



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2825 M St

Historic district Church Hill North

Date/time rec'd: 1/8/18 4:30 PM
 Rec'd by: C. J. Jarreau
 Application #: COA-028570-2018
 Hearing date: 1/23/18

APPLICANT INFORMATION

Name Matt Jarreau

Phone 804-306-9019

Company _____

Email mattj@htrsi.com

Mailing Address 409 E Main St Suite 203
Richmond VA 23219

Applicant Type: ☒ Owner ☐ Agent
☐ Lessee ☐ Architect ☐ Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name Matthew P Jarreau LLC

Company _____

Mailing Address 611 N 26th St
Richmond VA 23223

Phone 804-306-9019

Email mattj@htrsi.com

PROJECT INFORMATION

Review Type: ☒ Conceptual Review ☐ Final Review

Project Type: ☐ Alteration ☐ Demolition

☒ New Construction
 (Conceptual Review Required)

Project Description: (attach additional sheets if needed)
Two single family attached homes to be built.

ECE VED

JAN 08 2018

ACKNOWLEDGEMENT OF RESPONSIBILITY

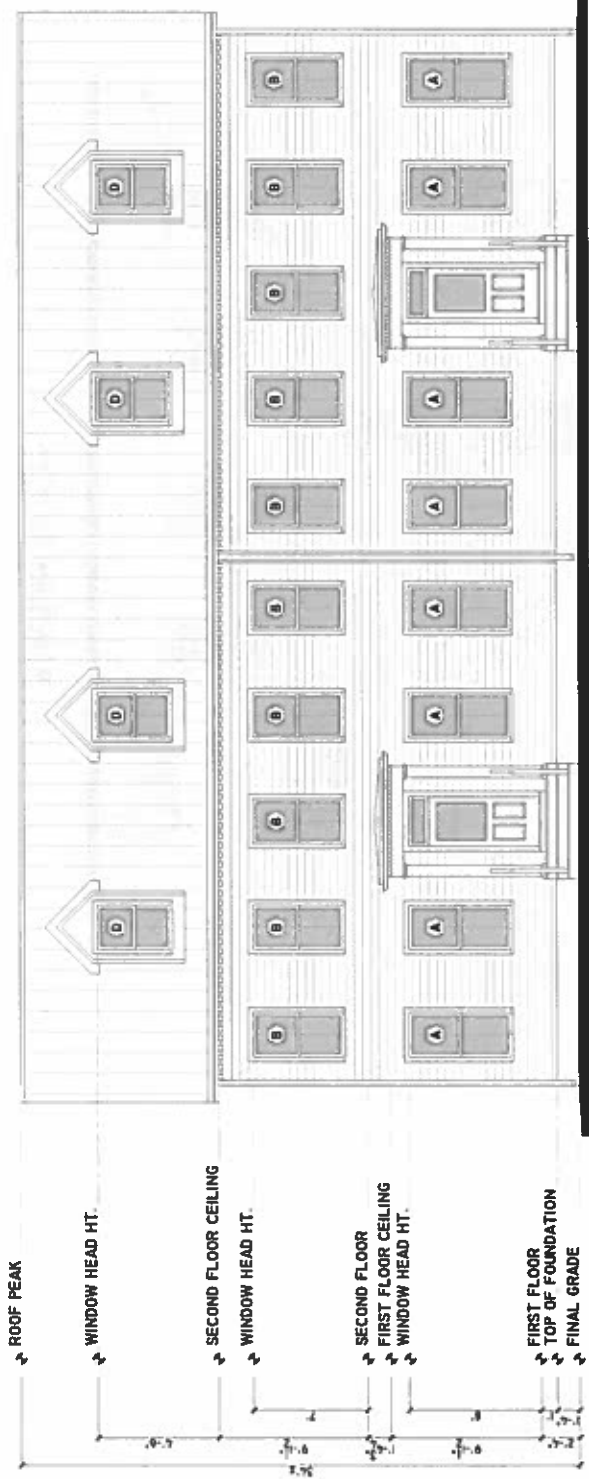
Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Matt Jarreau
 1/8/2018 1:45:29 PM EST

Date 01/08/2018



01 | FRONT ELEVATION (N. 29TH ST.)

