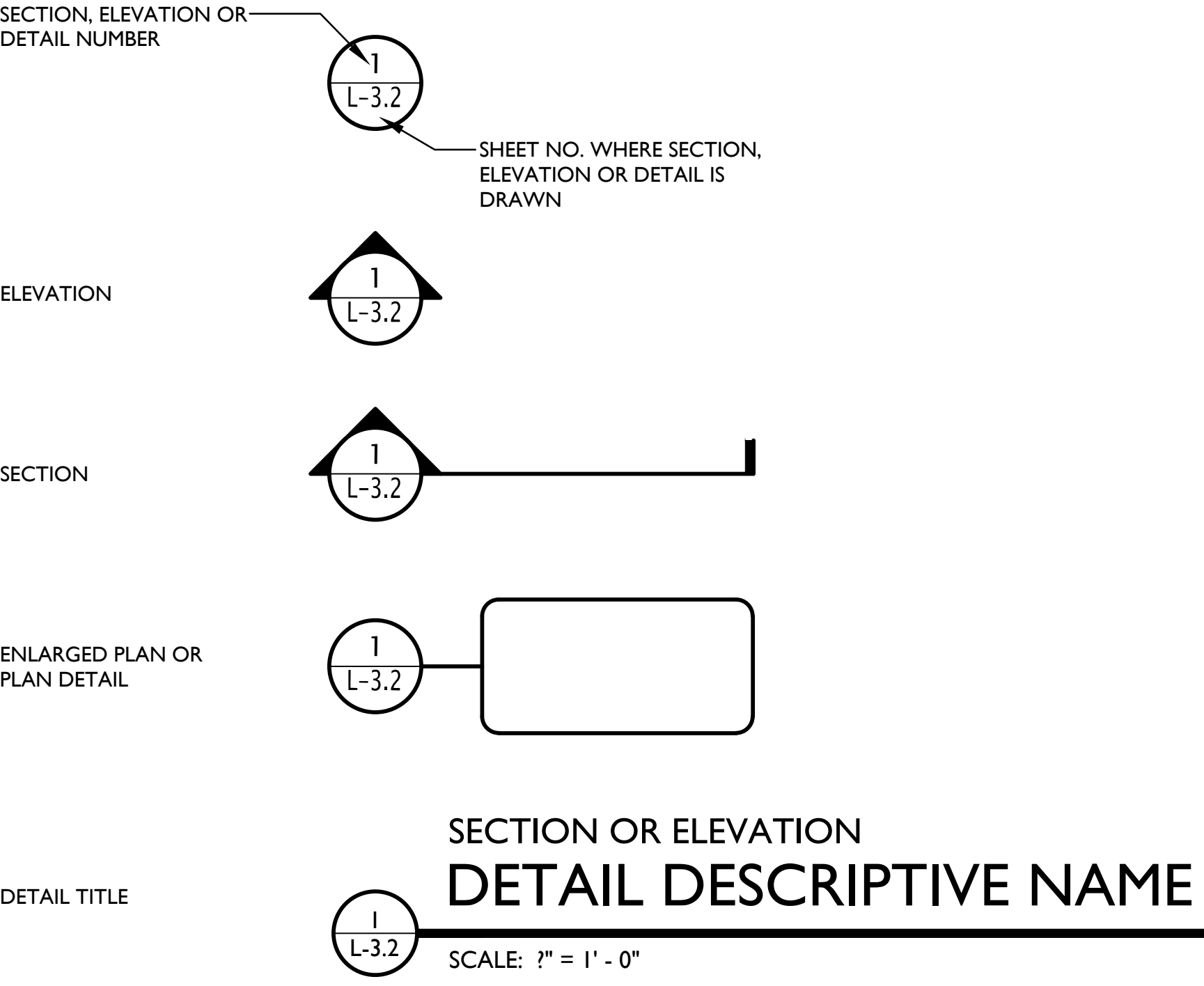
2000-2220 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA



Abbreviations:

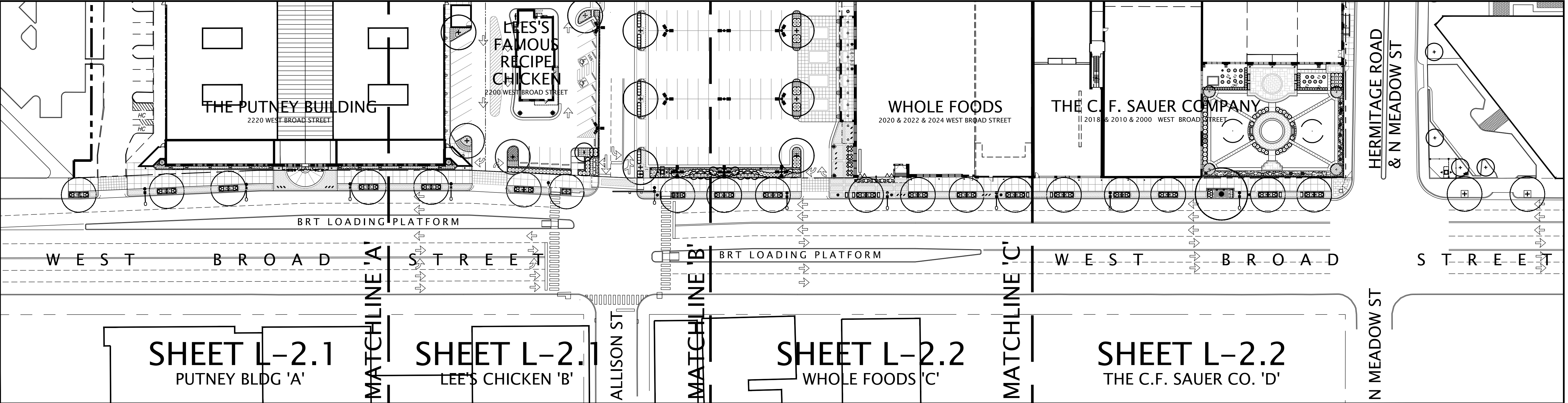
|          |                         |        |                    |          |                               |
|----------|-------------------------|--------|--------------------|----------|-------------------------------|
| ABV.     | ABOVE                   | EXP.   | EXPANSION          | P.O.B.   | POINT OF BEGINNING            |
| ALUM.    | ALUMINUM                | E.J.   | EXPANSION JOINT    | PTD      | PAINTED                       |
| APPROX.  | APPROXIMATE             | FT     | FEET OR FOOT       | PWD      | PLYWOOD                       |
| ASPH.    | ASPHALT                 | FF     | FINISH FLOOR       | PVC      | POLYVINYL CHLORIDE            |
| BD.      | BOARD                   | FIN    | FINISH (ED)        | PSF      | POUNDS PER SQUARE FOOT        |
| BEL      | BELOW                   | FTG    | FOOTING            | PSI      | POUNDS PER SQUARE INCH        |
| BITUM.   | BITUMINOUS              | F.O.C. | FACE OF CURB       | P.I.P.C. | POURED IN PLACE CONCRETE      |
| BLDG.    | BUILDING                | GA     | GAUGE              | P.C.C.   | PRECAST CONCRETE              |
| B.O.C.   | BACK OF CURB            | GALV.  | GALVANIZED         | PT       | PRESSURE TREATED              |
| BRK.     | BRICK                   | GC     | GENERAL CONTRACTOR | PVMT.    | PAVEMENT                      |
| BS       | BOTTOM OF STEP          | HT     | HEIGHT             | RAD      | RADIUS                        |
| B/T      | BETWEEN                 | HP     | HIGH POINT         | REF      | REFERENCE                     |
| BW       | BOTTOM OF WALL          | HORIZ  | HORIZONTAL         | REF.     | REFERENCE                     |
| C.B.     | CATCH BASIN             | HB     | HOSE BIB           | REINF.   | REINFORCED (ED) (ING)         |
| C.E.J.   | CAULKED EXPANSION JOINT | INCL.  | INCLUDE (D) (ING)  | RND.     | ROUND                         |
| CF       | CUBIC FEET              | I.D.   | INSIDE DIAMETER    | SCH.     | SCHEDULE                      |
| C.I.P.C. | CAST IN PLACE CONCRETE  | INV    | INVERT             | SECT.    | SECTION                       |
| C.I.     | CAST IRON               | JT     | JOINT              | SIM      | SIMILAR                       |
| CO       | CLEAN OUT               | LF     | LINEAR FOOT        | SD       | STORM DRAIN                   |
| COL.     | COLUMN                  | LP     | LOW POINT          | S        | SOUTH                         |
| CONTR.   | CONTRACTOR              | MH     | MANHOLE            | SFCMU    | SPLIT FACE CONC. MASONRY UNIT |
| C.J.     | CONTROL JOINT           | MFR.   | MANUFACTURE (R)    | SPEC.    | SPECIFICATION (S)             |
| CLR.     | CLEAR                   | MAS    | MASONRY            | SQ.      | SQUARE                        |
| CONC.    | CONCRETE                | MTL    | METAL              | S.S.     | STAINLESS STEEL               |
| CMU      | CONC. MASONRY UNIT      | MAX    | MAXIMUM            | STD.     | STANDARD                      |
| CONSTR.  | CONSTRUCTION            | MED    | MEDIUM             | ST       | STEEL                         |
| CONT.    | CONTINUOUS              | MTL    | METAL              | THK      | THICK                         |
| CTR.     | CENTER                  | MIN    | MINIMUM            | T&G      | TONGUE AND GROOVE             |
| CY       | CUBIC YARD              | MISC   | MISCELLANEOUS      | TC       | TOP OF CURB                   |
| DET      | DETAIL                  | NO     | NUMBER             | TS       | TOP OF STEP                   |
| DIA      | DIAMETER                | NOM    | NOMINAL            | T.O.W.   | TOP OF WALL                   |
| DIM      | DIMENSION               | N      | NORTH              | TYP.     | TYPICAL                       |
| DWG      | DRAWING                 | N.I.C. | NOT IN CONTRACT    | U.O.N.   | UNLESS OTHERWISE NOTED        |
| EA.      | EACH                    | N.T.S. | NOT TO SCALE       | V.I.F.   | VERIFY IN FIELD               |
| EDGE     | EDGE OF PAVEMENT        | O.C.   | ON CENTER          | VERT.    | VERTICAL                      |
| ELEC     | ELECTRICAL              | O.D.   | OUTSIDE DIAMETER   | W        | WITH                          |
| EL       | ELEVATION               | OA     | OVERALL            | W/O      | WITHOUT                       |
| EQ.      | EQUAL                   | OPP    | OPPOSITE           | WD.      | WOOD                          |
| EX       | EXISTING                |        |                    | WWF      | WELDED WIRE FABRIC            |

Symbol Legend:

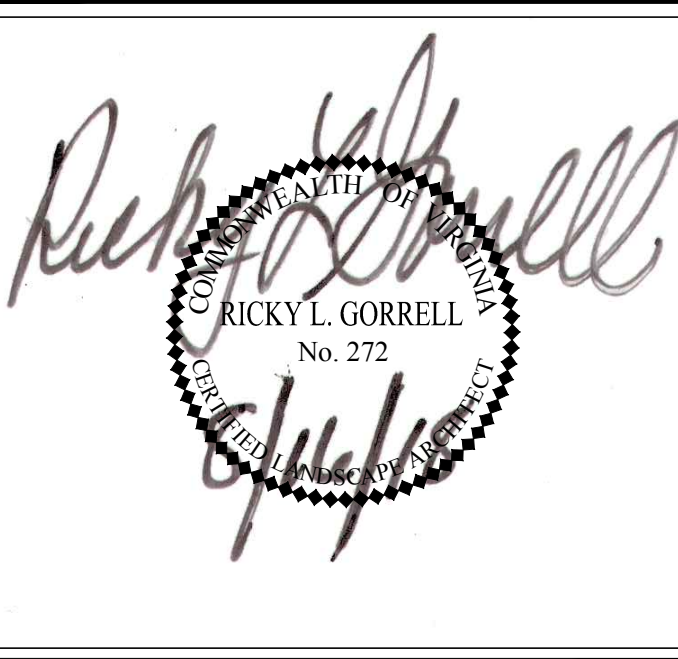
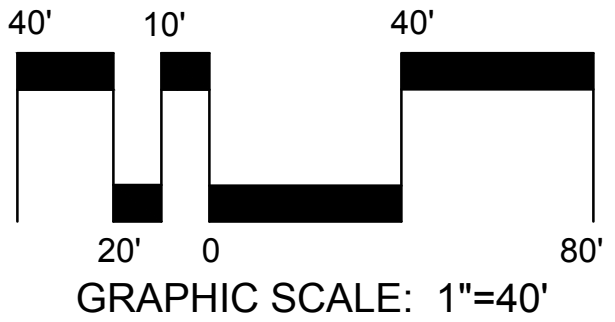
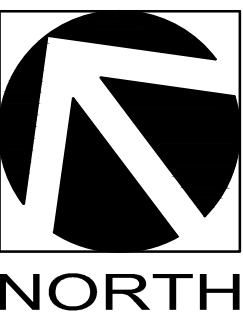


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PLAN VIEW  
**THE SAUER CENTER OVERALL STREETScape KEY PLAN**  
2000-2200 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA · SCALE: 1"=40'



**THE  
SAUER CENTER**  
\*\*\*\*

**West Broad Street  
Streetscape**  
2220-2014 West Broad Street  
Richmond, Virginia

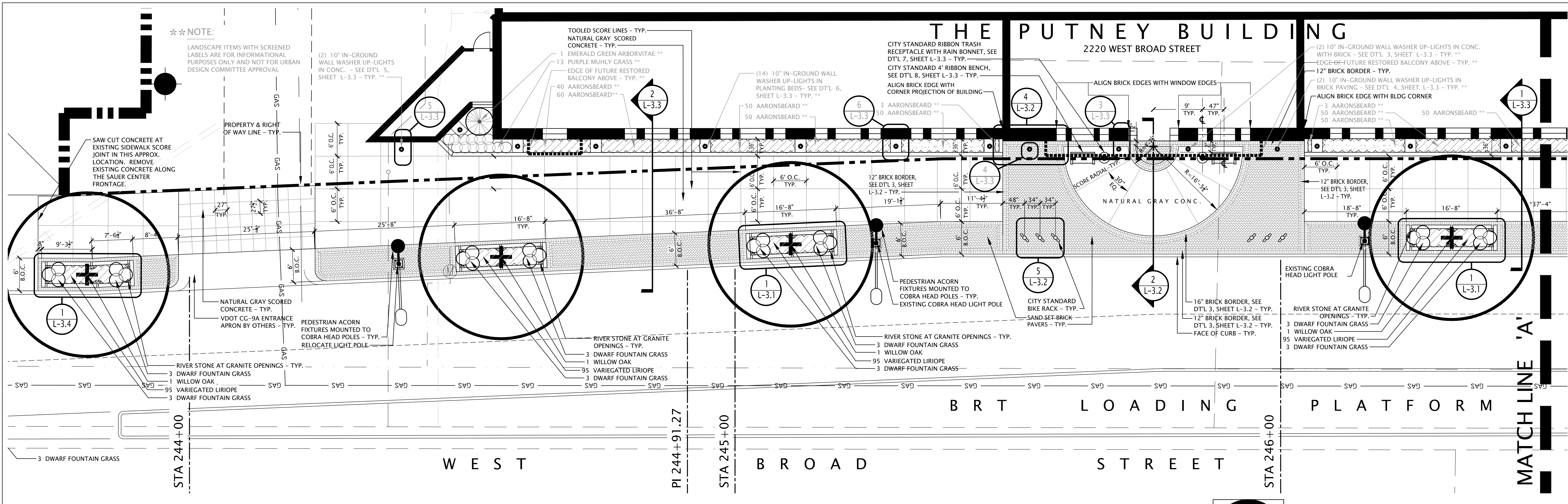
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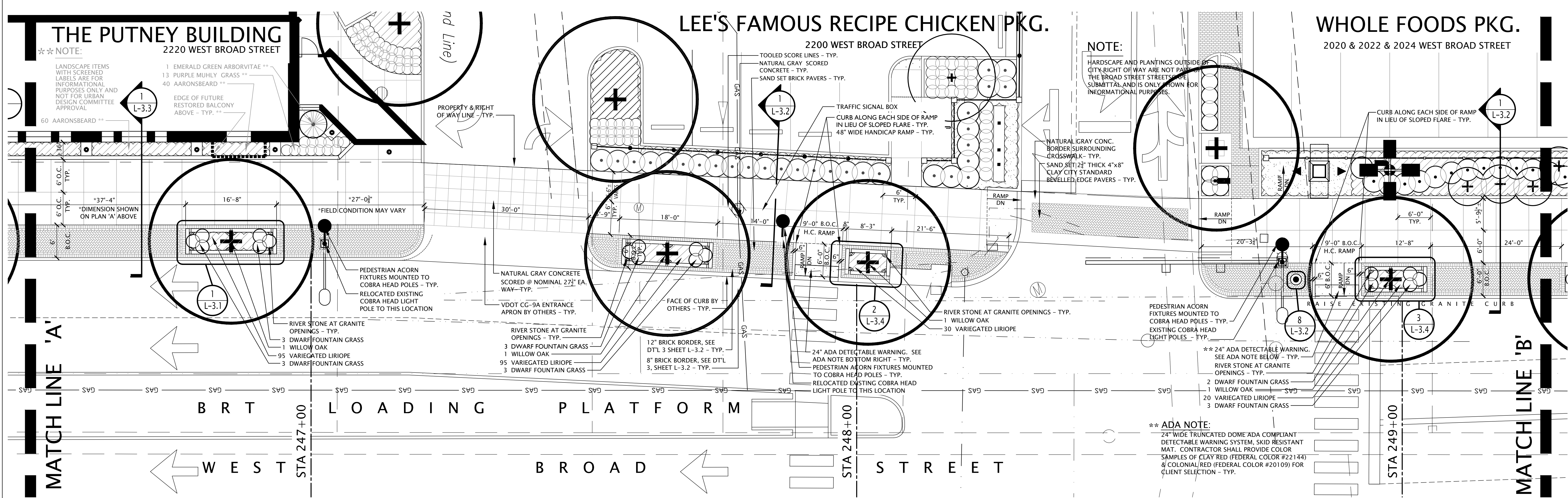
**OVERALL  
SHEET  
KEY  
PLAN**

|                 |            |
|-----------------|------------|
| Designed By:    | RLG        |
| Drawn By:       | RLG        |
| Checked By:     | RLG        |
| Date:           | 08.16.2018 |
| Project Number: | M15026     |
| Sheet Number    |            |





PLAN VIEW  
**THE PUTNEY BUILDING** · streetscape plan  
2220 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA



PLAN VIEW  
**LEE'S FAMOUS RECIPE CHICKEN** · streetscape plan  
2200 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA

*Rich L. Gorrell*  
RICKY L. GORRELL  
No. 272

THE  
SAUER CENTER  
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West Broad Street  
Streetscape  
2220-2014 West Broad Street  
Richmond, Virginia

