



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2308 Jefferson Ave DATE: 11/13/15

OWNER'S NAME: 2308 Jefferson Ave RVA LLC (formally Richmond Housing LLC) TEL NO.: 804-414-537

AND ADDRESS: PO Box 6784 EMAIL: sarah.krumbein@yahoo.com

CITY, STATE AND ZIPCODE: Richmond, VA 23230

ARCHITECT/CONTRACTOR'S NAME: Sebastian Quinn TEL. NO.: 917-547-0634

AND ADDRESS: 81 Vanderbilt Ave EMAIL: sq@sebastianquinn.com

CITY, STATE AND ZIPCODE: Brooklyn, NY 11205

Would you like to receive your staff report via email? Yes ☒ No ☐

REQUEST FOR CONCEPTUAL REVIEW

☒ I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

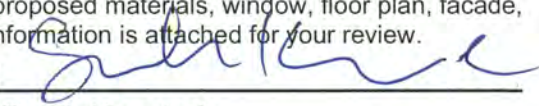
☐ I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and **12 copies** of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

2308 Jefferson Ave is a proposed new construction mixed-use project in the Union Hill UB district. The building's front facade is on Jefferson Avenue's obtuse street angle, please see ground floor/site plan/block plan. To keep with the design guidelines and make the front facade straight we will set the building back off the left property line. As per the new construction storefront facades guidelines we will use large storefront windows and the storefront facade does not have any large blank walls. A simple cornice and sign board will go above the storefront. The adjacent properties storefront, which will sit proud of 2308 Jefferson Ave, has been bricked up. The proposed materials, window, floor plan, facade, cornice detail and context concept along with additional information is attached for your review.

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): Sarah Krumbein

(Space below for staff use only)

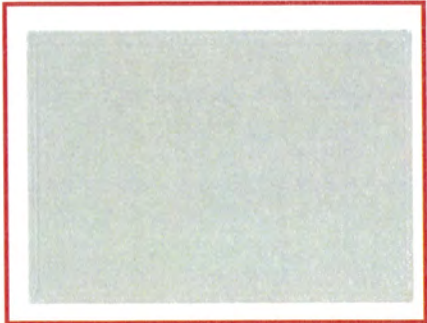
Received by Commission Secretary **RECEIVED** 2:20 pm APPLICATION NO. _____
DATE NOV 13 2015 SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

Revised 10-02-2014

Smooth Lap Siding

COLOR PALETTE: Light Mist



Thickness: 5/16"				
Weight: 2.50lbs./sq. ft.				
Length: 12.00' plank				
WIDTHS	5.250"	6.250"	7.250"	8.250"
EXPOSURE	4.00"	5.00"	6.00"	7.00"
COLORPLUS®		•	•	•
PRIMED	•	•	•	•

Beaded Cedarmill®

COLOR PALETTE:



Thickness: 5/16"	
Weight: 2.40lbs./sq. ft.	
Length: 12.00' plank	
WIDTHS	8.250"
EXPOSURE	7.00"
COLORPLUS®	•
PRIMED	•

HardieTrim® Boards Products Description

HARDIETRIM® 5/4 BOARDS

HardieTrim 5/4 boards is a decorative non-load bearing trim product. HardieTrim 5/4 boards is 1-in. thick and comes in 10-ft. and 12-ft. lengths, based on product availability. In addition to frieze, fascia, rake, window, door, and corner details, HardieTrim 5/4 boards may be used to construct light blocks, column wraps and decorative scroll work. Available in commonly-used nominal widths from 4 in. to 12 in., HardieTrim 5/4 boards comes finished with either with the PrimePlus® factory primer and sealer or with ColorPlus® Technology. The ColorPlus coating is a factory-applied, oven-baked finish available on a variety of James Hardie® siding and trim products. See your local dealer for details and availability of products, colors and accessories.

HARDIETRIM® 4/4 BOARDS

HardieTrim 4/4 boards is a decorative non-load bearing trim product. HardieTrim 4/4 boards is 3/4-in. thick and comes in 10-ft and 12-ft. lengths. HardieTrim 4/4 boards may be used for frieze, fascia, rake, window, door, and corner details where the look of a 3/4-in. product is desired. HardieTrim 4/4 boards is available in commonly-used nominal widths from 4 in. to 12 in. See your local dealer for details and availability of products and accessories.

HARDIETRIM® BATTENS

HardieTrim Battens are a decorative, non-load bearing trim product. HardieTrim Battens are 3/4 in. thick, 2-1/2 in. wide, and come in 12' lengths. See your local dealer for details and availability of product colors and accessories.



Smooth
HardieTrim 5/4, 4/4 Boards



Rustic
HardieTrim 5/4, 4/4 Boards



Left: HardieTrim Batten board – Smooth with HardiePanel® Vertical Siding for Board & Batten look.

Below: A Complete James Hardie Exterior – Close-up on trim products.



HardieTrim Batten board - Rustic and smooth



ColorPlus TIP: HardieTrim 4/4, 5/4 boards with ColorPlus Technology is shipped with a protective laminate slip sheet. James Hardie recommends keeping the protective sheet in place during cutting and fastening to reduce damage to the boards. Remove the protective sheet only after installing the boards and filling the nail holes with a colored touch-up pen.



