



## Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

**12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION**

LOCATION OF WORK: 2201 East Franklin Street DATE: January 22, 2016

OWNER'S NAME: 2201 East Franklin Street LLC, c/o Ed Solarz TEL NO.: 804-230-1220

AND ADDRESS: 101 West Commerce Road, No. 2 EMAIL: \_\_\_\_\_

CITY, STATE AND ZIPCODE: Richmond VA 23224-2361

ARCHITECT/CONTRACTOR'S NAME: James Hill TEL NO.: 804-231-5299

AND ADDRESS: Sadler & Whitehead Architects, PLC, 726 West 33rd Street EMAIL: jim@sadlerandwhitehead.com

CITY, STATE AND ZIPCODE: Richmond VA 23225-3533

Would you like to receive your staff report via email? Yes ☒ No ☐

### REQUEST FOR CONCEPTUAL REVIEW

☐ I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

☒ I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

### DETAILED DESCRIPTION OF PROPOSED WORK (Required):

#### STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

**PROPOSED.** (Include additional sheets of description if necessary, and **12 copies** of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Proposed rehabilitation of former tobacco warehouse--Please see attached description

Signature of Owner or Authorized Agent: **X** James Hill

Name of Owner or Authorized Agent (please print legibly): James Hill

**RECEIVED**  
(Space below for staff use only)

Received by Commission Secretary JAN 27 2016

APPLICATION NO. \_\_\_\_\_

DATE 3:53

SCHEDULED FOR \_\_\_\_\_

**Note: CAR reviews all applications on a case-by-case basis.**

Revised 10-23-2015

## **2201 East Franklin Street, St. John's Church Old and Historic District**

Built about 1890 and enlarged around 1900, this former tobacco warehouse at 2201 East Franklin Street served as the Richmond Branch of the Gallaher Co. (Ltd) of Great Britain and Ireland. It was listed as part of the St. John's Church Historic District (VDHR File No. 127-0190) in June 1970 and was subsequently inventoried as a contributing building in an amendment to the nomination listed in January 1991, with a period of significance through 1940.

The building is a four-story brick warehouse with a later, plainer, three-story brick addition to the south. The four-story portion has a basement and attic windows in the corbeled-brick stepped parapet. The addition in its current form does not appear in the Sanborn maps until 1950. Attached one-story buildings were located to the south in 1925 and scarring and other modifications to the addition are visible, particularly at the ground level.

### ***Proposed Work:***

The building is proposed for rehabilitation for multifamily residential use. As the owners are in the process of applying for federal and state rehabilitation tax credits, the project is designed to be in accordance with both the Secretary of the Interior's Standards for Rehabilitation and the Commission of Architectural Review's Guidelines.

As recommend by the Secretary's Standards, the new use will require minimal change to the defining characteristics of the building (Standard 1) and the building's historic character will be retained and preserved (Standard 2) along with the building's distinctive features (Standard 5). Regarding Standards 6 and 9, the majority of the building's fabric and features will be retained and repaired and the limited proposed exterior alterations will not destroy historic materials that characterize the property. A discussion of the limited instances of replacement of deteriorated features, reintroduction of missing features, and the introduction of new elements selected to be differentiated from the historic elements yet sufficiently compatible to protect the historic integrity of the property follows.

General adherence to *Richmond Old and Historic Districts Handbook and Design Review Guidelines*:

### **Windows and window openings**

Following the standards for windows on page 65, the project will retain and repair the original windows, will investigate the condition of the windows currently boarded (photos 4, 20), and will replace, in kind, missing or damaged sash, such as where sash has been replaced by a vent or a fan (photos 2, 13). The severely deteriorated basement windows on North 22<sup>nd</sup> Street, and visible from the public right of way, will be replaced with aluminum-clad wood sash with simulated divided lites. The 6/6 configuration is based on surviving physical evidence (photo 19).

Original masonry openings for doors and windows will be maintained. Changes to existing non-historic windows and the addition of a limited number of new windows on a secondary (south) elevation are proposed that will be differentiated from the historic windows but compatible with the building (sheets D.301, A.301). The exterior metal screens and frames that appear only on the south elevation are proposed for removal (photos 27, 29).

The project also includes the restoration of the filled basement-level light wells on the East Franklin Street (north) elevation (photos 21-22), based on the physical evidence provided by the surviving light well on the North 22<sup>nd</sup> Street (west) elevation (photo 20). Stainless steel grates will

cover the light well openings at ground level, with decorative stainless steel plates at the building entrances where needed to bridge the light well.

### **Entrances**

Following the standards for entrances on page 67, the project will not remove or radically change the historic entrances, but will reuse existing loading bays and entrances. Simple glass and anodized aluminum storefront will be sized to fit the existing entrance openings in a manner appropriate for a commercial/industrial property. The surviving historic doors on the Franklin Street elevation (photos 11, 14) will be fixed in an open position and the historic doors on the North 22<sup>nd</sup> Street and south elevations of the addition (photos 18, 26) will be stored on site for reinstallation as required by the National Park Service and Department of Historic Resources reviewers. Cut sheets and illustrations for the storefront are provided.

### **HVAC Equipment**

Following the standards for mechanical equipment on page 64, the rooftop HVAC units will be located so that they are minimally visible from the public right-of-way. A roof plan is provided indicating the area on the roof of the addition as the location for a majority of the units and additional areas on the sloped roof of the main building that are pulled back from the roof edges to minimize visibility from the surrounding public streets, sidewalks, and alleys. (Photos 33-34)

### **New openings**

A limited number of new openings are proposed on the south elevation of the addition, located beyond the first bay of this elevation facing the interior of the block. Page 65 of the Guidelines says the Commission can consider the addition of new windows along a secondary elevation on a case-by-case basis. The dimensions of the new openings are provided on Sheet A.301. The placement and dimensions of the new openings are selected to be compatible with the size and pattern of fenestration presented by the existing historic windows. They will be differentiated from the historic windows by the selection of a single-lite casement in each new opening (cut sheet and illustration provided). One new storefront opening is proposed on the secondary (south) elevation, well back from the North 22<sup>nd</sup> face of the building. This is in an area that was historically covered by adjacent buildings of related function that appear in earlier Sanborn maps, but had been removed by 1950. There is a marked visual difference in the masonry at this level (photos 23-25, 30-32).

### **Previously modified openings**

In a small number of cases, the dimensions and/or materials of a historic opening have been altered earlier in the building's history, without having acquired significance on their own part. In the case of the window shown in photo 10, no work is proposed. In the case of the window shown in photo 9, a new window within the inherited opening is proposed. Likewise, the two non-historic windows in modified openings (photos 23, 25) will be replaced with single-lite casements.

On the North 22<sup>nd</sup> Street elevation of the addition (photo 5), the modified opening with the non-historic window on the second-level will have its original dimensions restored and a window matching the surviving original will be installed. At the ground level, (photo 17) the coal door will be salvaged and stored, the opening restored to its historic dimensions, and a glass and aluminum storefront window will be installed in the reopened portion below the surviving window.

### **Fire escape**

The pendant ladder will be removed and the fire escape preserved (photos 4, 19).

**COMMONWEALTH of VIRGINIA****Department of Historic Resources**

2801 Kensington Avenue, Richmond, Virginia 23221

Molly Joseph Ward  
Secretary of Natural ResourcesJulie V. Langan  
DirectorTel: (804) 367-2323  
Fax: (804) 367-2391  
www.dhr.virginia.gov

January 11, 2016

Mr. Ed Solarz  
2201 East Franklin Street, LLC  
101 West Commerce Road, #2  
Richmond, VA 23224Re: 2201 East Franklin Street, Richmond  
DHR # 2016-003

Dear Mr. Solarz:

Thank you for submitting the State and Federal Rehabilitation Tax Credit application, Part 1, "Evaluation of Significance," for 2201 East Franklin Street in Richmond. The property is a contributing resource in the St. John's Church Historic District, which is listed on the Virginia Landmarks Register and the National Register of Historic Places. In accord with the provisions of §58.1-339.2 of the Code of Virginia, then, the building is a certified historic structure.

Your project application, along with our review determination and comments, has been forwarded to the National Park Service in Washington, D.C.

We look forward to receiving Part 2 of the application, which we will review for certification of the rehabilitation work. Jessica Ugarte will be your project reviewer. If you have any questions about the review process, you can reach me at (804) 482-6097 or Chris.Novelli@dhr.virginia.gov.

Sincerely,

Handwritten signature of Christopher V. Novelli in cursive script.

Christopher V. Novelli  
Architectural Historian  
Rehabilitation Tax Credit Division

c: James Hill

Administrative Services  
10 Courthouse Ave.  
Petersburg, VA 23803  
Tel: (804) 862-6408  
Fax: (804) 862-6196Eastern Region Office  
2801 Kensington Avenue  
Richmond, VA 23221  
Tel: (804) 367-2323  
Fax: (804) 367-2391Western Region Office  
962 Kime Lane  
Salem, VA 24153  
Tel: (540) 387-5443  
Fax: (540) 387-5446Northern Region Office  
5357 Main Street  
PO Box 519  
Stephens City, VA 22655  
Tel: (540) 868-7029  
Fax: (540) 868-7033

# 2201 East Franklin Street

## History of Building Development

1890-1950

This portion circa 1890.



This portion present by 1925 with one-story sheds adjacent to the south. Sheds cleared by 1950.

This portion incorporated into the addition by 1950.