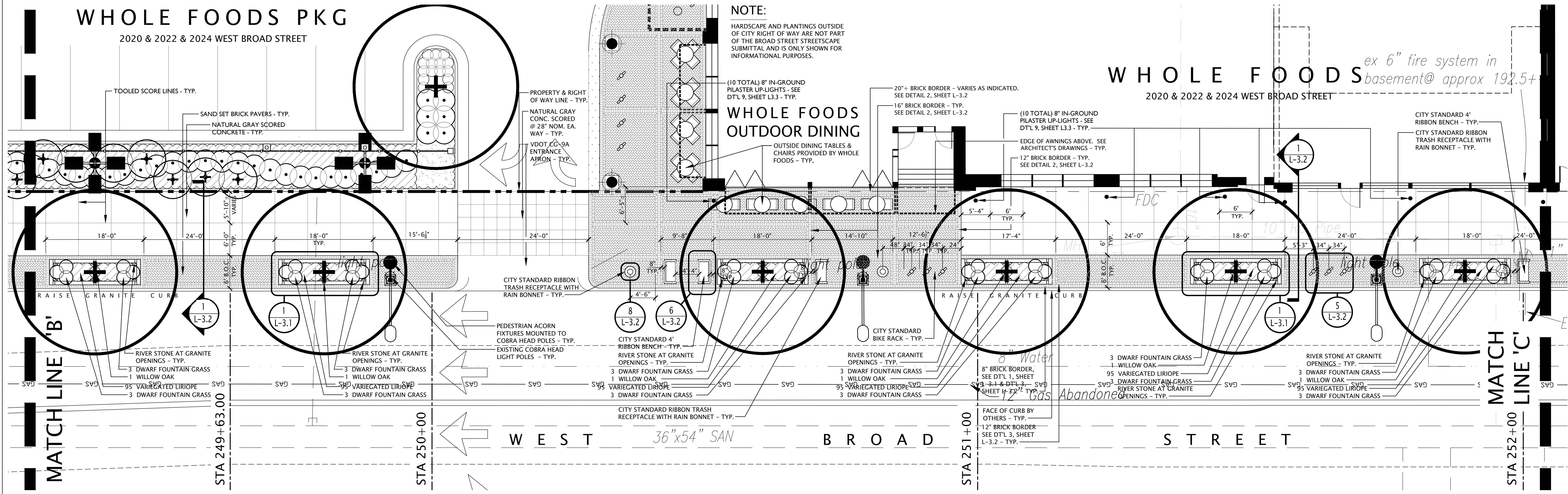
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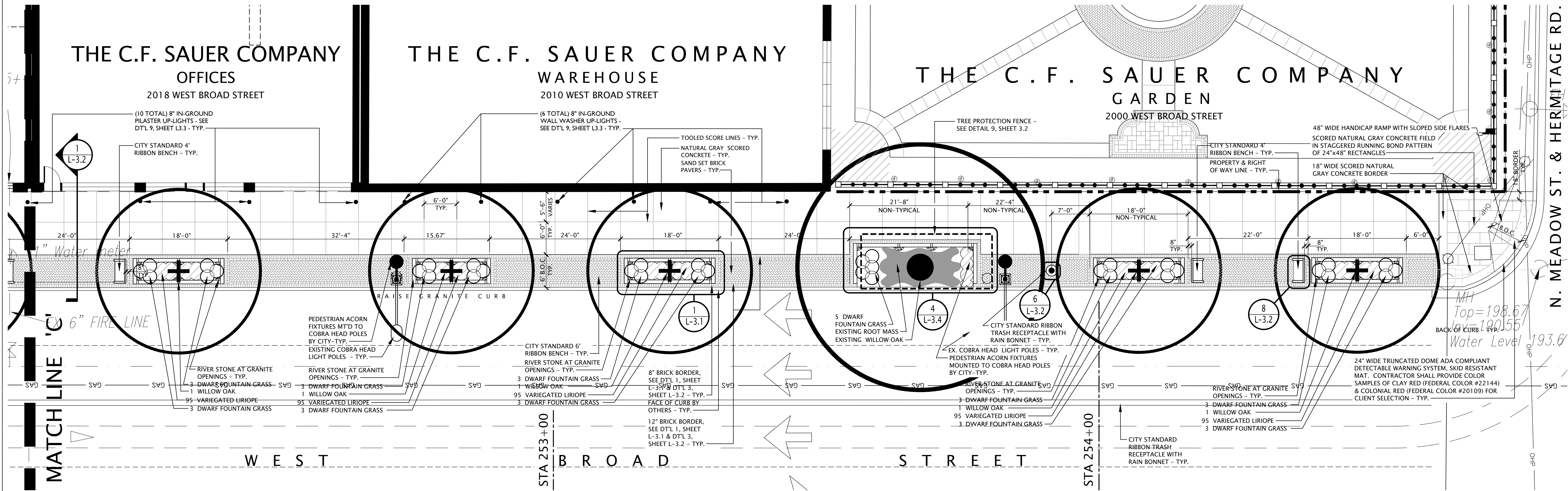
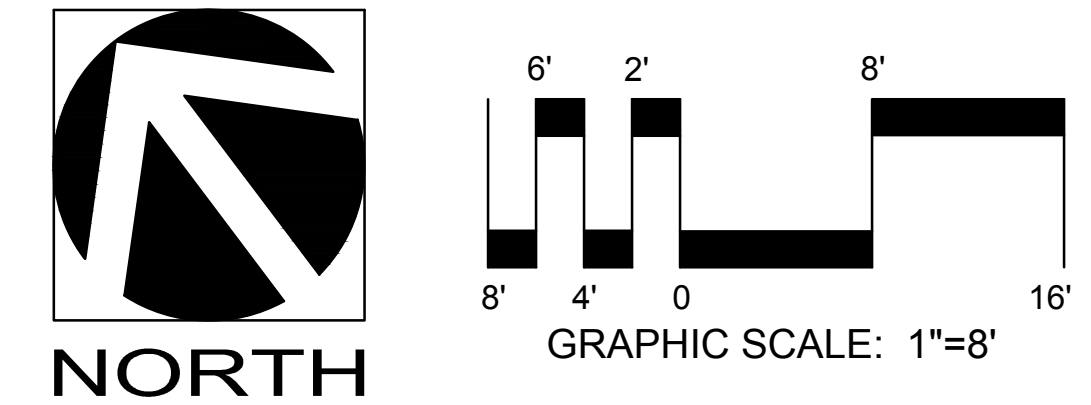
**HARDSCAPE  
&  
PLANTING  
PLAN**  
The Putney Bldg  
Lee's Chicken

|                 |            |
|-----------------|------------|
| Designed By:    | RLG        |
| Drawn By:       | RLG        |
| Checked By:     | RLG        |
| Date:           | 08.16.2018 |
| Project Number: | M15026     |
| Sheet Number    |            |

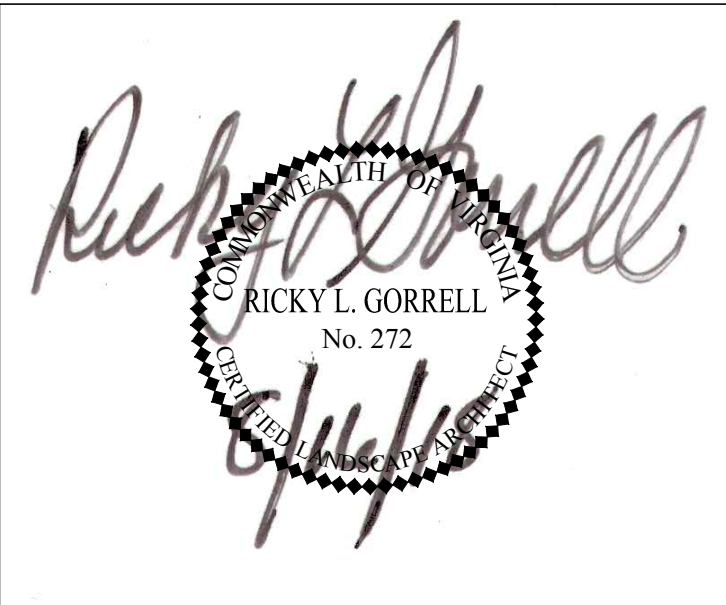
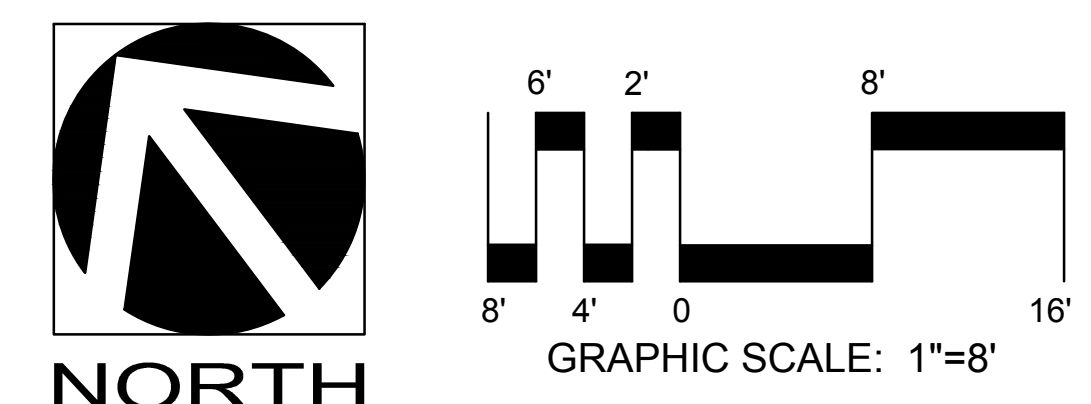




PLAN VIEW  
**WHOLE FOODS GROCERY** · streetscape plan  
2020 & 2022 & 2024 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA



PLAN VIEW  
**THE C.F. SAUER COMPANY** · streetscape plan  
2018 & 2010 & 2000 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA



THE  
SAUER CENTER  
\*\*\*\*  
West Broad Street  
Streetscape  
2220-2014 West Broad Street  
Richmond, Virginia

REVISIONS:

| No. | Description | Date |
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HARDSCAPE  
&  
PLANTING  
PLAN  
Whole Foods  
The C.F. Sauer Co.

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| Designed By:    | RLG        |
| Drawn By:       | RLG        |
| Checked By:     | RLG        |
| Date:           | 08.16.2018 |
| Project Number: | M15026     |
| Sheet Number    |            |



IRRIGATION NOTES & LEGEND

HEADS

- ◆ - TORO SERIES 570Z-12HP - 12" HIGH POP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES 12' SERIES (MAXIMUM 13' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ - TORO SERIES 570Z-12HP - 12" HIGH POP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES 15' SERIES (MAXIMUM 16' RADIUS) PRECISION SPRAY NOZZLE.
- - TORO SERIES 570Z-12HP - 12" HIGH POP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES 10' SERIES (MAXIMUM 11' RADIUS) PRECISION SPRAY NOZZLE.
- - TORO SERIES 570Z-12HP - 12" HIGH POP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES 8' SERIES (MAXIMUM 9' RADIUS) PRECISION SPRAY NOZZLE.
- ⚡ - TORO SERIES 570Z-12HP HIGH POP UP SPRINKLER WITH 12" POP UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES SPECIAL PATTERN (4'X 15' RECTANGULAR END MOUNT STRIP) PRECISION SPRAY NOZZLE.
- ⚡ - TORO SERIES 570Z-12HP HIGH POP UP SPRINKLER WITH 12" POP UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES SPECIAL PATTERN (4'X 30' RECTANGULAR SIDE MOUNT STRIP) PRECISION SPRAY NOZZLE.
- ⚡ - TORO SERIES 570Z-12HP HIGH POP UP SPRINKLER WITH 12" POP UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES FLOOD BUBBLER (FBSOPC).
- ⚡ - TORO SERIES 570Z-6P POP UP - 6" POP UP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES SPECIAL PATTERN (4'X 30' RECTANGULAR SIDE MOUNT STRIP) PRECISION SPRAY NOZZLE.
- ⚡ - TORO SERIES 570Z-6P POP UP - 6" POP UP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES SPECIAL PATTERN (4'X 15' RECTANGULAR END MOUNT STRIP) PRECISION SPRAY NOZZLE.
- - TORO SERIES 570Z-6P POP UP SPRINKLER WITH 6" POP-UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES 12' SERIES (MAXIMUM 9' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ - TORO SERIES 570Z-6P POP UP SPRINKLER WITH 6" POP-UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES 12' SERIES (MAXIMUM 13' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ - TORO SERIES 570Z-6P POP UP SPRINKLER WITH 6" POP-UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES 15' SERIES (MAXIMUM 16' RADIUS) PRECISION SPRAY NOZZLE.
- △ - RAINBIRD ROOT WATERING SYSTEM W/ CHECK VALVE, .25 GPM (RWS-M-B-C-1401)

PIPE

- - - - - DENOTES ROUTE OF PR 200 PVC LATERAL PIPING.
- LATERAL PIPE SIZING SCHEDULE
  - ZERO TO FIFTEEN GPM ACCUMULATED FLOW USE 1" PR 200 PVC PIPE
  - GREATER THAN FIFTEEN UP TO THIRTY-FIVE GPM USE 1.5" PR 200 PVC PIPE
- - - - - DENOTES ROUTE OF 1.5" PR 200 MAIN LINE PIPING.

VALVES

- ⊕ - LOCATION OF ELECTRIC, 24 V.A.C. REMOTE CONTROL VALVE WITH FLOW CONTROL FEATURE, TORO TPV.
- ⊕ - LOCATION OF LINE SIZED ISOLATION VALVE.

CONTROLLERS

- LOCATION OF THE IRRIGATION CONTROLLERS. THE CONTROLLERS SHALL BE TORO CUSTOM COMMAND SERIES SOLID STATE UNITS WHICH SHALL BE OF THE WALL MOUNT STYLE. THE CONTROLLERS SHALL BE AS LISTED:
  - A. CC-M36
  - B. CC-M12
  - C. CC-M12
  - D. CC-M12
- THE CONTROLLERS SHALL BE MOUNTED IN THE APPROXIMATE LOCATIONS SHOWN ON THE PLAN.
- ALL ELECTRICAL CONNECTIONS AND INSTALLATIONS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. ALL 120 VAC WIRING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE ELECTRICAL CODE REQUIREMENTS.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING A 120 VAC POWER CIRCUIT AT THE CONTROLLER LOCATION. THE POWER SOURCE SHALL BE CAPABLE OF SUPPORTING A 10 AMPERE LOAD AT 120 VAC.

SENSORS

- Ⓜ - DENOTES THE LOCATION OF WIRELESS RAIN SENSOR.

BACKFLOW PREVENTION

- Ⓜ - DENOTES THE LOCATION OF REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY WHICH SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. THE BFP FOR SYSTEM "A" SHALL BE 1" IN SIZE. THE BFP FOR SYSTEMS "B,C,& D" SHALL BE 3/4" IN SIZE.

WATER SUPPLY

- Ⓜ - DENOTES THE LOCATION OF THE PROPOSED IRRIGATION METER. THE METER SHALL BE THE OWNER'S RESPONSIBILITY. THE METER FOR SYSTEM "A" SHALL BE 1" IN SIZE. THE METERS FOR ALL OTHER SYSTEMS SHALL BE 5/8" IN SIZE.

- IRRIGATION SYSTEM "A" SHALL BE CAPABLE OF DELIVERING 30 GPM AT 70 PSI MAXIMUM WITH ONE STATION OPERATING WITH 40 PSI AT THE BASE OF THE HEAD FOR OPTIMUM PERFORMANCE OF THE IRRIGATION SYSTEM AS DESIGNED AND SPECIFIED.
- ALL OTHER IRRIGATION SYSTEMS SHALL BE CAPABLE OF DELIVERING 15 GPM AT 70 PSI MAXIMUM WITH ONE STATION OPERATING WITH 40 PSI AT THE BASE OF THE HEAD FOR OPTIMUM PERFORMANCE OF THE IRRIGATION SYSTEM AS DESIGNED AND SPECIFIED.

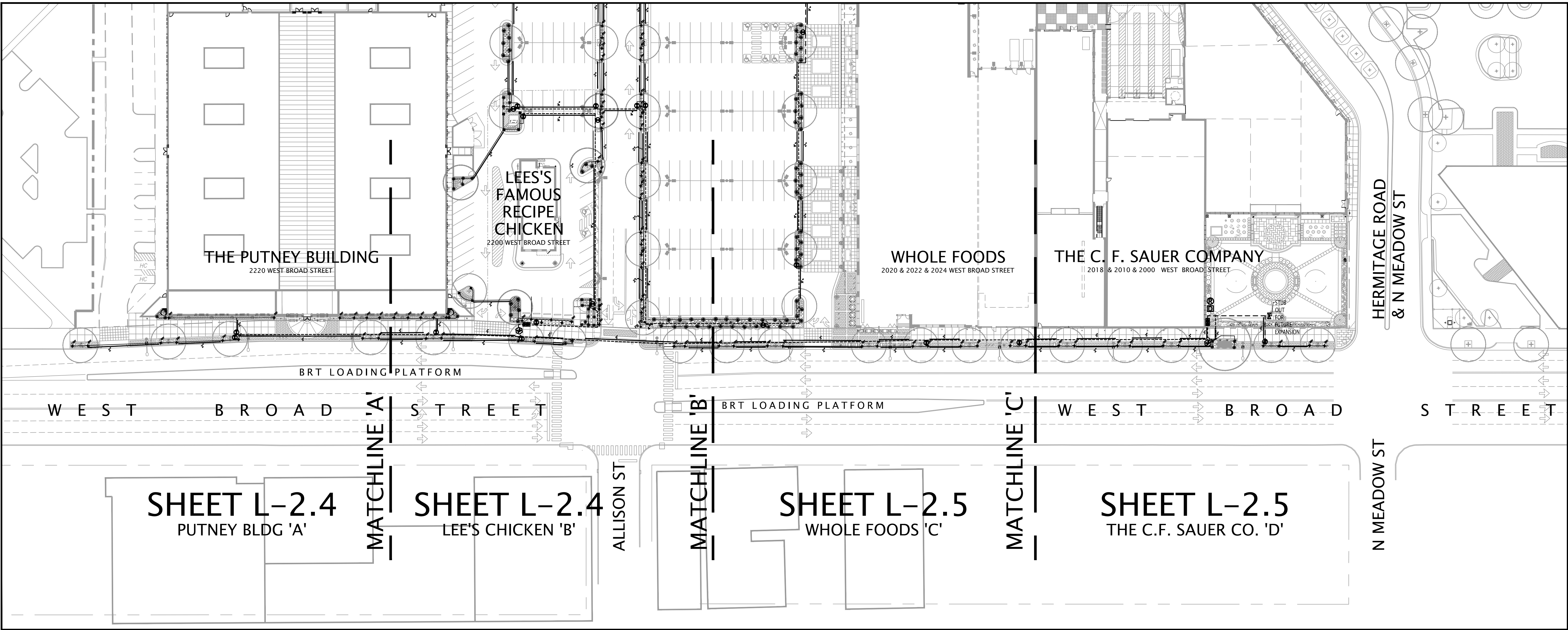
- NOTE: IF THE WATER SUPPLY IS NOT CAPABLE OF THE DESIGNED CAPACITY (FLOW AND/OR PRESSURE), THE IRRIGATION SYSTEM WILL NEED TO BE REDESIGNED, WHICH MAY ALTER THE IRRIGATION MATERIAL ESTIMATE.

