SINGLE FAMILY RESIDENCE at 2808.5 E LEIGH STREET

RICHMOND, VA 23223

BUILDING INFORMATION:

CONSTRUCTION CODE: VCC 2012, IRC 2012 - CONSTRUCTION TYPE: V-B BUILDING AREA (INCLUDING THE EXTERIOR WALL): 15T FLOOR: 850 SF 2ND FLOOR: 900 SF TOTAL: 1,750 SF

STORIES ABOVE GRADE: 2

USE GROUP: SINGLE-FAMILY

FIRE DETECTION: YES, HARD-WIRED SMOKE DETECTION SYSTEM INSULATION VALUES:

CEILINGS: R-15 BATT INSUL

FLOORS: R-30 BATT INSUL

DRAWING INDEX:

PROPOSED

SURVEY PLAN

TITLE SHEET, SITE SURVEY & BUILDING INFO

CONTEXT ELEVATIONS

WALL SECTION & PORCH DETAIL

GENERAL STRUCTURAL NOTE: STRUCTURAL ITEMS ARE SHOWN FOR REFERENCE. ALL STRUCTURAL ELEMENTS ARE TO BE SPECIFIED/APPROVED BY A STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

Contractor to cureful, reveal the contract also understudy conditions of the job site to achieve full comprehension of the project reproadion reparametry. Contractor to include to call for all worst described and required to such the individed of the contract documents, what represely executing conditions. Architect to be rotated to find the section of the execution of the world conflicts or ministers in the classified and any limitations reduced to the execution of the world. In the case of conflicts within the contract documents, the structure contributer requirements to be included in the cost and recopy of world. Contractor shall not proceed with the world in the cost and recopy of world contract and with respect with the world in the cost and recopy of world contractor shall not proceed with the world in the cost and recopy of world contractors and next outside.

All work shall be in accordance with the Virjana Statewide Uniform Bailding Code and international Residential Code. Wheat extrons, to the salidation of authorities having provide for. All manufactured products shall be used per instruktured written specifications. Central text to highly for, pay for and text and all standing committed to the perfect of the perfec

Prior to product installution, exaliate all ensting surfaces to receive product per product neuralizativer's recommendation. Installation shall imply acceptance of substrate and shall not be grounds for claims against improper performance of installed materials.

Warant all materials, linetes and equipment supplied under this contract statil be new, intersorbitewise specified, and that all each shall be of special juility. Feel from defects and in configurate with talg contract documents. For one year beginning at the date of substantial completion, contracted all prompty ranging work found not be in compliance with the contract. Accuments. Contractor shall assume all costs for correspons.

Contractor to provide products specified in the following specifications or in the other contract documents. If no product is specified, contractor shall provide a match in quality and approximate to typical materials used in other

field Verifications: Verify all dimensions in the field before performing the work. The Contractor will be responsible to correct any work that is done in error because of failure to verify or clarify dimensions.

Work is to be executed by the general contractor unless provisions are made otherwise. References to "contractor" are to include spread contractor and subcontractors. The contractor shall be solely responsible for and have control occur all construction means and methods required by the contract obtaining including contractors and including and material problems. The contractors to be ensponsible for acts and omissions of the contractor's employees, such any other persons performing any of the work under contract with the contractor. The architect will not be responsible for erichs omissions or delays current by the contractor.

Contractor shill supply all labor, materalis, equipment, tools, tanding, transportation, alebris removal, and altrelated souls are decrease recessary for the execution of the work.

Contractor to make awaldble to the owner a construction schedule along with a schedule of values promitor connecement of work.

Substantial changes to the chairings or actual work are to be issued by the architect with the owners approval

Wall partitions, unless noted otherwise, shall be located as dimensioned and shown on the construction plans and details. Dimensions are to them of finished partitions. Actual partition the invesses are used. Contractor shall verify dimensions. All vertical dimensions are given from top of finished flooring unless otherwise noted.

Dimensions to be verified in the field. If dimensions can not be verified for the verified provided dame a delay in the progress of work, contractor state quarantee dimensions to the subcontractor for compristion. Entimings may be scaled for reference only.

All work and improvements shall be in strict accordance with the current codes adopted by the local jurisdictions and approved by the local binding inspection office. All work is to comply with applicable provisions of the the occupational safety and health act. OSHA.

contractor is to keep the premiers free from excessive accumulation of waste materials or nobissit caused by struction and will remove it from the site in a timely distinction as directed by the owner. Upon completion of year, the contractor shall remove all remaining materials, waste or otherwise, as well as all construction upment. The work and support areas shall be left broom clean.

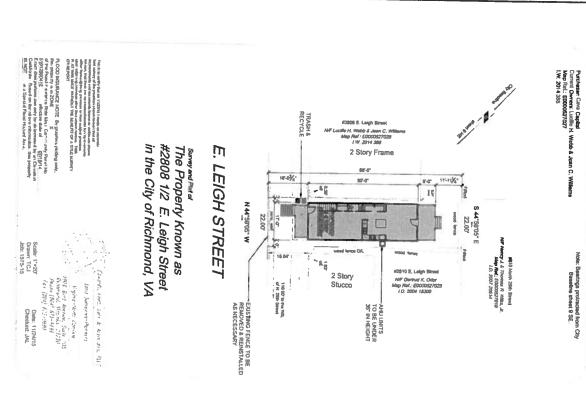
Vacuum or mop, as required, all flows and clear

roduct information and samples:

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FOUNDATION PLAN, ROOF PLAN, GENERAL CONSTRUCTION NOTES

IST FLOOR FLAN & 2ND FLOOR FLAN EXTERIOR ELEVATIONS



SINGLE FAMILY RESIDENCE

2808.5 E LEIGH STREET

RICHMOND, VA 23223



8. WALLS BACKFILLED WITH DRIT:

8. WALLS BACKFILLED WITH DRIT:

A. FOR EARTH FILL UP TO 4' MAXIMUM HEIGHT — USE 8" C.M.J. OR 8"

BRICK WITH MEMBRANE OR SPRAY ON WALTERPOORING ON EXTERIOR.
FOOTING MIN. SIZE OF 12" X 24" OR AS KONED PLAN FOR SHRINK

SMELL CONDITIONS, 18" X 24" MIN., 3"—0" BELOW GRADE

8. FOR ELARTH FILL 4" & HIGHER UP TO MAX, OF 9 USE, 12" X 24" FOOTING WITH

#4 \$\Phi\$ 16" DOWNELS HOOXED IN FOOTING. USE 12" C.M.J. WALLS WITH #4 \$\Phi\$ 16"

WETICAL BARS LOCATED 4" FROM HON DRIT FILL FACE, LAP ALL SPLICES
12" AND USE, DUR"—0" WALL HORROWING, BURFFORCING EVERY 8" IN C.M.J.

JONITS, FILL ALL OPEN CELLS OF C.M.J. WITH EITHER TYPE M OR S MORTAR
OR FILL WITH 3,000 P.S.I. CONCRETE. INSTALL MEMBRANE WATERPOOFING
OR EDWAL AND ERECT ALL FRAMING BEFORE BACKFILLING FOR SHRINK SWELL
CONDITIONS, 18" X 24" MIN., 3"—0" BELOW GRADE

9. ALL UTLITES WHICH CROSS FOOTINGS MUST PASS ABOVE FOOTINGS
10. CONCRETE MASONRY UNITS SHALL BE IN ACCORDANCE WITH A.S.T.M. C-90

MORTAR TO CONFORM TO A.S.T.M. C-270. TYPE "S" BELOW GRADE, TYPE "N" ABOVE GRADE FOR SHRINK SWELL CONDITIONS, CONSULT A GEOTECHNICAL ENCINEER.

3. ALL FOOTINGS SHALL BE DESIGNED IN ACCORDANCE WITH GROST, I. FOOTING WDTH, "Y SHALL BE DASED ON BEARING CAPACITY OF SOIL NA ACCORDANCE WITH TABLE RADI. A.1. FOOTING PROJECTIONS, "P SHALL BE 4" MIN, NOT TO EXCEED THICKNESS OF FOOTING PROJECTIONS, "P SHALL BE 4" MIN, NOT TO EXCEED THICKNESS OF FOOTING PROJECTIONS, "P SHALL BE 12" MIN, NOT TO EXCEED THICKNESS OF FOOTING FOOTING DEPTH SHALL BE 12" MIN, NOT TO EXCEED ALL PIERS OF STRUCTURES, ALL PIERS OVER 32" STRUCTURES AND BE "OF SOLID MASONRY ON 1 1/2, 2 AND 3 STORY STRUCTURES, ALL PIERS OVER 32" HIGH MUST BE FILLED WITH THE "S" MORTAR, MAXIMUM UNSUPPORTED HEIGHT OF 16" X 8" CAMU, UNFILLED HOLLOW PIER IS NOT TO EXCEED 4 TIMES THE LEAST DIMENSON OR 32". PIERS LARCER THAN 16" X 8" ARE NOTED ON LANS. SEE DETAILS SHEET ERA ADDITIONAL REINFORCIMENT INFORMATION PROVIDE PER REINFORCING W/ 1/2" THREADED RODS AT NO MORE THAN 2"-O" FROM ALL CORNERS AND SPACING AT NO MORE THAN 6"-O" MAX. FOOTING & FOUNDATION CONSTRUCTION N. WINTER DESIGN THATERATURE - 22 DECREES
O. ICE SHIELD UNDERLATMENT RECUMED - ON ALL ROOF SLOPES 4 ON 17 OR
LESS ARE REQUIRED IO HAVE WAITE & LEE SHIELD INSTALLED OVER ENTIRE
ROOF SURFACE OR 2 LAYERS OF UNDERLAYMENT K. FROST LINE DEPTH - SURFACE THE BOTTOM OF ALL FOOTINGS MUST BE A MIN. OF 12" BELOW FINAL GRADE L. TERMITE AREA AS PER FIG. 301.2.(6) - MODERATE 10 HEAVY D. FLOOR (SLEEPING ROOM AND UNFINISHED ATTIC WITH STAIRS) — 30 P.S.F. LIVE, 20 P.S.F. DEAD E. SOIL BEARING (UNDISTURBED SOLID GROUND) — 1500 P.S.F. (ASSUMED) AS PER TABLE R401.4.1 ATHC CEILING UNDER ROOF SLOPES < 3:12 - 10 P.S.F. LIVE, 10 P.S.F. DEAD C. FLOOR (NON - SLEEPING ROOMS) - 40 P.S.F. LIVE, 20 P.S.F. DEAD OTHERWISE NOTED.