2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



1. North and west elevations at intersection of East Franklin and North 22nd streets



2. North (Franklin Street) elevation

2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



3. 2201 East Franklin Street and addition, west and south elevations



4. West (22nd Street) elevation



5. Addition, west elevation



6 East Elevation area, basement and first floor window openings

2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



7. East elevation



8. South elevation



9. Modified opening to receive new window



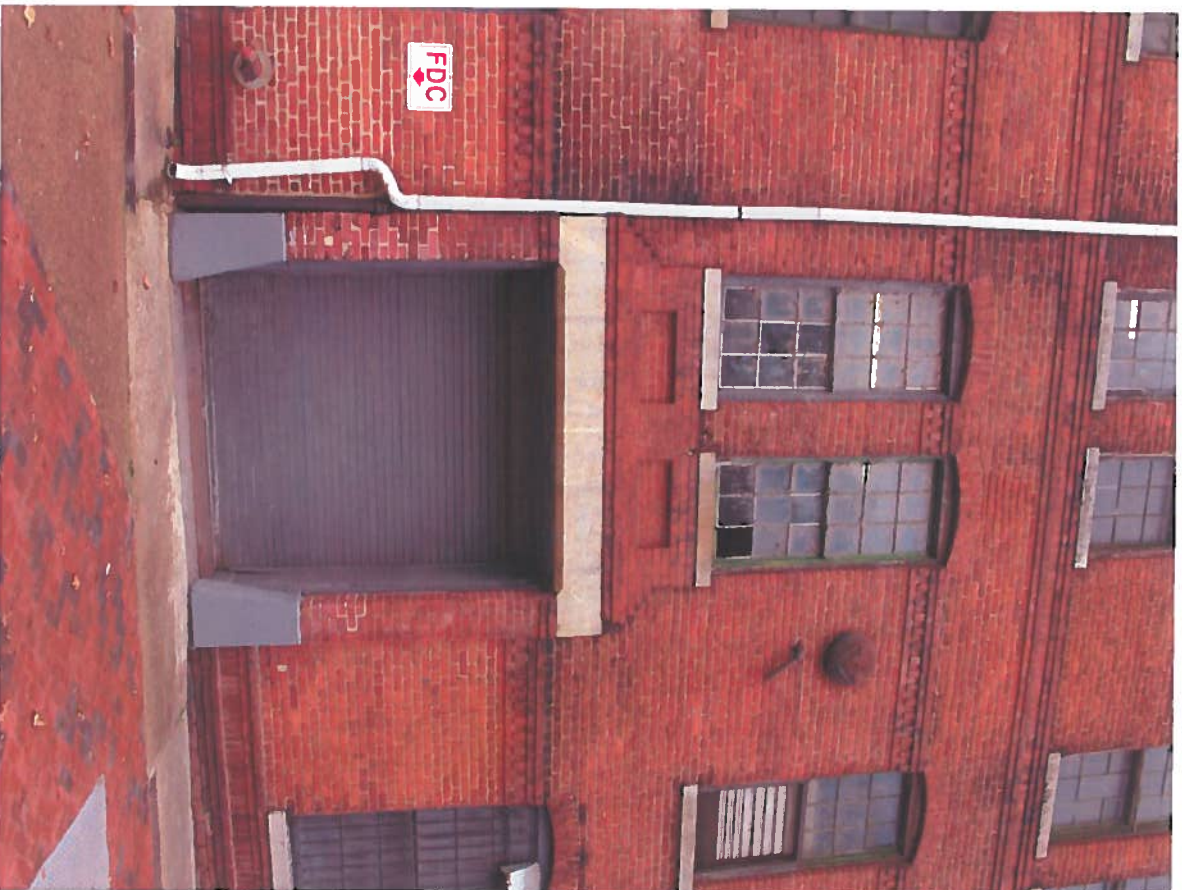
10. Modified opening to be kept as is



11. Original doors will be fixed in open position, new storefront installed



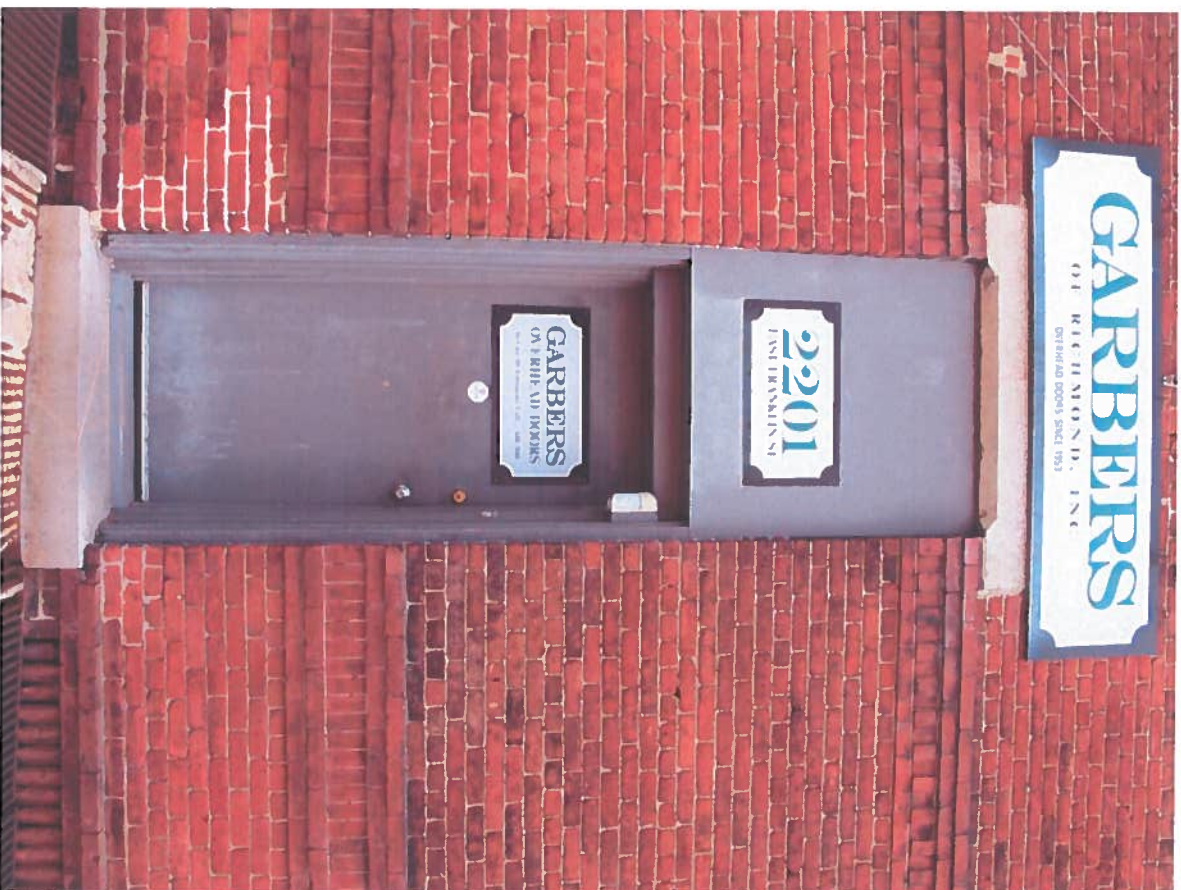
12. Install new aluminum and glass storefront door



13. Install new aluminum and glass storefront



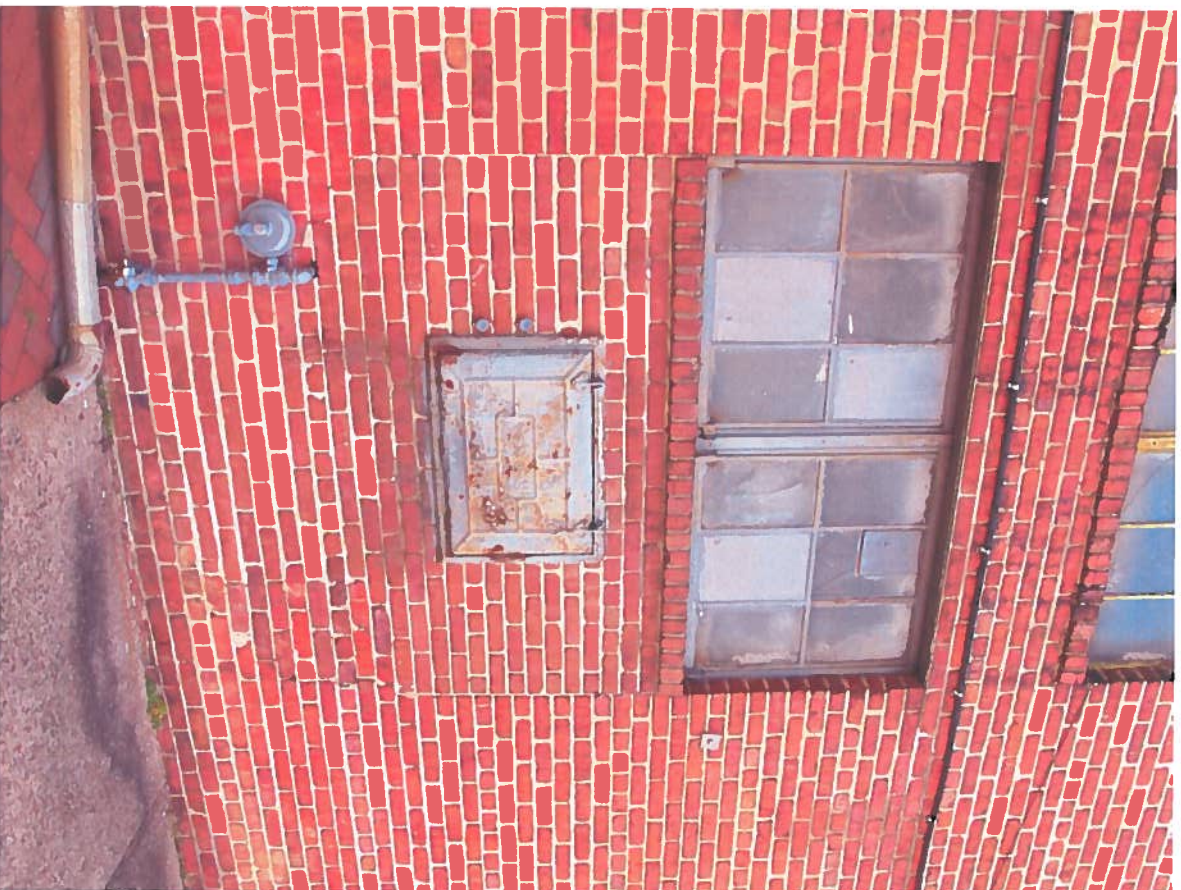
14. Original doors will be fixed in open position, new storefront installed



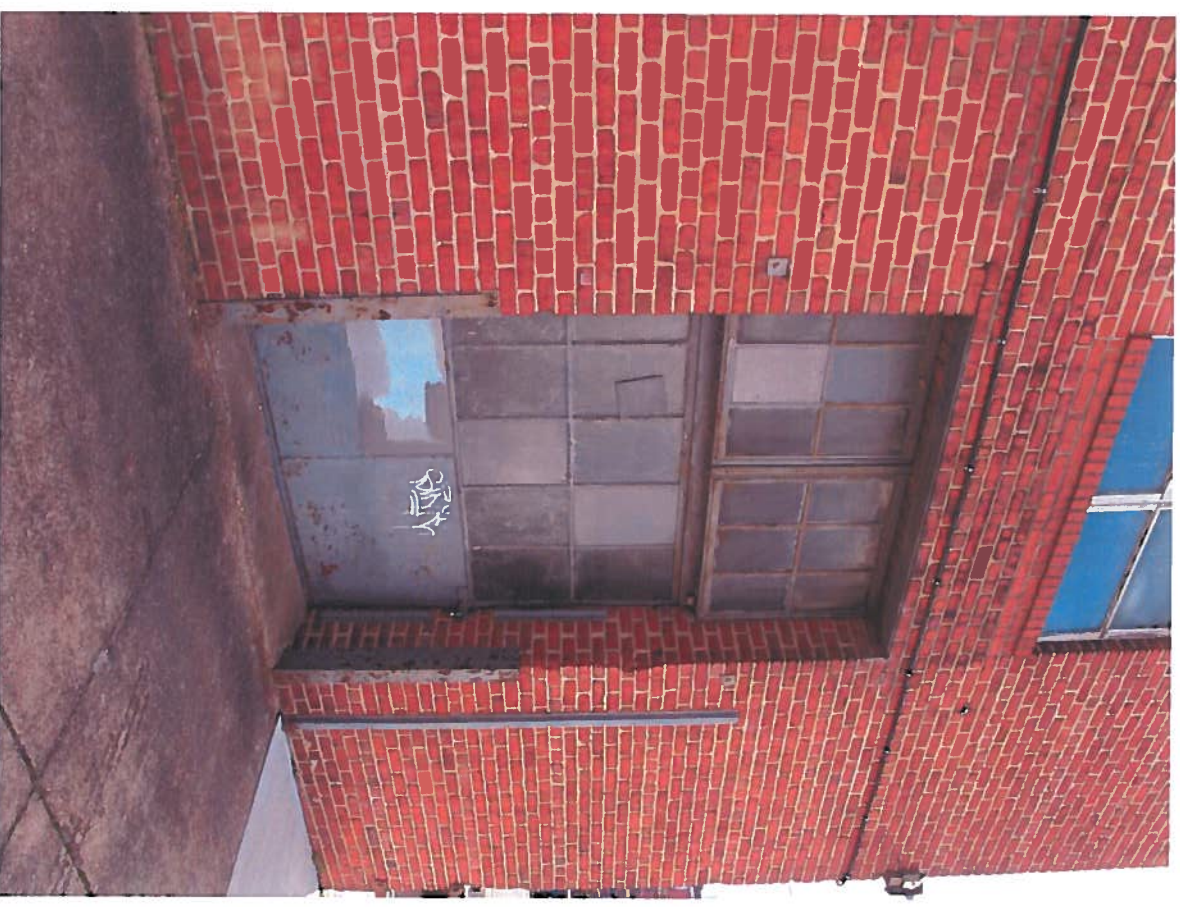
15. Install new aluminum and glass storefront door