WARNING

DO NOT caulk nail heads when using ColorPlus products.
Refer to the ColorPlus touch-up section

HardiePlank® Lap Siding

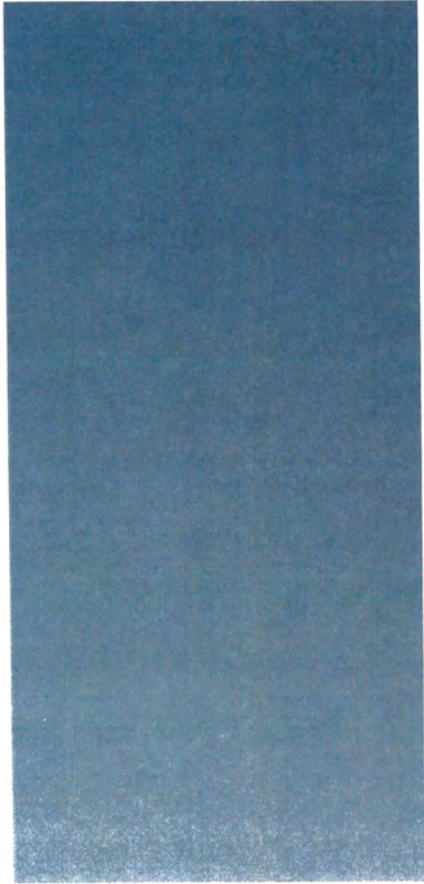
●

HardiePanel® Vertical Siding

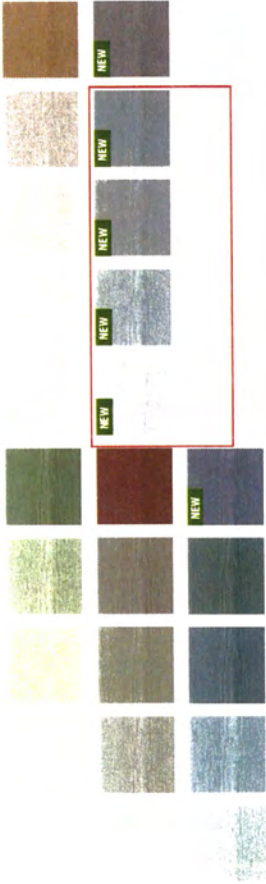
HardieShingle® Siding

SMOOTH

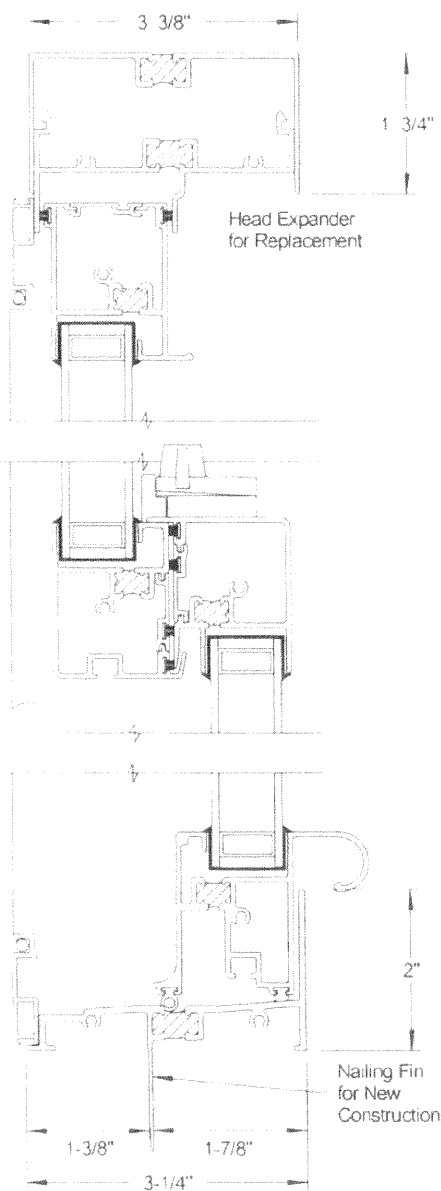
Evening Blue



5/16 in.			
4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.	
50	50	50	
3.2	2.8	2.5	



View all HardiePanel Vertical Siding Products



Commercial Aluminum Double Hung H-C45

Standard Features

- 3-1/4" Frame Depth
- T-6063 Aluminum Extrusions with .062" walls
- Thermally Broken Frame and Sash
- Factory Glazed with 7/8" Insulated Glass with Super Spacer[®] warm edge spacer technology for superior thermal performance.
- Zinc die-cast Cam Locks, 2 locks standard over 24" in width
- Replacement or New Construction Frames
- Finseal Weatherseals on both sashes with two rubber bulbs at the frame sill, and four weatherstrips at the interlock.
- Both sashes tilt in for easy cleaning if desired.
- Architectural paint finish meets AAMA 2603. Colors available for normal lead times: White, Bronze, and Tan. For large projects, custom colors are available on a special order basis – please contact our office for details.
- Concealed Spiral Balances for quiet, low-friction operation. Commercial Heavy Duty Balances are available for most large size windows.
- Strong Extruded Aluminum bottom lift rail
- Available with nail fin for new construction or without nail fin for replacement applications.
- Sill Angle for sloped sill replacement applications and Head Expanders are available.

Optional Features

- Extruded Aluminum Full or Half Screen for long service life
- Numerous high performance glazing options
- Mullion for multiple units
- Many Grid Between Glass (GBG) configurations are available for greater design flexibility and low maintenance.
- Extruded Aluminum Muntin to divide top sash is especially useful for concealing drop type ceilings.

The West-Prime Thermal Double Hung window is ideally suited for commercial use. Designed to handle the demanding requirements of commercial quality windows, the West-Prime Thermal maintains a pleasing, easy-to-operate residential look and feel. The West-Prime Commercial Aluminum Series, consisting of Double Hung and Fixed windows, are a perfect complement to the Westco Commercial Aluminum Series, both of which can be custom manufactured to your specifications, delivered in a timely manner, and can help make your project a complete success.

