



VICINITY MAP  no scale

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DEC 01 2015

LAND USE ADMINISTRATION

PROJECT INFO

- Project:
1. Construct multi-family residential - 4 units (attached single-family, townhouses) on one lot.
 2. Renovate Carriage House for one residence
 3. No change proposed to exist. 4 unit structure at 1401 W. Leigh St.
 4. Provide 11 improved parking spaces, 1 for each of 11 residential units.

Developer/Owner: Zarina Fazaldin & L&Z Historic LLC

Architect: Site Planning:
Johannas Design Group

4 new residences at 1400 Catherine St. & Carriage House Renovation (1 residence at 908 Kinney St.):
Walter Parks Architect

Zoning District: R-7

Areas of SUP:

1401 W. Leigh St (908 Kinney)
Owner: Zarina Fazaldin
Existing main bldg w/ 4 existing multi-family residential units & vacant accessory bldg carriage house proposed to be renovated for single residential unit (908 Kinney St.).
Lot Area = 0.123 ac, 5379 sf

1400 Catherine (900-906 Kinney)
Owner: Zarina Fazaldin
Existing vacant lot, proposed 4 multi-family residential units - attached, single-family townhouse construction.
Lot Area = 0.144 ac, 6257 sf

1405 W. Leigh St
Owner: L&Z Historic LLC
Existing 2-family residence, rear of lot proposed for 11 parking spaces
Lot Area = 0.135 ac, 5870 sf

Parcel SF: 17,506 sf total of 3 parcels

Bldg. Footprint Area:	1401 W Leigh	2144 sf
	908 Kinney	766 sf
	900-906 Kinney	2996 sf
	1405 W Leigh	1115 sf
	TOTAL	7021 sf

Open Space: 10,485 sf

Paved Area on Listed Lots: 3034 sf
Paved Area on Alley in Common: 857 sf

Bldg. Total GSF: 15,042 gsf

DRAWING INDEX

CS	PROJECT INFO
	<u>SUP SITE INFORMATION</u>
SITE 1	EXISTING
SITE 2	SITE LAYOUT
SITE 3	GRADING PLAN
SITE 4	SITE LIGHTING
	<u>908 KINNEY ST</u>
A.101	CARRIAGE HOUSE RENOVATION PLANS & ELEVATIONS
	<u>900-906 KINNEY ST</u>
A.203	4 MULTI-FAMILY RESIDENTIAL UNITS FIRST FLOOR PLAN
A.205	SECOND FLOOR PLAN
A.301	FRONT AND REAR ELEVATIONS
A.302	SIDE ELEVATIONS

RESIDENTIAL UNIT SCHEDULE

1401 W. Leigh	4 existing units in 2-1/2 story house two 2-br, approx 800 sf ea & two 3-br, approx 1300 sf ea
908 Kinney	1 residential unit in renovated Carriage House 3-br, 1532 sf
900-906 Kinney	4 residences 3-br each, 1498 sf each
1405 W. Leigh	existing 2-family residence 2-br each, approx 1100 sf each
TOTAL	11 residential units

PARKING

Existing = undefined & unimproved gravel parking area, number of spaces undetermined

Zoning Requirement:

1401 W Leigh & 908 Kinney - 2 bldgs, 5 units
5 x 1.5 spaces per unit = 7.5 spaces req.

900-906 Kinney - 1 bldg, 4 units
4 x 1 space per unit = 4 spaces req.

1405 W Leigh 1 bldg, 2 units
2 x 1 space per unit = 2 spaces req.

Total Spaces Required by zoning = 13.5

Proposed = 11 improved spaces, (one space for each of 11 residential units)

November 20, 2015
Johannas Design Group
1901 West Cary Street, Richmond, VA 23220
P 804.358.4993 F 804.358.8211