16. Install new aluminum and glass storefront door



17. Salvage coal door, reopen to historic dimension, install new glass and aluminum storefront below window

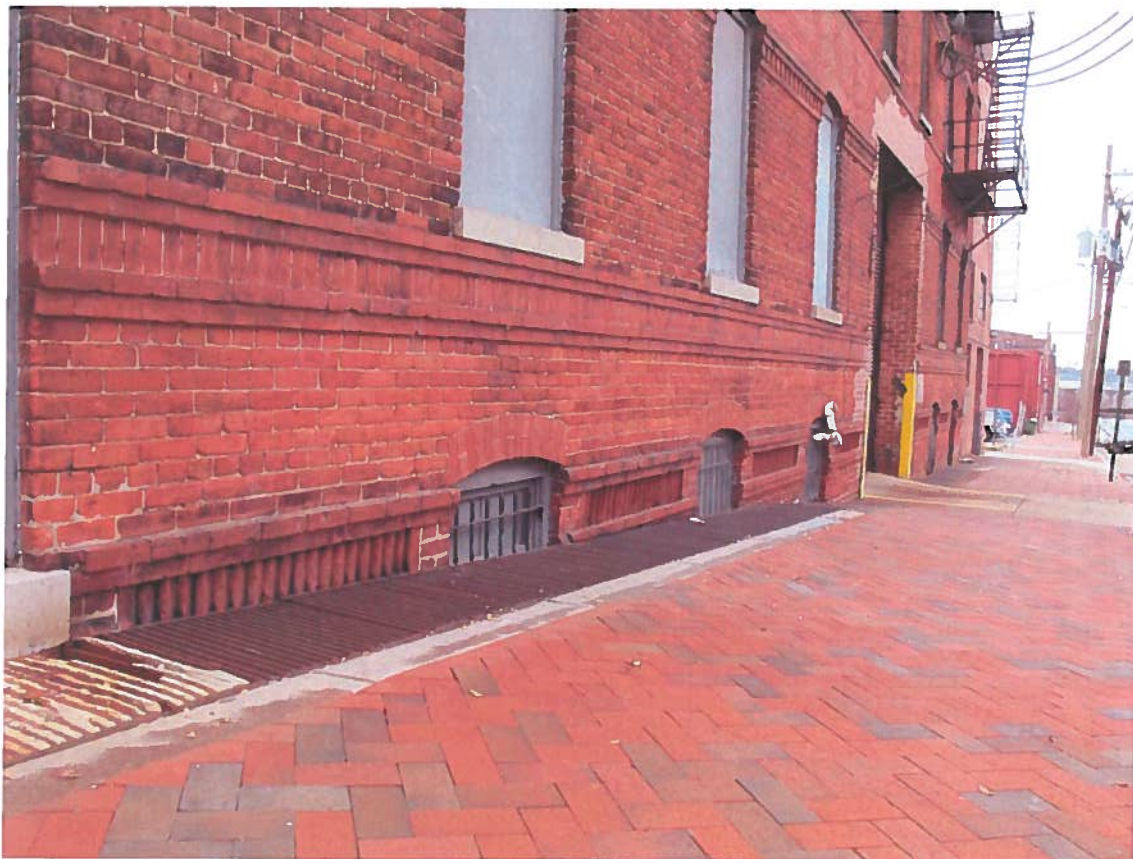


18. Salvage door and install new aluminum and glass storefront door below

2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



19. Remove fire escape ladder, replace basement windows in kind, based on physical remnants



20. Grate-covered open basement-level window well

2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



21. Reopen filled basement-level window wells

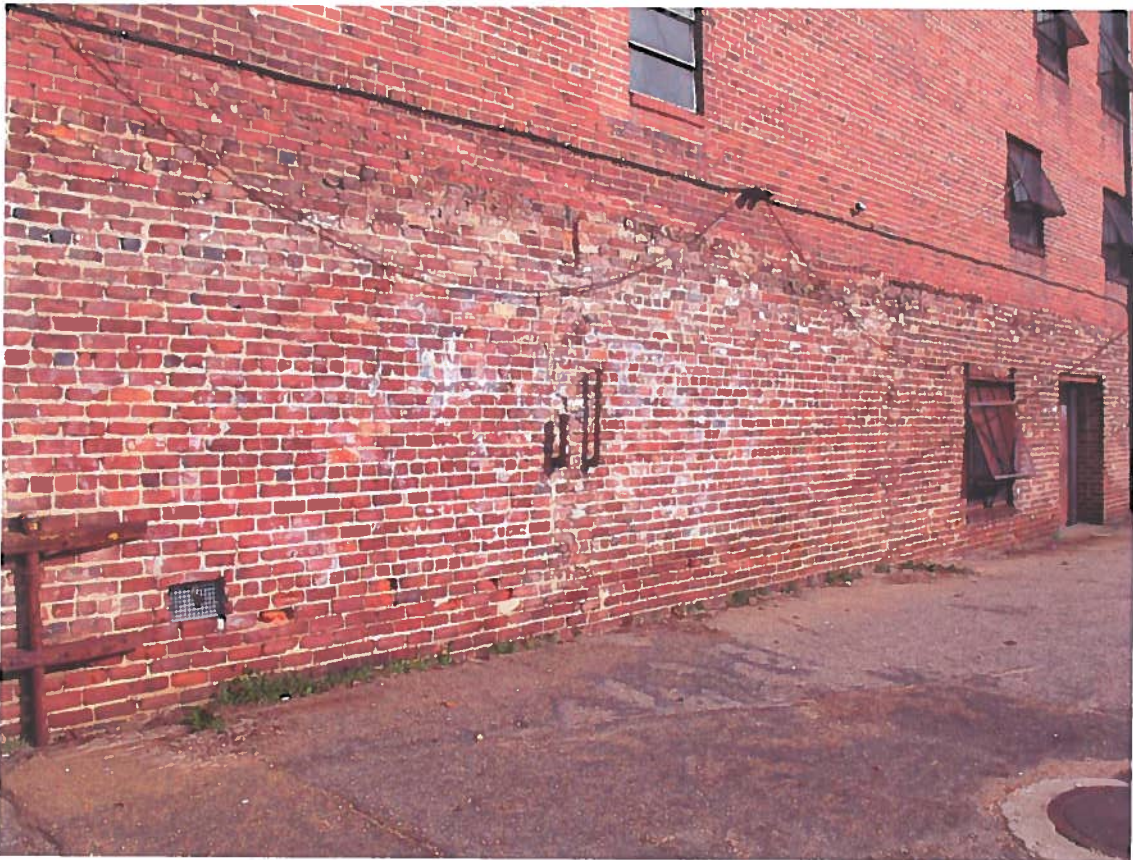


22. Reopen window wells, install grate to cover

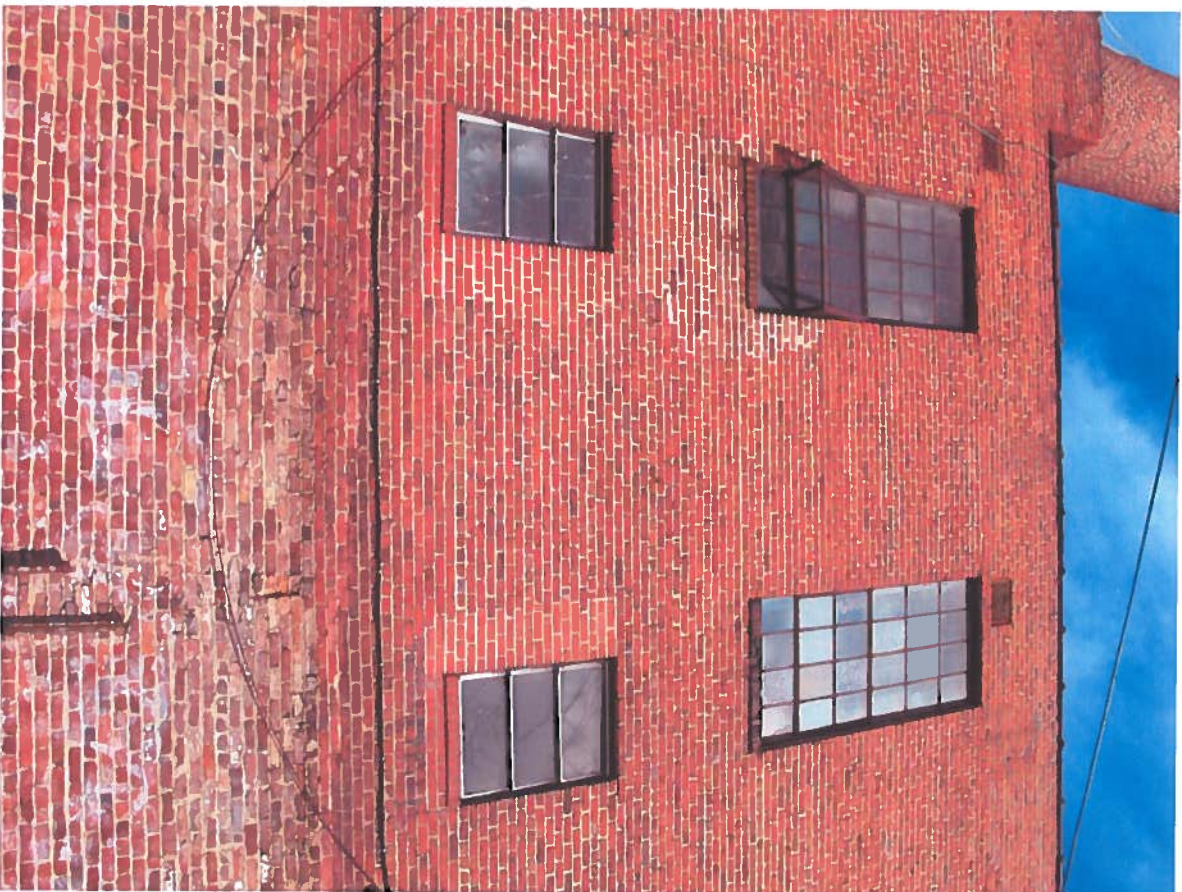
2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



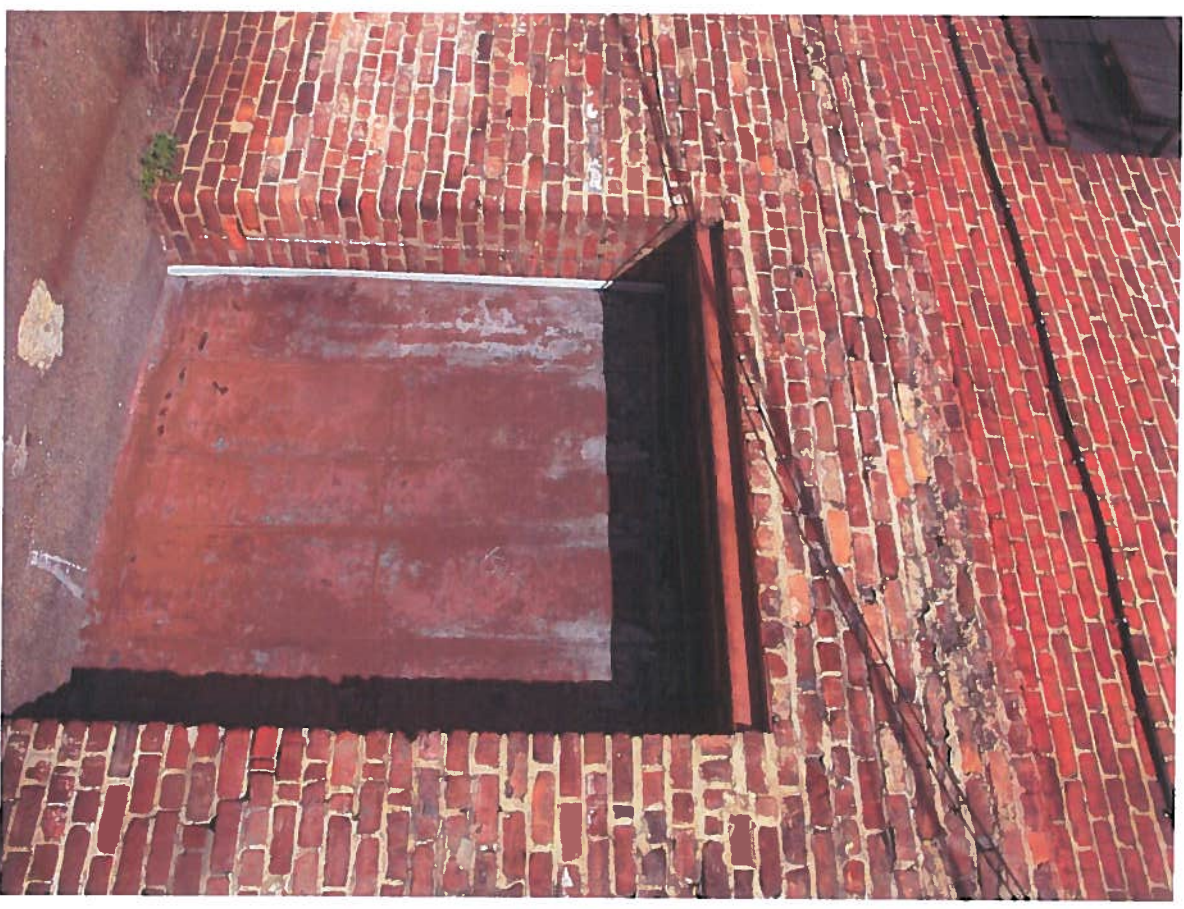
23. Area to receive new ground level storefront and second level window openings