Head Expander

1

3 3/8"

1 3/4"

4

5

1-5/8" TYP

2

3

Nailing Fin for New Construction

13/16" 3/4"

3 1/4"

Nailing Fin for New Construction

1-3/8"

1-7/8"

3-1/4"

4

3

2

5

West-Prime Thermal Double Hung H-C45

Head, Jamb, and Sill Detail

7-28-10

Scale: Half

Drawn: DB

Sheet 1 of 3

West Window Corporation
Industrial Park
Martinsville, Virginia
P.O. Drawer 3071
(276) 638-2394

FEATURES

- Economical
- 1-3/4" sight line with a 3-9/16", 4-1/2" or 6" depth
- Front or Center (4-1/2") glass applications
- Outside glazed
- Screw Spline, Shear Block or Type-B fabrication
- SSG option
- Infill options up to 1-1/8"
- Thermal break via. Polymer glazing clip
- Permanodic™ anodized finishes in seven standard choices
- Painted finishes in standard and custom choices

OPTIONAL FEATURES

- Two color capability
- 1-1/4" perimeter sight line
- Project specific U-factors (See Thermal Charts)

PRODUCT APPLICATIONS

- Storefront, Ribbon Window or Punched Openings
- Low to mid-rise
- Single-span
- Curved frames
- Integrated entrance framing allowing Kawneer entrances or other specialty entrances to be included
- Kawneer windows or GLASSvent™ for storefront are easily incorporated

For specific product applications,
consult your Kawneer Representative

PICTORIAL VIEWS 5-8

BASIC FRAMING DETAILS..... 9-20

MISCELLANEOUS FRAMING..... 21,22

GLAZING CHART..... 22

GLASSvent™ FOR STOREFRONT..... 23,24

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ENTRANCE FRAMING..... 26-32

WINDLOAD/DEADLOAD CHARTS..... 33-41

DEADLOAD CHARTS 42-46

THERMAL CHARTS 47-51

GLAZING CLIP CHART..... 52

LAWs AND BUILDING AND SAFETY CODES GOVERNING THE DESIGN AND USE OF GLAZED ENTRANCE, WINDOW, AND CURTAIN WALL PRODUCTS VARY WIDELY. KAWNEER DOES NOT CONTROL THE SELECTION OF PRODUCT CONFIGURATIONS, OPERATING HARDWARE, OR GLAZING MATERIALS, AND ASSUMES NO RESPONSIBILITY THEREFOR.

Metric (SI) conversion figures are included throughout these details for reference. Numbers in parentheses () are millimeters unless otherwise noted.

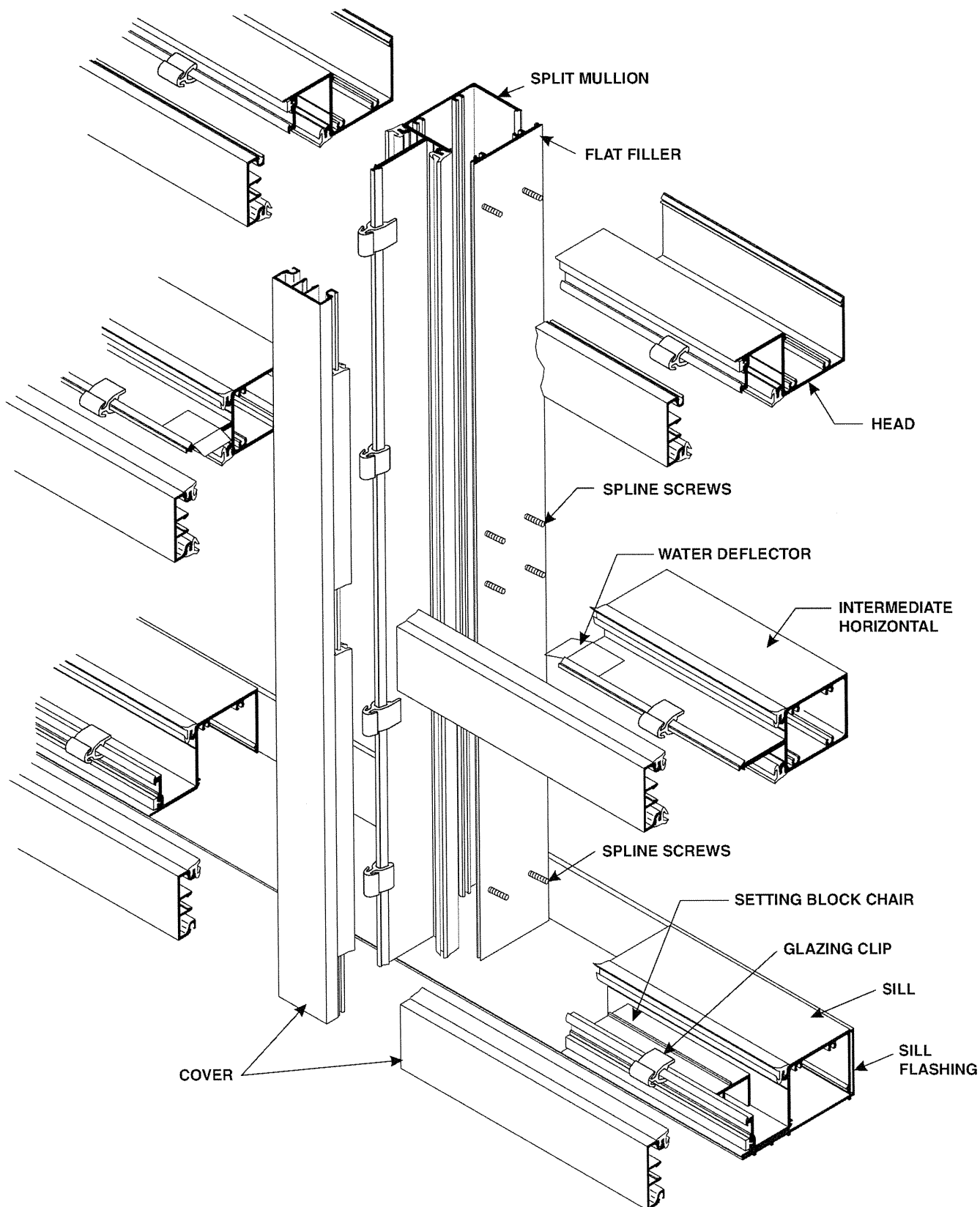
The following metric (SI) units are found in these details:

- m – meter
- cm – centimeter
- mm – millimeter
- s – second
- Pa – pascal
- MPa – megapascal

Kawneer reserves the right to change configurations without prior notice when deemed necessary for product improvement.

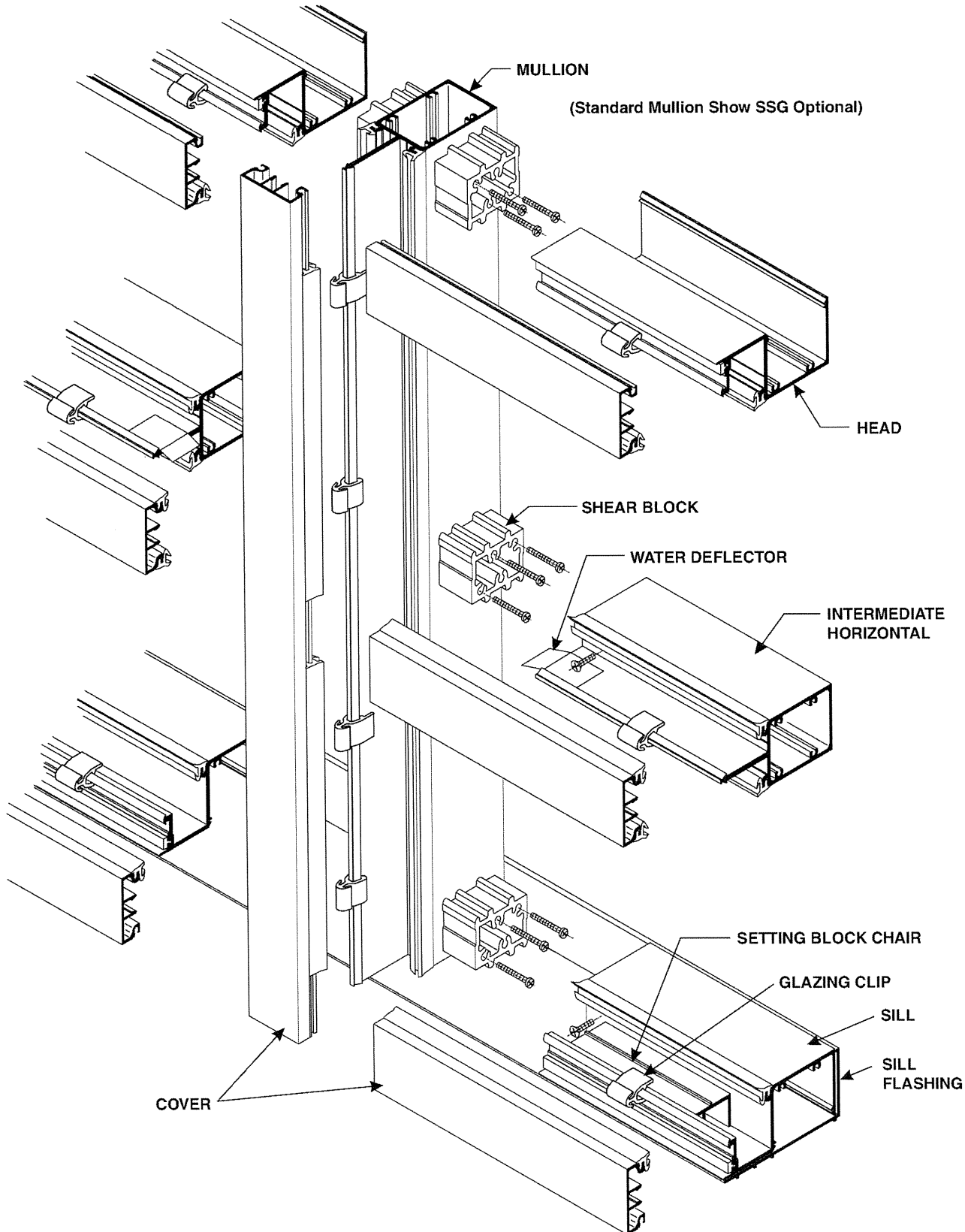
Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configurations without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2014



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Supreme® Shingles

Supreme® three-tab shingles—a smart choice when you need to balance curb appeal, weather resistance and value. Supreme shingles come with a 25-Year Limited Warranty*, 60-MPH Wind Resistance Limited Warranty*, and Class A UL Fire Rating—the industry's highest. Algae Resistance is also available on a regional basis. Visit roofing.owenscorning.com to learn more.