A. ROOF = 20 P.S.F. LIVE, 10 P.S.F. DEAD

B. ATTIC CELLING OWER ROOF SLOPES > 3.12 = 20 P.S.F. LIVE, 10 P.S.F. DEAD GENERAL DESIGN & COXE.INFORMATION
ALL DESIGNS AND CONSTRUCTION ARE BASED ON THE 2012 INTERNATIONAL RESIDENTIAL
CODE. WITH THE VIRGINIA UNIFORM STATEMBE BUILDING CODE. "USBG." (2012 EDITION) M. DECAY AREA AS PER FIG. 301.2.(7) - SLIGHT TO MODERATE J. WEATHERING AREA AS PER FIG. R301.2(3) - MODERATE H. WIND EXPOSURE CATEGORY -G. SEISMIC IS PER THE 2012 INTERNATIONAL RESIDENTIAL CODE F, WIND SPEED IS 100 M.P.H. U.O.N. REBAR TO BE INSTALLED ONLY IF REQUIRED BY CODE OR SOIL CONDITIONS. FOR SHRWK SWELL CONDITIONS, CONSULT A GEOTECHNICAL ENGINEER. SEE WALL SCETIONS & DETAILS FOR ADDITIONAL EXITROR WALL FOOTING AND FOUNDATION WALL REQUIREMENTS.

2. FOOTINGS FOR 16" X 8" C.M.U. INTERIOR PIERS ARE MIN. 2'-0" X 2'-0" X 8" REBAR TO BE INSTALLED ONLY IF REQUIRED BY CODE OR AS SOIL REQUIRES. DESIGN LOADS ARE DEAD LOADS PLUS LIVE LOADS BELOW, UNLESS CONCRETE SHALL BE 3000 P.S.I. IN 28 DAYS UNLESS NOTED OTHERWSE.

AND PLACED AS PER A.C.I. 318-83, ON STRUCTURAL FILL COMPACTED TO A MINIMUM DENSITY OF 95% OF 11'S MAXIMUM DRY DENSITY AS DETERMINED BY THE PROCEDURES OUTLINED IN A.S.T.M. 0-688

ALL REBAR LAP SPUCES (IF REBAR SCOWN) SHALL BE A MINIMUM OF 3'-0" UNLESS NOTED OTHERWSE AND SHALL BE FABRICATED AS PER A.S.T.M. A-615, GRADE 60

CHAMET FOOTINGS FOR MASONRY CHIMNEYS SHALL BE 12" LARGER THAN FOOTPRINT X 12" THICK (MIN.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CAPACITY IN FIELD PRIOR TO CONSTRUCTION. ARCHITECT CAN NOT BE HELD LIABLE IF CONTRACTOR DOES NOT PROVIDE CAPACITY TO ARCHITECT PRIOR TO CONSTRUCTION. FOR ONE AND TWO FAMILY DWELLINGS WITH VIRGINIA AMENDMENTS (wind load governs over seismic u.o.n.) as per table r 301.2 i and eighze r 301.2.4 all windows and exterior doors shall be designed as per tables r301.2(2) and r301.2(3) ALL EXTERIOR WALL/PIER FOOTINGS ARE MIN. 8" X 24" CONT. OR AS SOIL REQUIRES 10 P.S.F.

> SIZE OF HEADER - 2 X 12 - 2 X 8 - 2 x 12 - 2 x 10 - 2 x 6 - 2 X 4 - 2 × 10 BUILDING WID TH 20, 26, 28, SPANS AND SIZES WOOD HEADER & GRDER SCHEDULE AS PER TABLE R502.5(1) AND R502.5(2) ROOF CLG. & ONE CENTER BEARING FLR EXTERIOR BEAR BLARING TLRS 4'-5" BE ARING WALLS , FLOORS 3-6

ALL SHEATHING TO BE APA RATED WOOD STRUCTURAL PANELS (R602.10) AS FOLLOWS: 0.S.B. THICKNESS (NOMINAL)

PER SECTION R602.3.1 THE SIZE, HEIGHT AND SPACING OF ALL STUD MEMBERS SHALL BE IN ACCORDANCE WITH TABLE R602.3.(5).

14. FLOOR AND WALL FRAMING SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS IMPOSED AND TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING ELEMENTS DOWN TO THE FOUNDATION.

INSTALL ALL SHEATHING IN ACCORDANCE W/ TABLE R602.10.5 AND R602.3(3)

0.S.B.

PROVIDE 2X6 STUD FRAMING SPACED @ 16" O.C. @ ALL UNBRACED GABLE END WALLS.

FRAMING CONSTRUCTION — OTHER THAN ROOF

1. CRAWL GROERS ARE TO BE (3) 2×10 Pressure treated lumber

UNLESS NOTED OTHERWISE

4. MICRO-LAM BEAMS MUST HAVE (3) 2 X 4 STUD JACKS UNDER EACH END SUPPORT UNLESS NOTED OTHERWISE 5. MASONRY LINTELS

3. STEEL BEAMS MUST HAVE (4) 2 X 4 STUD JACKS UNDER EACH

all lumber shall be southern yellow pane g_2 or spruce-pane-fir g_2 or better framing unless noted otherwise. Utility grade lumber is unacceptable.

END SUPPORT UNLESS NOTED OTHERWISE

BALLOON FRAMED WALLS ARE DESIGNED AND SEALED BY RDP AND NOT PRESCRIPTIVE

18. PROVIDE FIRE BLOCKING IN ALL AREAS AS MANDATED IN BUILDING CODE ALL INTERIOR BEARING WALLS SHALL BE CONSTRUCTED, FRAMED AND FIRE BLOCKED AS REQUIRED FOR EXTERIOR WALLS (R602.4).