24. Brickwork historically concealed by adjoining one-story building in area to receive new storefront



25. Install new windows in existing modified openings, retain upper, historic, windows



26. Salvage fire door, install new storefront in existing opening

2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



27. Area to receive new window openings, one on second level, one between existing door openings



28. Demo existing modified entrance and install new storefront

2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



29. Remove existing metal screen and frame outside window (typical)

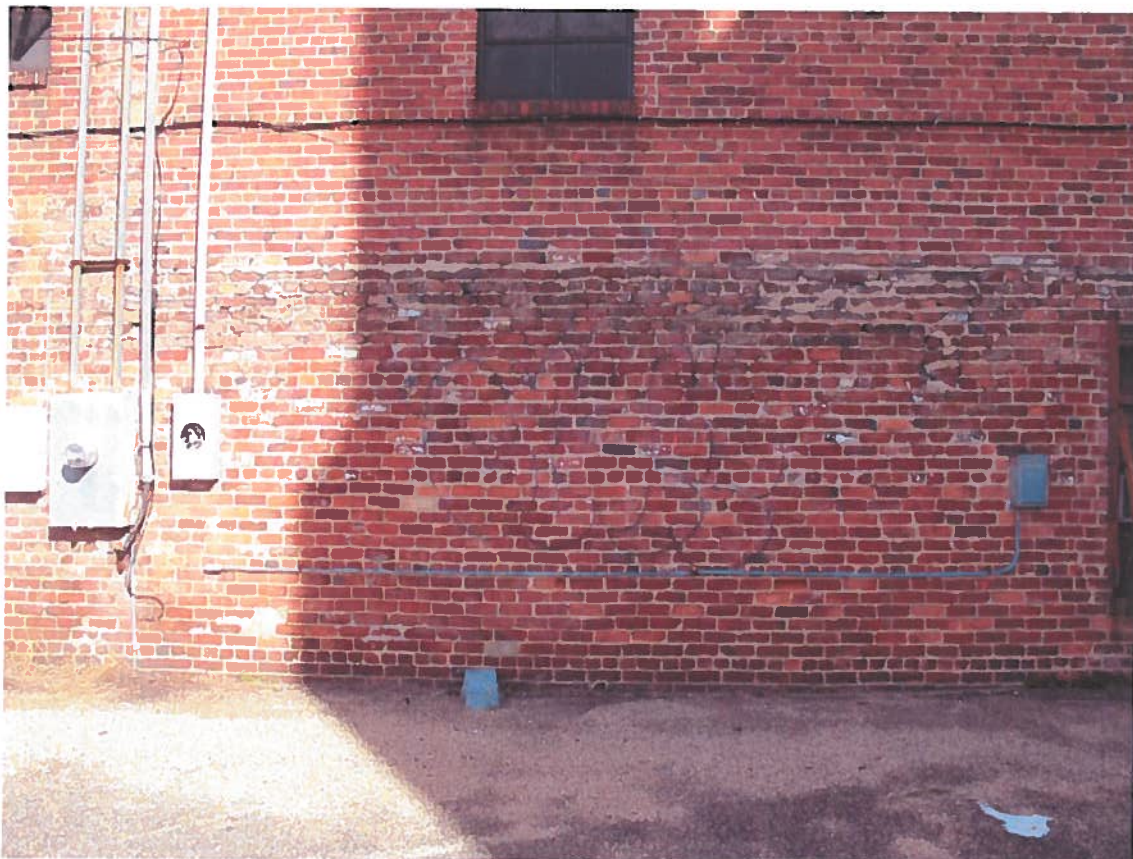


30. Area to receive new window opening in ground level and third level

2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



31. Interior of block context for new window openings



32. View of masonry work at site of new window opening

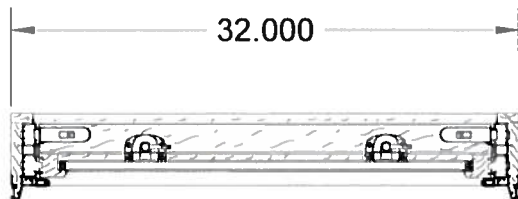
2201 East Franklin Street, Richmond VA  
Photos taken November-December 2015



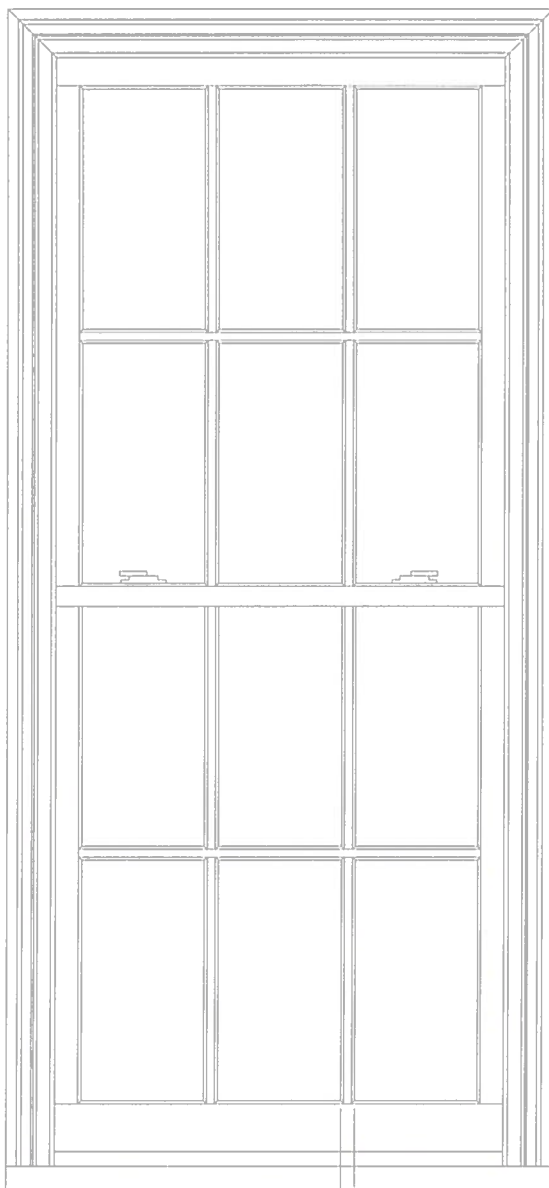
33. Rooftop HVAC equipment to be located on flat roof of addition



34. Additional HVAC will be located on roof so as to be minimally visible from public right-of-way

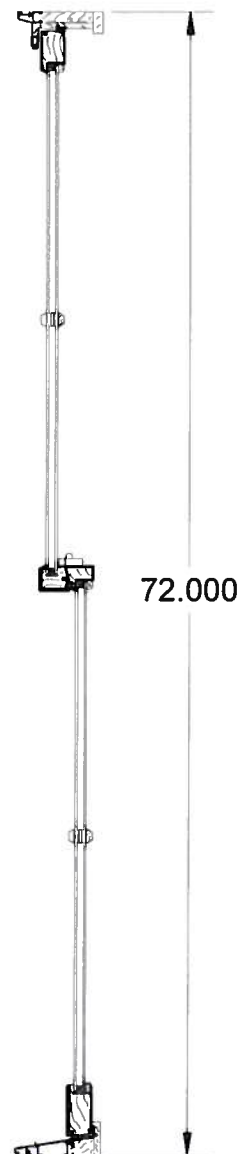


**Proposed for Basement Windows on  
North 22nd Street (west) elevation**



0.875

ELEVATION VIEW



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PROHIBITED



**TrimLine**  
WINDOWS INCORPORATED

50 Louise Drive  
Ivyland, Pennsylvania, 18974

DESCRIPTION:

**DR-300**

CUSTOMER:

SIZE: A

SCALE:

SHEET:

1 OF 1

DRAWN BY:

J.R.S.

DATE:

7/22/11

DWG #:

2201 East Franklin Street  
St. John's Church Old and Historic District  
Product Illustrations

FEBRUARY, 2012

EC 97911-37

TRIFAB® 451UT

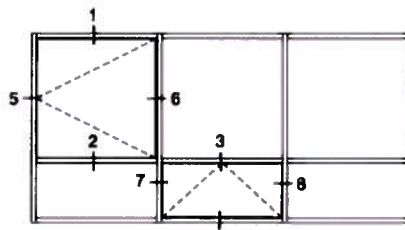
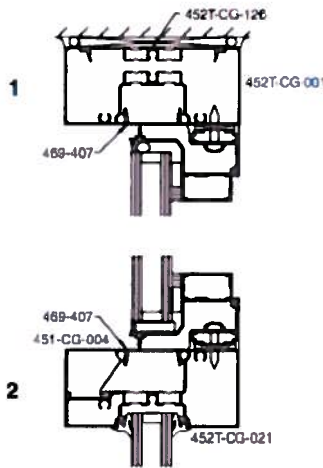
9

STOREFRONT GLASSvent® DETAILS

SCALE 3" = 1'-0"

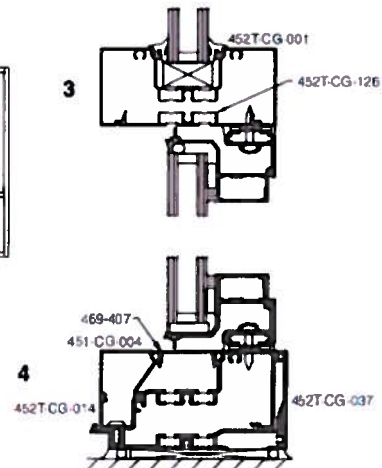
TRIFAB® 451UT FRAMING SHOWN.  
OTHER FRAMING OPTIONS AVAILABLE.  
CONSULT YOUR KAWNEER REPRESENTATIVE.

OUTSWING CASEMENT  
VERTICAL SECTION

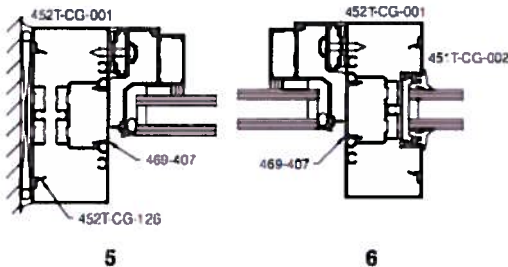


ELEVATION IS NUMBER KEYED TO DETAILS

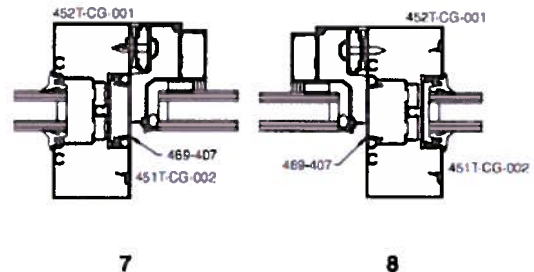
PROJECT-OUT  
VERTICAL SECTION



OUTSWING CASEMENT  
HORIZONTAL SECTION



PROJECT-OUT  
HORIZONTAL SECTION



NOTE: Bronze spacer is recommended when 1" insulating glass is used.