EXTERIOR FINISH SCHEDULE

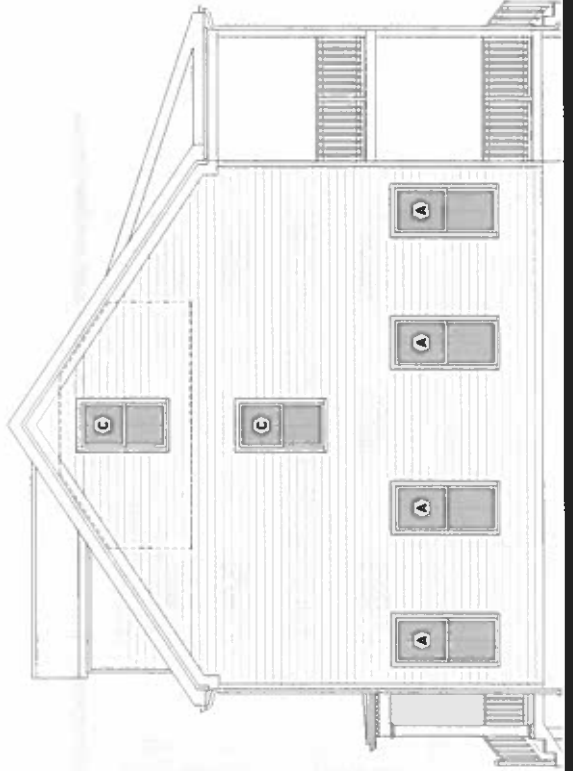
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PAVED FOUNDATION	TBO
02	WOOD SIDING	WHITE
03	HARDWARE TRIM	PAINTED: COLOR TBO
04	FRONT ROOF - STAINING SEAM METAL	BLACK/CHARCOAL/GRAY
05	FRONT ROOF - ARCHITECTURAL ASPHALT SHINGLES	WHITE
06	REAR ROOF - ARCHITECTURAL ASPHALT SHINGLES	WHITE
07	WOOD DOOR	PAINTED: COLOR TBO
08	WOOD DOOR	PAINTED: COLOR TBO
09	WOOD DOOR	PAINTED: COLOR TBO
10	WOOD DOOR	PAINTED: COLOR TBO

EXTERIOR FINISH NOTES:
1. UNLESS NOTED OTHERWISE, ALL EXTERIOR FINISHES SHALL BE AS SHOWN.
2. GRADES SHOWN APPROXIMATE. V.I.F.

WINDOW TYPE SCHEDULE

NO.	QTY	SIZE (HOR.)	HEAD	TYPE	REMARKS
A	1	2' x 3' 6"	0"	DOUBLE HUNG	
B	1	2' x 3' 6"	0"	DOUBLE HUNG	
C	1	2' x 3' 6"	0"	DOUBLE HUNG	
D	1	2' x 3' 6"	0"	DOUBLE HUNG	

WINDOW NOTES:
1. G.C. SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS OR DOORS.
2. SEE CONSTRUCTION NOTES FOR ADDITIONAL SPECIFICATIONS.
3. ALL WINDOW SIZES INDICATED SHALL BE VERIFIED ACTUAL SIZES & FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
4. ALL WINDOW SIZES INDICATED SHALL BE VERIFIED ACTUAL SIZES & FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
5. NO SECOND FLOOR WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.



02 | RIGHT SIDE ELEVATION (M ST.)