SLEEVEING

- DENOTES LOCATION OF PVC SLEEVES FOR IRRIGATION PIPING. SIZE AS LABELED.
- WHERE WIRE RUNS OCCUR, A SEPARATE 2" PVC ELECTRICAL CONDUIT SLEEVE SHALL BE USED FOR 24 VAC WIRING PER ELECTRICAL CODE.
- WHERE IRRIGATION PIPING CROSSES SIDEWALKS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING A SLEEVE 2 SIZES LARGER THAN THE PIPE THAT IS CROSSING THROUGH IT.

NOTE: THE IRRIGATION SYSTEMS ARE DISPLAYED SCHEMATIC IN NATURE. THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO MAKE MINOR ADJUSTMENTS IN THE FIELD. THESE MINOR ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER BUT SHALL BE MADE ONLY AFTER NOTIFICATION IS MADE TO THE OWNER OR HIS REPRESENTATIVE.

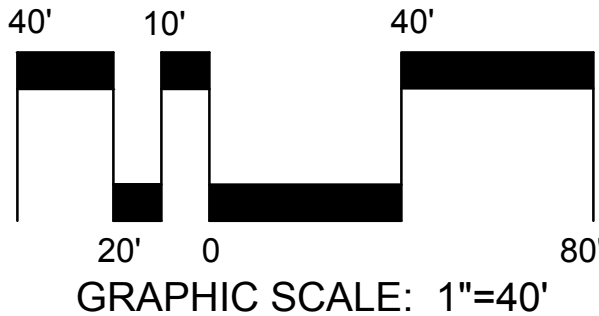
THIS DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWINGS SUPPLIED BY THE CLIENT OF RECORD WITH DESIGN CRITERIA BEING SET BY THE CLIENT AND/OR PROJECT OWNER (I.E. AREA TO BE IRRIGATED, MANUFACTURER'S EQUIPMENT TO BE EMPLOYED, WATER SOURCE (LOCATION, FLOW & PRESSURE) CAPACITIES, ELECTRICAL POWER AVAILABILITY FOR IRRIGATION SYSTEM USE, ETC.). SMITH TURF & IRRIGATION BEARS NO RESPONSIBILITY OR LIABILITY FOR ANY ERRORS IN DESIGN OR APPLICATION WHICH MIGHT ARISE DUE TO INACCURACIES IN THE ABOVE REFERENCED INFORMATION SUPPLIED TO SMITH TURF & IRRIGATION IN RELATION TO THIS SPECIFIC PROJECT UNLESS OTHERWISE NOTED.



PLAN VIEW

THE SAUER CENTER OVERALL IRRIGATION KEY PLAN

2000-2200 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA · SCALE: 1"=40'



*Ricky L. Gorrell*  
RICKY L. GORRELL  
No. 272

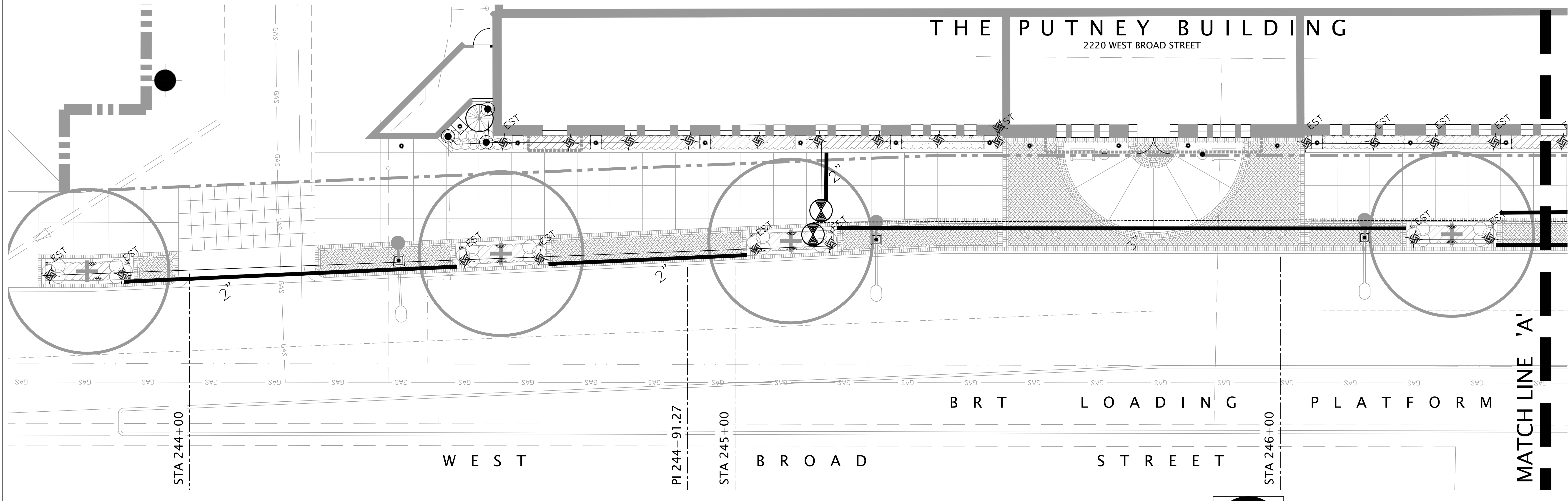
THE  
SAUER CENTER  
\*\*\*\*  
West Broad Street  
Streetscape  
2220-2014 West Broad Street  
Richmond, Virginia

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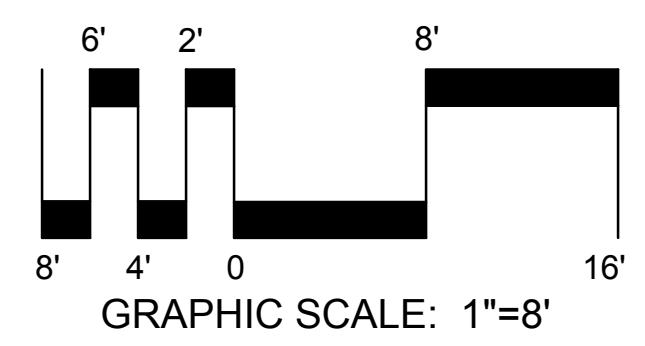
OVERALL  
IRRIGATION  
KEY  
PLAN

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| Designed By:    | RLG        |
| Drawn By:       | RLG        |
| Checked By:     | RLG        |
| Date:           | 08.16.2018 |
| Project Number: | M15026     |
| Sheet Number    |            |



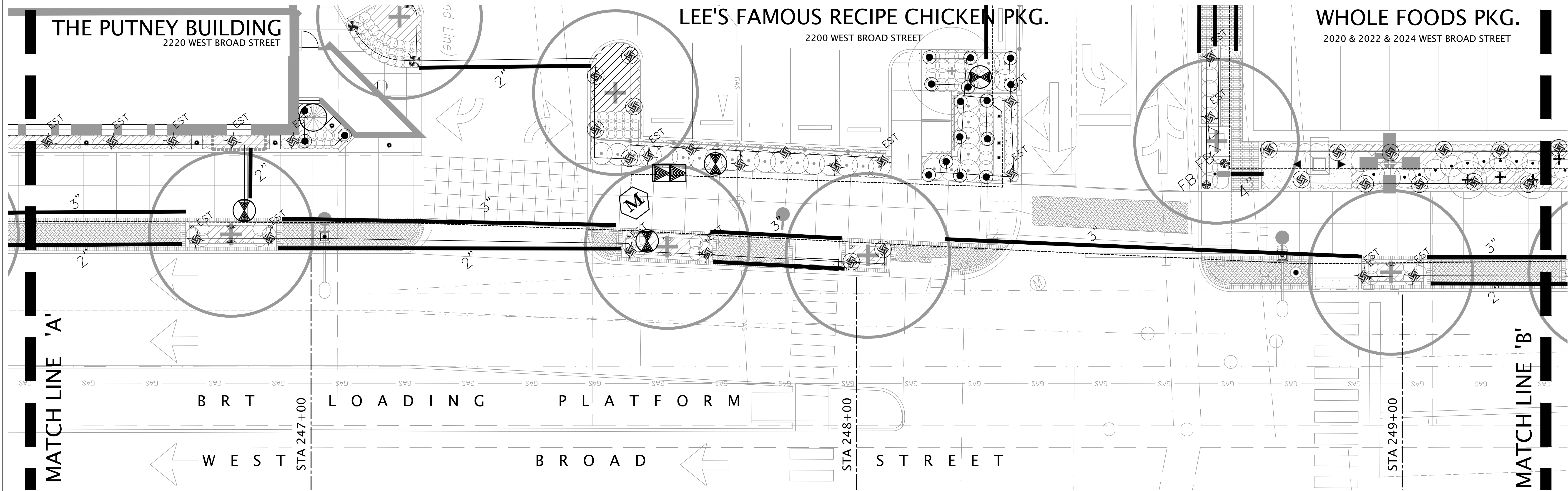


PLAN VIEW  
**A** THE PUTNEY BUILDING · streetscape plan  
2220 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA

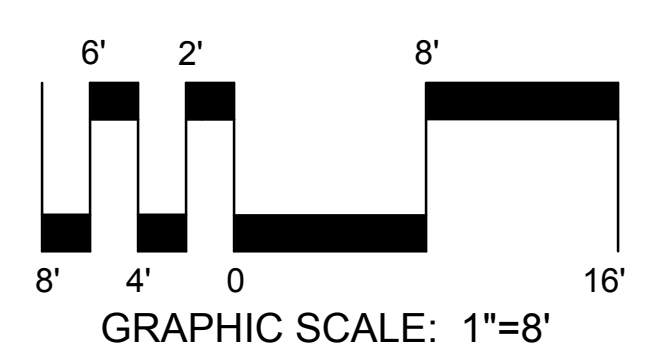


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5701 grove avenue richmond va 23226  
804.740.7500 www.1hg.net

*Ricky L. Gorrell*  
RICKY L. GORRELL  
No. 272



PLAN VIEW  
**B** LEE'S FAMOUS RECIPE CHICKEN · streetscape plan  
2200 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA



THE  
SAUER CENTER  
\*\*\*\*  
West Broad Street  
Streetscape  
2220-2014 West Broad Street  
Richmond, Virginia

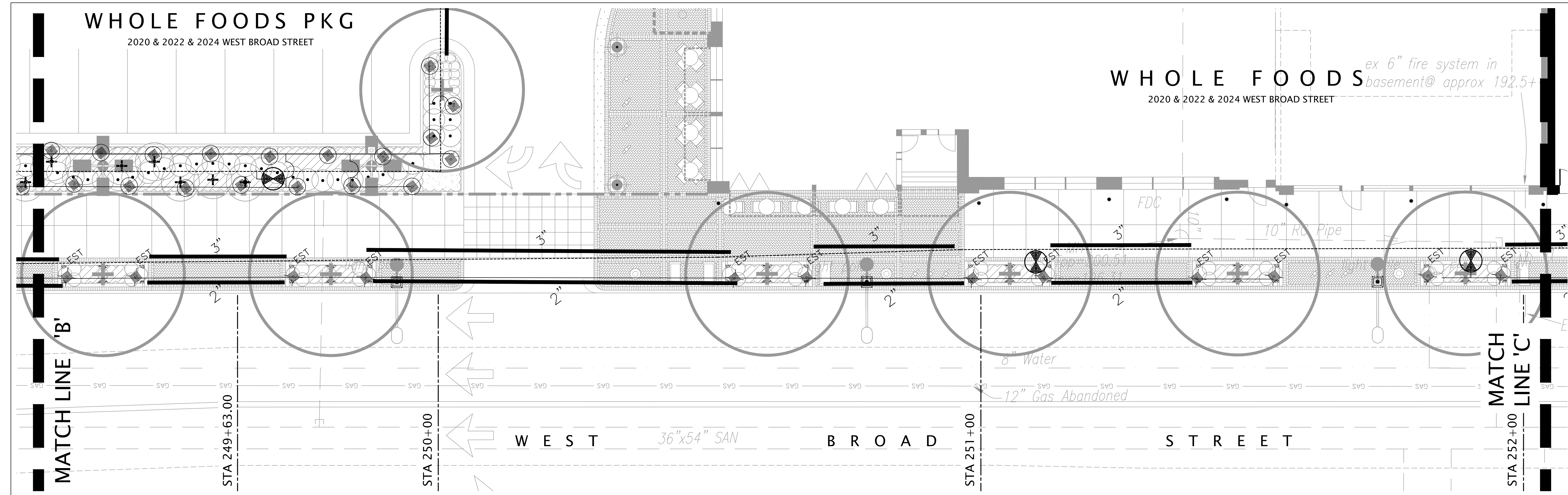
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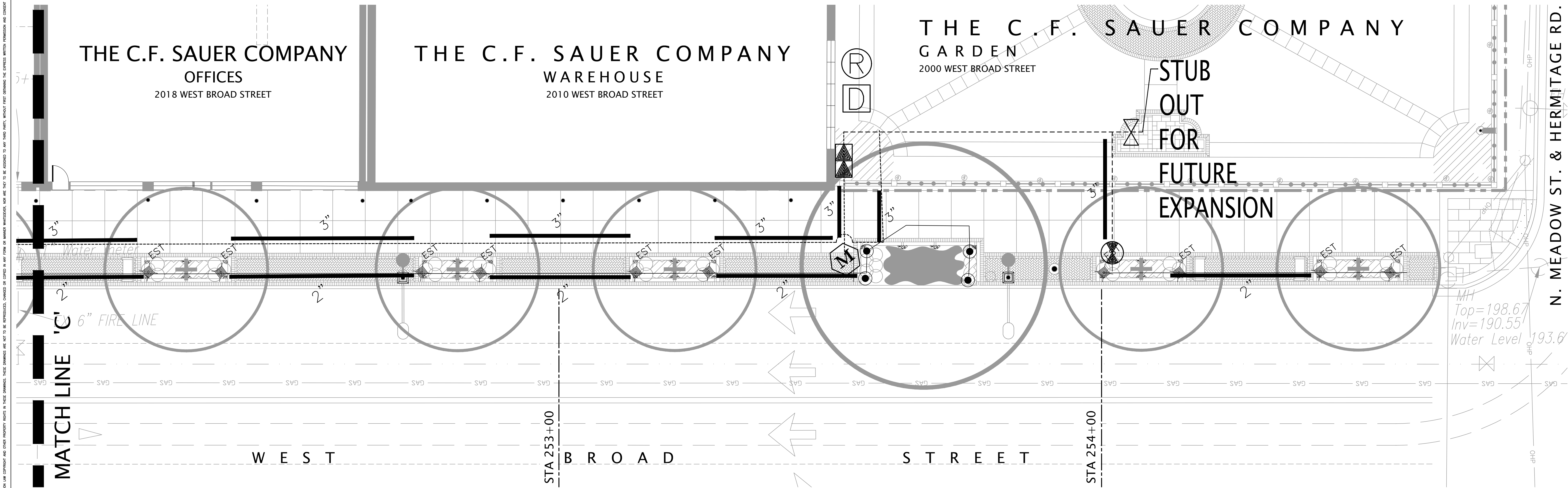
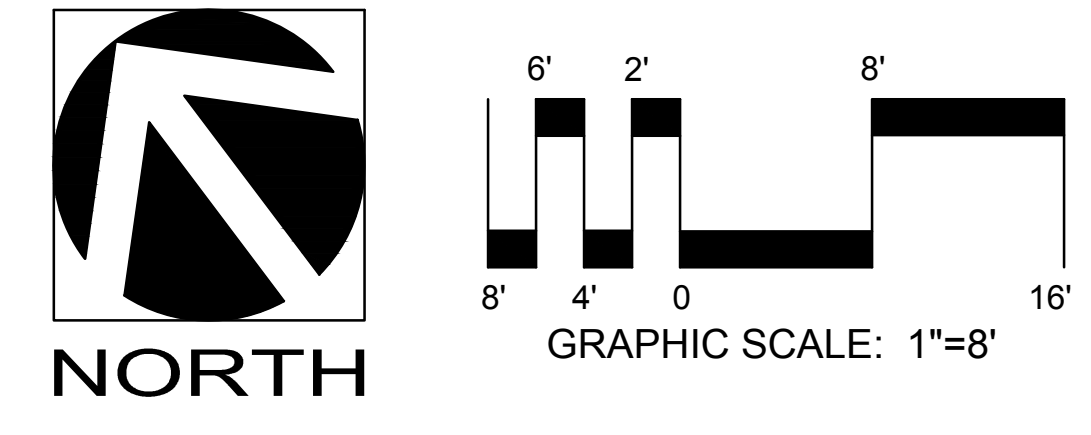
IRRIGATION  
PLAN  
The Putney Bldg  
Lee's Chicken

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| Designed By:    | RLG        |
| Drawn By:       | RLG        |
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| Date:           | 08.16.2018 |
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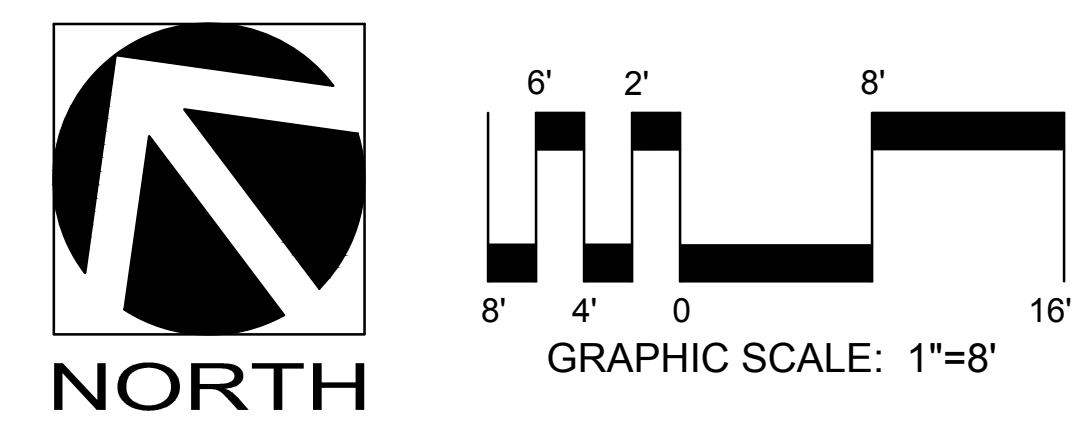




PLAN VIEW  
**WHOLE FOODS GROCERY** · streetscape plan  
2020 & 2022 & 2024 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA



PLAN VIEW  
**THE C.F. SAUER COMPANY** · streetscape plan  
2018 & 2010 & 2000 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA



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*Ricky L. Gorrell*  
RICKY L. GORRELL  
No. 272  
Professional Engineer

THE  
SAUER CENTER  
\*\*\*\*  
West Broad Street  
Streetscape  
2220-2014 West Broad Street  
Richmond, Virginia

REVISIONS:

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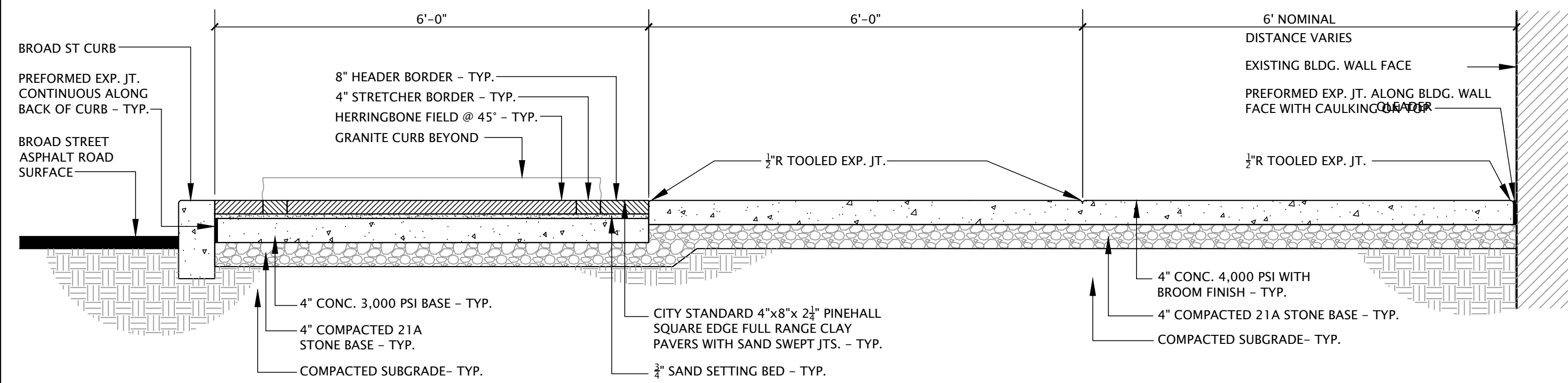
IRRIGATION  
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Whole Foods  
The C.F. Sauer Co.