ENERGY STAR® is for roofs too



Similar to the energy-efficient appliances in your home, roofing products can provide energy-saving qualities. Owens Corning™ Supreme roofing shingles in Shasta White can help reduce your energy bills when installed properly. These shingles reflect solar energy, decreasing the amount of heat transferred to a home's interior—and the amount of air conditioning needed to keep it comfortable. Actual savings will vary based on geographic location and individual building characteristics. Call 1-800-GET-PINK® or 1-888-STAR-YES for more information.

Product Attributes

Warranty Length*

25-Year Limited

Wind Resistance Limited Warranty*

60 MPH

Algae Resistance Limited Warranty*/**

10 Years

Tru PROtection® Non-Prorated Limited Warranty* Period

5 Years

Product Specifications

Nominal Size	12" x 36"
Exposure	5"
Shingles per Square	80
Bundles per Square	3
Coverage per Square	100 sq. ft.

Applicable Standards and Codes

ASTM D228

ASTM D3018 (Type 1)

ASTM D3462

ASTM D3161 (Class F Wind Resistance)

ASTM D7158 (Class H Wind Resistance)

ASTM E108/UL 790 (Class A Fire Resistance)

Florida Product Approval†

ICC-ES AC438*

Miami-Dade County Product Approval††

UL ER2453-01**

Shasta White color meets ENERGY STAR® requirements for initial solar reflectance of 0.25 and 3-year aged solar reflectance of 0.15; 2013 California Building Energy Efficiency Standards; Title 24, Part 6 requirements; Rated by the Cool Roof Rating Council (CRRC).