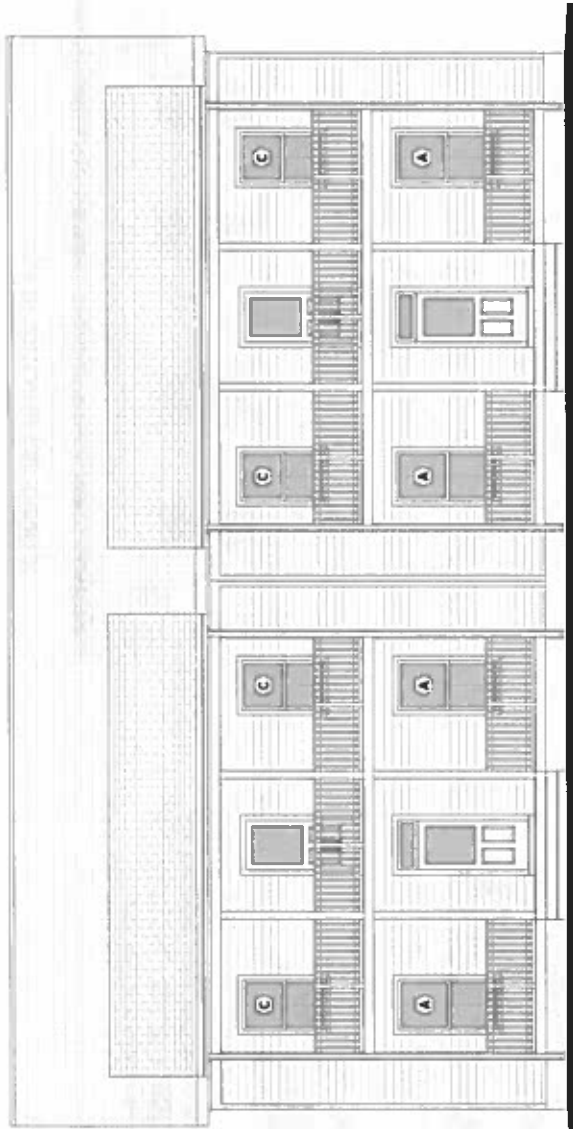
PROJECT CONTACTS:
ARCHITECT:
CHRIS WOLF
ARCHITECTURE, PLLC
801-511-7611

TWO NEW 2-STORY, ATTACHED SINGLE-FAMILY
RESIDENCES IN HISTORIC CHURCH HILL
2825 M STREET
RICHMOND, VIRGINIA 23223

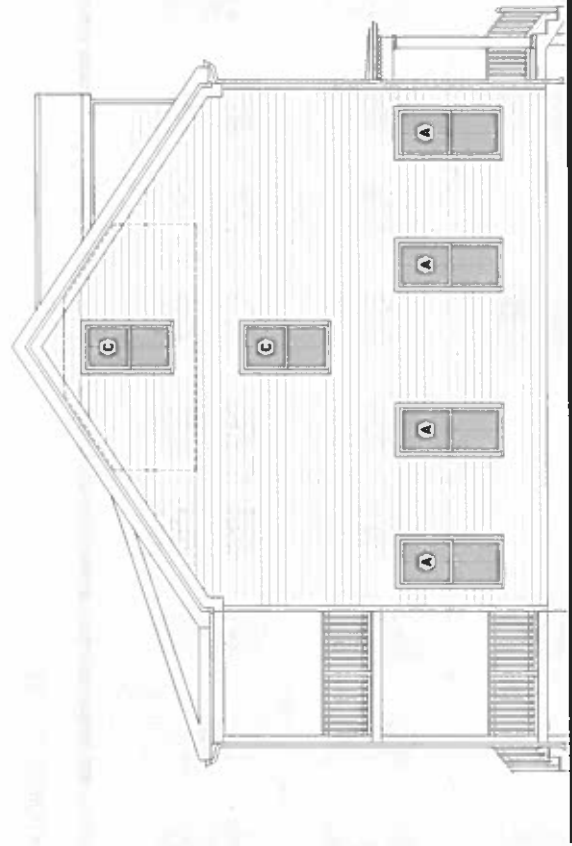
NOT FOR
CONSTRUCTION

SET/REVISION:
C.A.R. SUBMITTAL SET
DATE/PLACED:
01.08.2018

FRONT & LEFT SIDE
EXTERIOR ELEVATIONS
A2.1



01 | REAR ELEVATION
1/4" = 1'



02 | LEFT SIDE ELEVATION
1/4" = 1'