SEAL

J OHANNAS DESIGN GROUP 1901 WEST CARY STREET RICHMOND, VA 23220

1401 & 1405 W Leigh St and 1400 Catherine St

REVISIONS SUP Comments 11.30.15
SHEET TITLE COVER SHEET
PROJECT NO. 1517
DATE 7.20.15
SHEET NO. CS

SEAL

REVISIONS
SUP Comments
11.30.15

1401 W Leigh St and 1400 Catherine St

SHEET TITLE

EXISTING

PROJECT NO
1517

DATE
7.20.15

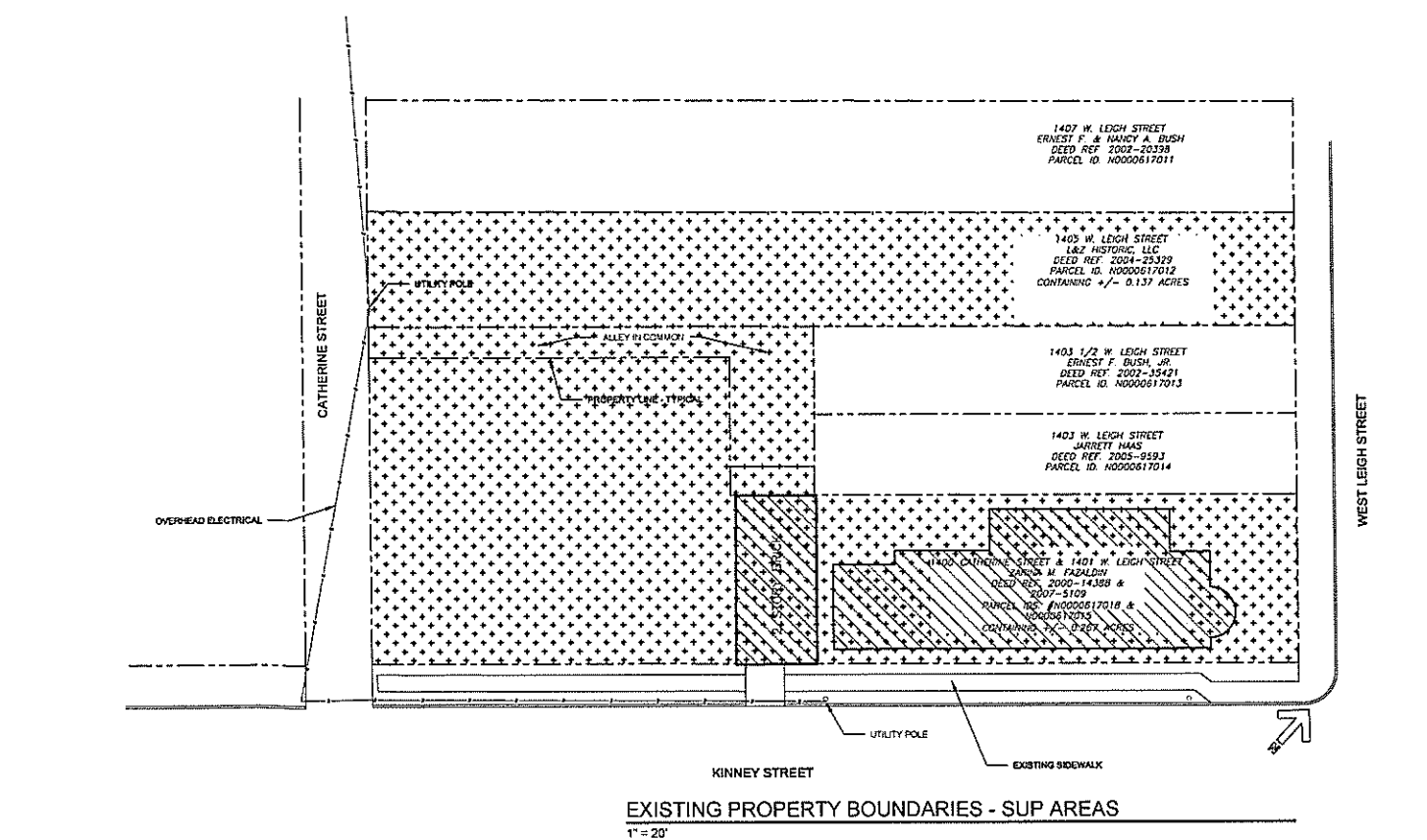
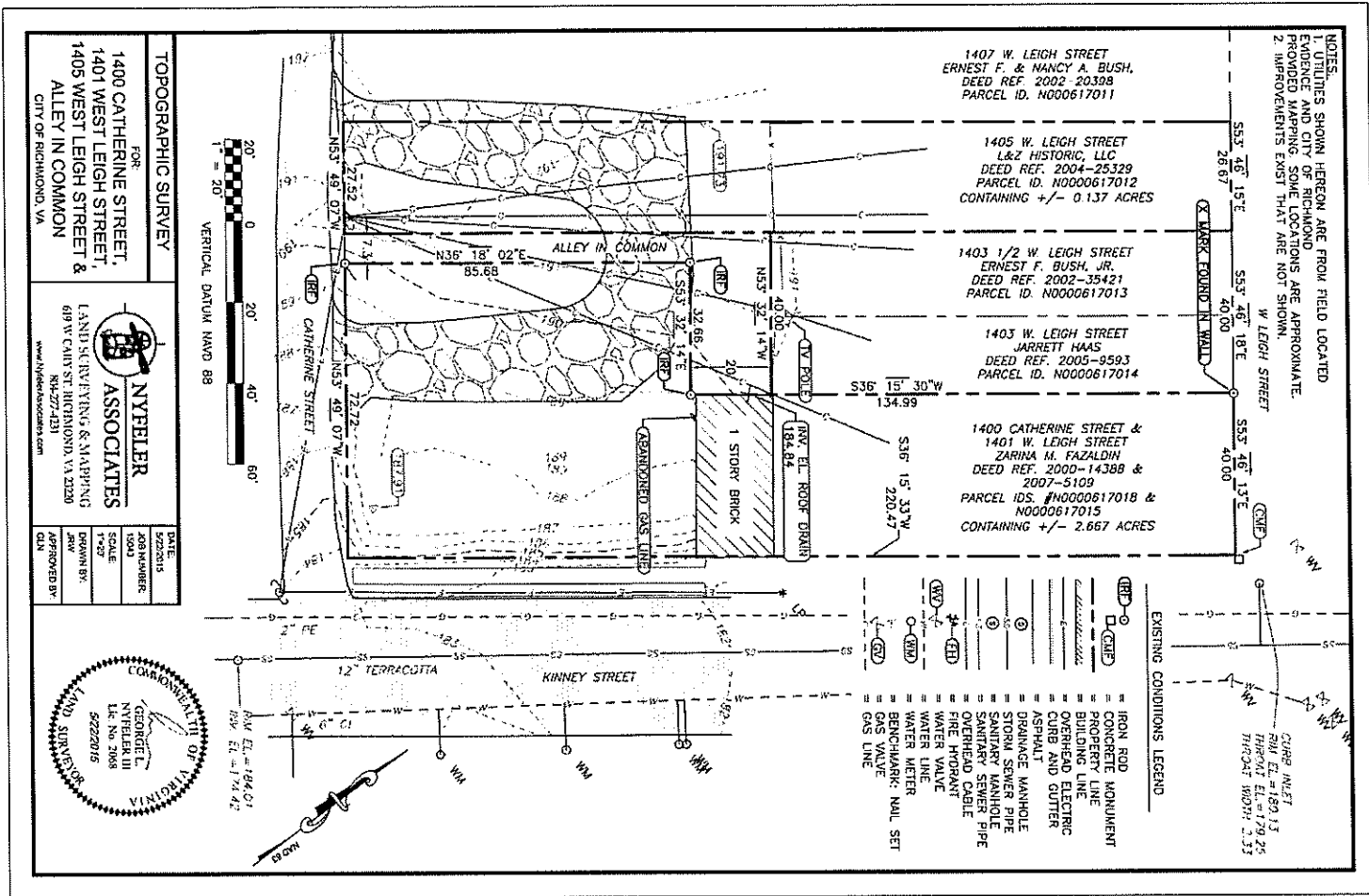
SHEET NO.

SITE 1

J O H A N N A S DESIGN GROUP

1901 WEST CARY STREET RICHMOND, VA 23220

P 804.358.4993
F 804.358.8211



TOPOGRAPHIC SURVEY FOR:
 1400 CATHERINE STREET,
 1401 WEST LEIGH STREET,
 1405 WEST LEIGH STREET, &
 ALLEY IN COMMON
 CITY OF RICHMOND, VA

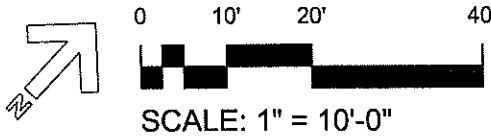
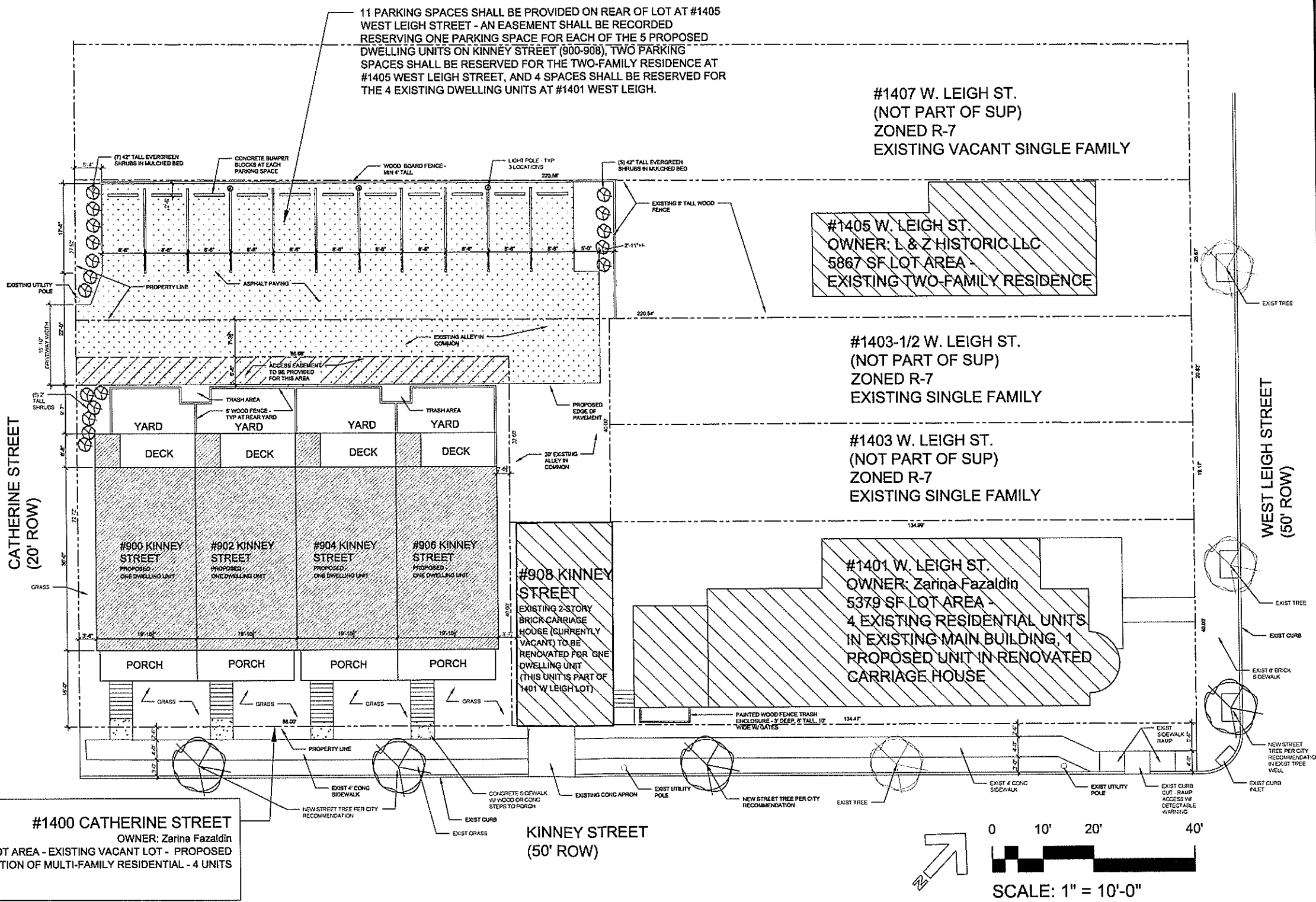
DATE: 5/22/2015
JOB NUMBER: 1517
SCALE: 1" = 20'
DRAWN BY: [Signature]
APPROVED BY: [Signature]