MAXIMUM / MINIMUM SIZES (1" INFILL)

PROJECT-OUT      MAXIMUM 60" x 36"  
MINIMUM 14" x 14"

OUTSWING CASEMENT      MAXIMUM 36" x 60"  
MINIMUM 14" x 14"

kawneer.com

KAWNEER  
AN ALCOA COMPANY

Laws and building and safety codes governing the design and use of glazed curtain walls and storefronts can vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
© Kawneer Company, Inc., 2012

4

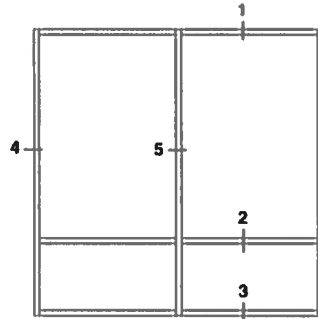
# TRIFAB® 451 UT

BASIC FRAMING DETAILS (CENTER - Outside Glazed)

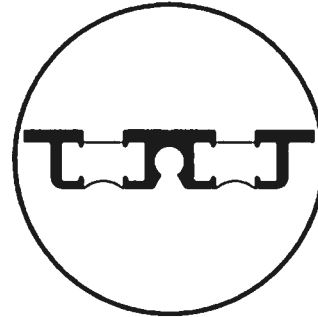
FEBRUARY, 2012

EC 97911-37

SCALE 3" = 1'-0"

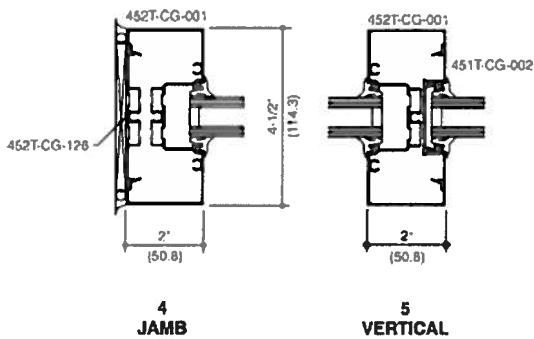


ELEVATION IS NUMBER KEYED TO DETAILS

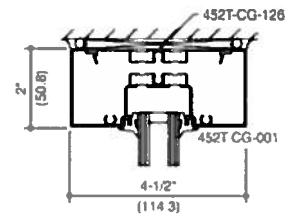


DUAL ISOLOCK THERMAL BREAK

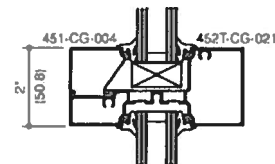
## SCREW SPLINE



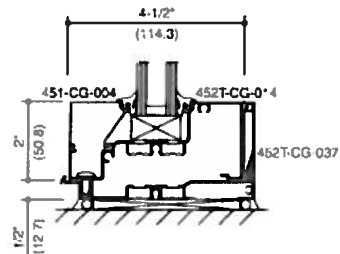
1  
HEAD



2  
HORIZONTAL



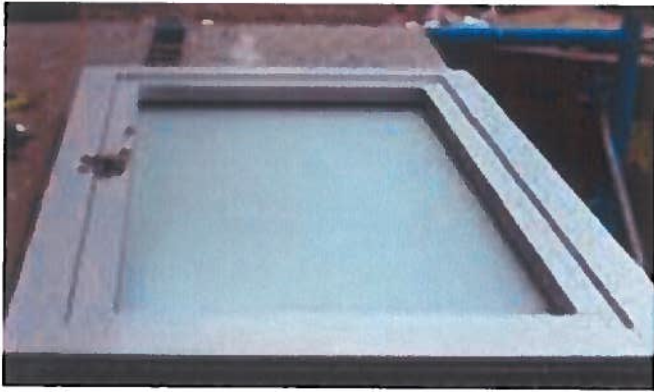
3  
SILL



Laws and building and safety codes governing the design and use of glazed entrance, windows, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
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2201 East Franklin Street  
St. John's Church Old and Historic District  
Product Illustrations



Casement window



Doors



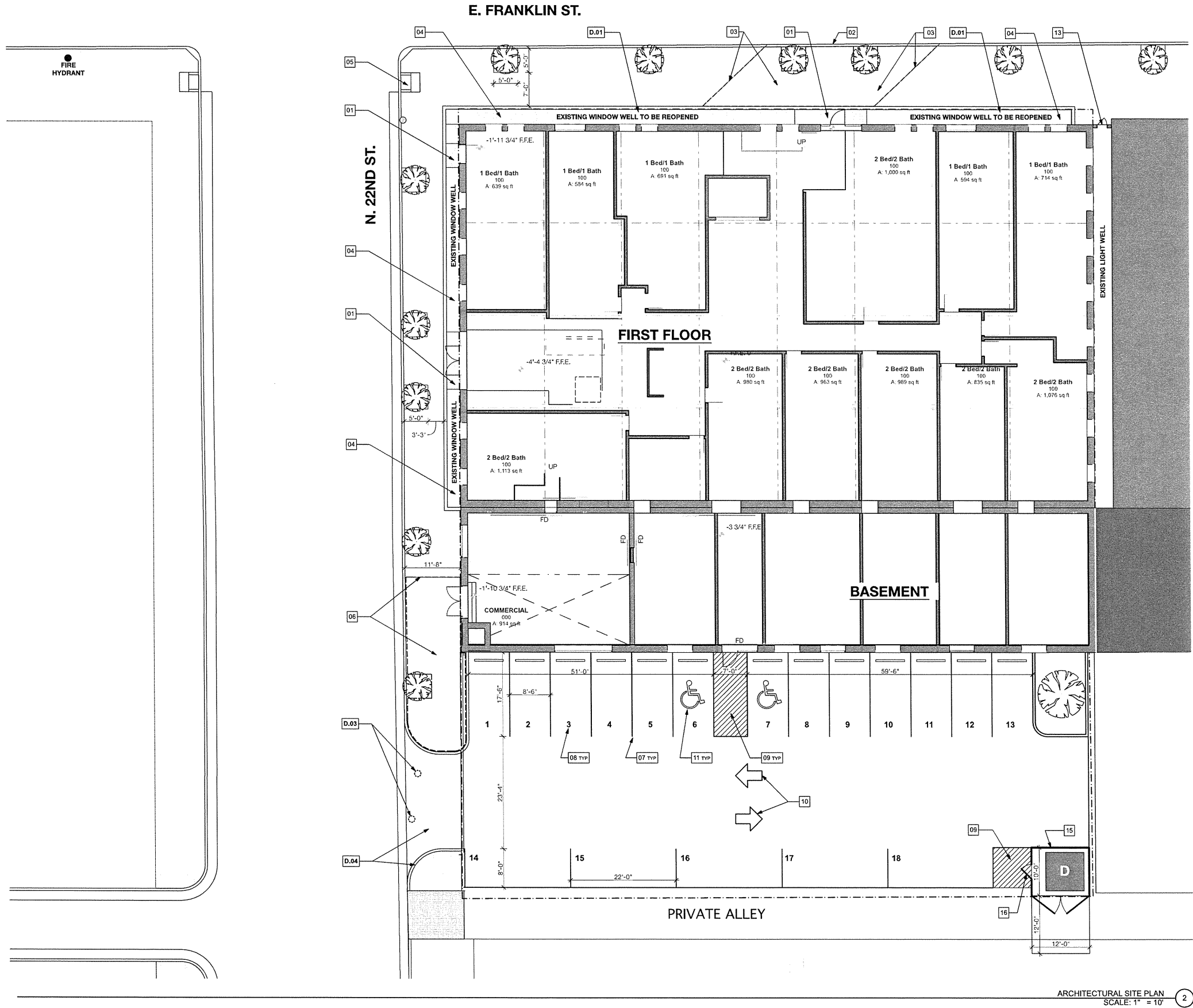
Fixed windows



Storefront

## GARBERS EXTERIOR FINISHES

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
ALUM1	ALUMINUM STOREFRONT	KAWNEER	TRIFAB 451UT	CLEAR ANODIZED	SEE ELEVATIONS	
ALUM2	ALUMINUM WINDOWS	KAWNEER		CLEAR ANODIZED	SEE ELEVATIONS	
ALUM3	WOOD CLAD ALUMINUM WINDOWS	TRIMLINE	DR-300	SW 6990, CAVIAR, SEMI-GLOSS	NEW WINDOW LOCATIONS, SEE ELEVATIONS	
BR1	EXIST. BRICK	-	-	-		CLEAN EXIST. MASONRY
BR2	EXIST. TERACOTTA	-	-	-		ALONG EAST & WEST PARAPET WALLS
MTL1	GUTTER/DOWNSPOUTS	TBD	TBD	GALVANIZED		
MTL2	COPING	TBD	TBD	GALVANIZED		
MTL3	METAL BAR GRATES	MCNICHOLS	6801310732, GW SERIES	STAINLESS STEEL	LIGHT-VELLS ALONG WEST & NORTH ELEVATIONS	2'-9" & 3'-1" GRATE PANEL WIDTHS
MTL4	METAL DECORATIVE GRATE, TRACTION TREAD	MCNICHOLS	M814101631, CHEVRON PATTERN, 16 GAUGE	STAINLESS STEEL	LIGHT-VELLS ALONG WEST & NORTH ELEVATIONS	WELDED ON TOP OF BAR GRATING
PT40	EXIST. WOOD DOOR PAINT	SHERWIN WILLIAMS	SW 9179, ANCHORS AWEIGH	SEMI-GLOSS	NORTH ELEVATION DOORS	MARINE GRADE PAINT - 10 YEAR WARRANTY
PT41	EXIST. WOOD WINDOW PAINT	SHERWIN WILLIAMS	SW 6990, CAVIAR	SEMI-GLOSS	WINDOWS	MARINE GRADE PAINT - 10 YEAR WARRANTY
PT42	EXIST. METAL WINDOW PAINT	SHERWIN WILLIAMS	SW 6990, CAVIAR	SEMI-GLOSS	WINDOWS	MARINE GRADE PAINT - 10 YEAR WARRANTY
PT43	EXIST. METAL PLATES & MISC. METALS	SHERWIN WILLIAMS	SW 7075, WEB GRAY	SEMI-GLOSS	WEST ELEVATION DOOR OPENINGS	MARINE GRADE PAINT - 10 YEAR WARRANTY
PT44	EXIST. FIRE ESCAPE PAINT	SHERWIN WILLIAMS	SW 6990, CAVIAR	SEMI-GLOSS	WEST ELEVATION NORTH ELEVATION DOOR TRIM	MARINE GRADE PAINT - 10 YEAR WARRANTY
PT44	PLASTERED BOLLARD PAINT	SHERWIN WILLIAMS	SW 7072, ONLINE	SEMI-GLOSS		MARINE GRADE PAINT - 10 YEAR WARRANTY
SC1	STAINED CONCRETE TRIM	SCOFIELD	INTEGRAL COLOR SG	TBD	SIDEWALK LIGHT-WELL & TREE WELL TRIM	SEE SITE PLAN FOR LOCATION & ADDITIONAL DETAILS



DEMOLITION SITE PLAN KEY NOTES	
D.01	DEMO CONCRETE AT EXISTING LIGHTWELL
D.02	DEMO CONCRETE
D.03	EXISTING UTILITY POLES TO BE MOVED FROM ENTRANCE
D.04	SALVAGE BRICK PAVERS TO USE ELSEWHERE ON SIDEWALK

SITE PLAN KEY NOTES	
01	DECORATIVE METAL PLATE AT ENTRY
02	NEW GRANITE CURB TO MATCH EXISTING
03	NEW BRICK PAVERS TO MATCH EXISTING
04	NEW METAL BAR GRATE @ LIGHTWELL
05	EXISTING ACCESSIBLE RAMP & CURB
06	NEW SIDEWALK/ CURB W/ BRICK PAVERS FROM AREA OF NEW DRIVE ENTRANCE
07	2" PAINTED PARKING STRIPES
08	12" TALL PAINTED NUMBERS IN EACH PARKING SPACE
09	2" DIAGONAL STRIPPING, SPACED 2'-0" O.C.
10	PARKING ARROW PAINTED (WHITE)
11	HANDICAP PARKING SYMBOL PAINTED (WHITE)
12	CONCRETE WHEEL STOP
13	EXISTING GATE
14	NEW CURB CUT & DRIVE ENTRY FOR PARKING LOT
15	DUMPSTER ENCLOSURE
16	ACCESSIBLE GATE AT DUMPSTER ENCLOSURE

GENERAL DEMOLITION NOTES	
SEE D.200 FOR GENERAL DEMOLITION NOTES AND HISTORIC ARTIFACT SCHEDULE.	