PROJECT CONTACTS:
ARCHITECT:
CHRIS WOLF
ARCHITECTURE, PLLC
802-541-7844

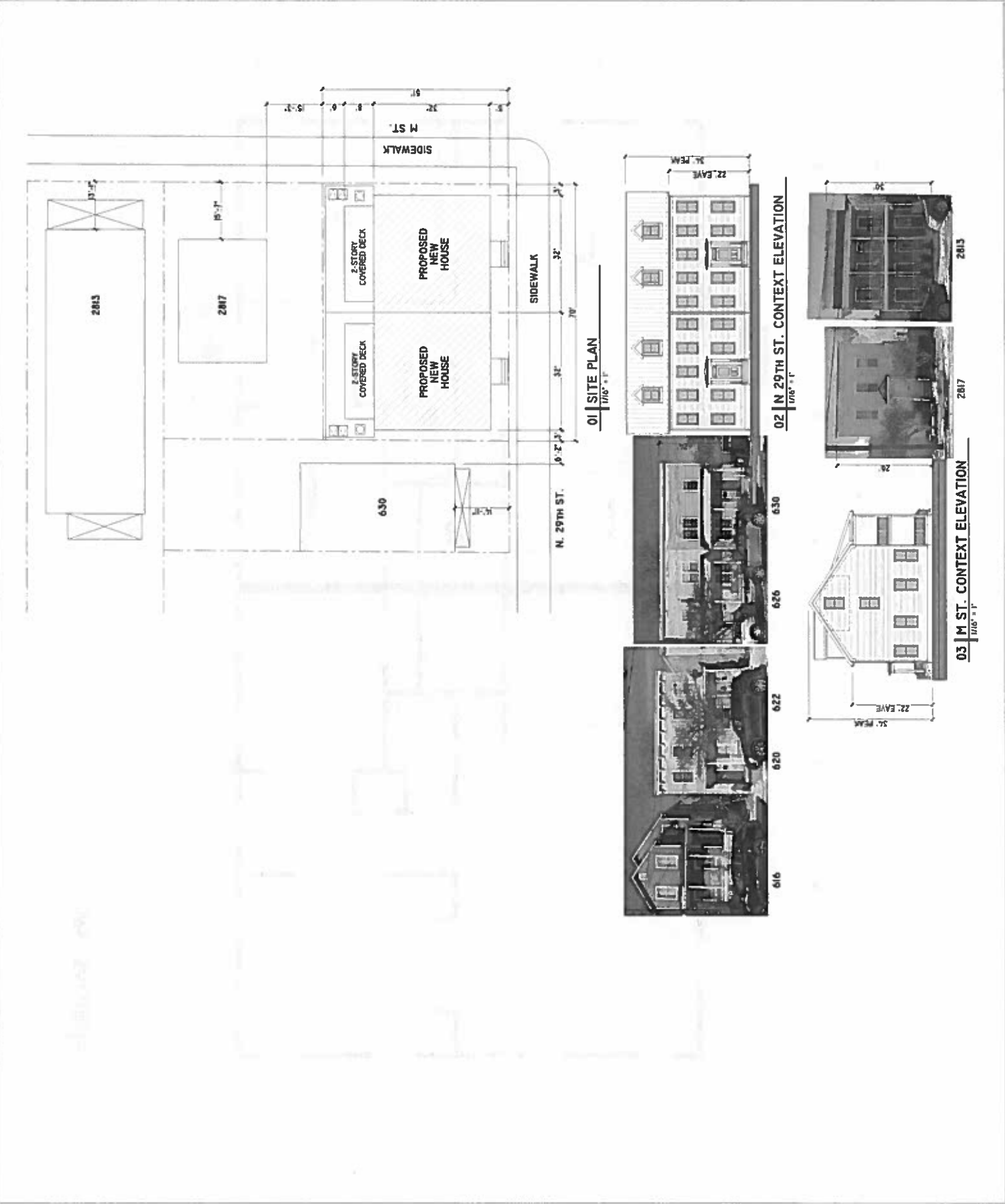
TWO NEW 2-STORY, ATTACHED SINGLE-FAMILY
RESIDENCES IN HISTORIC CHURCH HILL
2825 M STREET
RICHMOND, VIRGINIA 23223