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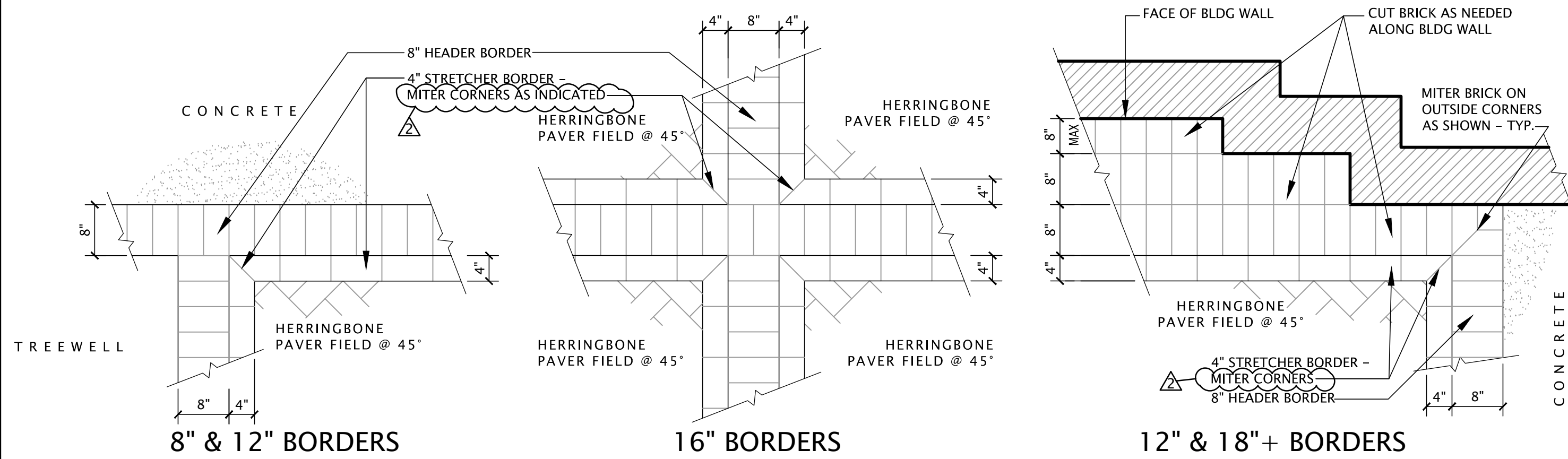






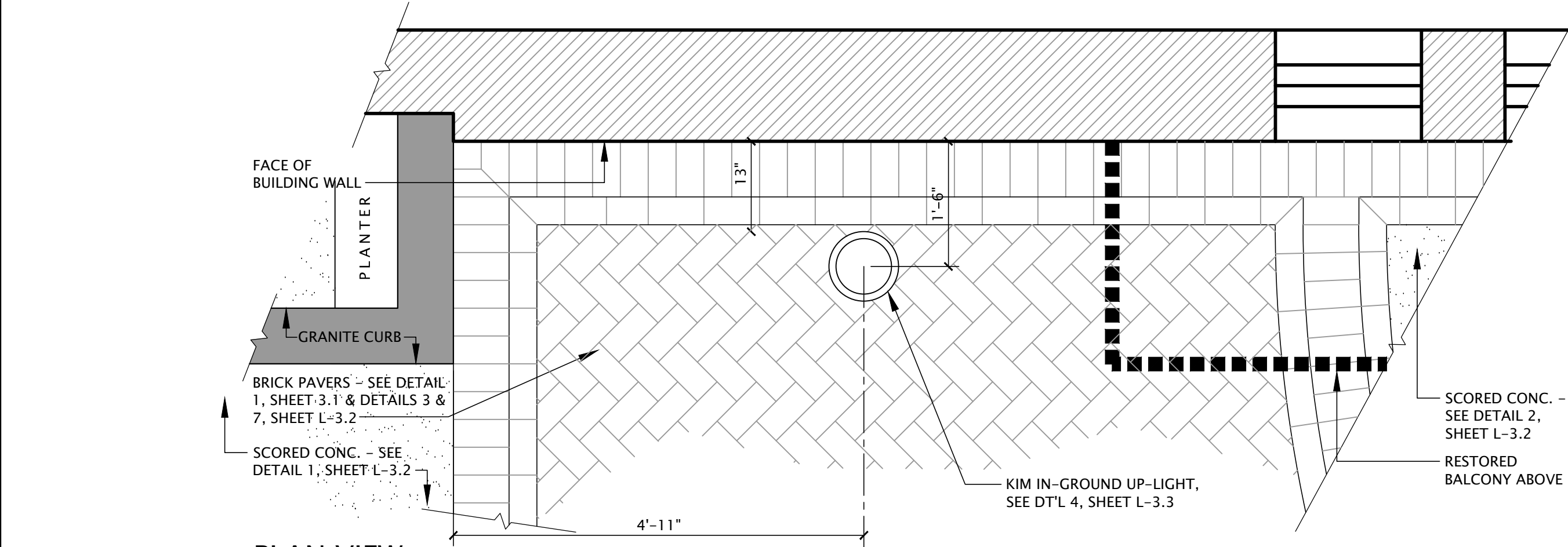
SECTION  
BROAD STREET SIDEWALK TYPICAL PAVEMENT DETAIL

1  
L-3.2  
SCALE:  $\frac{3}{4}" = 1' - 0"$



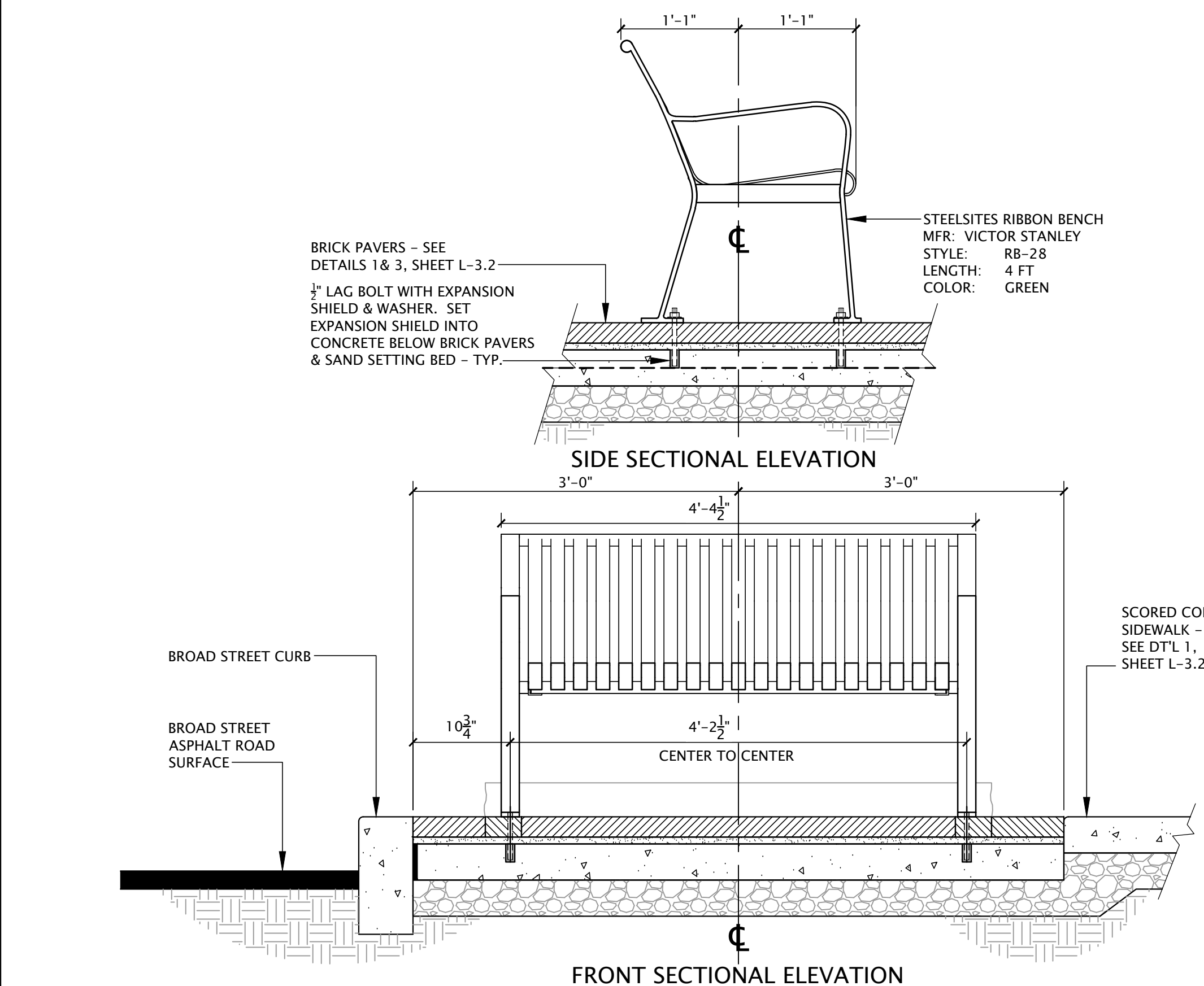
PLAN VIEW  
BROAD STREET TYPICAL PAVER BORDERS DETAIL

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L-3.2  
SCALE:  $\frac{3}{4}" = 1' - 0"$