NYFELLER ASSOCIATES
 LAND SURVEYING & MAPPING
 619 W. CARY STREET, RICHMOND, VA 23260
 www.nyfeller.com

November 15, 2015
 C:\Users\johanna\Documents\Projects\1517\1517.dwg

#1409 CATHERINE STREET
(NOT PART OF SUP)
ZONED R-7
EXISTING TWO-FAMILY RESIDENCE

#1400 WEST CLAY STREET
(NOT PART OF SUP)
ZONED R-7
EXISTING SINGLE FAMILY RESIDENCE



PROPOSED SITE PLAN

SEAL

REVISIONS
SUP Comments
11.30.15

P 804.358.4993
F 804.358.8211

1901 WEST CARY STREET RICHMOND, VA 23220

JOHANNAS DESIGN GROUP

1401 W Leigh St and 1400 Catherine St

SHEET TITLE
SITE LAYOUT

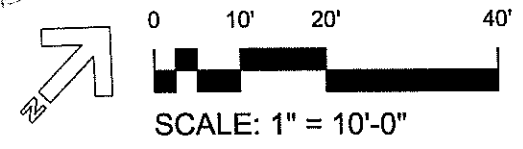
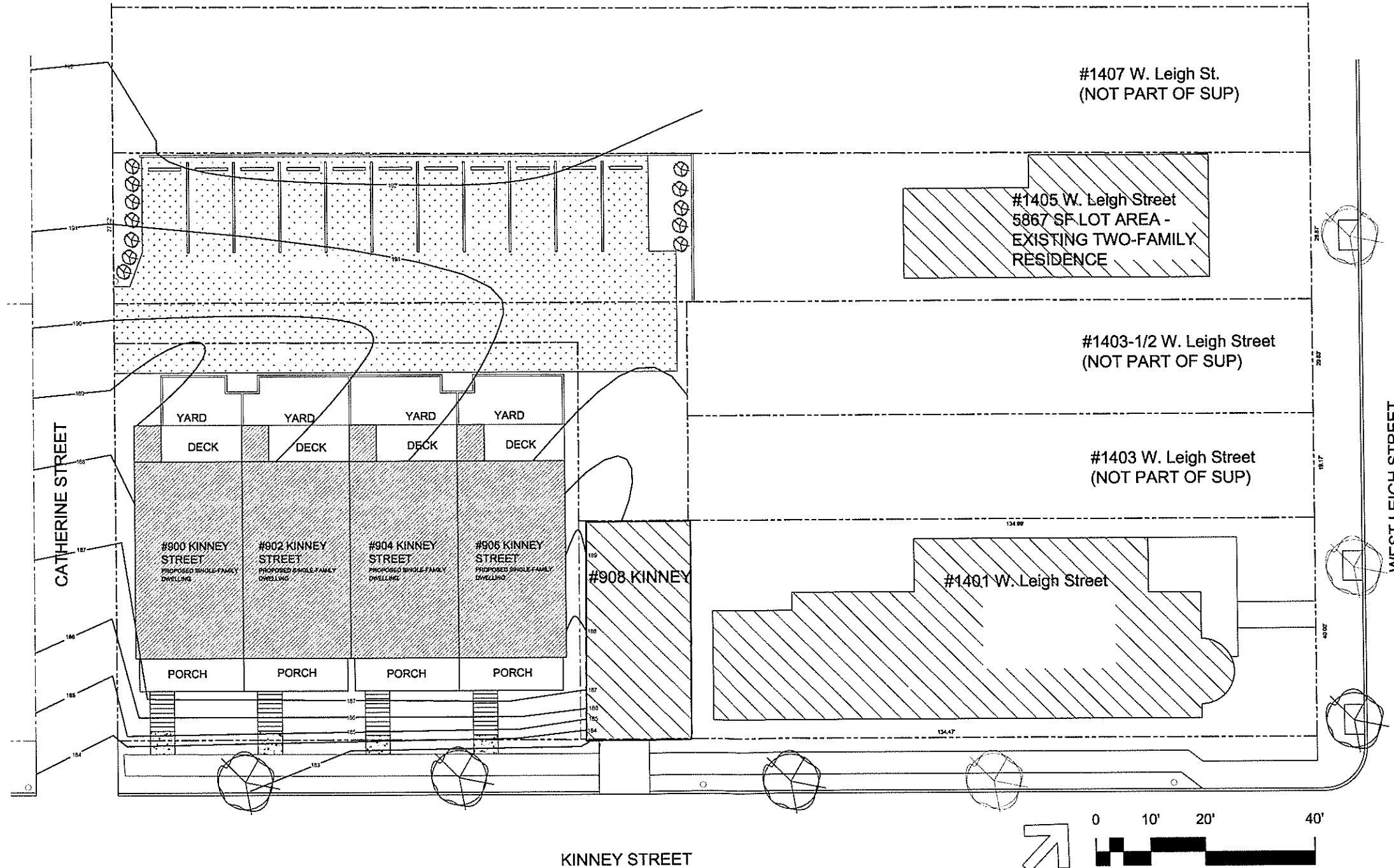
PROJECT NO
1517

DATE
7.20.15

SHEET NO
SITE 2

November 25, 2015
 C:\Users\johanna\Documents\1517 - 1401 W Leigh St - 1400 Catherine St - 1400 West Clay St - 1409 Catherine St - 1407 West Leigh St - 1405 West Leigh St - 1403 West Leigh St - 1401 West Leigh St - 900-908 Kinney St - 908 Kinney St - 906 Kinney St - 904 Kinney St - 902 Kinney St - 900 Kinney St.dwg

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 1517-01-01-01-01.dwg
 7/20/15
 J.A.S.
 1517-01-01-01-01.dwg
 7/20/15
 J.A.S.



GRADING PLAN

P 804.358.4993 F 804.358.8211	REVISIONS SUP Comments 11.30.15	
JOHANNAS DESIGN GROUP 1901 WEST CARY STREET RICHMOND, VA 23220		
1401 W Leigh St and 1400 Catherine St		
SHEET TITLE GRADING PLAN		
PROJECT NO. 1517		
DATE 7.20.15		
SHEET NO. SITE 3		



Arrangement

Single Arr: 3 R
Ornt: - 8

Layout

Layout: 1 3
Spacing: 10 26 R
Mounting Height: 12 R
Ornt: 0 94G
TR: 10 94G

Statistical Analysis

Illuminance Values
Average: 0.95 fc
Maximum: 10.55 fc
Minimum: 0.00 fc
Avg/Mn Ratio: N/A fc
Max/Mn Ratio: N/A fc
Mixing Ratio: 11.01 fc

Luminaire Location Summary

Table with columns: Arrangement, Lum #, X, Y, Z, Ornt, and Tot Factor. Contains 3 rows of luminaire data.