NOT FOR
CONSTRUCTION

SET/REVISION:
C.A.R. SUBMITTAL SET
DATE/MARK:
01.08.2016

REAR & RIGHT SIDE
EXTERIOR ELEVATIONS

A2.2

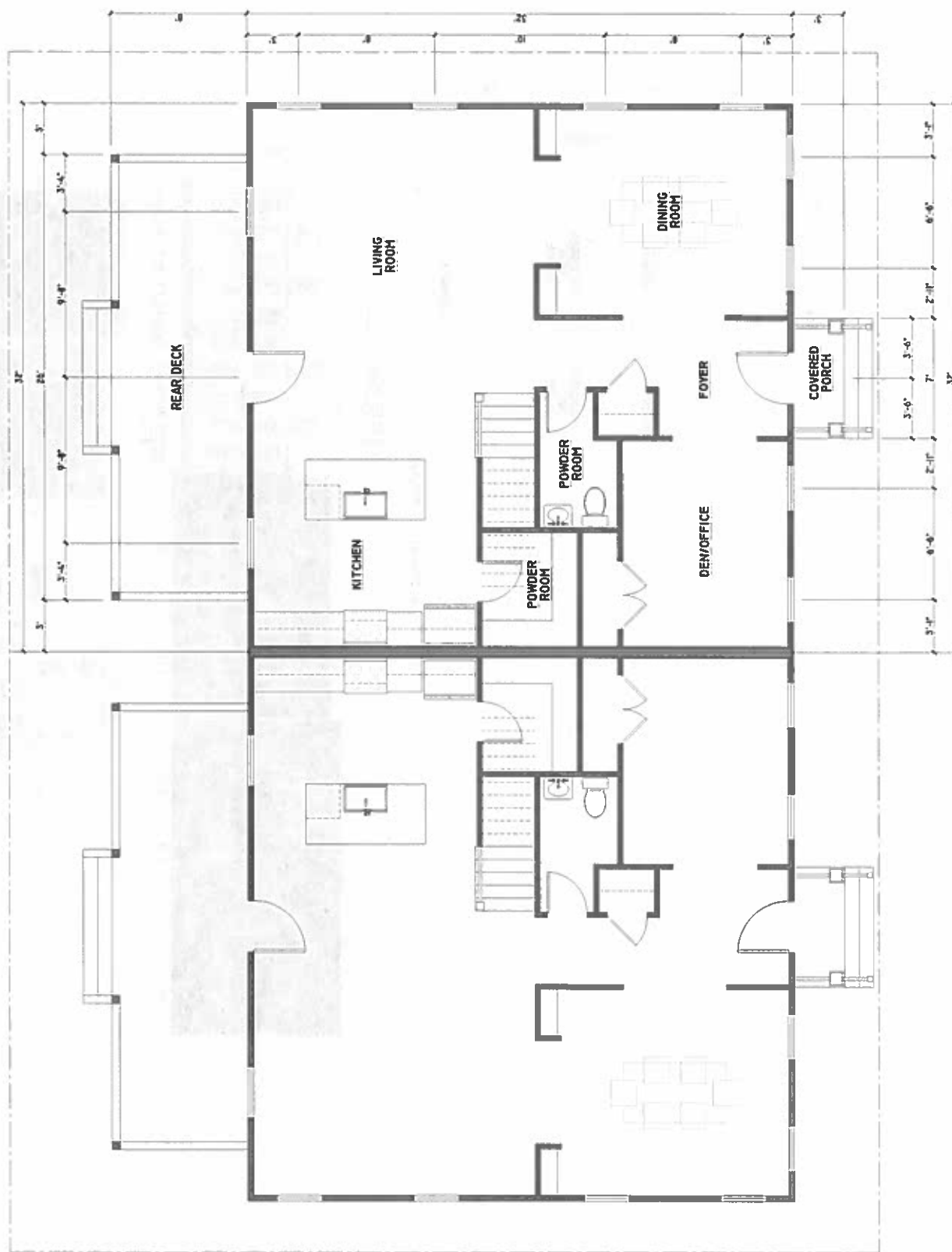