19. ALL FASTENERS IN PRESSURE TREATED WOOD ARE TO BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SLICON BRONZE, OR COPPER AS PER SECTION R319,3 PROVIDE DRAFTSTOPPING IN ALL ATTICS AND FLOORS AS PER R502.12

21. PER SECTION R502.6 ALL JOIST, BEAM OR GIRDER ENDS SHALL BEAR MIT 1 1/2" ON WOOD OR METAL AND NLT 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" X 4" RIBBON STRIP AND NALED 10 ADJ. STUD OR APPROVED 20. ALL FLOOR JOIST AND CIRDER SPANS SHALL BE IN ACCORDANCE WITH TABLES R502.3.1(1), R502.3.1(2), R502.3.3(1)-(2), R502.5(1), R502.5(2) AND SECTIONS R502.4 & R502.10 ALL FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH TABLES R602.3(1)-(2)

FRE RAILD SHEATHING —
ALL FIRE RAILD SHEATHING SPECFED IS TO BE BLAZEGUARD WOOD PAWELS AS MANUFACTURED BY INTERNATIONAL BARREER TECHNOLOGY

1. 10' OF BRICK OR STONE MAX. SPAN 36"
2. 6' OF BRICK OR STONE MAX. SPAN 48"
3. 30" OF BRICK OR STONE MAX. SPAN 72"
B. FOR SPAN FROM 6' TO 8' USE 5" X 3-1/2" X 5/16*ITEEL ANGLES

A. FOR SPANS UP TO 6" USE 3-1/2" x3-1/2" x 1/4" STEEL ANGLES EXCEPT STANDARD PRESSED STEEL ANGLES 3-1/2" x 3-1/2" x 1/4" MAY BE USED FOR FIREPLACE OPENINGS AS FOLLOWS.—

3. COLLAR TIES -

10. ALL ROOF TRUSSES MUST BE BUILT IN ACCORDANCE W/ TRUSS MANUFACTURERS DIRECTIONS 11. PROVIDE HURRICANE STRAPS AT ALL ROOF RAFTERS WHERE REQUIRED BY APPLICABLE CODES 2 X 6 HOC 1 - 2 x a 2 x 8 HOG -1 - 2 x 8 (2) 2 × 4 "IEE"

FOR 2 X 6 HOC - 6'-0" O.C. FOR 2 X 8 HOC - 7'-6" O.C. 9. BRACING DETAILS

IF REQUIRED BY APPLICABLE CODE

13. WITH NO ROOF PLAN: 12. ROOF SHEATHING SHALL BE A MINIMUM OF 1/2" O.S.B. SHEATHING AND SHALL CONFORM TO TABLE R 803.2.1 ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR

USE (2) 2 X 6 HOGS AT RAFTER WITH (2) 2 X 4 BRACES MAX. ALLOWABLE SPANS AS PER APPLICABLE CODE, USE 2 X 8 0 16" RAFTERS, UNLESS SHOWN OTHERWISE. BETTER FRAMING, UNLESS SHOWN OTHERWISE. AT 6', MAX, SPACING

14. PER SECTION R802.4 ALL CEILING JOIST SPANS SHALL BE IN ACCORDANCE WITH TABLES R802.4(1) AND R802.4(2). 15. PER SECTION R802.5 ALL RAFTER SPANS SHALL BE IN ACCORDANCE WITH TABLES R802.5.1(1) THROUGH R802.5.1(8) ACCORDING TO SECTION R802.6 ALL RAFTER AND CEILING JOIST NLT 1 1/2" ON WOOD OR METAL AND NLT 3" ON MASONRY OR E. ALL BRACED LOADS MUST GO TO FOUNDATION. LARGER THAN RAFTER SIZE. CEILING JOISTS. ENDS SHALL BEAR

CEILING JOISTS. CUT IN ALL RAFTERS USING RIDGES, VALLEYS, ETC., ONE SIZE

CARRY BRACES TO PARTITIONS/BEAMS OR MIN. OF (2) 2 X 6 HOCS ON

3. PER SECTION R308.4 & CPSC 16-CFR PART 1201, ALL GLAZING IN TYPED. THEREFORE, ALL SUBELITES NEAR ENTRY DOORS OR ANY I A DOOR SWING SHALL HAVE THEIR GLASS TEMPERED. ADDITIONAL CODE INFORMATION
CONTRACTOR TO NOTIFY APPLICABLE STATE UTILITY LOCATION SERWCES PRIOR TO EXCAVATION
CONTRACTOR TO NOTIFY APPLICABLE STATE UTILITY LOCATION SERWCES PRIOR TO EXCAVATION
PER SECTION R312, CUARDRAILS ARE REQUIRED ON PORCHES, BALCONES AND RAISED FLOOR SUBFACES
MORE THAN 30" ARDIVE GRADE OR FLOOR BELOW. ALL INTERIOR RETERIOR RAILINGS ARE TO BE MINIMUM 36" IN
HEIGHT, BE ABLE TO WITHSTIAND 200 LBS. OF FORCE AND NOT ALLOW A SPHERE GREATER THAN 3 7/8" IN
DIAMETER TO PASS THROUGH. NO RAILING DESIGN W/ LADDER EFFECT IS ALLOWED. HANDRAIL GRIP SIZE AS PER
SECTION R 311.7.7.3 IN THE IRC. HAZARDOUS AREAS SHALL BE SAFETY-MINDOWS THAT ARE IMPACTED BY

PER NI102.2.3 ATTIC ACCESS TO BE INSULATED WITH AN R VALUE EQUAL TO THE DIAPHRAGAI THAT THEY PE MUST BE GASKETED AND CONSTRUCTED TO CONTAIN INSULATION SPIL OVER. PER SECTION AND CROSES WINDOWS SHALL MEET THE FOLLOWING REQUIREMENTS. MINIMUM OF (1) 5.7 SQ. FT. CLEAR OPENING PER BEDROOM IS REQUIRED AT THE SECOND LEVEL OR ABOVE. MINIMUM OF (1) 5.0 SQ. FT. CLEAR OPENING PER BEDROOM IS REQUIRED FOR WINDOWS ON THE FIRST LEVEL. EQUAL TO THE DIAPHRAGM THAT THEY PENETRATE. ALL ACCESSES