Date: 15 Jul 2015

Title: 900 Kinney St

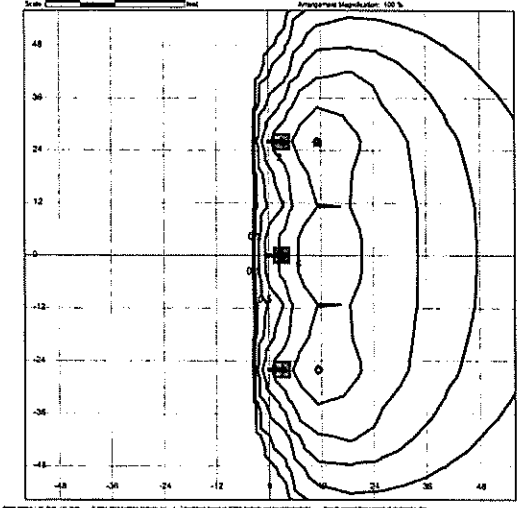
Desc: entry area

For: Facade
By: Johannes Design Group

Luminaire

IES File Name: ALED4T50/D10
Description: ALED4T50/D10 - 4'x4'x10' (TYPE N, 5'x7' DIMENSIONS)
CAST ALUMINUM HOUSING, 1/2" CHAMFER

Light Loss Factor: 1.00
Number of Lamps: 6
Lamp Lumens: -1 lms
Luminaire Watts: 50 W



ALED4T50/D10

Technical Specifications

Other: ALED4T50 with Dimmable Driver
Driver includes dimming control by 0-10V dimming system...
GSA Schedule: Suitable in accordance with FAR, Subpart 15.4
Listings: UL Listing: Suitable for wet locations as a downlight.
IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory...
Dark Sky Approved: The International Dark Sky Association has approved this product as a full-color fully shielded luminaire.
Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years...
Country of Origin: Designed by RAB in New Jersey and assembled in the USA by RAB's IESNA Local 3 workers.
Buy American Act Compliant: This product is a COTS item manufactured in the United States and is compliant with the Buy American Act.
Recovery Act (ARRA) Compliant: This product complies with the 152725-21 Recovery Act of American Iron, Steel and Manufacture.
Trade Agreements Act Compliant: This product is a COTS item manufactured in the United States and is compliant with the Trade Agreements Act.
Construction: Reflector: Spectrally-matched polycarbonate
Gaskets: High temperature silicone gaskets
Finish: Our environmentally friendly, polyester powder coatings are formulated for high durability and long-lasting color and contains no VOC or toxic heavy metals.
Green Technology: Mercury and UV free and RAB's constant, Polyester powder coat finish formulated without the use of VOC.
Electrical: Driver: Constant Current, Class 2, 400mA, 100-277V, 50-60Hz, 0.5A, Power Factor 95% THD: 5% at 120V, 7.8% at 277V.
Surge Protection: SKV surge suppression protection tested in accordance with IEEE C62.41.2
Optical: BUG Rating: 00 J02

ALED4T50/D10

Product: 900 Kinney

Type: 900 Kinney

Prepared By: 900 Kinney

Date: 7-15-15

Driver Info

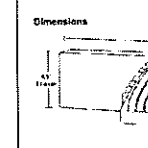
Table with columns: Type, Constant Current, Watts, Color Temp, Color Accuracy, L70 Lifetime, Lumens, Efficacy. Values include 120V, 0.45A, 50W, 5000K (Cool), 61 CRI, 100,000, 5,293, 95%.

LED Info

Watts: 50W
Color Temp: 5000K (Cool)
Color Accuracy: 61 CRI
L70 Lifetime: 100,000
Lumens: 5,293
Efficacy: 102 LPW

ALED4T50/D10

Dimensions



Features

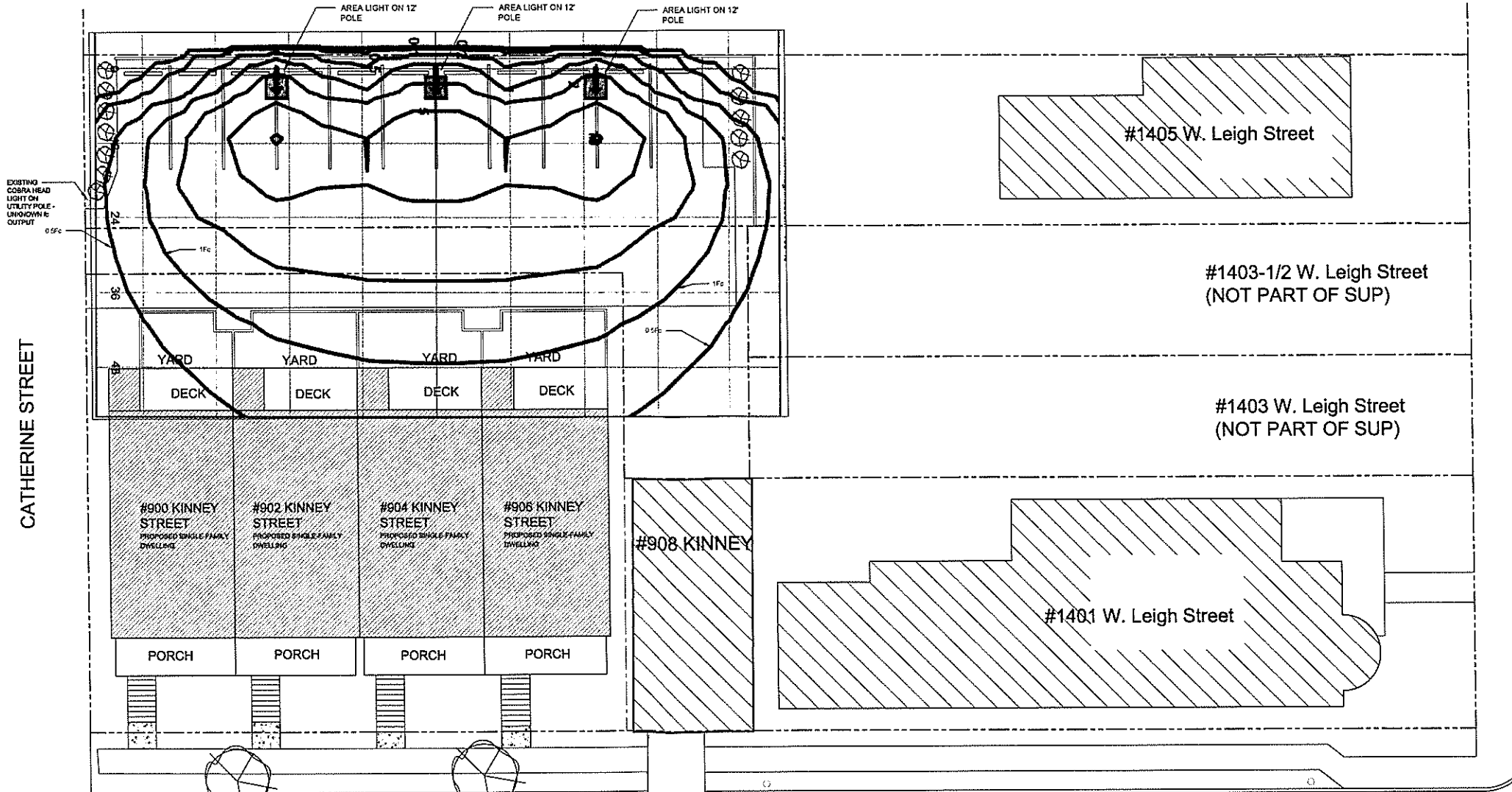
65% energy cost savings vs. HID
100,000 hour LED lifespan
Type IV distribution
Super materials

Ordering Matrix

Table with columns: Family, Distribution, Watts, Mount, Color Temp, Finish, Voltage, Photocell, Dimming, Bi-Level. Values include ALED, 4T, 50, Arm, Cool, Bronze, 120-277V, /PC, No Dimming, No Bi-Level.