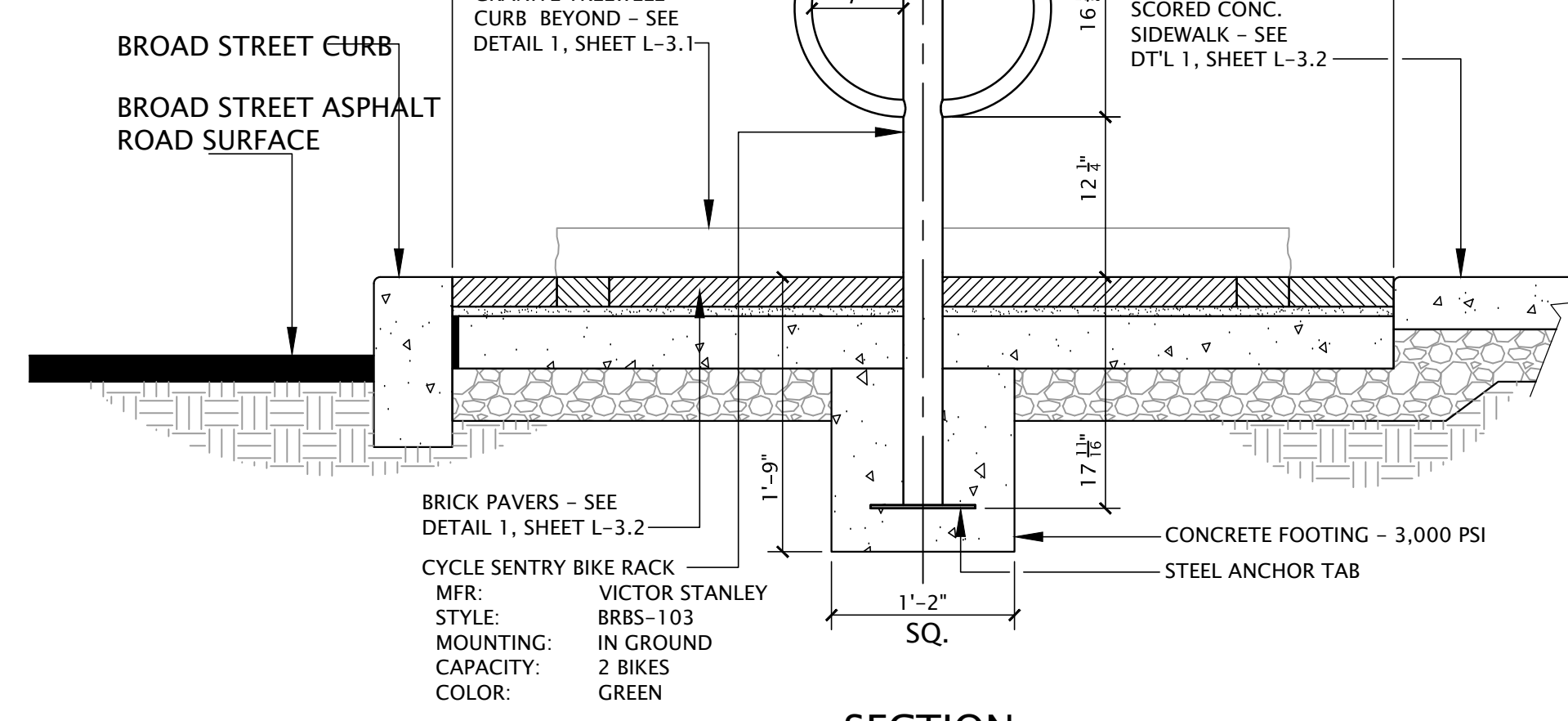
PLAN VIEW  
PUTNEY BUILDING ENTRANCE PAVER & LIGHT DETAIL

4  
L-3.2  
SCALE:  $\frac{3}{4}" = 1' - 0"$



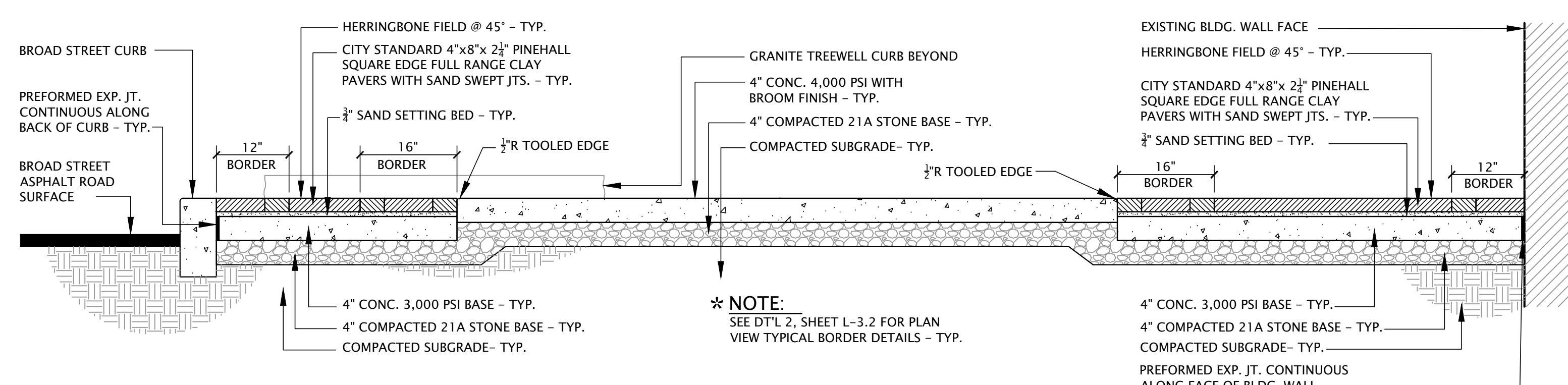
SECTIONAL ELEVATION  
BROAD STREET BENCH FASTENING DETAIL

6  
L-3.2  
SCALE:  $1" = 1' - 0"$



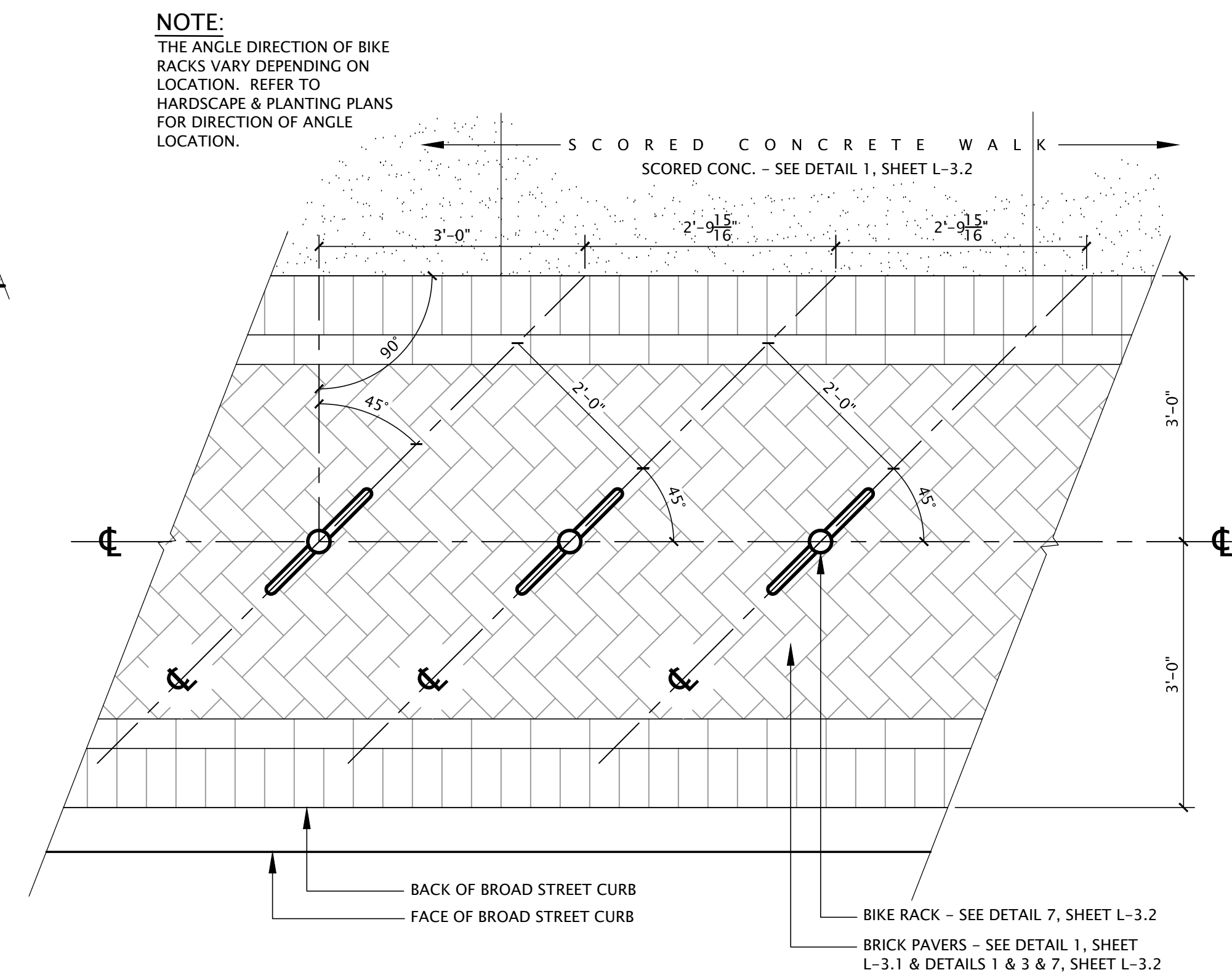
SECTION  
BROAD STREET BIKE RACK FASTENING DETAIL

7  
L-3.2  
SCALE:  $1" = 1' - 0"$



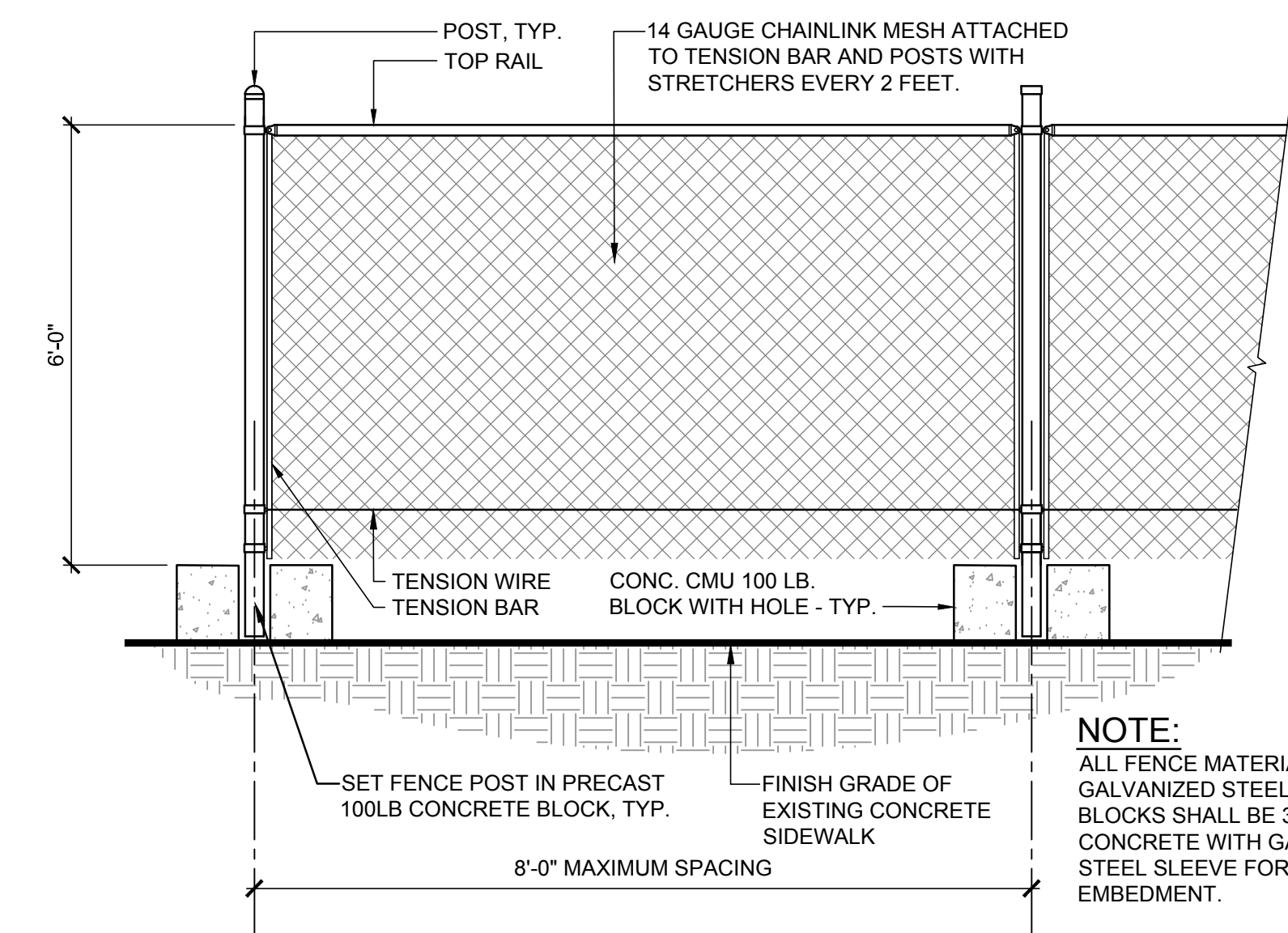
SECTION  
PUTNEY BLDG BROAD STREET ENTRANCE SIDEWALK PAVEMENT DETAIL

2  
L-3.2  
SCALE:  $\frac{3}{4}" = 1' - 0"$



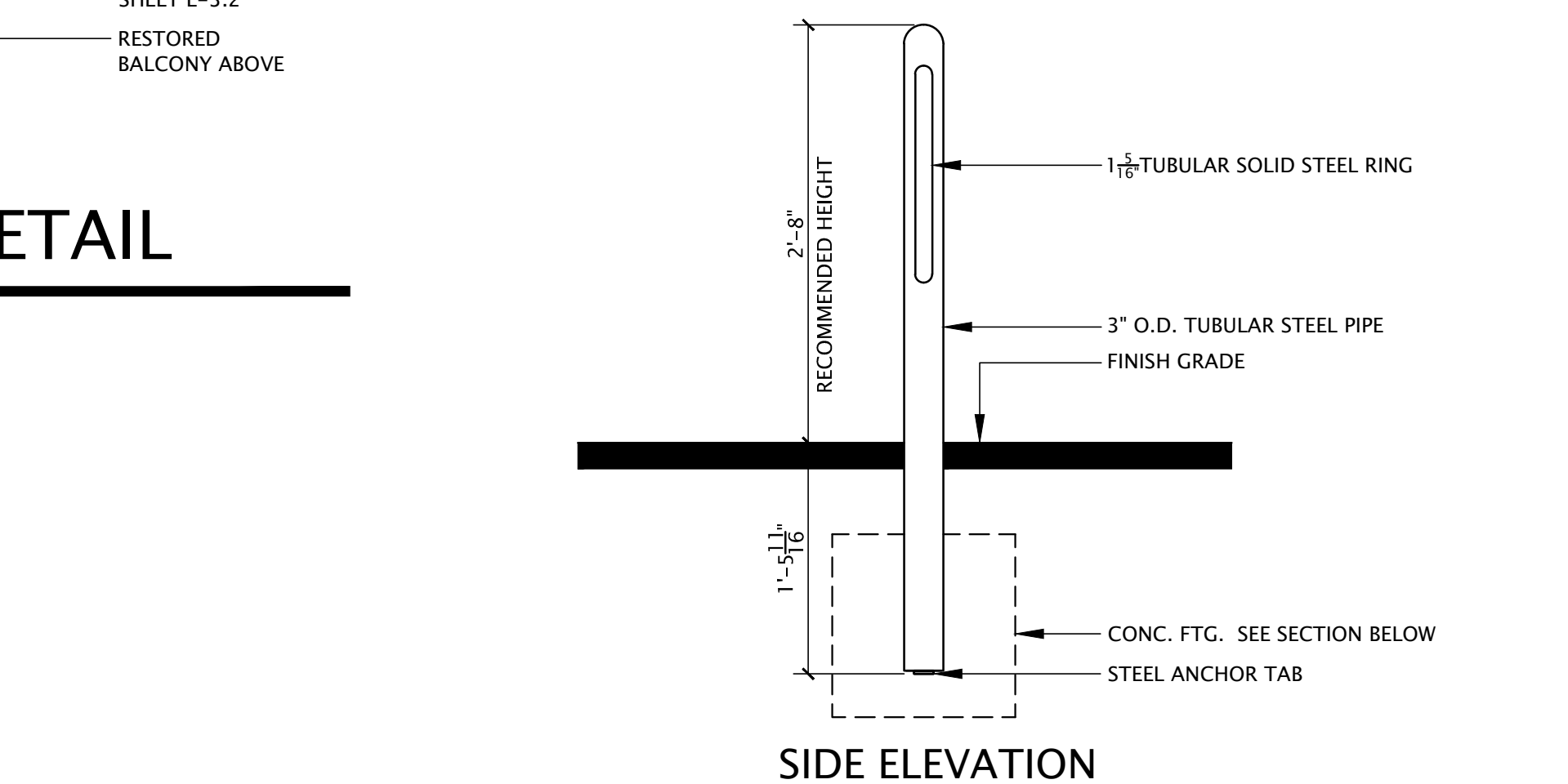
PLAN VIEW  
BROAD STREET ANGLED 45° BIKE RACK DETAIL

5  
L-3.2  
SCALE:  $\frac{3}{4}" = 1' - 0"$

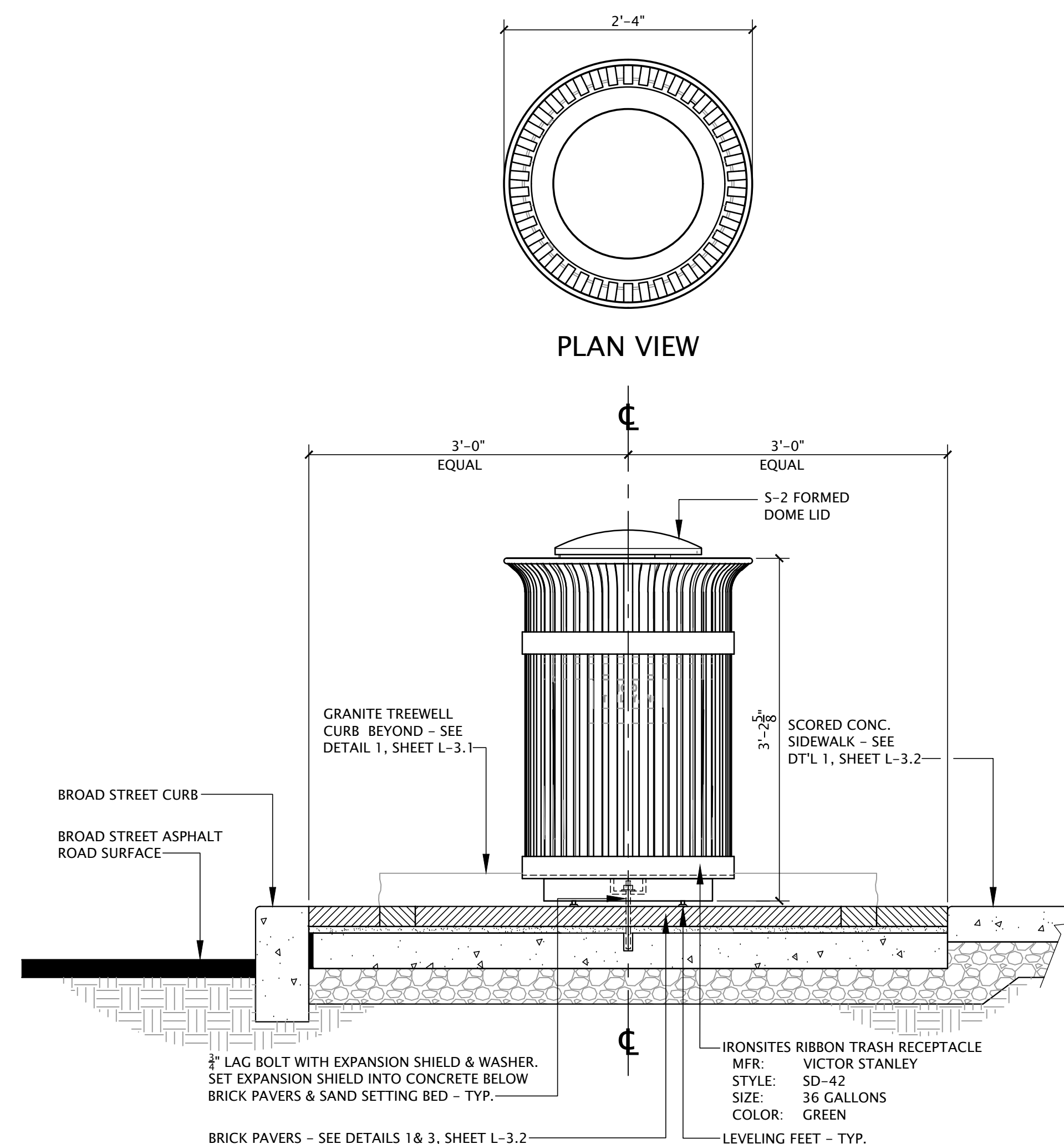


PLAN VIEW  
TREE PROTECTION FENCE DETAIL

9  
L-2.2  
SCALE:  $\frac{1}{2}" = 1' - 0"$



SIDE ELEVATION



SECTIONAL ELEVATION  
BROAD STREET TRASH CAN FASTENING DETAIL

8  
L-3.2  
SCALE:  $1" = 1' - 0"$

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RICKY L. GORRELL  
No. 272

THE  
SAUER CENTER  
\*\*\*\*

West Broad Street  
Streetscape

2220-2014 West Broad Street  
Richmond, Virginia

REVISIONS:

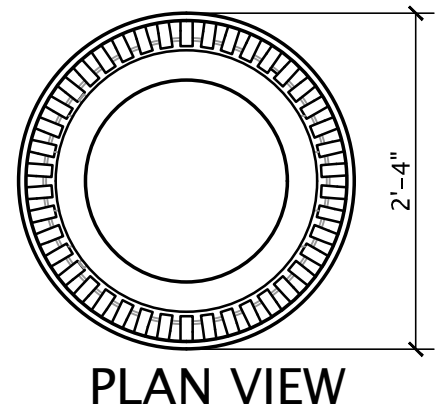
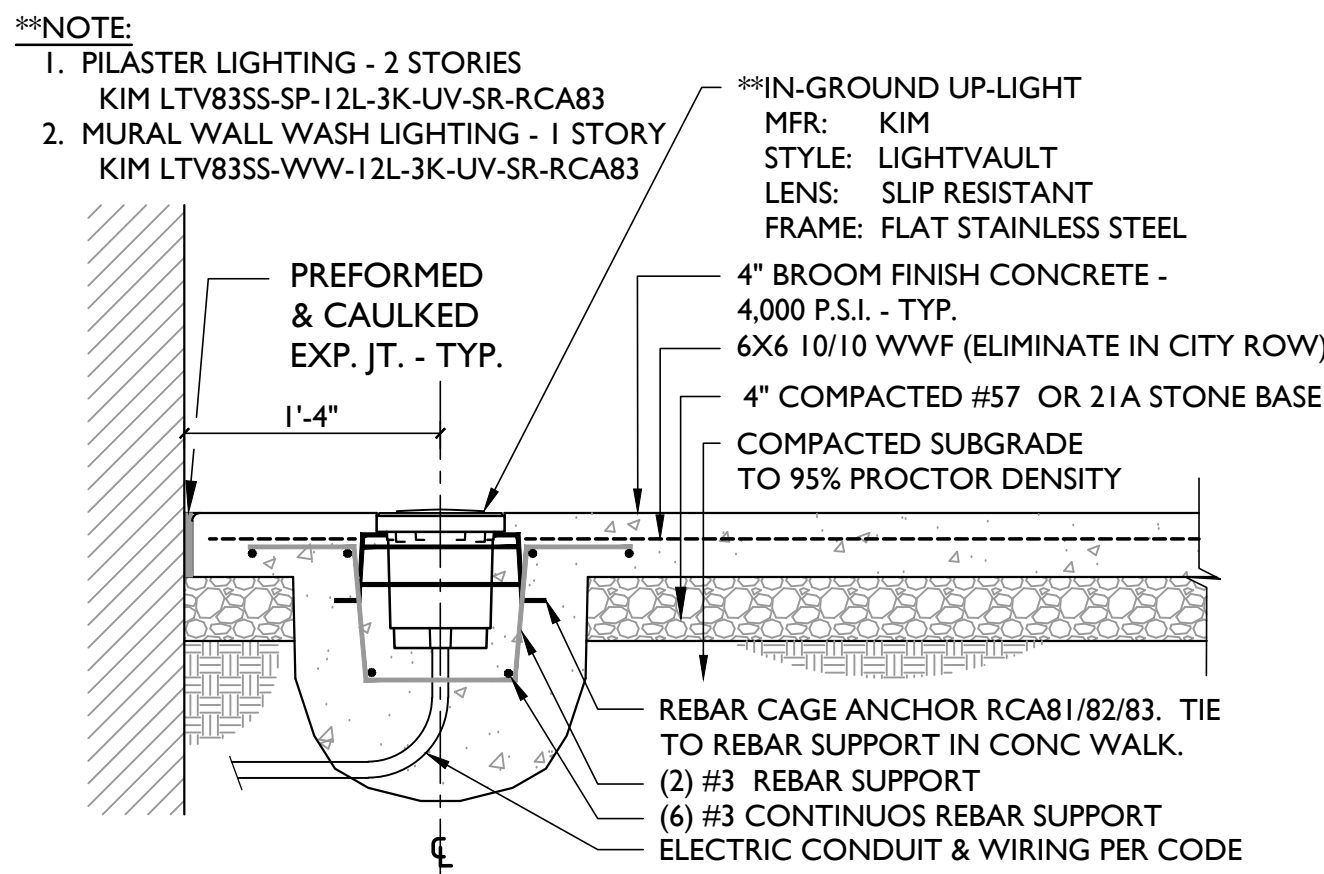
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HARDSCAPE  
&  
SITE FURNISHINGS  
DETAILS