PER SECTION R314, SMOKE DETECTORS SHALL BE INTERCONNECTED, BUILDING WIRING AND HAVE A BATTERY BACKUP. RECEIVE PRIMARY POWER FROM THE

9. GARAGE TO LIVING SPACES ENTRY DOOR TO BE N.L.T. 1 5/8" WITH A FIRE RATING OF N.L.T. 20 WINJES 10. INTERIOR GARAGE WALL & CEILING FINISH TO HAVE N.L.T. 5/8" GYPSUM BOARD ADJACENT TO ALL UVING AREAS ALL GLASS BATH TUB ENCLOSURES ARE TO BE TEMPERED.ALL WINDOWS AT STAIR LANDINGS LESS THAN 60° ABOVE THE FLOOR ARE REQUIRED TO HAVE SAFETY GLAZING.

11. ALL BATH VENTILATION FANS MUST DESCHARGE 10 OUTSDE SPACES
12. ALL SMOKE DETECTORS MUST BE INTERCONNECTED AS DIRECTED BY CODE.
13. ALL ELECTRICAL WORK SHALL BE ACCORDING 10 THE APPLICABLE CODE(S).
14. PER SECTION R703.8 CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT ALL VALLEYS AND ROOF

WALL INTERSECTIONS

15. PER SECTION R308.4 PROWDE SPECIALTY GLAZING AS REQUIRED AT "HAZARDOUS LOCATIONS"

16. ALL BATH AND SHOWER WALLS WITH SHOWER HEADS SHALL HAVE NOWABSORBENT SURFACES UP TO 6'-0" IN HEIGHT AS PER SECTION R307.2

17. ALL STARWAYS SHALL BE ILLUMINATED AS PER SECTION R303.6 AND HAVE CONTROLS AS PER SECTION R303.6 I REMERCY FEFTIGENCY CALCULATIONS SHALL BE IN ACCORDANCE WITH N1101.21 IF REQUIRED BY CITY OFFICIALS

20. ALL WALL COVERINGS SHALL BE SECURELY FASTENED IN ACCORDANCE WITH TABLE R703.4 PER SECTION R703.4

21. PROVIDE MECHANICAL VENTILATION AT ALL TOLLET ROOMS IN ACCORDANCE W/ SECTION MISO7
22. ALL OUTLETS IN WET LOCATIONS SHALL BE PROVIDED AS REQUIRED PER SECTIONS E3801.4, E3
E3802.1, & E3802.3
23. AS PER NITOL9 A PERMANENT ENERGY CODE CERTIFICATE SHALL BE POSTED ON OR IN THE E1 PER SECTIONS E3801.4, E3802.6, POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL

24. AS PER NI102.1 FENESTRATION REQUIREMENTS FOR EXTERIOR WINDOWS AND DOORS SHALL BE U 0.35 OR LOWER, ONE OPAQUE DOOR IS EXCHAPT FROM THE U FACTOR PER NI102.3.4. UP TO 15 SQUARE FEET OF WINDOW AREA IS ALSO EXEMPT FROM MEETING 0.35 U. 25. WINDOW SILL HEIGHT FOR ALL SECOND FLOOR WINDOWS SHALL BE AS PER SECTION R612.2. 26. PROVIDE CARBON MONOXIDE DETECTORS PER IRC R315.1 AND R315.3 27. PROVIDE FIRE EXTINCUISHER IN NITCHEM PER R329 27. PROVIDE FIRE EXTINCUISHER IN NITCHEM PER R329 28. PER R302.5.2 PROVIDE MINIMUM 26 GAGE SHEET SITEL OR OTHER APPROVED MATERIALS AND NO OPENINGS INTO GARAGE 29. PER M1602.2 OUTDOOR AND RETURN AIR FOR FORCED AIR—SYSTEMS PROHIBITED FROM GARAGE. 30. PER M1602.4.3 ALL FIREFLACES, INCLUDING WOOD BURNING, MUST HAVE THEIR FIRE BOX OPENINGS SEALED AND GASKETED AND RECEIVE COMBUSTION AIR DIRECTLY FROM OUTSIDE.

CAVA CAPITAL

5. ALL BRACES ARE (2) 2 \times 4 NAILED W/ 160 NAILS \odot 9° 0.C. VERTICALLY FROM TOP 10 BOTTOM – SEE DETAIL BELOW. BRACES 8°-0° AND LONGER MUST BE BRACED HORIZONTALLY \odot 4°-0° 6. ALL HIPS & RUDGES ARE TO BE SIZED SO THAT ALL RAFTERS BEAR FULLY ON THE RUDGE BOARD. 7. ALL HOGS ON CEILING JOISTS OR RAFTERS ARE 2 \times 6 OR 2 \times 8 UNLESS NOTED OTHERWISE. 8. MAXIMUM SPACING OF RAFTER BRACES - RAFTERS CAN BE SPLICED OVER HOGS 4. (3) COLLAR TIES MIN. @ ALL RIDGES EVEN IF 2 TIES MUST BE 2. RAFTER - 2 X 8 @ 16" O.C. UNLESS NOTED OTHERWISE. THEY TO HIPS, RIDGES, ETC. UNLESS NOTED OTHERWISE A. TILE, SLATE AND OTHER BEARING ROOF COVERINGS SHALL USE 2 X 10 @ 16" RAFTERS UNLESS OTHERWISE TIES - 2 X 4 @ 32" AT ALL RIDGES AND AS REQUIRE! ISE NOTED