2201 E FRANKLIN ST RICHMOND VIRGINIA USA

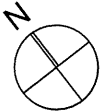
REVISIONS	
TAG	DATE

walter PARKS  
ARCHITECT

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

PROJECT #: 15.47  
DATE: 12/18/15

SITE PLAN  
A.102



GENERAL DEMOLITION NOTES	HAZARD NOTES	HISTORIC ARTIFACT SCHEDULE
<p>GENERAL</p> <p>1. THESE DRAWINGS WERE PREPARED, IN PART, USING INFORMATION FURNISHED BY OTHERS AND SOME FIELD VERIFICATION. THOUGH REASONABLE CARE WAS EXERCISED, MINOR VARIATIONS FROM ACTUAL FIELD CONDITIONS MAY OCCUR.</p> <p>2. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. CORRELATE THE SCOPE, DIMENSIONS AND EXTENT OF DEMOLITION WORK TO BE PERFORMED WITH THE NEW WORK. ANY VARIATIONS AND/OR DISCREPANCIES WHICH WILL AFFECT THE WORK REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION, PRIOR TO BEGINNING WORK.</p> <p>3. VERIFY ALL UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE BEGINNING DEMOLITION. ASSUME THAT ALL UNDERGROUND UTILITIES ARE ACTIVE.</p> <p>4. SURVEY CONDITION OF THE BUILDING TO DETERMINE IF REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCIES OR FAILURES.</p> <p>5. REFER TO CIVIL/STRUCTURAL/MECHANICAL/ELECTRICAL PLUMBING DEMOLITION DRAWINGS FOR RELATED DEMOLITION WORK TO BE PERFORMED.</p> <p>6. NOTE THAT NOT ALL DEMOLITION WORK IS INDICATED ON ARCHITECTURAL DRAWINGS. CORRELATE DEMOLITION WORK WITH NEW WORK SO THAT DEMOLITION IS COMPLETE AND READY FOR NEW CONSTRUCTION. REMOVE ALL MISC. STEEL THAT IS NOT SERVING A STRUCTURAL PURPOSE TO LEAVE SHELL CLEAN FOR NEW WORK.</p> <p>7. ALL CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE IS IF AS REQUIRED BY ALL.</p> <p>8. PLAN DIMENSIONS ARE TO FACE OF WALL OR CENTERLINE OF STRUCTURAL FRAMING, UNLESS OTHERWISE NOTED.</p> <p>SALVAGING</p> <p>1. HISTORIC ITEMS, RELICS, ANTIQUES AND SIMILAR OBJECTS OF INTEREST IDENTIFIED ON DRAWINGS OR DISCOVERED DURING DEMOLITION REMAINS THE PROPERTY OF THE OWNER.</p> <p>2. COORDINATE IN THE FIELD ALL EXISTING ITEMS TO BE SALVAGED PRIOR TO ACTUAL DEMOLITION WORK WITH THE OWNER/ARCHITECT. SALVAGED ITEMS SHALL BE SURFACE CLEANED AND SECURELY STORED AS DIRECTED BY THE OWNER. CONTRACTOR ASSUMES RESPONSIBILITY FOR THE SALVAGED ITEMS.</p> <p>3. SALVAGE ALL EXISTING FIRE DOORS. DOORS ARE TO BE PROTECTED AND STORED ON SITE FOR LATER REINSTALLATION. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.</p> <p>4. SALVAGE ALL EXISTING SIGNAGE. SIGNAGE IS TO BE PROTECTED AND STORED FOR LATER REINSTALLATION.</p> <p>5. ALL WINDOWS SHALL REMAIN, UNLESS OTHERWISE NOTED.</p> <p>DEMOLITION</p> <p>1. REMOVE ALL EXISTING EQUIPMENT, EQUIPMENT PADS AND SUPPORTS. PROVIDE A CLEAN, SMOOTH ACCEPTABLE SURFACE TO RECEIVE NEW WORK.</p> <p>2. PROVIDE AND MAINTAIN TEMPORARY SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF CONSTRUCTION TO REMAIN.</p> <p>3. PROVIDE AND MAINTAIN BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE OR DAMAGE TO ADJACENT PROPERTIES.</p> <p>4. REMOVE WALLS AS INDICATED.</p> <p>5. EXISTING CONSTRUCTION AND ITEMS NOT USED AS PART OF NEW CONSTRUCTION, INCLUDING BUT NOT LIMITED TO PIPING, DUCTS, CONDUITS, HANGERS, DRAINS, BOLTS, METAL CLIPS, WOOD BLOCKING AND SIMILAR ITEMS SHALL BE REMOVED AND NOT ABANDONED IN-PLACE UNLESS REMOVAL IS NOT POSSIBLE (AS DETERMINED BY ARCHITECT/OWNER)</p> <p>6. DEMO ENOUGH OF EXISTING MASONRY WALLS TO ALLOW TOOTHING-IN OF MASONRY/BRICK TO MATCH EXISTING COURSING AND PATTERN AT NEW FRAME LOCATIONS, UNLESS OTHERWISE NOTED.</p> <p>7. REMOVE ALL SUSPENDED CEILINGS INCLUDING ACCESSORIES, WIRES, STRUTS, LIGHT FIXTURES, ETC. AND UNCOVER ALL OF THE BUILDING STRUCTURE.</p> <p>8. REMOVE ALL CONSTRUCTION AS REQUIRED TO CREATE NEW WINDOW OPENINGS. COORDINATE ALL NEW OPENINGS WITH NEW WORK. PROVIDE TEMPORARY SHORING OR STRUCTURAL SUPPORT/ FRAMING AS REQUIRED.</p> <p>9. REMOVE EXISTING FIRE SPRINKLER LINES AND DEVICES THAT WILL NOT BE REUSED AS PART OF NEW SYSTEM.</p> <p>10. REMOVE ALL PLUMBING LINES AND CAP BEHIND WALL AND FLOOR FINISHES UNLESS OTHERWISE NOTED.</p> <p>11. CONSTRUCTION AND FINISHES INDICATED TO BE DEMOLISHED SHALL BE REMOVED IN ITS ENTIRETY INCLUDING ANY OBSTRUCTIONS UNLESS OTHERWISE NOTED.</p> <p>12. SEE ELEVATIONS, AND OTHER DEMOLITION DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.</p> <p>13. REMOVE ALL GLAZING AND GLAZING PUTTY FROM ALL EXIST STEEL WINDOWS.</p> <p>14. REMOVE ALL CHIPPED, CRACKED, WIRED, PATTERNED AND ANY NON-TRANSPARENT GLASS FROM WOOD WINDOWS, TRANSOMS, SIDELIGHTS AND DOORS THAT ARE TO BE REUSED. SCRAPE LOOSE PAINT.</p> <p>CLEANING/ PREP</p> <p>1. ALL EXPOSED SURFACES AFFECTED BY THE DEMOLITION WORK AND WHICH SHALL REMAIN EXPOSED TO VIEW SHALL BE CLEANED OF DUST, DIRT AND DEBRIS.</p> <p>2. LIGHTLY SANDBLAST EXISTING STEEL WINDOW FRAMES AND MUNTINS.</p> <p>3. LIGHTLY CLEAN ALL COLUMNS, BEAMS, CEILINGS AND MASONRY WALLS.</p> <p>4. REMOVE ALL DEBRIS FROM BUILDING UNLESS OTHERWISE NOTED. ITEMS NOT DESIGNATED TO REMAIN, REINSTALLED, REUSED OR SALVAGED SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED IN ACCORDANCE WITH ALL REGULATIONS. LEAVE THE BUILDING AS A CLEAN SHELL.</p> <p>5. SCRAPE, SAND, CLEAN AND REPAINT ALL METAL STRUCTURAL MEMBERS SCHEDULED TO REMAIN.</p>	<p>Underground Storage Tanks (UST), if found, are to be "closed in place". A minimum of 8 sil sample adjacent to the bottom of the USTs to be analyzed for total petroleum hydrocarbon via EPA method 8015B.</p> <p>All Above ground Storage Tanks to be removed from the site shall be in accordance with applicable local and state regulations.</p> <p>Asbestos-Containing Materials, if found, are to be managed under a site-specific operations and maintenance program developed in accordance with state and federal guidelines by a licensed asbestos project designer.</p> <p>Lead-Based Paint, if found, shall be disposed of in accordance with local and state regulations.</p> <p>1. Areas identified with lead paint subject to paint removal should be performed in a controlled manner per OSHA 29 CFR 1926.62.</p> <p>PolyChlorinated Biphenyls - PCB containing light ballasts shall be disposed of in accordance with all state and federal applicable regulations by an electrical contractor familiar with PCB's.</p> <p>All areas containing pigeon guano are to be properly cleaned in accordance with applicable regulations.</p>	<p><b>HA-01</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-02</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-03</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-04</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-05</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-06</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-07</b> COAL HATCH. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-08</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-09</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-10</b> PAIR OF WOOD ENTRANCE DOORS. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-11</b> PAIR OF WOOD ENTRANCE DOORS. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-12</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-13</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-14</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-15</b> FIRE DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p> <p><b>HA-16</b> SHEET METAL-CLAD DOOR. SALVAGE, PROTECT, AND STORE ALL COMPONENTS FOR REINSTALLATION.</p>