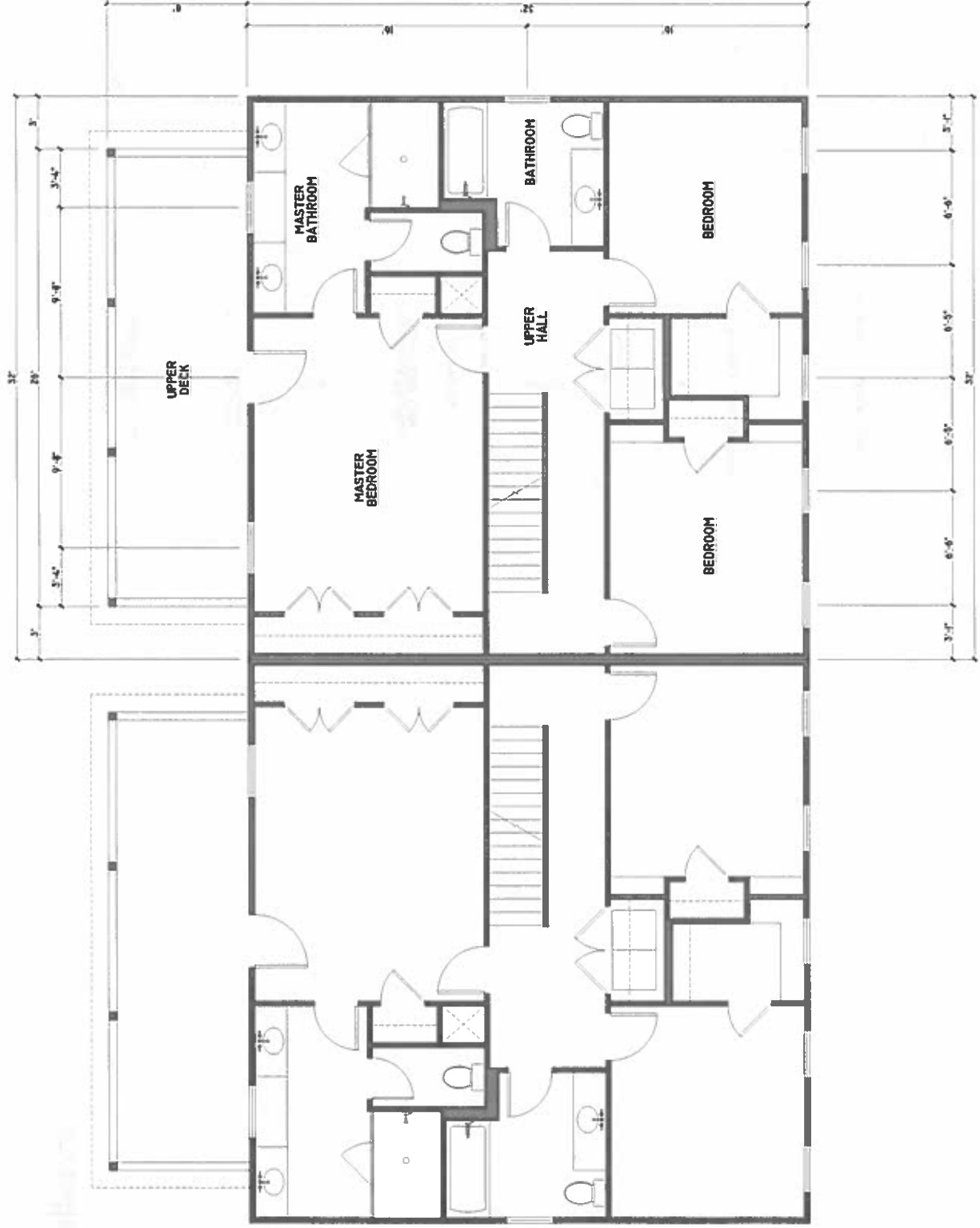
2825 M STREET
2825 M STREET
RICHMOND, VIRGINIA 23223

SET/REVISION:
C.A.R. SUBMITTAL SET

DATE/MARK:
01.08.2018

AI!