COLORS AVAILABLE IN ALL AREAS



Autumn Brown†



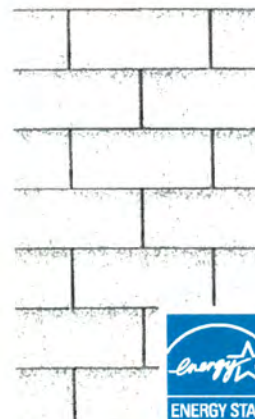
Driftwood†



Desert Tan†



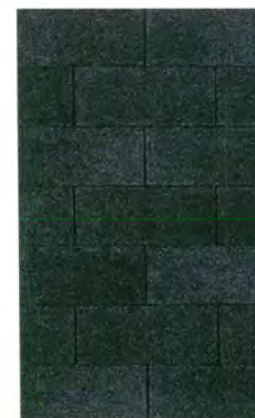
Brownwood†



Shasta White†



Aspen Gray†



Onyx Black†



Estate Gray†



2308 JEFFERSON AVE.

CAR SET
NOVEMBER 04, 2015

			G	GAUGE	PYPE	PARTITION TYPE
A/BOLT	ANCHOR BOLT		GAL	GALLON	PVC	POLYVINYL CHLORIDE
A/C	AIR CONDITIONING		GALV	GALVANIZED	PVMT	PAVEMENT
ACT	ACOUSTIC CEILING TILE		GB	GRAB BAR	PWR	POWER
ADD'L	ADDITIONAL		GC	GENERAL CONTRACTOR	Q	
ADI	ADJUSTABLE or ADJACENT		GEN	GENERAL	QTR	QUARTER
ADMIN	ADMINISTRATION		GF	GROUND FAULT INTERCEPTOR	QTY	QUANTITY
AFF	ABOVE FINISHED FLOOR		GFRP	GLASS FIBER REINFORCED PLASTIC	R	
AGG	AGGREGATE		GND	GROUND	RA	RESILIENT WALL BASE
ALT	ALTERNATE		GOVT	GOVERNMENT	RAD	RADIUS
ALUM or AL	ALUMINUM		GPM	GALLONS per MINUTE	RCP	REFLECTED CEILING PLAN
AMP	AMPERE		GYP	GYPSUM	RD	ROOF DRAIN
ANCH	ANCHOR		H		RECEP	RECEPTACLE
ANOD	ANODIZED		H or HORIZ	HORIZONTAL	RECT	RECTANGLE
APPROX	APPROXIMATE		HB	HOSE BIB	REF	REFERENCE
ASSOC	ASSOCIATE or ASSOCIATION		HC	HOLLOW CORE	REFR	REFRIGERATOR
AUTO	AUTOMATIC		HDCP	HANDICAP	REG	REGISTER
AV	AUDIO VISUAL		HDWE	HARDWARE	REINF	REINFORCED or REINFORCING
AVG	AVERAGE		HST or HT	HEIGHT	RELCO	RELOCATED()
			HM	HOLLOW METAL	REQ	REQUIRED
B			HP	HORSE POWER	REV	REVISION or REVISED
B/O	BOTTOM OF		HR	HOUR	RH	RIGHT HAND
BL	BOARD		HTR	HEATER	RM	ROOM
BLDG	BUILDING		HVAC	HEATING, VENTILATION, and AIR CONDITIONING	RO	ROUGH OPENING
BLKG	BLOCKING		HWH	HOT WATER HEATER	RS	RESILIENT SHEET FLOORING
BRG	BEARING		I		RT	RESILIENT TILE FLOORING
BSMT	BASEMENT		ID	INSIDE DIAMETER	S	
BTU	BRITISH THERMAL UNIT		In or "	INCH or INCHES	SA	SOUTH
BTWN	BETWEEN		INC	INCORPORATED	SC	SUPPLY AIR
BUR	BUILT-UP ROOF		INCAND	INCANDESCENT	SCD	SOLID CORE
			INFO	INFORMATION	SCHED	SEAT COVER DISPENSER
C			INSUL	INSULATION	SD	SCHEDULED()
C/C	CENTER TO CENTER		INT	INTERIOR	SG	SPANDREL GLASS
CA	CARPET		ISOL	ISOLATION	SH	SHELF(VING) or SINGLE HUNG
CFM	CUBIC FEET per MINUTE		J		SHR	SHOWER
CG	CORNER GUARD		JAN	JANITOR	SHT	SHEET
CHG	CHANGE		JST	JOIST	SIM	SIMILAR
CI	CAST IRON		JT	JOINT	SND	SANITARY NAPKIN DISPENSER
CIR	CIRCLE		K		SPEC	SPECIFICATION(S)
CJ	CONTROL JOINT		KD	KNOCK DOWN	SQ	SQUARE
CL	CENTER LINE		KW	KILOWATT	SQ FT	SQUARE FEET
CLG	CEILING		L		SS	STAINLESS STEEL or SOLID SURFACE
CLO	CLOSET		LAB	LABORATORY	ST	STREET
CLR	CLEAR		LAM	LAMINATE(D)	STA	STATION
CMU	CONCRETE MASONRY UNIT		LAV	LAVATORY	STD	STANDARD
CO	CLEAN OUT or COMPANY		LB or #	POUND	STL	STEEL
COL	COLUMN		LH	LEFT HAND(ED)	STO	STORAGE
COMP	COMPUTER		LIN FT	LINEAL FEET	STR	STRUCTURE or STRUCTURAL
CONC	CONCRETE		LLH	LONG LEG HORIZONTAL	SUPP	SUPPLEMENT
COND	CONDITION		LLV	LONG LEG VERTICAL	SURF	SURFACE
CONN	CONNECTION		LOC	LOCATION	SUSP	SUSPENDED or SUSPENSION
CONST	CONSTRUCTION		LT	LIGHT	SW	SWITCH or SMOKE WALL
CONT	CONTINUOUS		M		SYM	SYMMETRICAL
CONTR	CONTRACTOR		MAS	MASONRY	SY	SYSTEM
CORR	CORRIDOR		MATL	MATERIAL	T&B	TOP AND BOTTOM
CTR	CENTER		MAX	MAXIMUM	T&G	TONGUE AND GROOVE
CU	CUBIC		MC	MEDICINE CABINET	T/O	TOP OF
CU FT	CUBIC FOOT		MDF	MEDIUM DENSITY FIBERBOARD	TEL	TELEPHONE
CU IN	CUBIC INCH		MECH	MECHANICAL	TEMP	TEMPERATURE or TEMPERED
CU YD	CUBIC YARD		MEMB	MEMBRANE	THAM	THERMOSTAT
CW	COLD WATER		MEZZ	MEZZANINE	THK	THICK
			MFR	MANUFACTURER	THR	THRESHOLD
D			MH	MAN HOLE	THRU	THROUGH
DBL	DOUBLE		MIN	MINIMUM	TLT	TOILET
DEG	DEGREE		MISC	MISCELLANEOUS	TOC	TOP OF CONCRETE
DEPT	DEPARTMENT		MNO	MASONRY OPENING	TOM	TOP OF MASONRY
DET	DETAIL		MTD	MOUNTED	TOP	TOP OF PLATE
DIA	DIAMETER		MTG	MOUNTING	TOS	TOP OF STEEL
DIAG	DIAGONAL		MULT	MULTIPLE	TOW	TOP OF WALL
DIM	DIMENSION		N		TR	TREAD
DISP	DISPENSER or DISPOSAL		N	NORTH	TRANS	TRANSFER
DIST	DISTANCE		NIC	NOT IN CONTRACT	TRT	TREATED
DIV	DIVISION		NO or #	NUMBER	TS	TUBE STEEL
DN	DOWN		NOM	NOMINAL	TV	TELEVISION
DO	DOOR OPENING		NTS	NOT TO SCALE	TYP	TYPICAL
DR	DOOR				U	
DS	DOWNSPOUT		D		U	UNFINISHED
DWG	DRAWING		DA	OVERALL	UC	UNDER COUNTER
			OC	ON CENTER	UH	UNIT HEATER
E			OD	OUTSIDE DIAMETER	UL	UNDERWRITER'S LABORATORY
E	EAST		OFF	OFFICE	UNO	UNLESS NOTED OTHERWISE
EA	EACH		OH	OPPOSITE HAND	UR	

SYMBOLS

North Arrow

View Name
1 | 1/8" = 1'-0"

PLAN, DETAIL, OR ELEVATION TITLE
A101

NEW COLUMN LINE MARKER
0

EXISTING COLUMN LINE MARKER
0

ELEVATION DATUM
Name
Elevation

SPOT ELEVATION
Elevation

FLOOR ELEVATION
Elevation

EXTERIOR ELEVATION
12
A101

INTERIOR ELEVATION
3
A101

BUILDING SECTION
1
A101

WALL SECTION
1
A101

DETAIL SECTION
1
A101

DETAIL REFERENCE
1
A101

ROOM MARKER
Room name
101

WINDOW MARKER
11

PARTITION TYPE
A2

CONVENTIONS

REVISION CLOUD AND MARKER
1
REVISION NUMBER
AREA OF REVISION

EXISTING CONSTRUCTION TO REMAIN
EXISTING WALL TO REMAIN
EXISTING DOOR TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED
EXISTING WALL TO BE REMOVED
EXISTING DOOR TO BE REMOVED