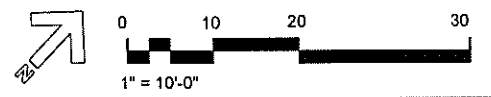
#1409 CATHERINE STREET (NOT PART OF SUP)

#1400 WEST CLAY STREET (NOT PART OF SUP)

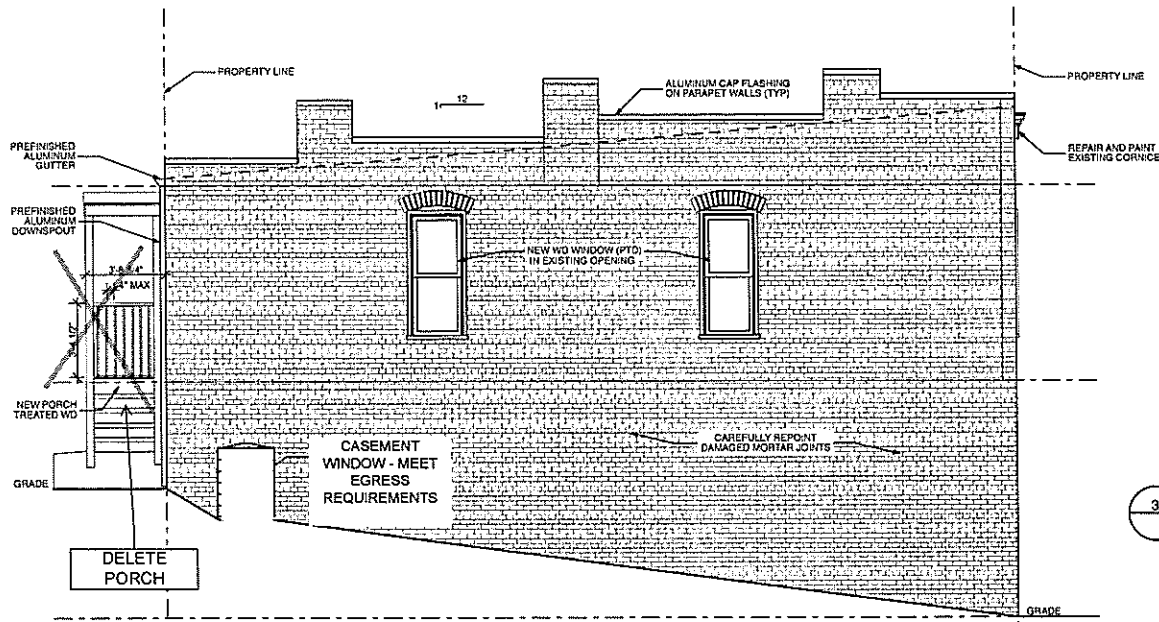


NOTE: OUTDOOR LIGHTING SHALL BE LOCATED, DIRECTED OR SHIELDED SO AS NOT TO SHINE DIRECTLY ON ADJOINING PROPERTIES OR TO CREATE A TRAFFIC HAZARD BY MEANS OF GLARE OR SIMILARITY TO OR CONFUSION WITH TRAFFIC SIGNALS, WARNING LIGHTS OR LIGHTING ON EMERGENCY VEHICLES.

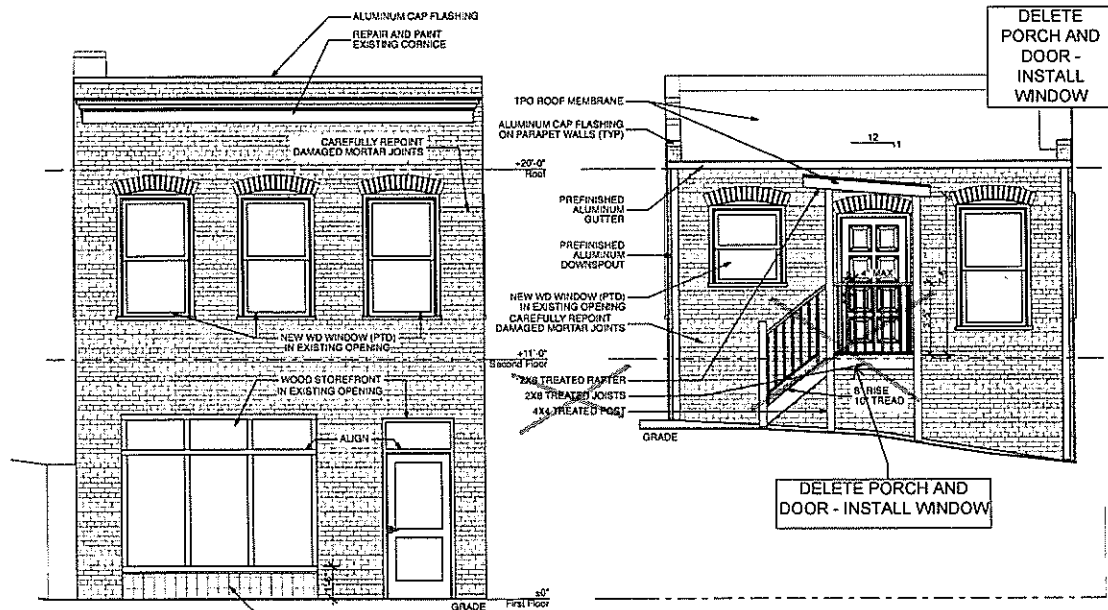
SITE LIGHTING PHOTOMETRICS



Vertical sidebar containing: SEAL, REVISIONS SUP Comments 11.30.15, JOHANNAS DESIGN GROUP, 1901 WEST CARY STREET RICHMOND, VA 23220, SHEET TITLE SITE LIGHTING, PROJECT NO 1517, DATE 7.20.15, SHEET NO SITE 4.