CARBERS  
2201 E FRANKLIN ST RICHMOND VIRGINIA USA

REVISIONS	
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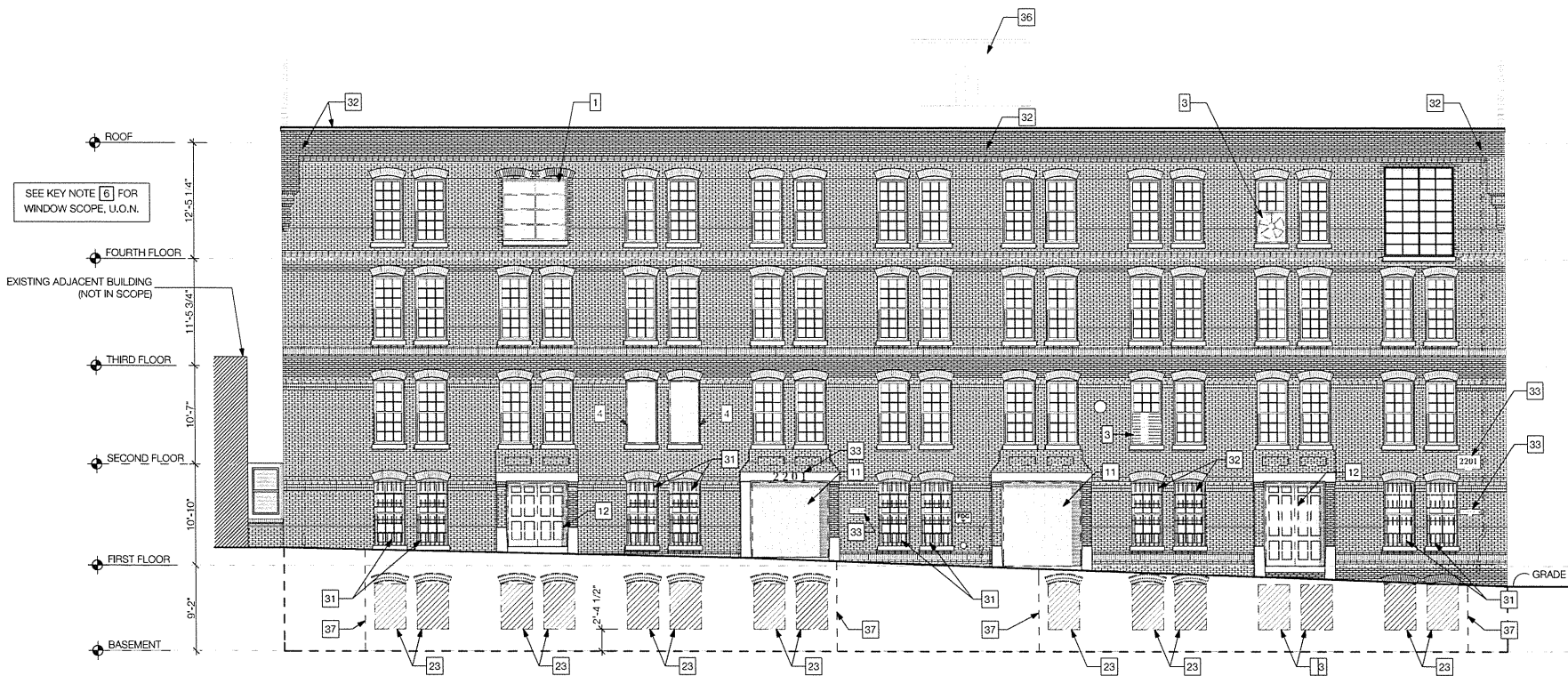
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DEMO NOTES  
D.200



ALLEY ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"

2  
D.301



FRANKLIN ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"

1  
D.301

#### DEMO ELEVATION KEY NOTES

##### WINDOWS

1. DEMO EXISTING NON-ORIGINAL WINDOW.
2. DEMO EXISTING WINDOW, PREP OPENING TO RECEIVE NEW STOREFRONT.
3. DEMO EXISTING EXHAUST FAN OR LOUVERS.
4. DEMO PLYWOOD OVER EXISTING WINDOW, EVALUATE CONDITION OF EXISTING HISTORIC WINDOW AND NOTIFY ARCHITECT.
5. DEMO EXISTING STOREFRONT.
6. EXISTING WINDOW TO BE REFURBISHED.

##### DOORS

11. DEMO GARAGE DOORS, PREP OPENING TO RECEIVE NEW STOREFRONT.
12. SALVAGE EXISTING DOORS, PREP OPENING TO RECEIVE NEW STOREFRONT.



##### MASONRY

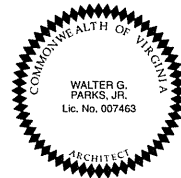
21. DEMO EXISTING MASONRY FOR NEW WINDOW AND MASONRY SILL.
22. DEMO EXISTING MASONRY FOR NEW STOREFRONT.
23. DEMO EXISTING MASONRY AND/OR WOOD FRAME INFILL, PREP OPENING TO RECEIVE NEW ALUMINUM WINDOW, MATCH EXISTING HEADER HEIGHT.

##### MISC.

31. DEMO BARS OVER WINDOWS ON GROUND FLOOR.
32. DEMO EXISTING GUTTERS & DOWNSPOUTS.
33. SALVAGE EXISTING SIGNAGE.
34. DEMO EXISTING METAL FRAME AND SCREEN OUTSIDE WINDOW.
35. EXISTING FIRE ESCAPE. SCRAPE CLEAN AND PREP TO RECEIVE NEW PAINT.
36. EXISTING ELEVATOR OVERRUN, SCRAPE CLEAN AND PREP TO RECEIVE NEW PAINT.
37. DEMO EXISTING FILL FOR NEW WINDOW WELL.
38. SALVAGE EXISTING HISTORIC ARTIFACT.
39. EXISTING SIGNAGE TO REMAIN.
40. DEMO LOWER PORTION OF FIRE ESCAPE.

#### DEMO LEGEND

-  DEMO EXISTING DOOR, WINDOW, OR EQUIPMENT. SEE KEY NOTES.
-  DEMO EXISTING MASONRY FOR NEW DOOR OR WINDOW.



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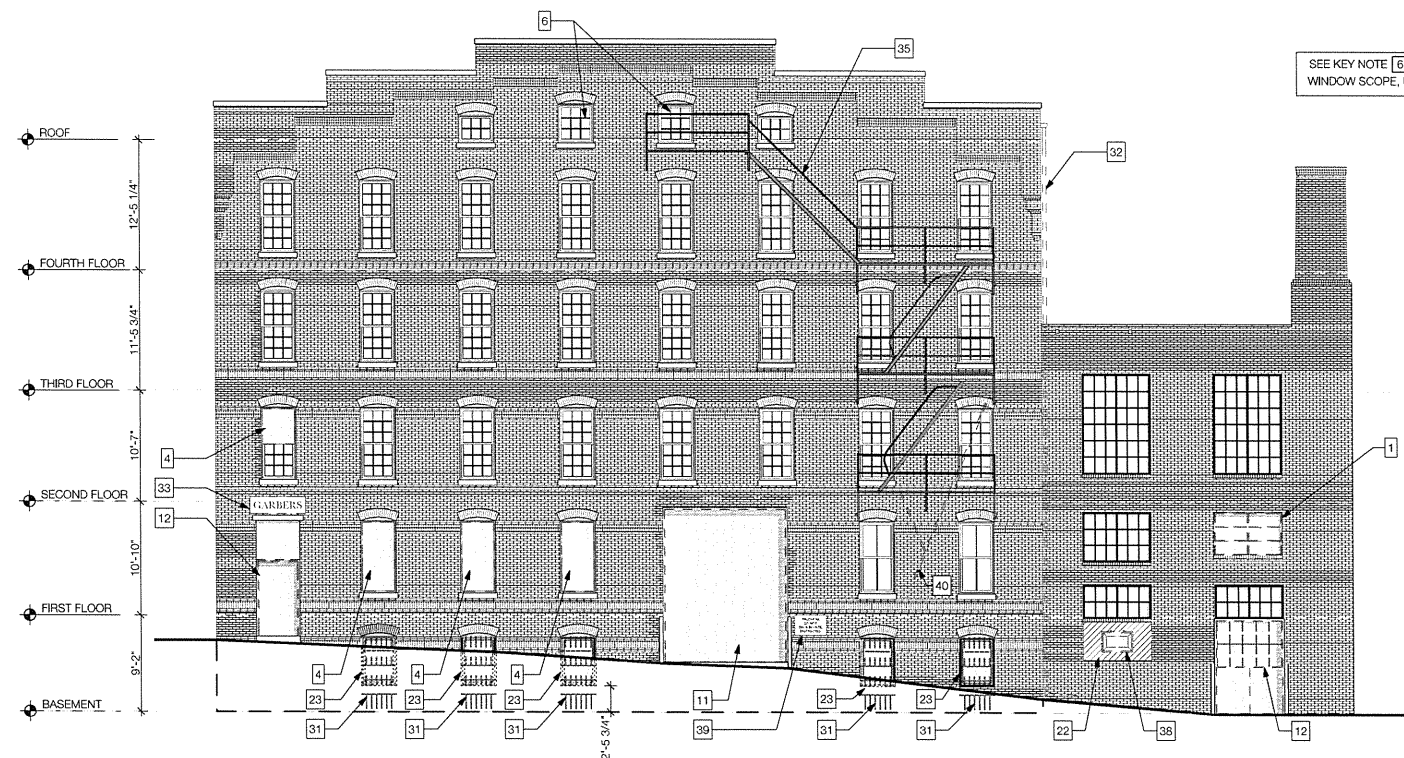
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DEMO ELEVATIONS  
D.301



ALLEY ELEVATION - EAST  
SCALE: 1/8" = 1'-0"  
2  
D.302



22ND ST ELEVATION - WEST  
SCALE: 1/8" = 1'-0"  
1  
D.302

#### DEMO ELEVATION KEY NOTES

##### WINDOWS

1. DEMO EXISTING NON-ORIGINAL WINDOW.
2. DEMO EXISTING WINDOW. PREP OPENING TO RECEIVE NEW STOREFRONT.
3. DEMO EXISTING EXHAUST FAN OR LOUVERS.
4. DEMO PLYWOOD OVER EXISTING WINDOW. EVALUATE CONDITION OF EXISTING HISTORIC WINDOW AND NOTIFY ARCHITECT.
5. DEMO EXISTING STOREFRONT.
6. EXISTING WINDOW TO BE REFURBISHED.

##### DOORS

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12. SALVAGE EXISTING DOORS. PREP OPENING TO RECEIVE NEW STOREFRONT.



##### MASONRY

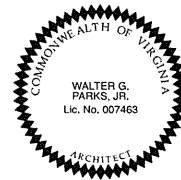
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22. DEMO EXISTING MASONRY FOR NEW STOREFRONT.
23. DEMO EXISTING MASONRY AND/OR WOOD FRAME INFILL. PREP OPENING TO RECEIVE NEW ALUMINUM WINDOW. MATCH EXISTING HEADER HEIGHT.

##### MISC.

31. DEMO BARS OVER WINDOWS ON GROUND FLOOR.
32. DEMO EXISTING GUTTERS & DOWNSPOUTS.
33. SALVAGE EXISTING SIGNAGE.
34. DEMO EXISTING METAL FRAME AND SCREEN OUTSIDE WINDOW.
35. EXISTING FIRE ESCAPE. SCRAPE CLEAN AND PREP TO RECEIVE NEW PAINT.
36. EXISTING ELEVATOR OVERRUN. SCRAPE CLEAN AND PREP TO RECEIVE NEW PAINT.
37. DEMO EXISTING FILL FOR NEW WINDOW WELL.
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40. DEMO LOWER PORTION OF FIRE ESCAPE.

#### DEMO LEGEND

-  DEMO EXISTING DOOR, WINDOW, OR EQUIPMENT. SEE KEY NOTES.
-  DEMO EXISTING MASONRY FOR NEW DOOR OR WINDOW.