Designed By: RLG  
Drawn By: RLG  
Checked By: RLG  
Date: 08.16.2018  
Project Number: M15026  
Sheet Number

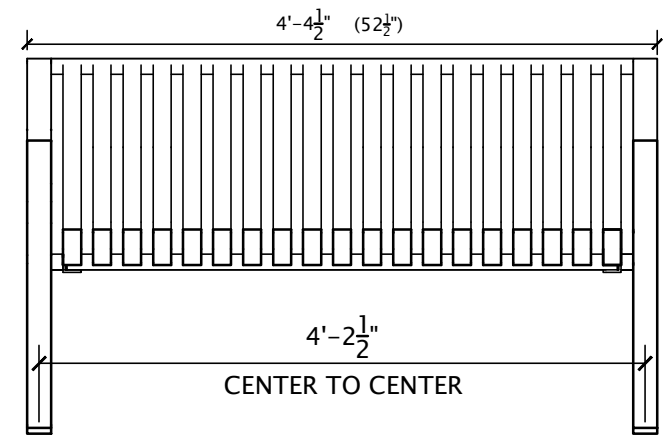
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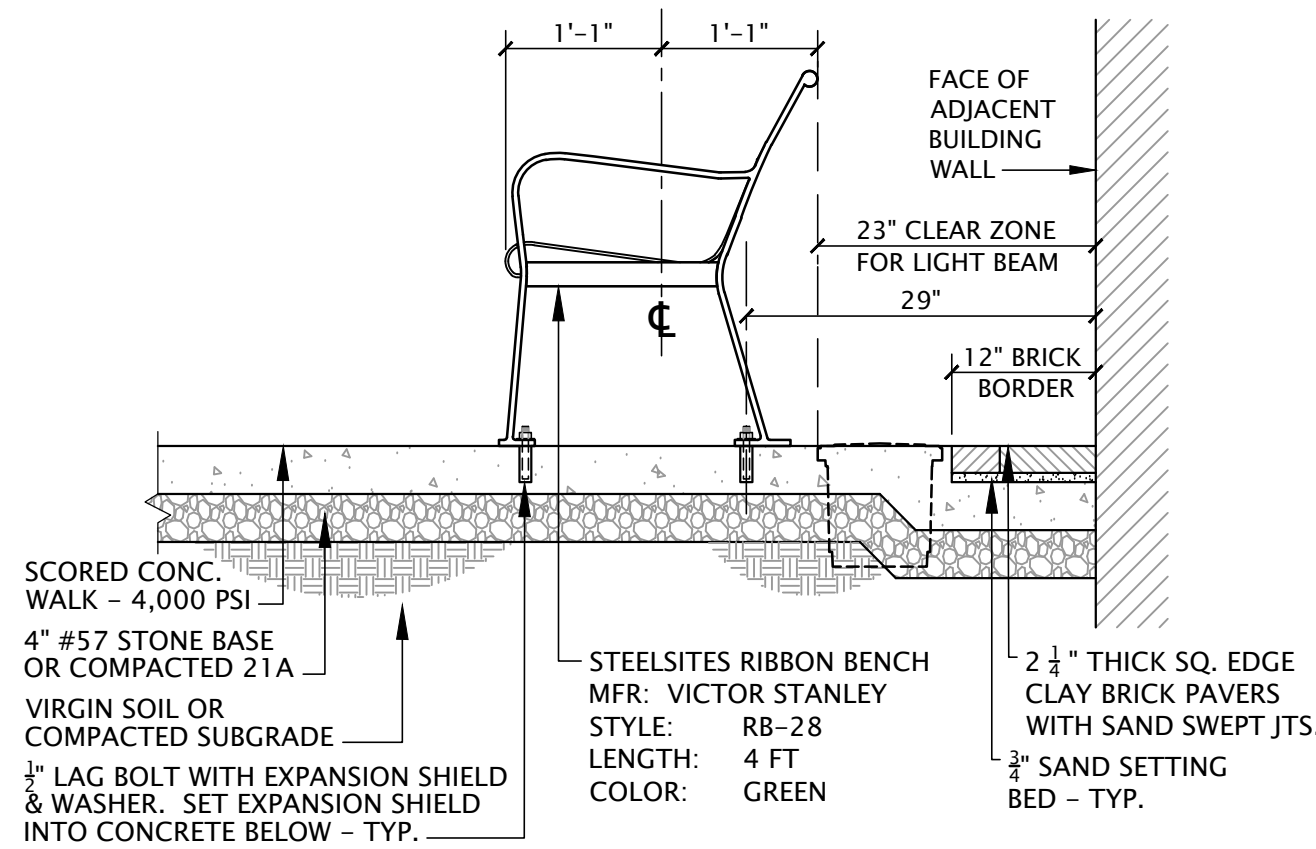


## SECTION WHOLE FOODS & 2018-2010 WEST BROAD ST IN-GROUND UP-LIGHT DT'L

SCALE: 1" = 1' - 0"



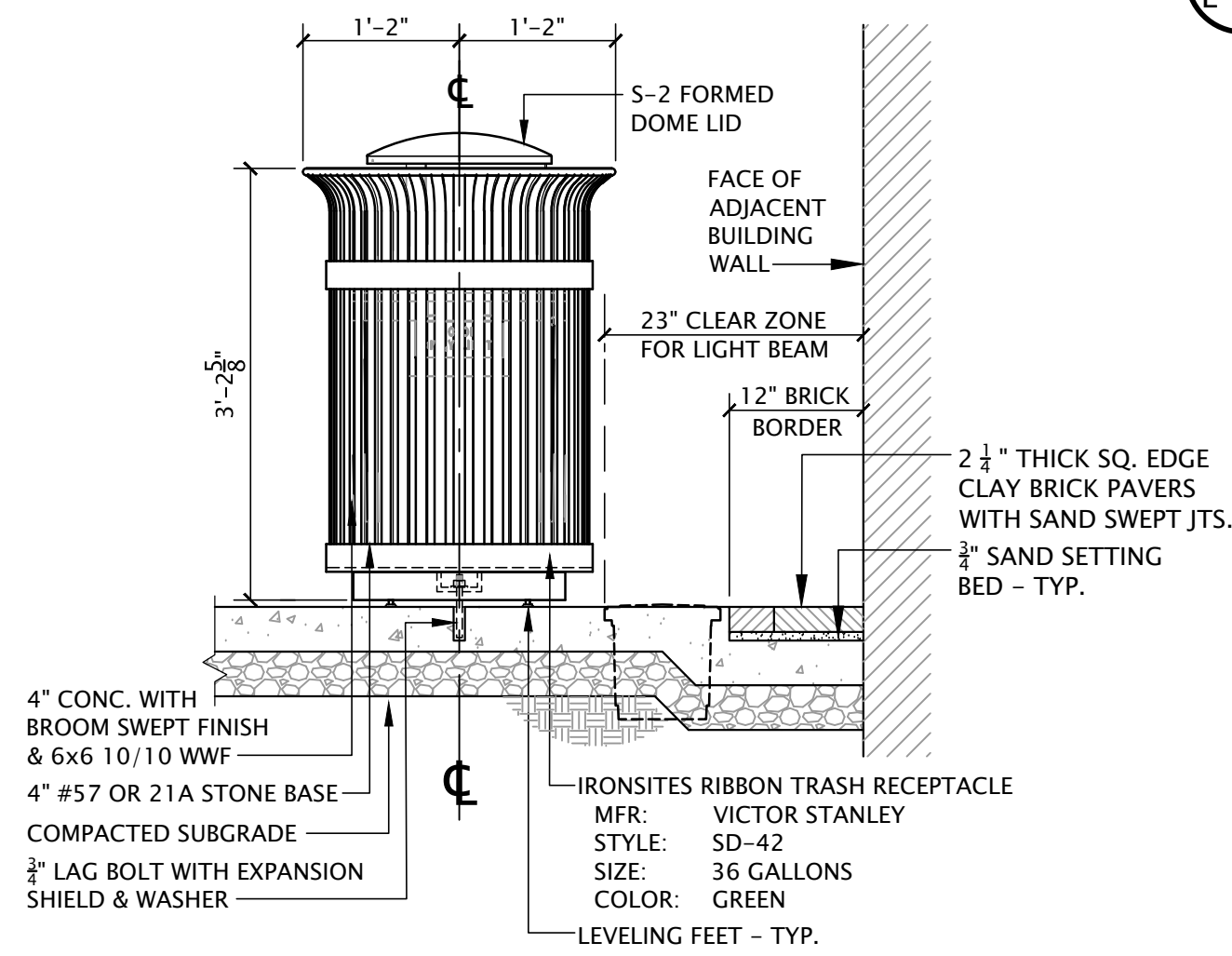
ELEVATION



SECTION

## SECTION PUTNEY BLDG. BENCH DETAIL

SCALE: 3/4" = 1' - 0"



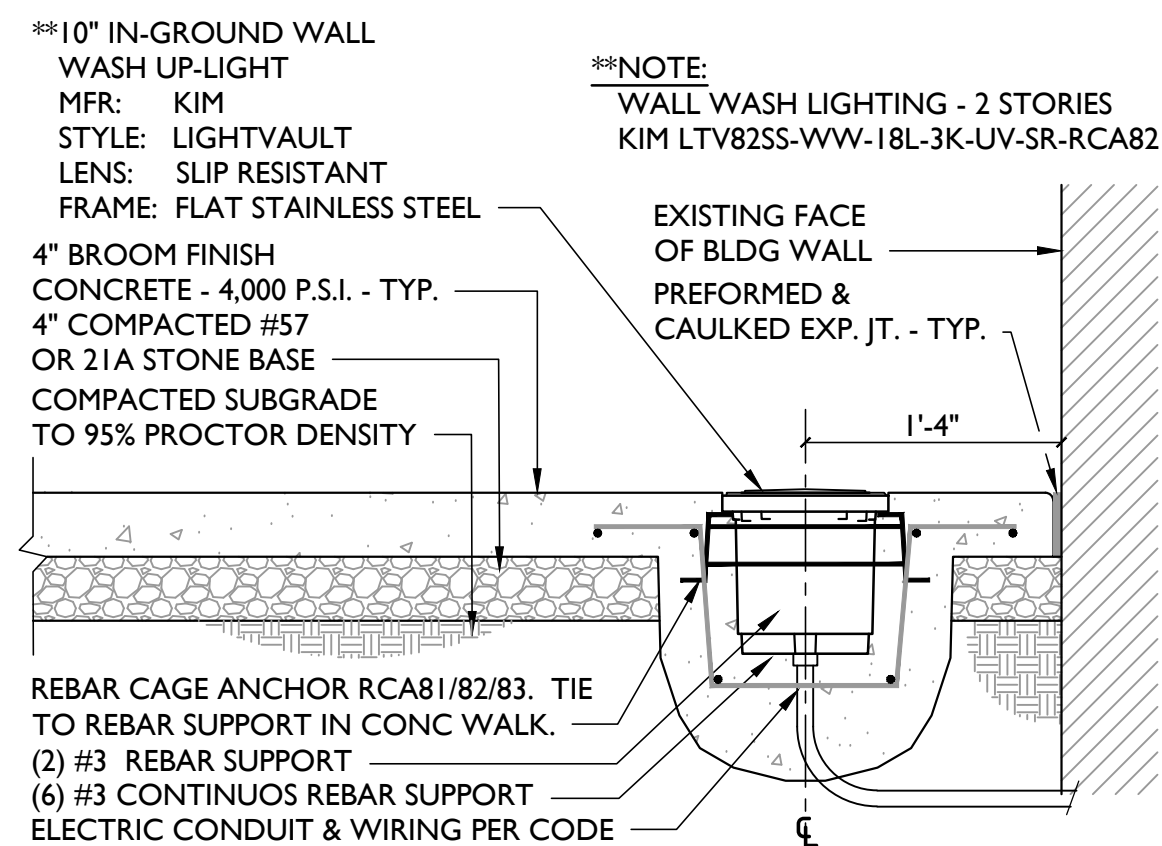
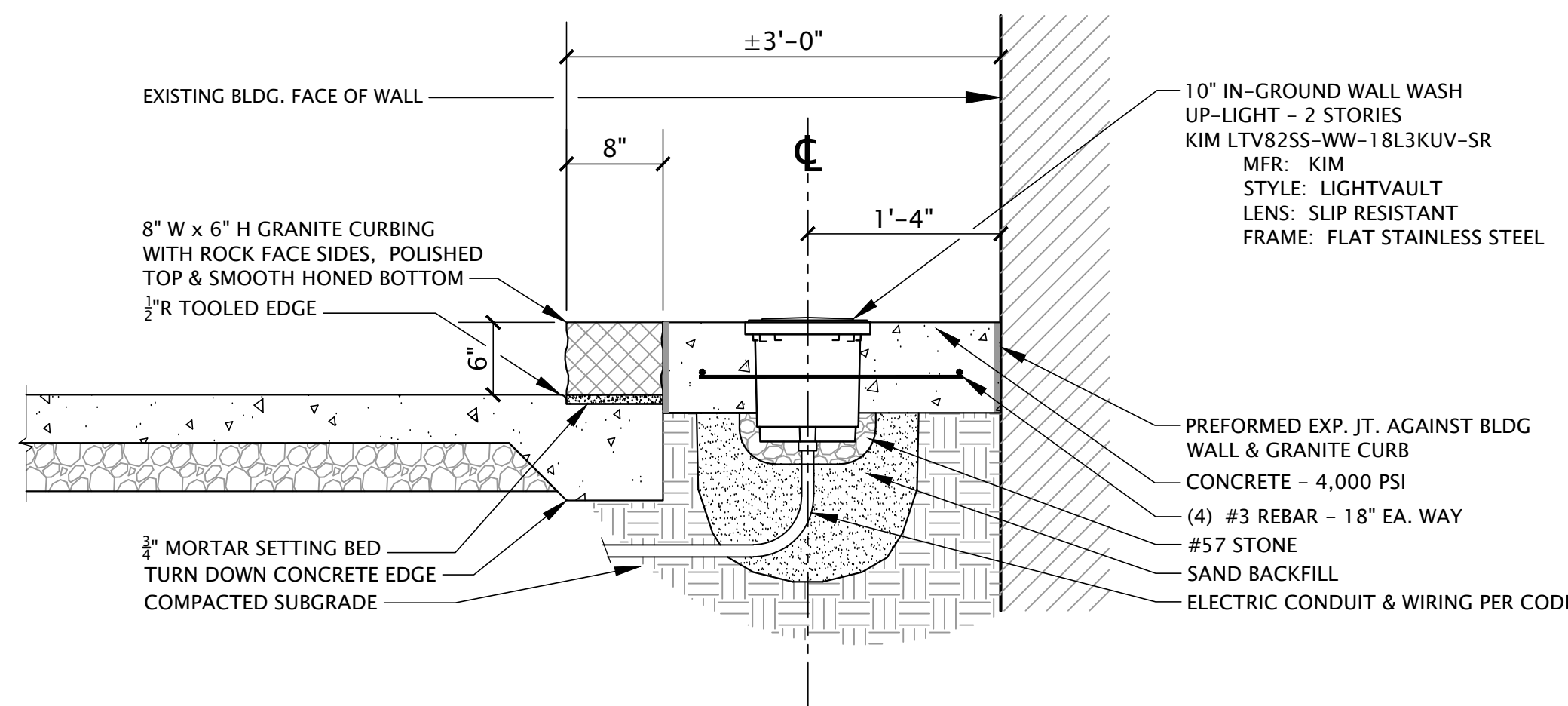
SECTION

## SECTION PUTNEY BLDG. TRASH CAN DETAIL

SCALE: 3/4" = 1' - 0"

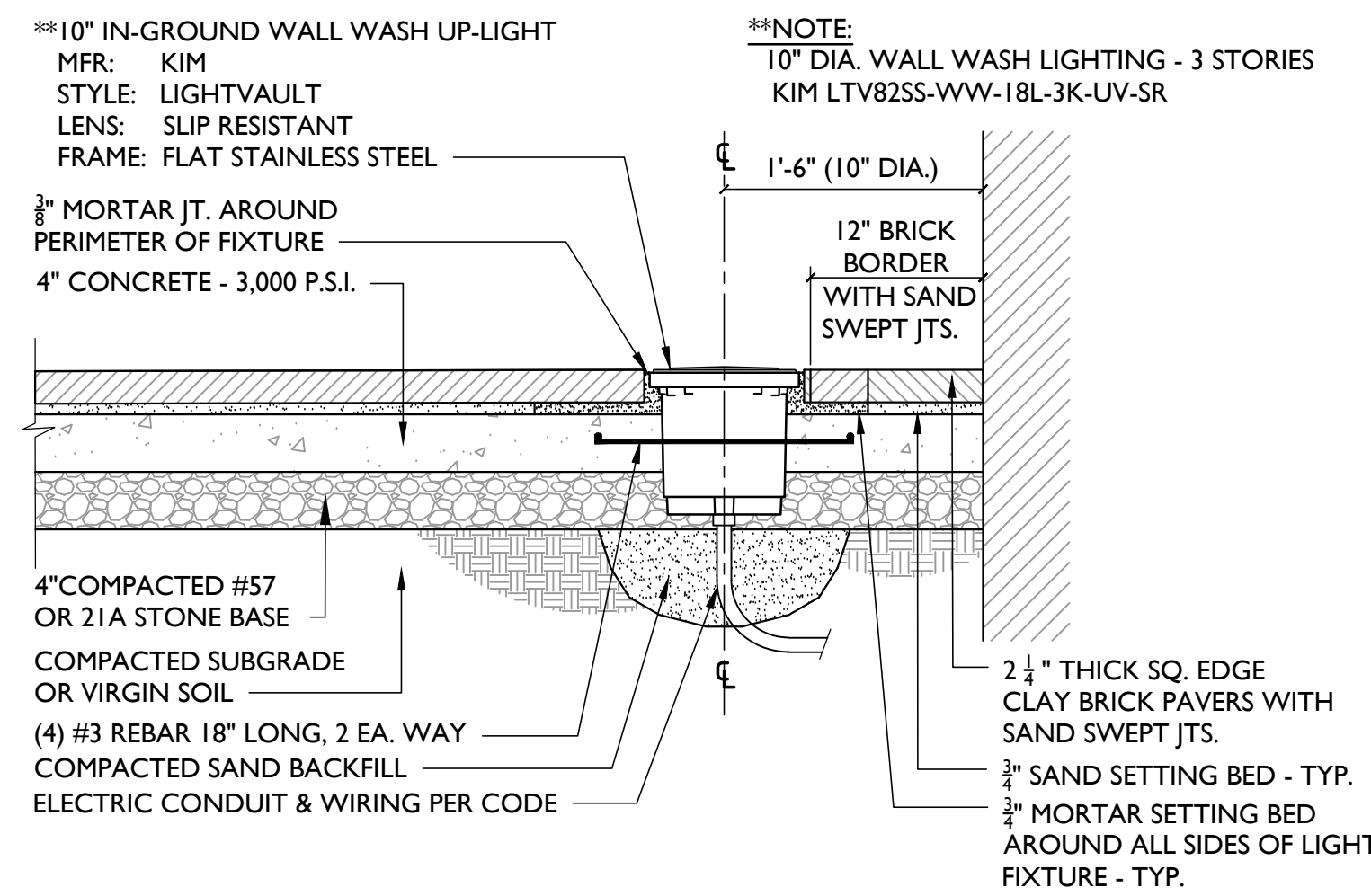
## SECTION PUTNEY BUILDING PLANTER IN-GROUND UP-LIGHT DETAIL

SCALE: 1" = 1' - 0"