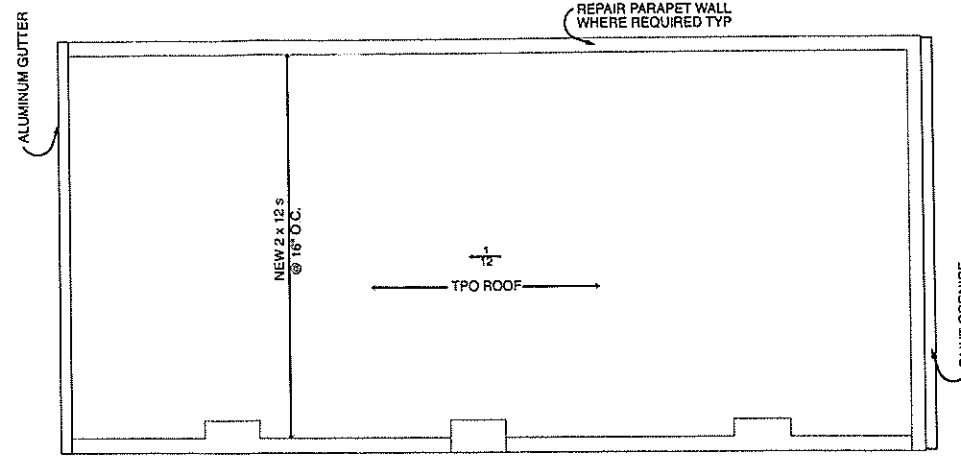


4 SIDE - ELEVATION
SCALE: 1/4" = 1'-0"

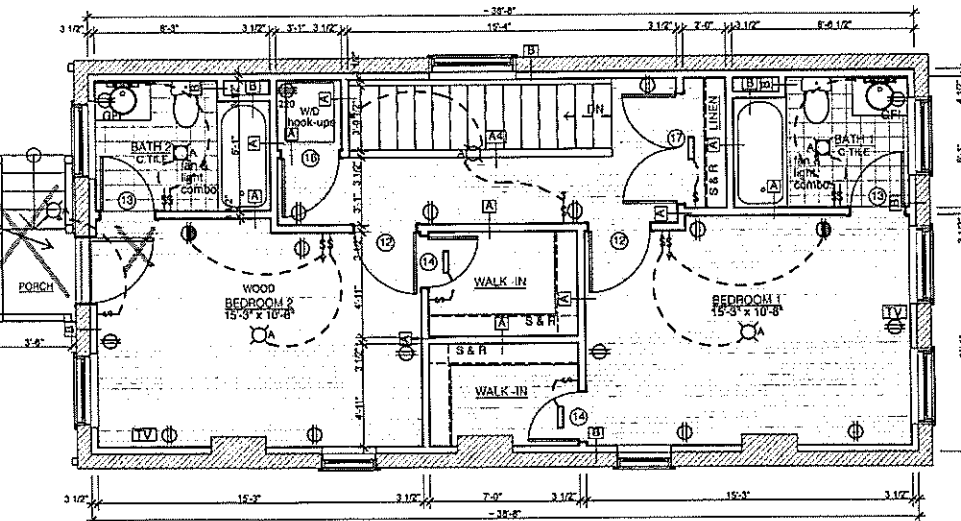


5 KINNEY ST - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

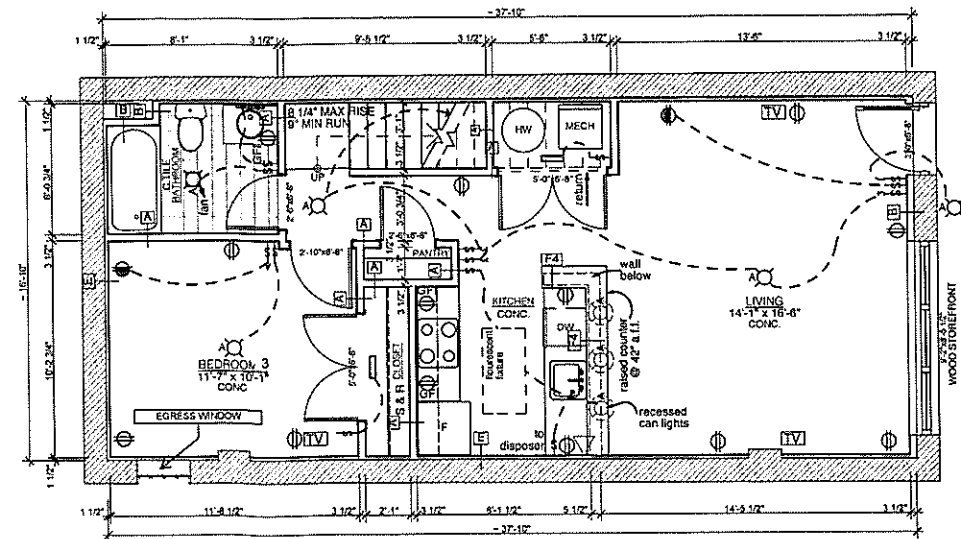
6 ALLEY - REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 CARRIAGE HOUSE ROOF
SCALE: 1/4" = 1'-0"



2 CARRIAGE HOUSE - SECOND FLOOR = 763 SF
SCALE: 1/4" = 1'-0"



1 CARRIAGE HOUSE - FIRST FLOOR = 763 SF
SCALE: 1/4" = 1'-0"

SCOPE
RENOVATION OF AN EXISTING DETACHED CARRIAGE HOUSE INTO A SINGLE FAMILY DWELLING

ZONING INFORMATION

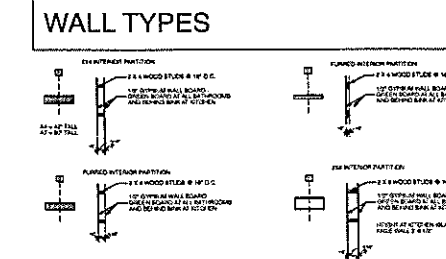
ZONING	R7 SINGLE-FAMILY ATTACHED RESIDENTIAL DISTRICT
USE	Existing Residential Detached Garage Single-Family Detached Dwelling
PARKING	SPACE PROVIDED AT 900-905 Kinney Street

CODE INFORMATION

- APPLICABLE CODE: VIRGINIA STATE WIDE BUILDING CODE (IRC 2006)
- USE GROUP: R-4
- CONSTRUCTION CLASSIFICATION: 3B
- BUILDING AREA (per table 503)
ALLOWABLE: 7,000 SF
PROVIDED: 763 SF
- BUILDING HEIGHT (per table 503)
ALLOWABLE: 40' and/or 2 STORIES
PROVIDED: 24'-8" AND 2 STORIES
- REQUIRED FIRE SEPARATIONS:
2 HR EXTERIOR WALLS = Existing Masonry Walls
- MAXIMUM OCCUPANCY (per table 1004.1.2)
OCCUPANT LOAD CALCULATION
R-4 1,526 / 200 GROSS 8 TOTAL

GENERAL NOTES

- Contractors responsible for state and local code compliance.
- Contractors to verify all dimensions and site conditions. Report any discrepancies to architect prior to beginning construction.
- Do not scale drawings.
- All wood in contact with concrete slabs or within 8" of a door shall be treated.
- All fixed glass within 18" of the floor or within 24" of a door shall be tempered.
- Contractor to caulk all gaps between dissimilar materials in order to insure the buildings are weather tight.
- Provide supplementary support and/or framing for all lighting fixtures, ceilings, and walls, etc.
- General contractor to coordinate all electrical work with architect prior to installation.
- Floor, wall, and ceiling finishes shall extend over, under or behind any item of equipment, furniture, etc.
- The contractor will provide owner with all permits and inspections, as well as a bonafide release of liens for with each subcontractor's signature.
- All temporary utilities are the responsibility of the contractor.
- Provide blocking for grab bars, bathroom accessories, wall mounted door stops, tub ends, and upper cabinets.
- All signage for fire equipment shall be permanently installed and be readily visible on the entrance door. Letters must contrast with the sign background. Signage must be 4" in height and shall read "SPRINKLER CONTROL VALVES".
- All dimensions are to stud unless otherwise noted.
- All subcontractors are responsible for maintaining the integrity of fire rated assemblies that their work penetrates.
- Where new roof is required, provide flashing at new roof, structures penetrations and parapets to ensure they are watertight.
- Where tubs are located against fire assemblies provide additional layer of gypsum to cover flange. Gypsum board to cover entire wall.
- Where possible provide 4" between partition and door frame.
- Contractor shall provide portable fire extinguisher on each completed floor during construction in accordance with NFPA 10 (standards for the installation of portable fire extinguishers).
- Dual system smoke detectors will be located in vicinity of all bedrooms.
- Provide 3/8" plywood draftstop in concealed spaces between apartments to include ceiling, bulkheads and attic.
- Building to be watertight against elements.
- Sub-contractor to provide appropriate substrates for type of material and project conditions.
- If project is within the City of Richmond, comply w/ the City of Richmond cross connection and backflow program requirements. Provide Detail drawings of existing utilities and new backflow and sprinkler installations to the department of utilities for approval prior to installation.
- All Steel to be painted, color by architect. Prepare surfaces for optimal adhesion.



Carriage House Renovation

908 Kinney Street
Richmond, VA

REVISIONS	TAG	DATE

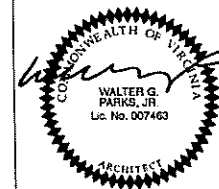
walter PARKS ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t 644-4781 / f 644-4783