01 FIRST FLOOR PLAN
1/4" = 1'



01 SECOND FLOOR PLAN
1/4" = 1'

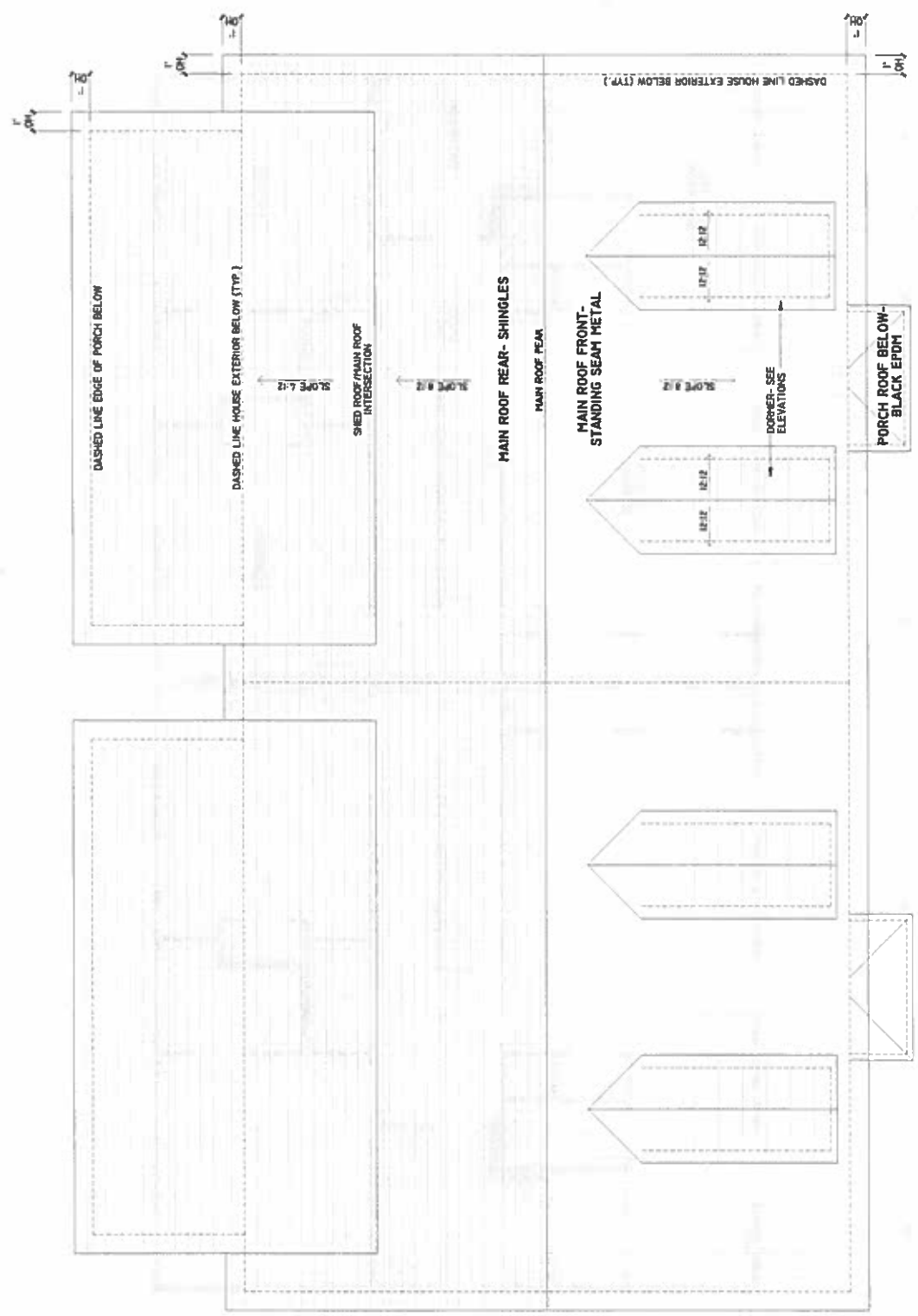
PROJECT CONTACTS:
ARCHITECT
ARCHITECTURE, PLLC
804-314-7644

TWO NEW 2-STORY, ATTACHED SINGLE-FAMILY
RESIDENCES IN HISTORIC CHURCH HILL
2825 M STREET
RICHMOND, VIRGINIA 23223

NOT FOR
CONSTRUCTION

STATION:
C.A.R. SUBMITTAL SET
DATE/USER:
01.08.2016

ROOF PLAN
A1.3



01 | ROOF PLAN
1/4" = 1'