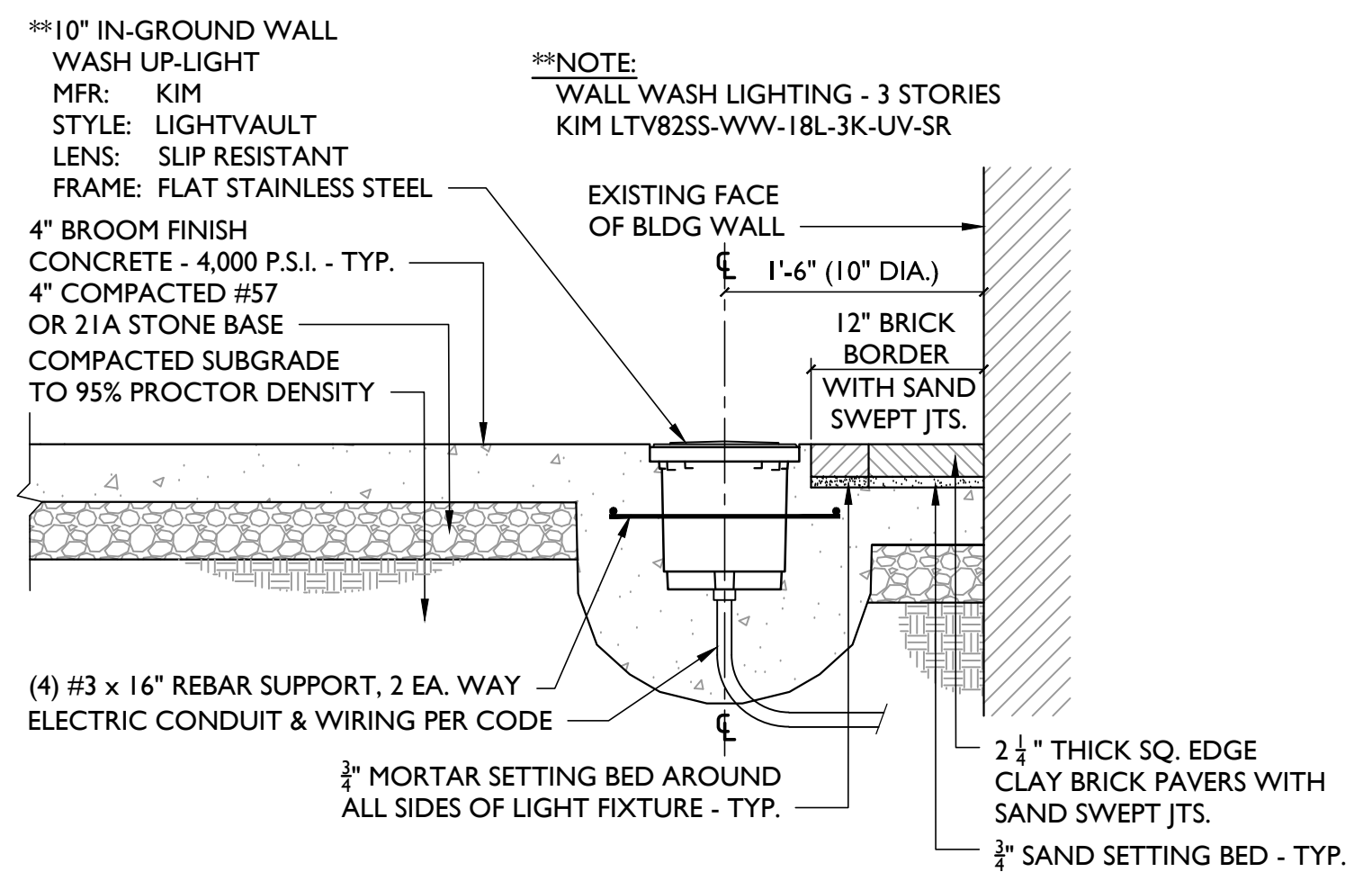
## SECTION PUTNEY BLDG. CONC. WALK IN-GROUND UP-LIGHT DETAIL

SCALE: 1" = 1' - 0"



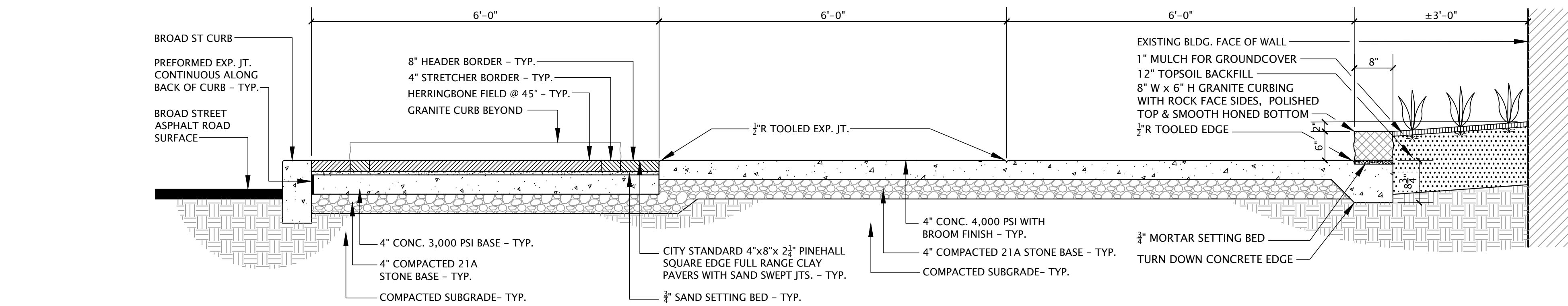
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SCALE: 1" = 1' - 0"



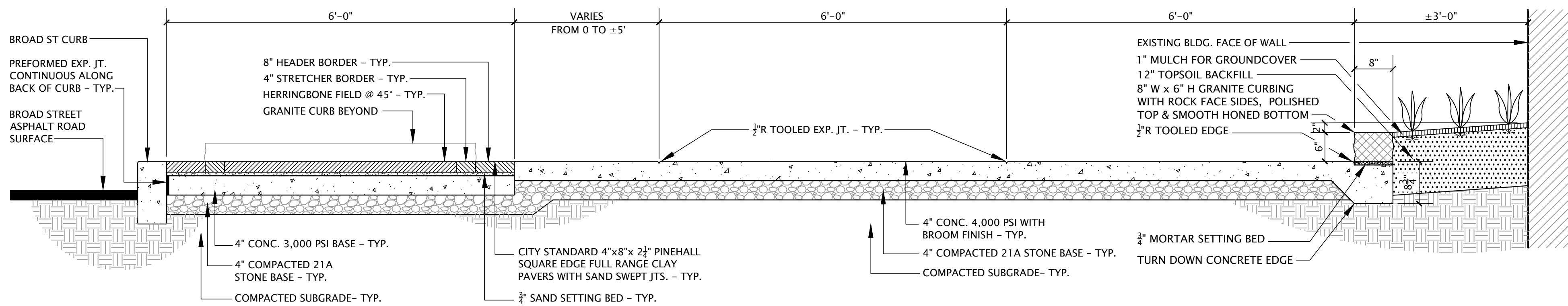
## SECTION PUTNEY BLDG. CONC. & BRICK IN-GROUND UP-LIGHT DETAIL

SCALE: 1" = 1' - 0"



## SECTION PUTNEY BUILDING BROAD STREET SIDEWALK & PLANTER DETAIL - EAST OF ENTRANCE

SCALE: 3/4" = 1' - 0"



## SECTION PUTNEY BUILDING BROAD STREET SIDEWALK & PLANTER DETAIL - WEST OF ENTRANCE

SCALE: 3/4" = 1' - 0"

*Ricky L. Gorrell*  
RICKY L. GORRELL  
No. 272

## THE SAUER CENTER \*\*\*\*

## West Broad Street Streetscape

2220-2014 West Broad Street  
Richmond, Virginia

REVISIONS:

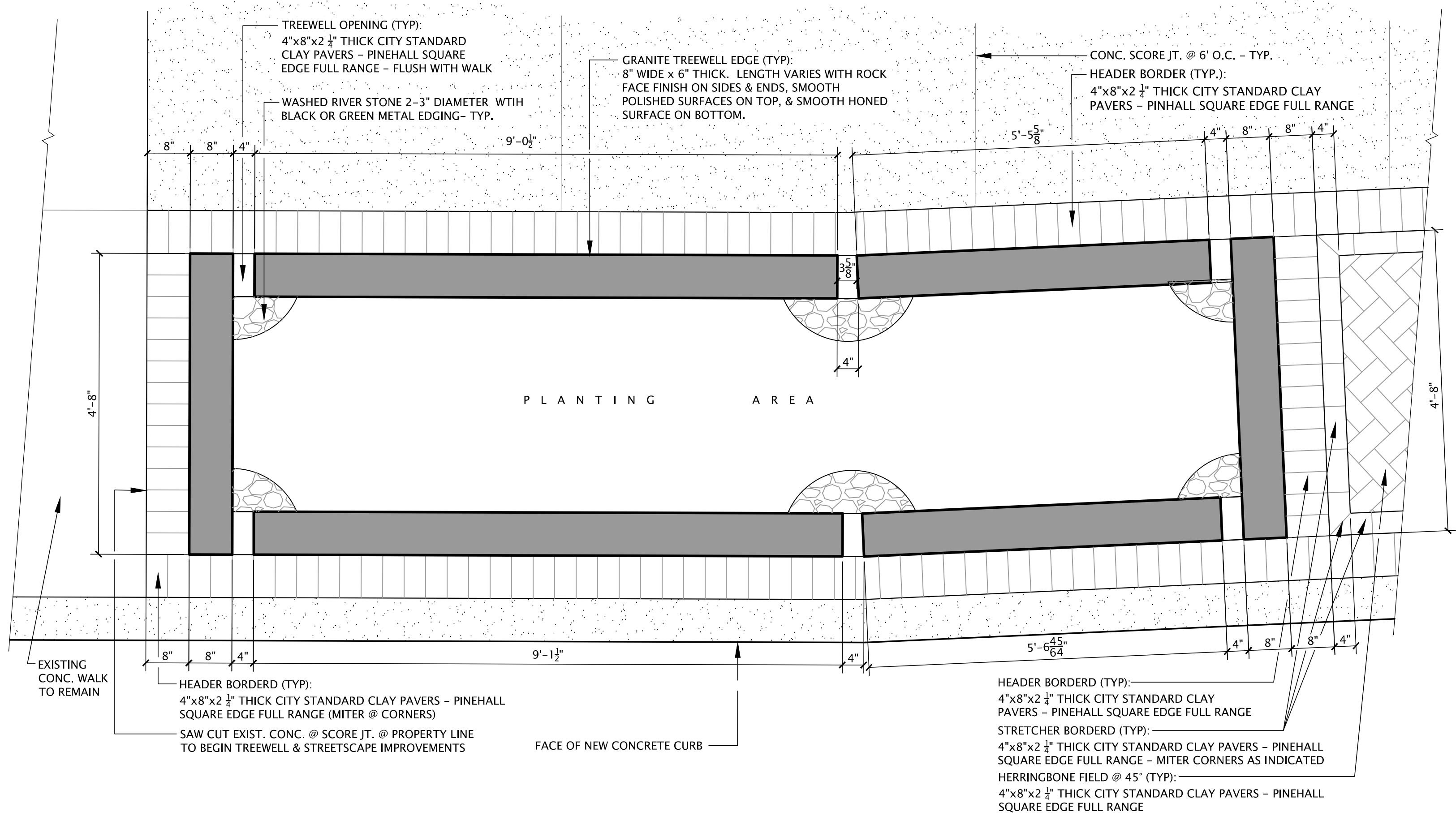
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## HARDSCAPE & IN-GROUND UP-LIGHT DETAILS

Designed By: RLG  
Drawn By: RLG  
Checked By: RLG  
Date: 08.16.2018  
Project Number: M15026  
Sheet Number

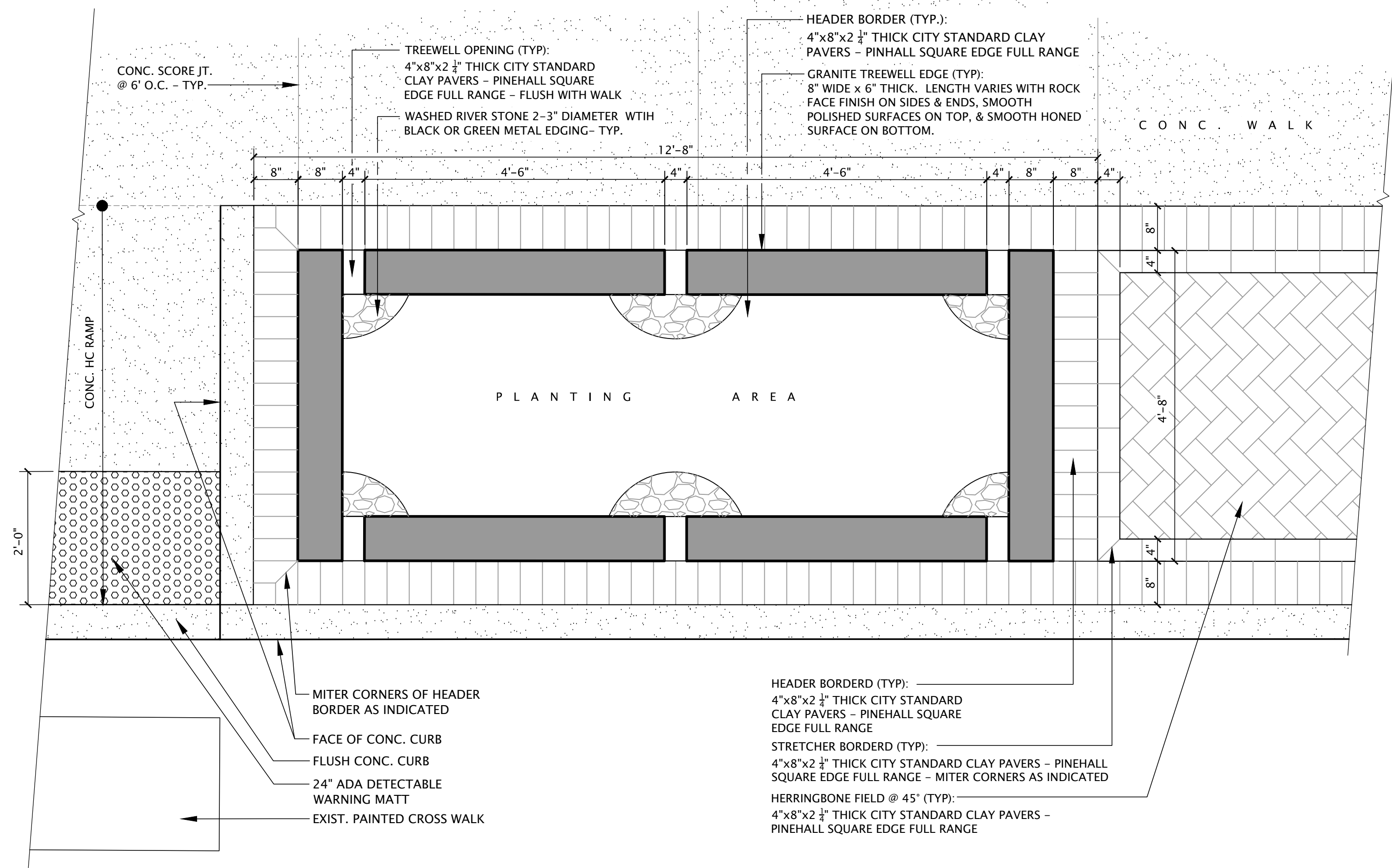
**L3.3**





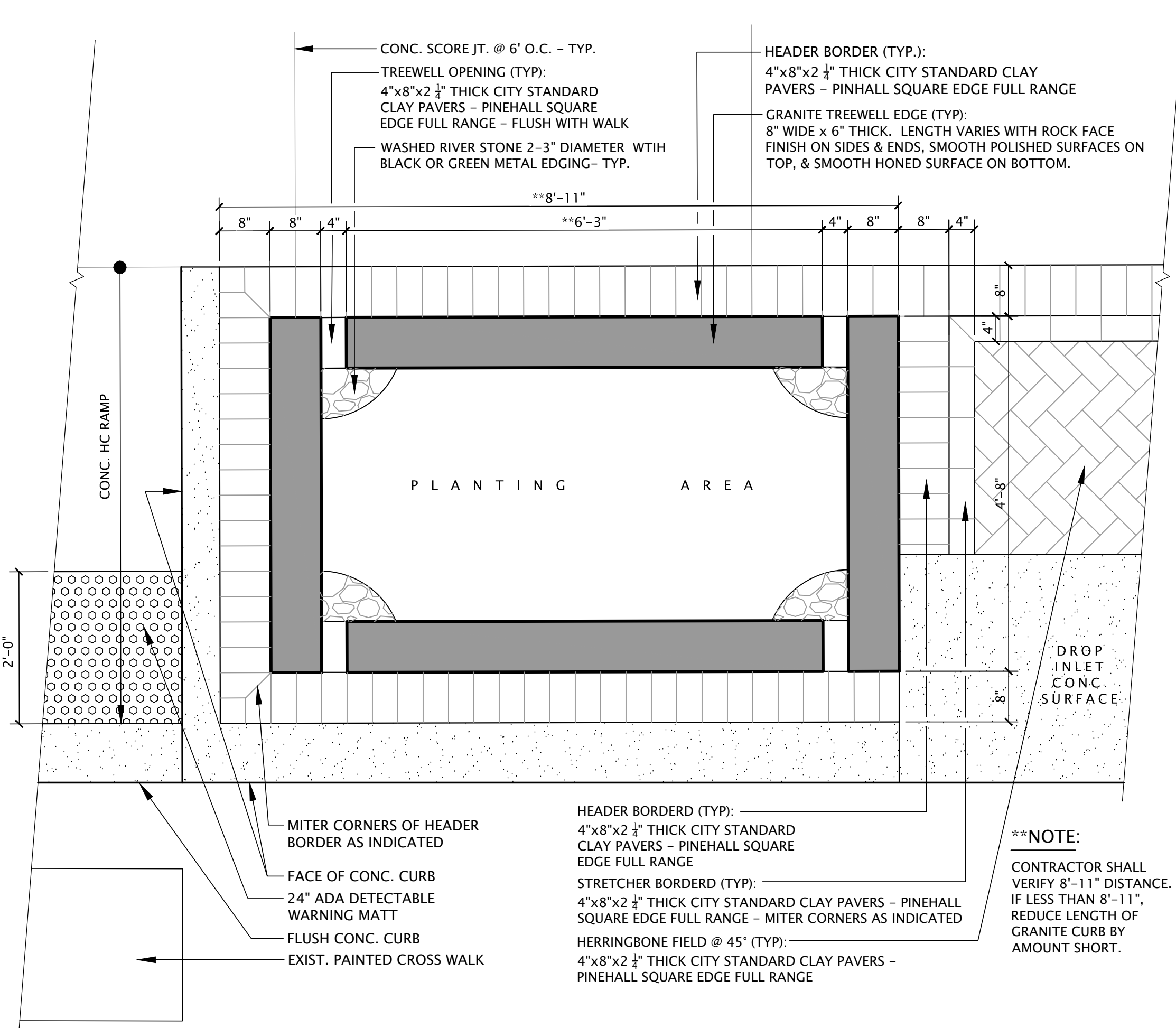
PLAN VIEW  
PUTNEY BUILDING FAR WEST ATYPICAL TREEWELL DETAIL

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1-3.4  
SCALE: 3/4" = 1' - 0"