PROJECT #: 07.17
DATE: 2/7/14

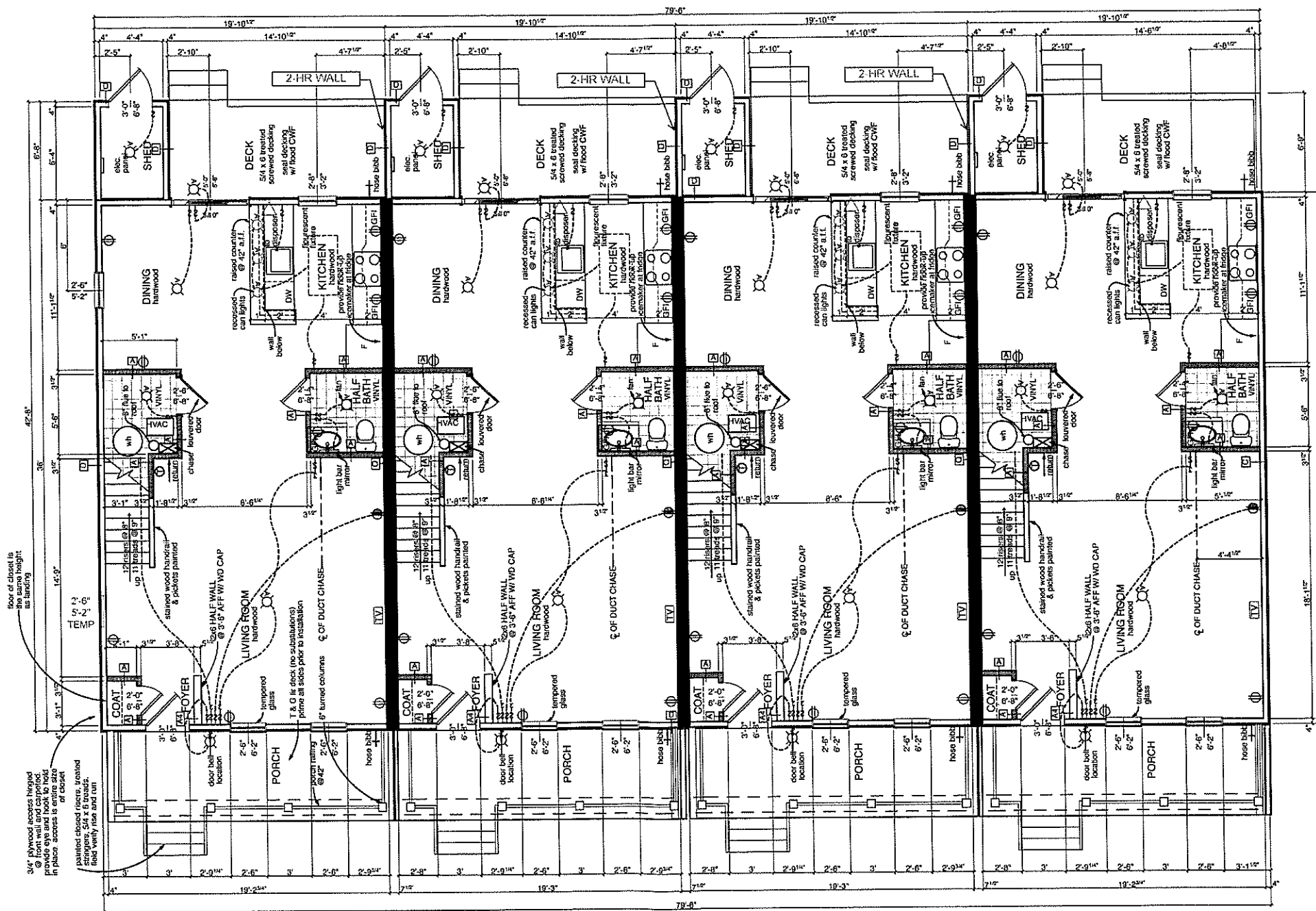
CARRIAGE HOUSE RENOVATION A.101

REVISED 11.30.2015



Kinney Street Houses

900-906 Kinney Street
Richmond, VA



- NOTES:**
1. ALL CEILING FIXTURES IN LIVING ROOMS, BEDROOMS, AND DINING ROOMS TO BE ROUGHED-IN FOR CEILING FANS.
 2. VERIFY TV LOCATIONS PRIOR TO INSTALLING.
 3. PROVIDE CONVENTIONAL 40 GAL. GAS HOT WATER HEATING SYSTEM W/ 2" FLUE TO ROOF.
 4. GAS FURNACE TO BE 92% EFFICIENT FOR PROVIDING CERTIFICATION FOR EPA'S 5 STAR ENERGY EFFICIENCY PROGRAM FOR AND FOR LOCATING AND TYING IN TO ALL UTILITY LATERALS.
 5. BUILDER TO BE RESPONSIBLE FOR PROVIDING CERTIFICATION FOR EPA'S 5 STAR ENERGY EFFICIENCY PROGRAM FOR AND FOR LOCATING AND TYING IN TO ALL UTILITY LATERALS.
 6. PROVIDE CLEAR SPACE UNDER PANTRY SHELVING FOR GARBAGE, STORAGE, ETC.
 7. ALL BEDROOMS MUST BE ON ARC-FAULT BREAKER.

FIRST FLOOR 737 sq.ft.
SECOND FLOOR 701 sq.ft.
RESIDENCE 1,438 sq.ft.
TOTAL 5,752 sq.ft.

1 Kinney Street First Floor
A.203 SCALE: 1/4" = 1'-0"

REVISIONS	TAG	DATE

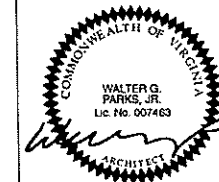
walter PARKS
ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
1 644-4761 / 1 644-4763

PROJECT # 07.17
DATE: 11/25/13

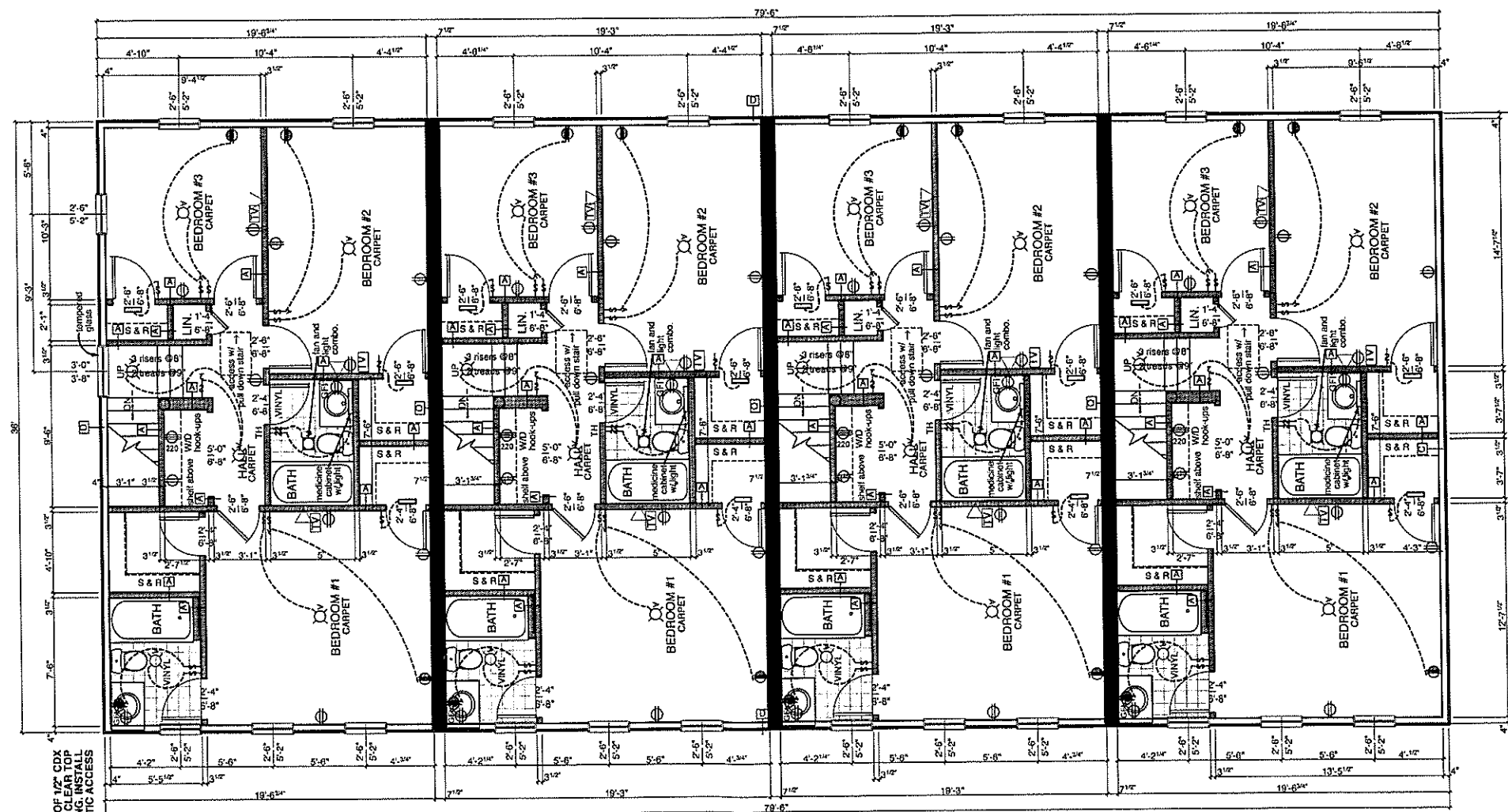
FIRST FLOOR PLAN
A.203

REVISED 11.30.2015



Kinney Street Houses

900-906 Kinney Street
Richmond, VA



NOTE: PROVIDE (3) 4 x 8 SHEETS OF 1/2" CDX PLYWOOD BLOCK TO ALLOW FOR CLEAR TOP OF GYPSUM IN ADJACENT TO ATTIC ACCESS

1 Kinney Street Second Floor
A.205 SCALE: 1/4" = 1'-0"

REVISIONS	TAG	DATE

walter PARKS
ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
1 644-4761 / 1 644-4763