IRED BY TABLE R 602.3.1

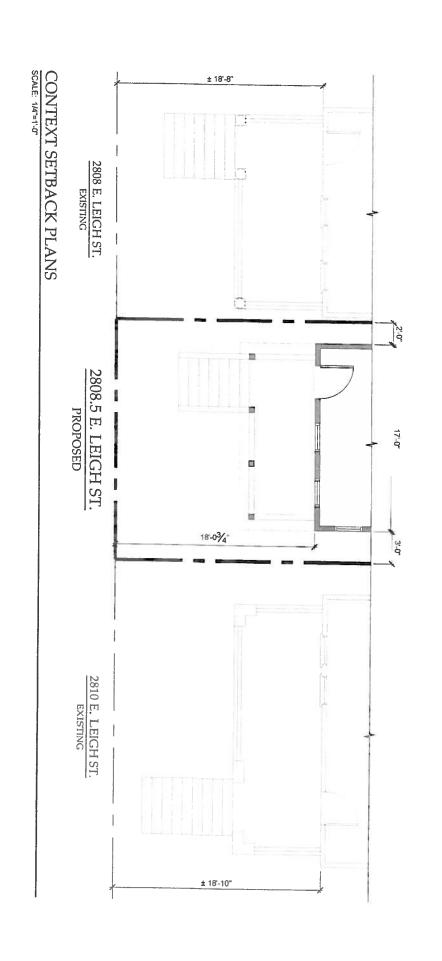
SE PUT ON (1) SET OF RAFTERS E-PINE-FIR #2 OR BETTER FRAMING IS UNACCEPTABLE. ARE CUT IN 9" O.C. VERT.

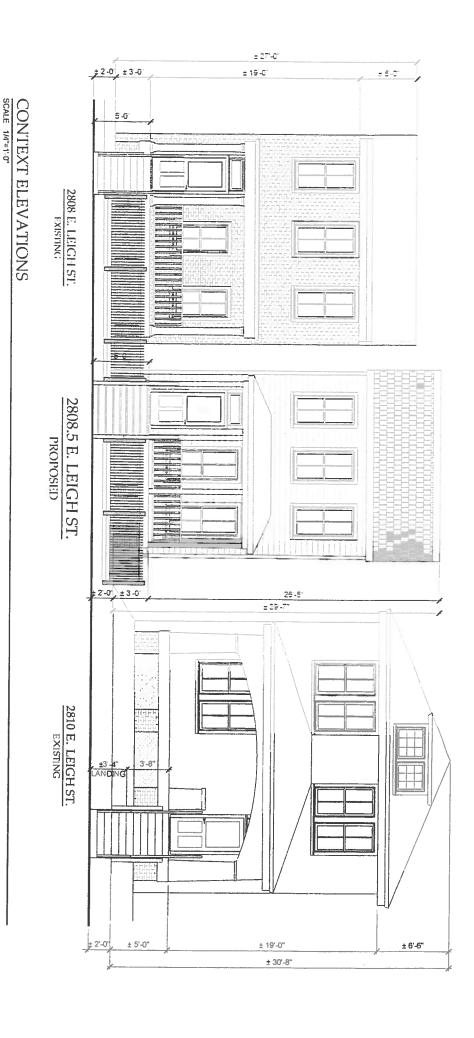
OFFICE: 804.510.0333 5310 MARKEL RD. SUITE 104 RICHMOND, VA 23230

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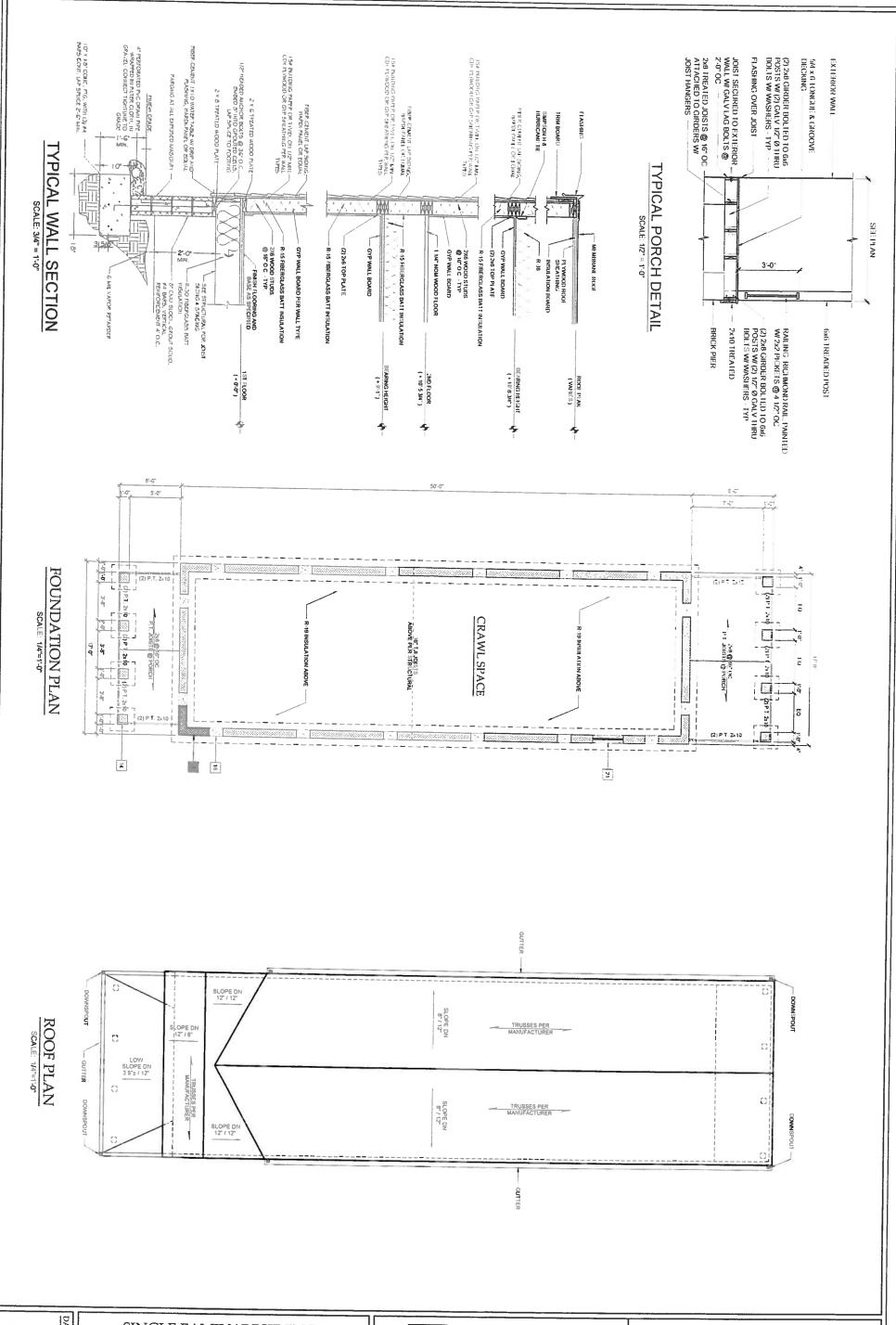