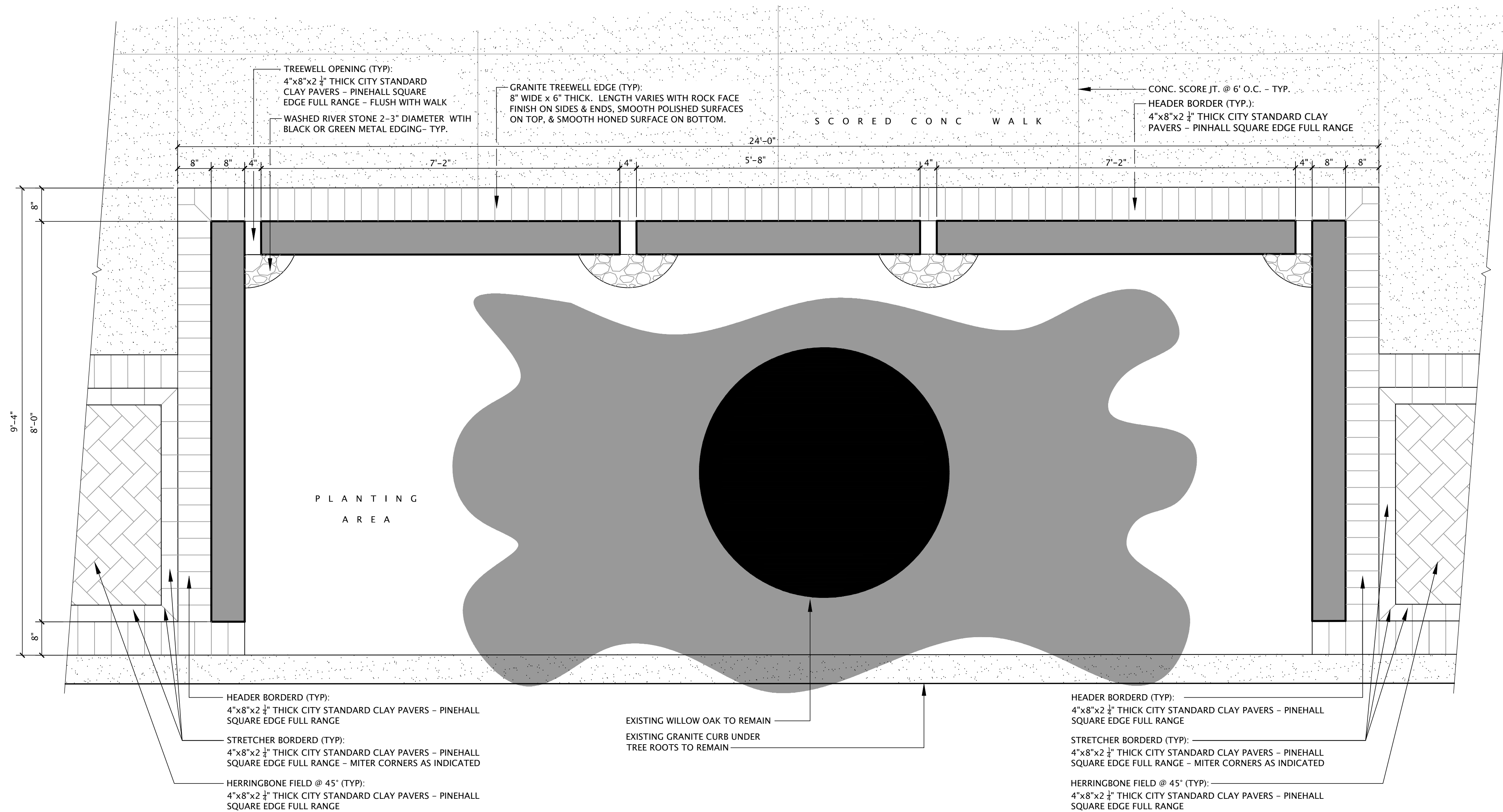
PLAN VIEW  
WHOLE FOODS ALLISON DRIVE AISLE ATYPICAL TREEWELL DETAIL

3  
1-3.4  
SCALE: 3/4" = 1' - 0"



PLAN VIEW  
LEE'S CHICKEN ATYPICAL TREEWELL DETAIL

2  
1-3.4  
SCALE: 3/4" = 1' - 0"



PLAN VIEW  
THE C.F. SAUER COMPANY HEADQUARTERS ATYPICAL TREEWELL DETAIL

4  
1-3.4  
SCALE: 3/4" = 1' - 0"

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RICKY L. GORRELL  
No. 272

THE  
SAUER CENTER  
\*\*\*\*

West Broad Street  
Streetscape

2220-2014 West Broad Street  
Richmond, Virginia

REVISIONS:

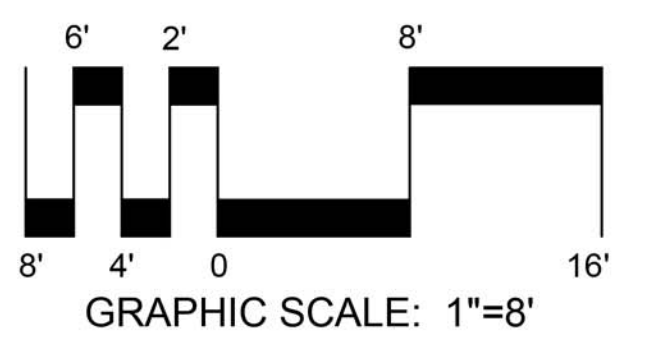
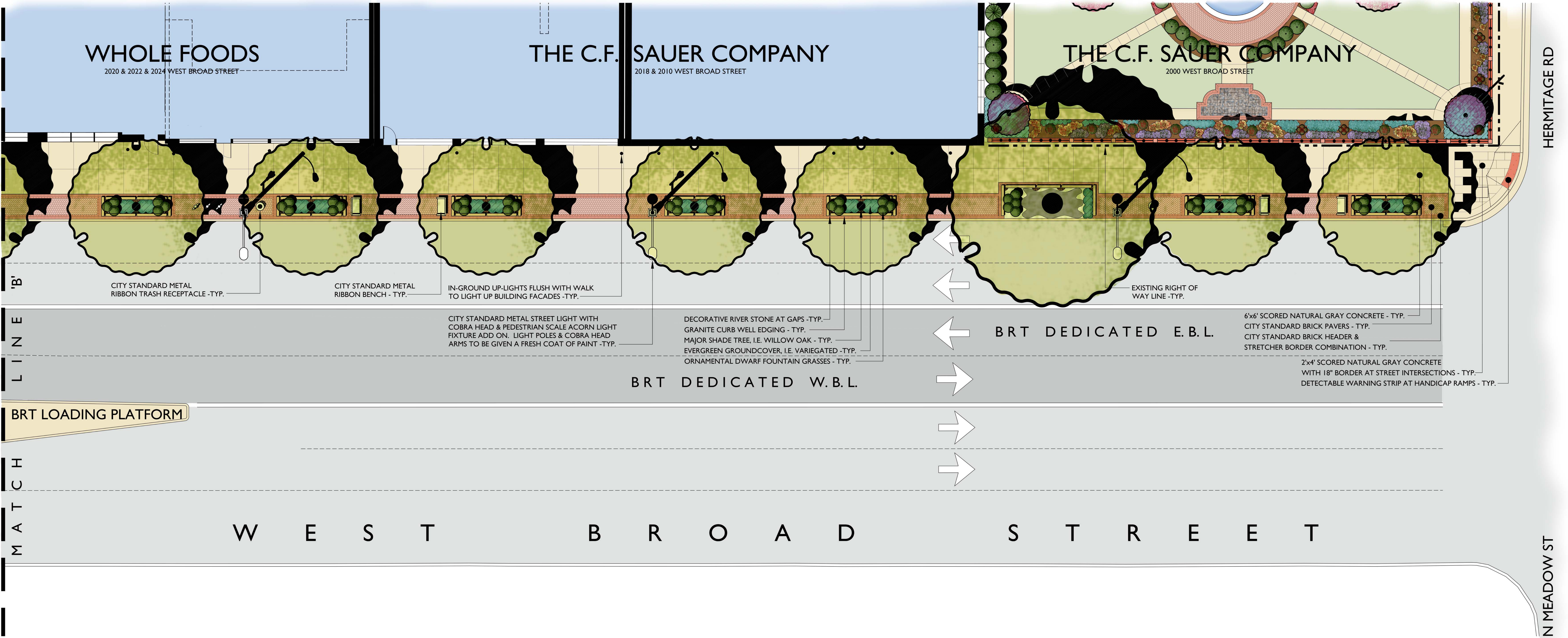
No. Description Date

ATYPICAL  
TREEWELL  
HARDSCAPE  
DETAILS

Designed By: RLG  
Drawn By: RLG  
Checked By: RLG  
Date: 08.16.2018  
Project Number: M15026  
Sheet Number

**L3.4**





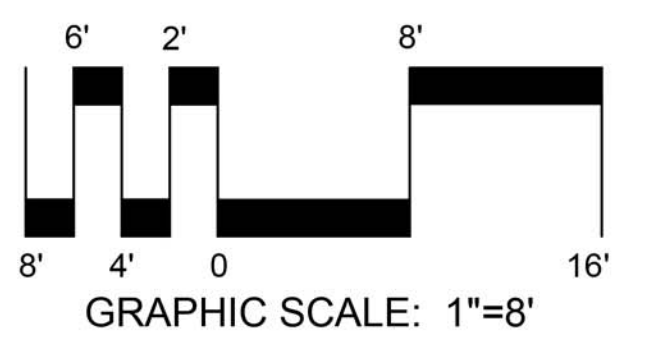
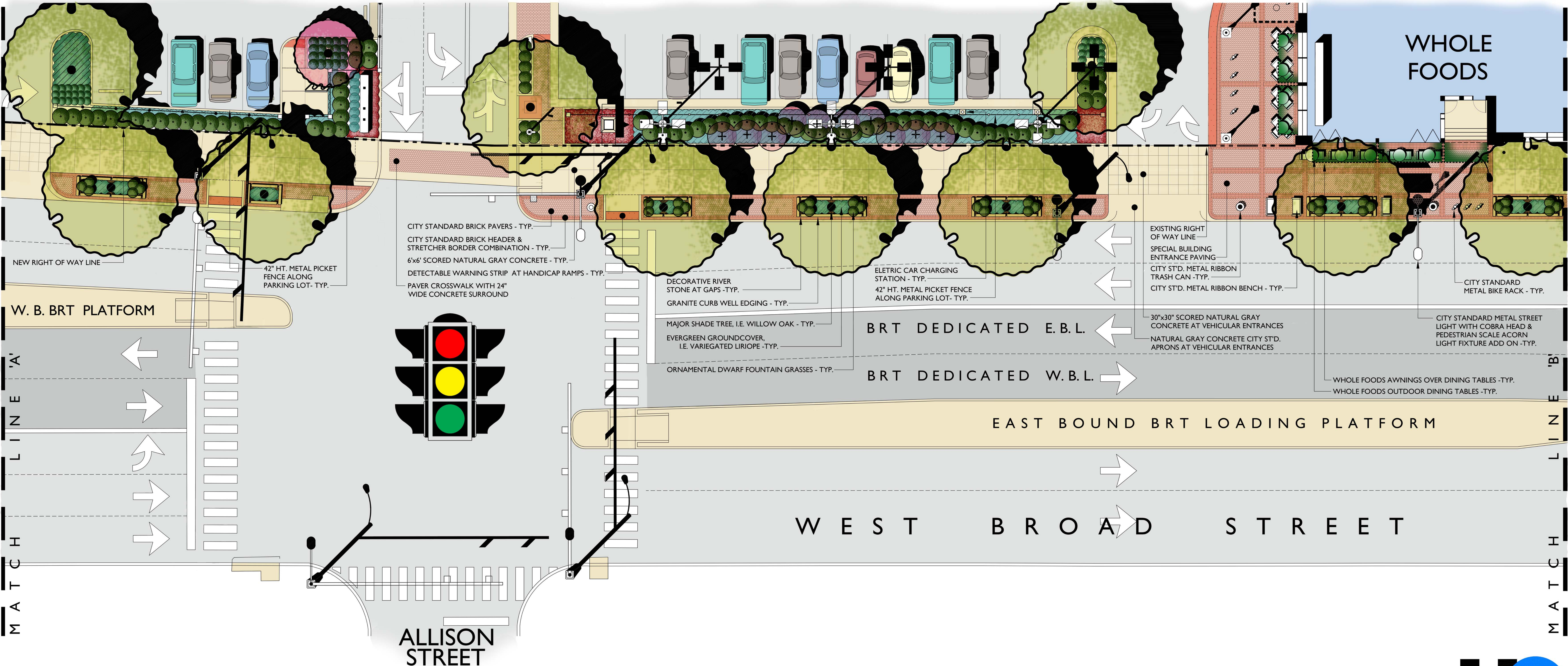
# THE SAUER CENTER · illustrative streetscape plan

L · 3 east

2020 & 2022 & 2024 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA  
DEVELOPER: SAUER PROPERTIES, INC. · 2000 WEST BROAD STREET · RICHMOND · VIRGINIA · AUGUST 2018







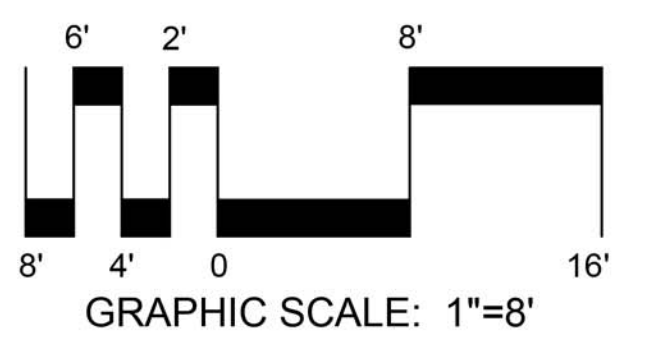
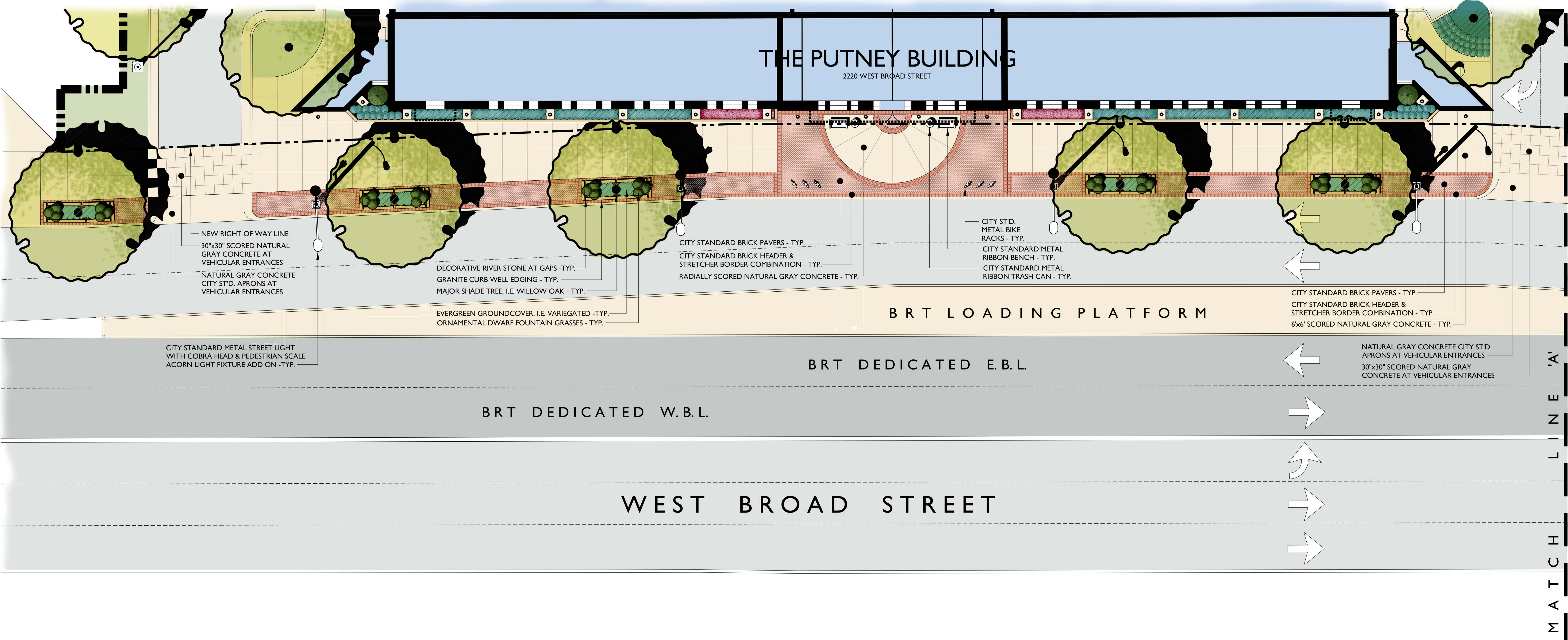
# THE SAUER CENTER · illustrative streetscape plan

L · 2 middle

2020 & 2022 & 2024 WEST BROAD STREET · CITY OF RICHMOND · VIRGINIA  
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# THE SAUER CENTER · illustrative streetscape plan

L · I west

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