NEW CONSTRUCTION
NEW WALL
NEW DOOR AND MARKER

1. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH NEW YORK CITY BUILDING CODE
2. ALL GYPSUM BOARD PARTITIONS SHALL BE PROPERLY BRACED
3. WHERE GYPSUM BOARD AND METAL STUD PARTITIONS MEET STRUCTURAL DECK, CONSTRUCTION OR VERTICAL STRUCTURAL ELEMENTS, PROVIDE SLIP OR CUSHION TYPE JOINT BETWEEN METAL FRAMING AND STRUCTURE AS RECOMMENDED BY MANUFACTURER TO PREVENT TRANSFER OF STRUCTURAL LOADS OR MOVEMENT TO PARTITION.
4. STUD SPACING AND CONNECTION DETAILS TO COMPLY WITH MANUFACTURERS DETAILS AND WARRANTY GUIDE.
5. COMPLY WITH APPLICABLE REQUIREMENTS OF ASTM C 840 AND GA 216 FOR APPLICATION AND FINISHING OF GYPSUM BOARD, UNLESS OTHER, MORE STRINGENT REQUIREMENTS ARE INDICATED.
6. COMPLY WITH APPLICATION REQUIREMENTS OF ASTM C 754 FOR INSTALLATION OF STEEL FRAMING.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TAPING AND SPACKLING OF GYPSUM BOARD INSTALLED, AS WELL AS PATCHING AND REPAIRING ALL WALLS CEILINGS AND COLUMNS TO REMAIN AS EXISTING.
8. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE AIA GENERAL CONDITIONS FOR CONSTRUCTION.
9. UPON COMPLETION OF THE WORK, THE G.C. IS RESPONSIBLE FOR THE FINAL ADJUSTMENTS OF WINDOWS, DOORS, HARDWARE, DEVICES, AND THOSE ITEMS DEEMED BE THE ARCHITECT TO MAKE THE PROJECT HABITABLE.
10. APPROVAL OF MINOR CHANGES OR CLARIFICATION TO PLANS MAY BE ACCOMPLISHED BY ISSUANCE OF REVISED PLANS, PARTIAL SKETCH, OR INITIALING AND DATING OF CHANGE BY THE ARCHITECT ON THE EXISTING PLANS.
11. ALL WORK MUST BE LEVEL AND/OR PARALLEL TO EXISTING ELEMENTS AS SHOWN ON DRAWINGS.
12. THE ARCHITECT AND/OR DESIGNER HAS NO RESPONSIBILITY FOR ANY ACTIONS OR OMISSIONS OF THE G.C. OR HIS SUBCONTRACTORS, OR THE FAILURE OF THEM TO PERFORM WORK ACCORDING TO THE CONTRACT DOCUMENTS.
13. INCLUDE ANY OVERTIME COSTS IN THE BID PROPOSAL TO PERFORM WORK WHICH WOULD INTERFERE WITH OTHER TRADES. PERFORM SUCH WORK AT NO ADDITIONAL COST TO THE OWNER.
14. SCHEDULE THE WORK IN THIS CONTRACT TO COORDINATE WITH THE OTHER TRADES FOR TIMELY COMPLETION AND TO AVOID UNNECESSARY CUTTING AND PATCHING.
15. ALL JOINT SURFACES SHALL BE FREE OF ANY SUBSTANCE OR MATERIAL THAT WOULD PREVENT THE PROPER ADHESION OF THE CAULKING UPON APPLICATION OR WOULD CAUSE FAILURE OF THE CONNECTION BETWEEN THE CAULKING AND THE WALL JOINT. ALL CAULKING LINES ARE TO BE EVEN, SMOOTH, AND STRAIGHT.
16. ALL NOTES ON ALL DRAWINGS OF THE ARCHITECT, ENGINEER, AND DESIGNER'S DRAWINGS AND PLAND ARE TO BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.
17. NO ARCHITECTURAL WORK AT ROOF, EXISTING LEAKS NOTED, ROOF/ SKYLIGHTS TO BE REPAIRED LANDLORD

Block 1895
Lot 66
Map 12D
Zone C2-4
+/- 2,100 lease sq ft

[illegible][illegible]

Project Title:

2308 JEFFERSON AVE.
RICHMOND, VA 23223

Sheet Title

Project Number: _____ Sheet Number: _____
 Drawn By: JK/DJ/SQ **A001.0**
 Issue Date: 11.04.2015 Page No: _____

NOTE: 11"x17" DRAWINGS ARE
NOT TO SCALE

The Professional Architect's seal affixed to this sheet
applies only to the material and items shown on this
sheet. All drawings, instruments or other documents
not exhibiting this seal shall not be considered
approved by this architect and this architect hereby
disclaims any and all responsibility for such plans,
drawings or documents not exhibiting this seal.

Project Title

2308 JEFFERSON AVE.
RICHMOND, VA 23223

This drawing and details on it are the sole
property of the architect and may be used
for this specific project only. It shall not
be copied, copied or reproduced in whole
or in part, or for any other purpose or
project without the written consent of the
architect.