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A-2

SINGLE FAMILY RESIDENCE

2808.5 E LEIGH STREET RICHMOND, VA 23223



GENERAL NOTE

GENERAL NOTE

CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS

1. FOURIDATION: CAMPRISHED WITH PACCING SEE FOURIBATION DETAIL A F. 2. FRONT PORCH FLOODING AND RIM A OUTSILE AND GROOVE DECAING.

3. WALLES RECINEMED PAIL, TAINING WOODER, GAG BOX COLUMNS.

4. PROBLE POOCHIG, AND REM TOWNED WOODER, GAG BOX COLUMNS.

5. PORCH POOCHIG, AND REM THING WOODER, GAG BOX COLUMNS.

6. WINDOWS, MARIEWELL, LACK, PRISS.

7. DOORS, SEE PACH OR SEET.

8. SHING AND REM FIREK, CHMENT (PARDIFMANDE MATERIAL OR ROUN.)

9. FASCIA PACARDS. FIREK, CHMENT (PARDIFMAND MATERIAL OR ROUN.)

9. FASCIA PACARDS. FRUIR CHMENT (PARDIFMAND MATERIAL OR ROUN.)

10. WOODE SITES & PAURISCH BEICHAUDID STAIL.

11. AT FEARLY POOCE ARCHEOTHER, SHINGLIS.

12. FEARLY POOCE ASTRONOMERS.

13. FEARLY POOCE ASTRONOMERS.

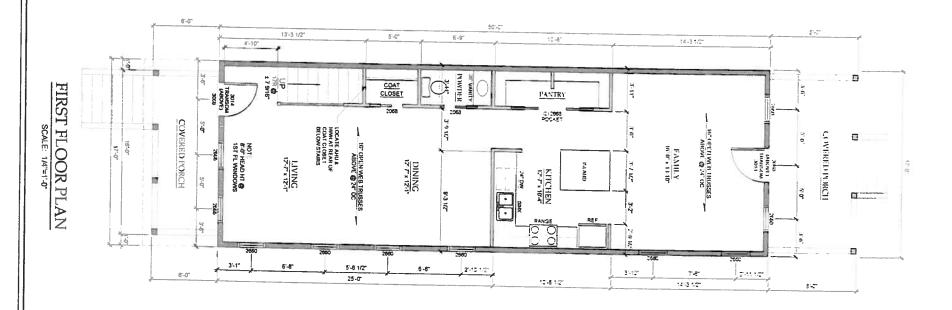
14. FOECH THER, 12*12" BRICK THEY, 24*CAPAL'S CONCENTRE HOOTHER, SHINGLISH, SHINGLISH.

15. WOODE LATTICE PAURING.

16. S* CACCIONATION VEHIS.

17. 15* CAPATIC VIRIT.