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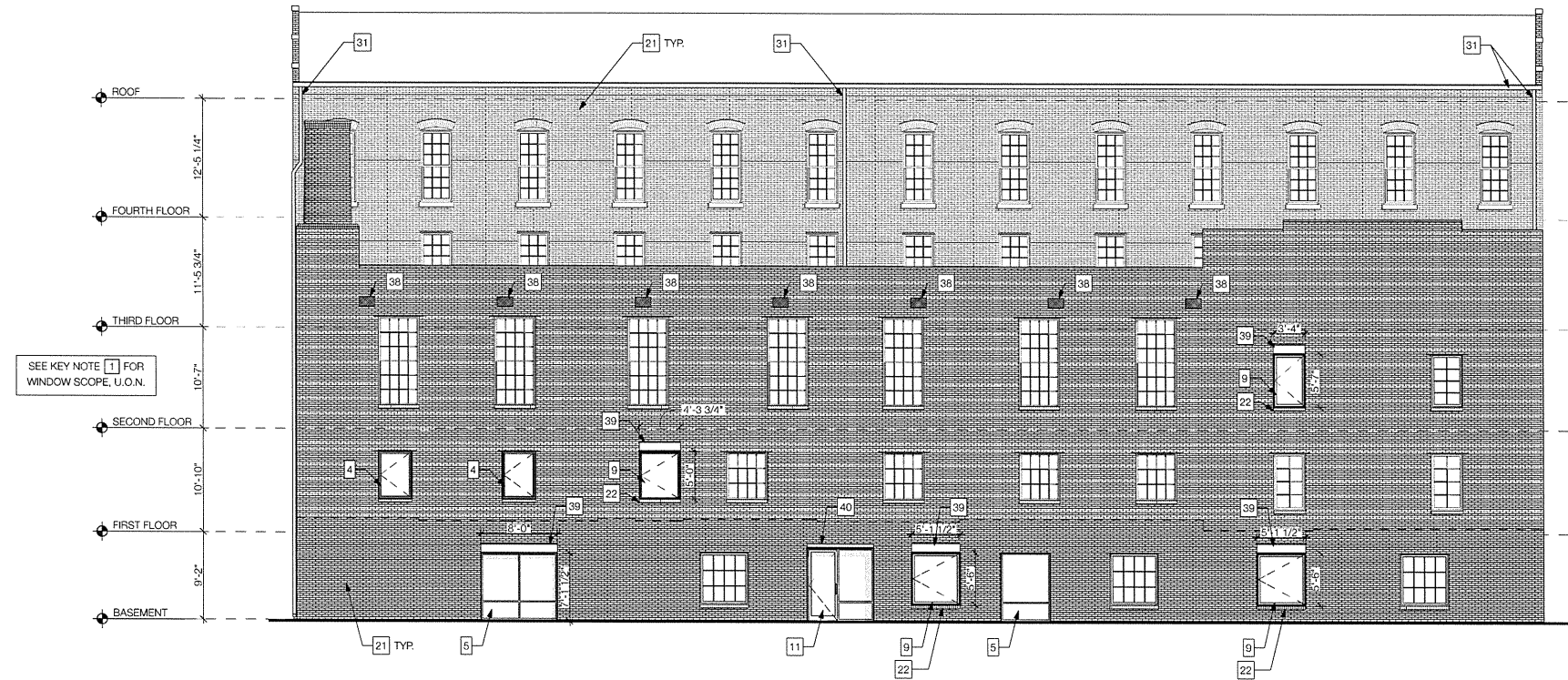
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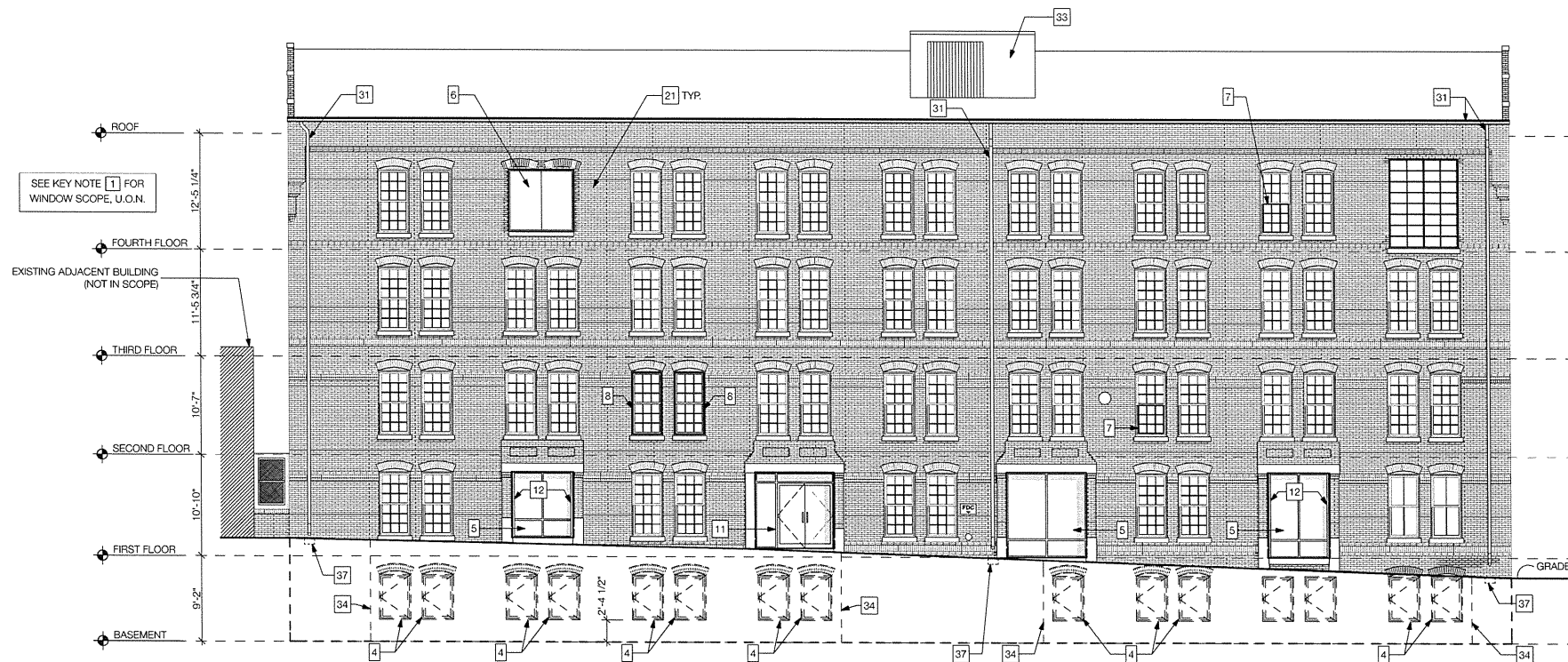
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DEMO ELEVATIONS  
**D.302**



ALLEY ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"

2  
A.301



FRANKLIN ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"

1  
A.301

#### ELEVATION KEY NOTES

##### WINDOWS

1. REGLAZE & REFURBISH EXISTING HISTORIC WINDOW.
2. NEW STEEL WINDOW TO MATCH EXISTING HISTORIC STEEL WINDOWS.
3. NEW WOOD WINDOW TO MATCH EXISTING HISTORIC WOOD WINDOWS.
4. NEW ALUMINUM WINDOW IN EXISTING OPENING.
5. NEW ALUMINUM AND GLASS STOREFRONT.
6. NEW BUTT-GLAZED ALUMINUM AND GLASS STOREFRONT.
7. REPAIR/REPLACE WINDOW SASH AS REQUIRED.
8. REPAIR/REPLACE HISTORIC WINDOW AS REQUIRED.
9. NEW ALUMINUM WINDOW IN NEW OPENING.

##### DOORS

11. NEW ALUMINUM AND GLASS STOREFRONT DOOR ASSEMBLY.
12. SCRAPE CLEAN AND REPAINT EXISTING DOORS. FIX IN OPEN POSITION AS SHOWN ON LAYOUT PLANS.

##### MASONRY

21. CLEAN EXISTING MASONRY.
22. NEW MASONRY SILL TO MATCH EXISTING HISTORIC SILLS.

##### MISC.

31. NEW GALVANIZED SQUARE GUTTERS & DOWNSPOUTS.
32. SCRAPE CLEAN AND REPAINT EXISTING FIRE ESCAPE.
33. SCRAPE CLEAN AND REPAINT EXISTING ELEVATOR OVERRUN.
34. NEW CONCRETE WINDOW WELL.
35. EXISTING WINDOW WELL.
36. SCRAPE CLEAN AND REPAINT EXISTING METAL PLATE.
37. NEW SLUCE UNDER SIDEWALK W/ DIAMOND PLATE COVER. WATER TO EXIT AT THE STREET.
38. EXISTING VENT TO REMAIN.
39. NEW EXPOSED STEEL HEADER. COORDINATE SIZE WITH STRUCTURAL.
40. EXISTING EXPOSED STEEL HEADER. SCRAPE CLEAN AND REPAINT.



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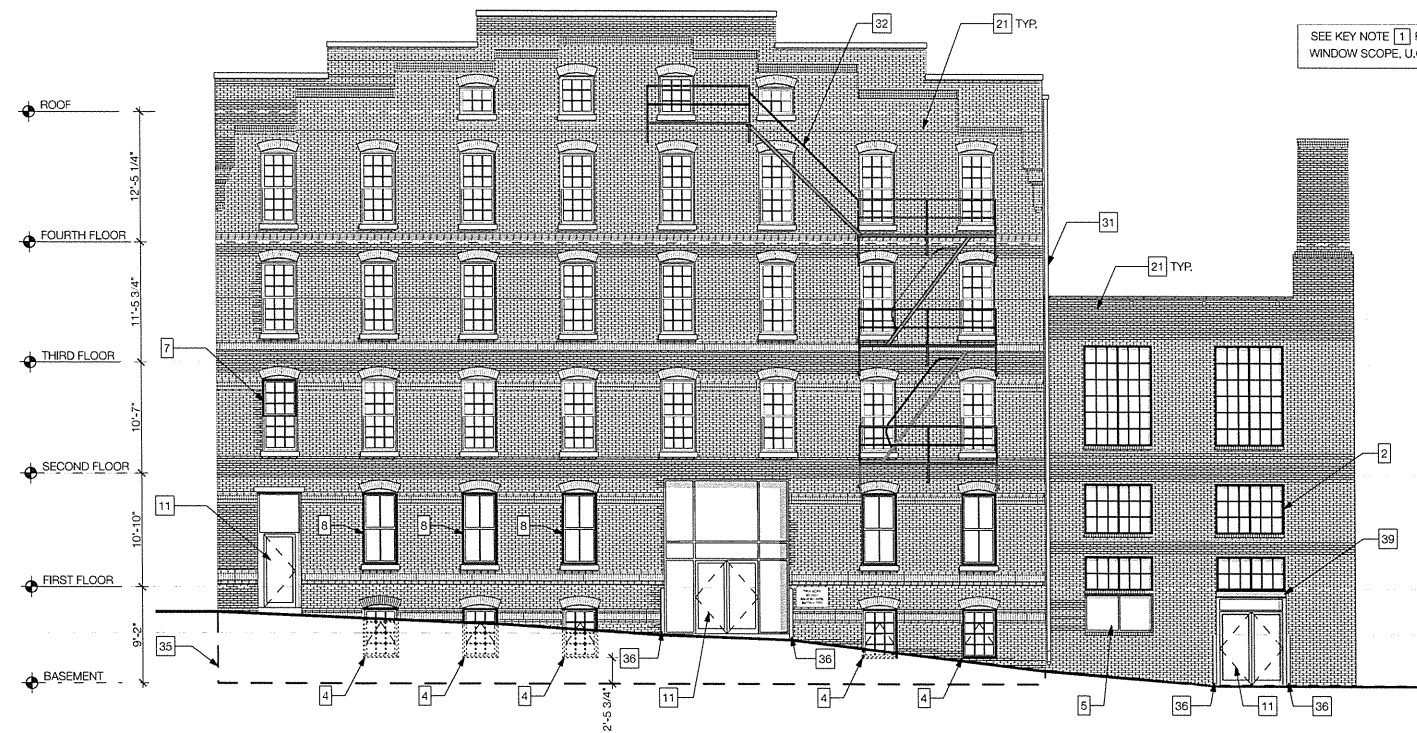
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PROPOSED  
ELEVATIONS  
**A.301**



ALLEY ELEVATION - EAST  
SCALE: 1/8" = 1'-0" 2  
A.302



22ND ST ELEVATION - WEST  
SCALE: 1/8" = 1'-0" 1  
A.302

#### ELEVATION KEY NOTES

##### WINDOWS

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2. NEW STEEL WINDOW TO MATCH EXISTING HISTORIC STEEL WINDOWS.
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5. NEW ALUMINUM AND GLASS STOREFRONT.
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7. REPAIR/REPLACE WINDOW SASH AS REQUIRED.
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PROPOSED  
ELEVATIONS  
**A.302**