PROJECT # 07.17
DATE: 11/25/13

SECOND FLOOR PLAN
A.205



Kinney Street Houses
 900-906 Kinney Street
 Richmond, VA



1 Kinney Street Front Elevation
 SCALE: 1/4" = 1'-0"



4 Kinney Street Rear Elevation
 SCALE: 1/4" = 1'-0"

REVISIONS	TAG	DATE

walter PARKS
 ARCHITECT

313 N. ADAMS STREET
 RICHMOND, VIRGINIA 23220
 t 644-4761 / f 644-4763

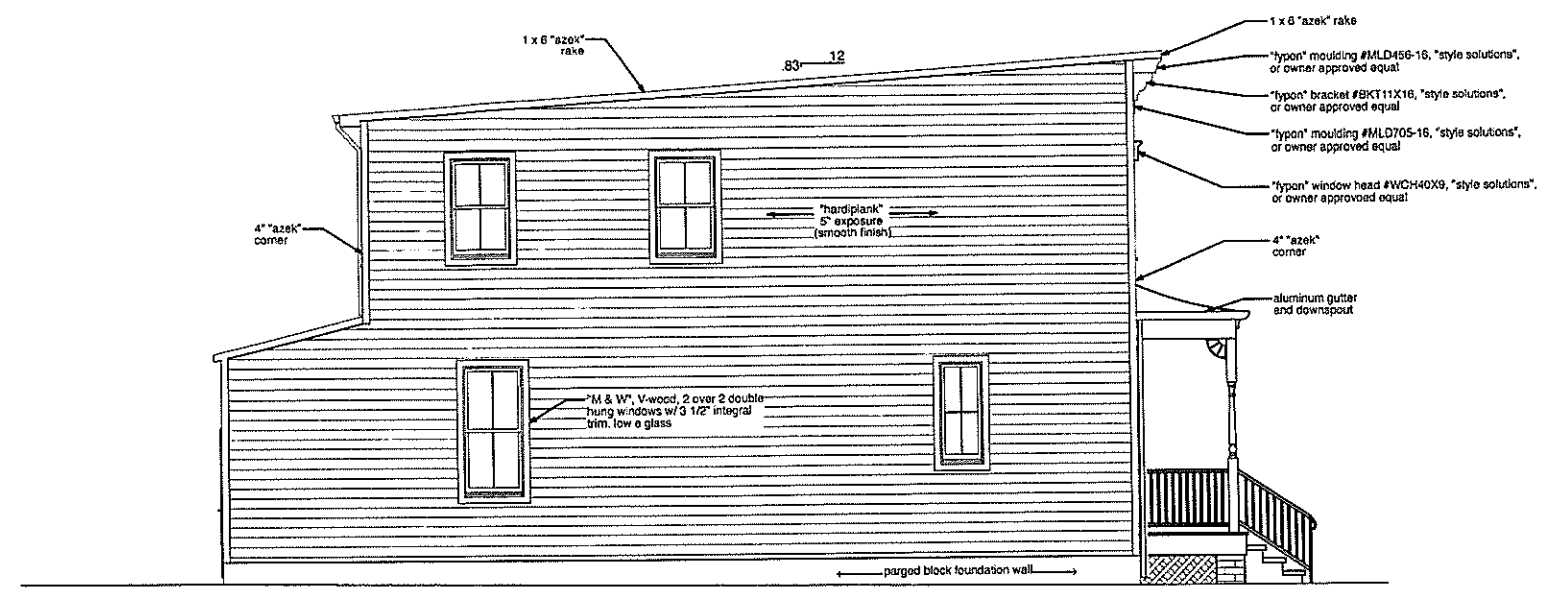
PROJECT #: 07.17
 DATE: 11/25/13

FRONT AND REAR
 ELEVATIONS
A.301

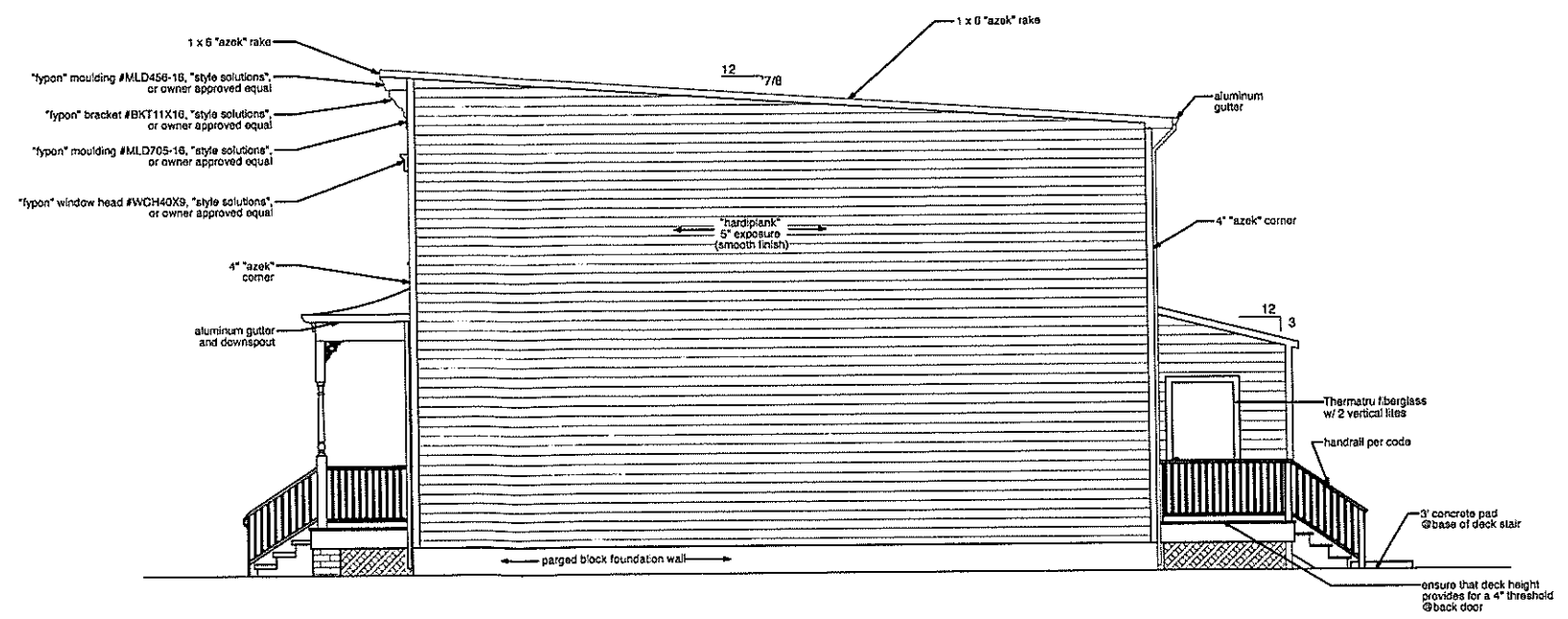
NOTE: PORCH DETAIL MAY VARY FROM HOUSE TO HOUSE TO ACHIEVE VARIED STREETSCAPE.



Kinney Street Houses
 900-906 Kinney Street
 Richmond, VA



1 Kinney Street Left Elevation
 A.302 1/4" = 1'-0"



2 Kinney Street Right Elevation
 A.302 1/4" = 1'-0"

REVISIONS	TAG	DATE

walter PARKS
 ARCHITECT

313 N. ADAMS STREET
 RICHMOND, VIRGINIA 23220
 T. 644-4761 / F. 644-4763

PROJECT # 07.17
 DATE: 11/25/13

SIDE ELEVATIONS
A.302