18. CHANCE SPACE ACCESS PAURING.



6-9F 177-9F 6-9-177 6-7 153-5-177 5-7 153-5-

A-3

SECOND FLOOR PLAN

SINGLE FAMILY RESIDENCE

2808.5 E LEIGH STREET RICHMOND, VA 23223



CHARRA MOTE

CHARRA MOTE

CONTINUOUS AN ATHREST OF ALT WALL MANCHE INCLUMINES CLEAR REAL

CONTINUOUS AND WALLAND

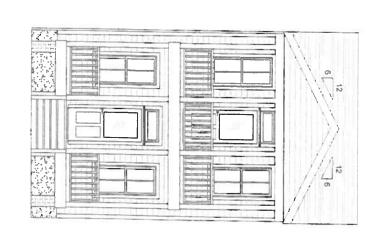
CONTINUOUS CALLENGER AND EXPANDS SELECTED MANCHE INFORMATION

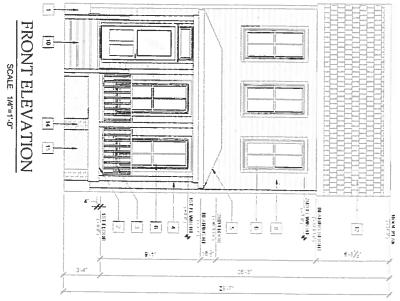
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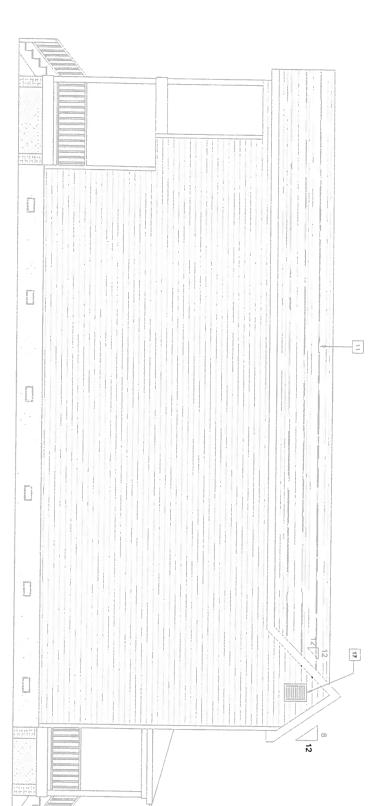
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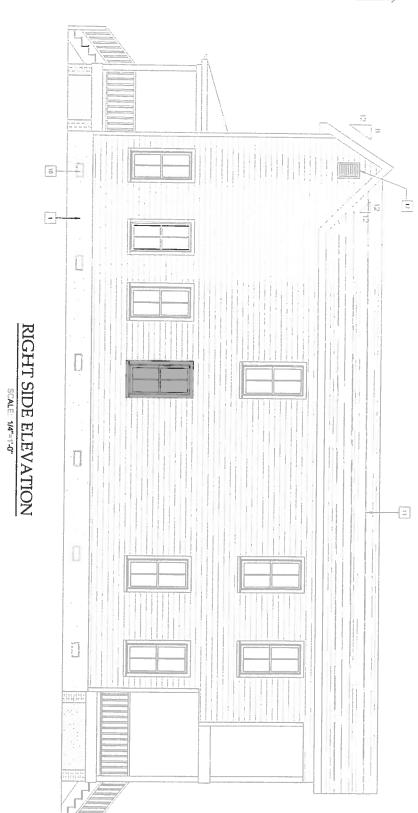
REAR ELEVATION

SCALE: 1/4"=1'-0"









LEFT SIDE ELEVATION

SINGLE FAMILY RESIDENCE

2808.5 E LEIGH STREET RICHMOND, VA 23223



_in a Special Flood Hazard Area. Based on the above information, this property Exact designations can only be determined by an Elevation 5101290041E effective date of 07/16/14

effective date of 07/16/14 this property is in ZONE X

upon adjoining premises other than shown hereon. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY

hereon, thot there are no encroachments by improvements either from adjoining premises or from subject premises either from adjoining premises or from shown beyong THIS field survey of the premises shown hereon that all improvements and cosements lanown or visible are shown This is to certify that on 04/01/16 I made an accurate

JAMES A. LOHR LIC. NO. 2008

Drawn: TCJ Date: 11/24/15 2cale: 1,=50, Fax (804) 673-9990 9996-EL9 (+08) euoqd 1900 Byrd Avenue, Suite 103 Richmond, Virginia, 23230 Virginia-North Carolina

rauq aninekola-bianueka Edwards, Kretz, Lohr & Associates, PLLC/

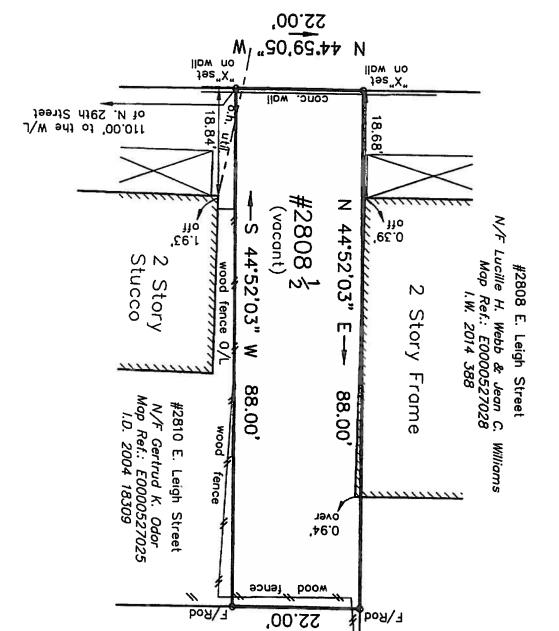
Checked: JAL

Revised: 04/05/16

in the City of Richmond, VA #2808 1/2 E. Leigh Street AN SIN SIN Survey and Plat of

Job: 1575-15

E' TEICH SIBEEL



2 44.28,02, E

	180.0	180.2	MINDOW (high)
	169.5	'7.ear	MINDOM (IOM)
19.961	1924	'e.čei	ROOF
172.4'	168.9	167.6'	FINISHED FLOOR
1.891	165.4'	163.2'	GROUND
0182	28081/2	8082	

1.D. 2007 20514 Map Ref.: E0000527019 N/F Nancy J. & Thomas R. Willis, Jr. #610 North 29th Street

> Works Sewer Utility Map. Note: Vertical datum per Dept. of Public

> > I.W. 2014 388

Map Ref.: E0000527027 Current Owners: Lucille H. Webb & Jean C. Williams

Purchaser: Cava Capital

Baseline sheet 9 SE. Note: Bearings protracted from Cit)