Rev.	Description	Date

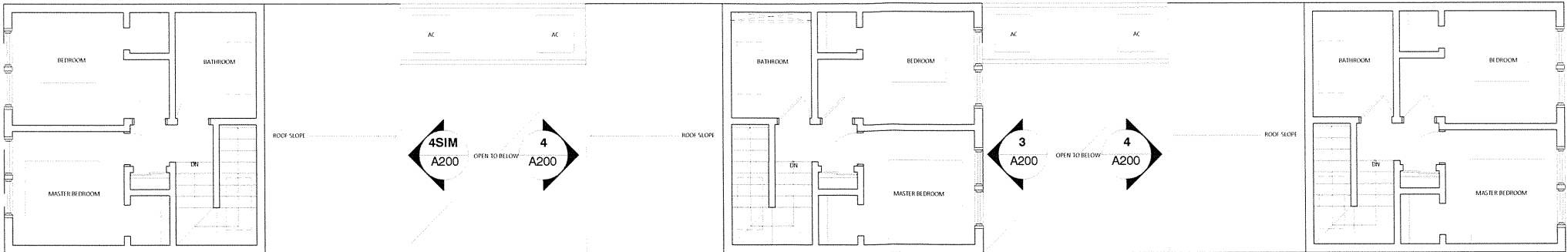
Sheet Title:

CONSTRUCTION
PLAN

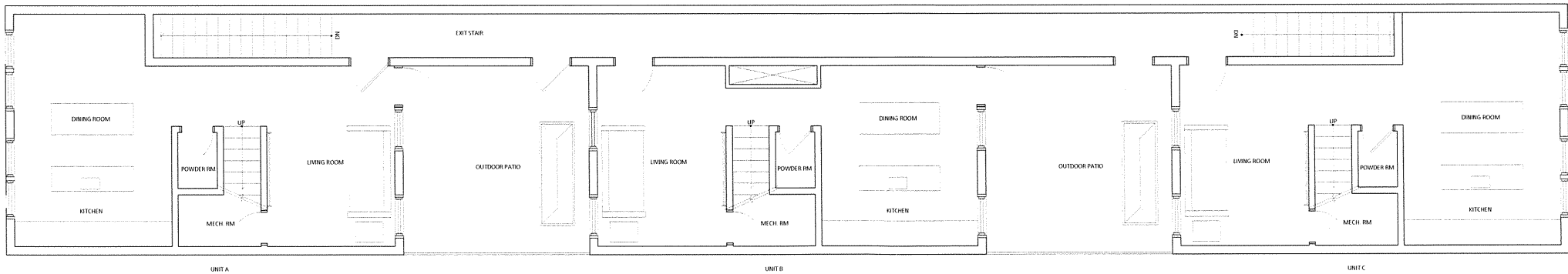
Project Number: Sheet Number:

Drawn By: JK/DJ/SQ A100.00

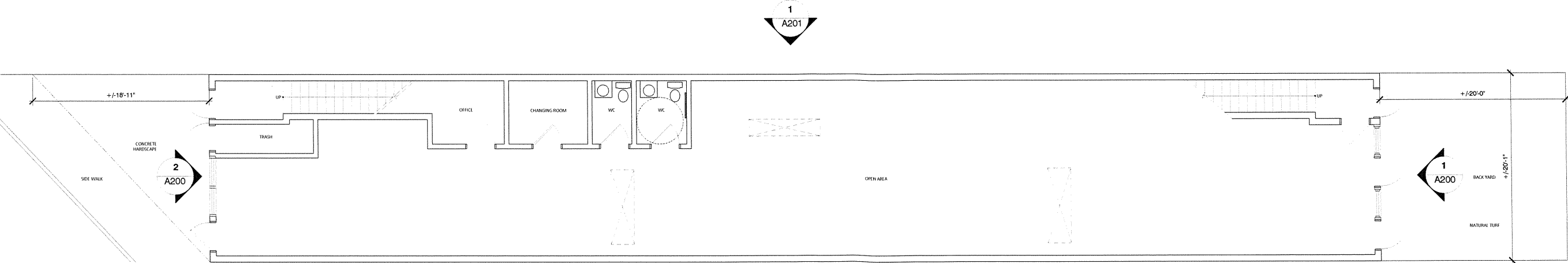
Issue Date: 11.04.2015 Page No:



03 THIRD FLOOR PLAN
3/16" = 1'-0"



02 SECOND FLOOR PLAN
3/16" = 1'-0"



01 GROUND FLOOR PLAN
3/16" = 1'-0"

MATERIALS KEY

1. HARDI PLANK - SEE CUTSHEETS
2. HARDI TRIM - SEE CUTSHEETS
3. GLASS - CLEAR GLASS PER IECC
4. WINDOW UNITS - SEE CUTSHEETS
5. STOREFRONT- SEE CUTSHEETS
6. ROOFING - SEE CUTSHEETS
7. HARDI PANEL - CAR PRE-APPROVED COLOR TBD
8. RAILING - SEE CUTSHEETS , SEE NOTE
9. BLACK CANVAS AWNING
10. TPO MEMBRANE ROOF - NOT VISIBLE FROM PUBLIC WAY

NOTE: 11"x17" DRAWINGS ARE NOT TO SCALE

Architect: Sebastian Quinn

NOTE - NO TRIM, INCLUDING CORNICE TRIM TO EXTEND OVER ANY PROPERTY LINE - SOME TRIM RENDERED WITH A PROJECTION FOR 3D EFFECT

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Project Title

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RICHMOND, VA 23223

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As: Revision Description Date

1. Initial Design

2. Final Design

3. Construction Documents

4. Final Construction Documents

5. Final Construction Documents

6. Final Construction Documents

7. Final Construction Documents

8. Final Construction Documents

9. Final Construction Documents

10. Final Construction Documents

11. Final Construction Documents

12. Final Construction Documents

13. Final Construction Documents

14. Final Construction Documents

15. Final Construction Documents

16. Final Construction Documents

17. Final Construction Documents

18. Final Construction Documents

19. Final Construction Documents

20. Final Construction Documents

ELEVATIONS

Project Number

Drawn By

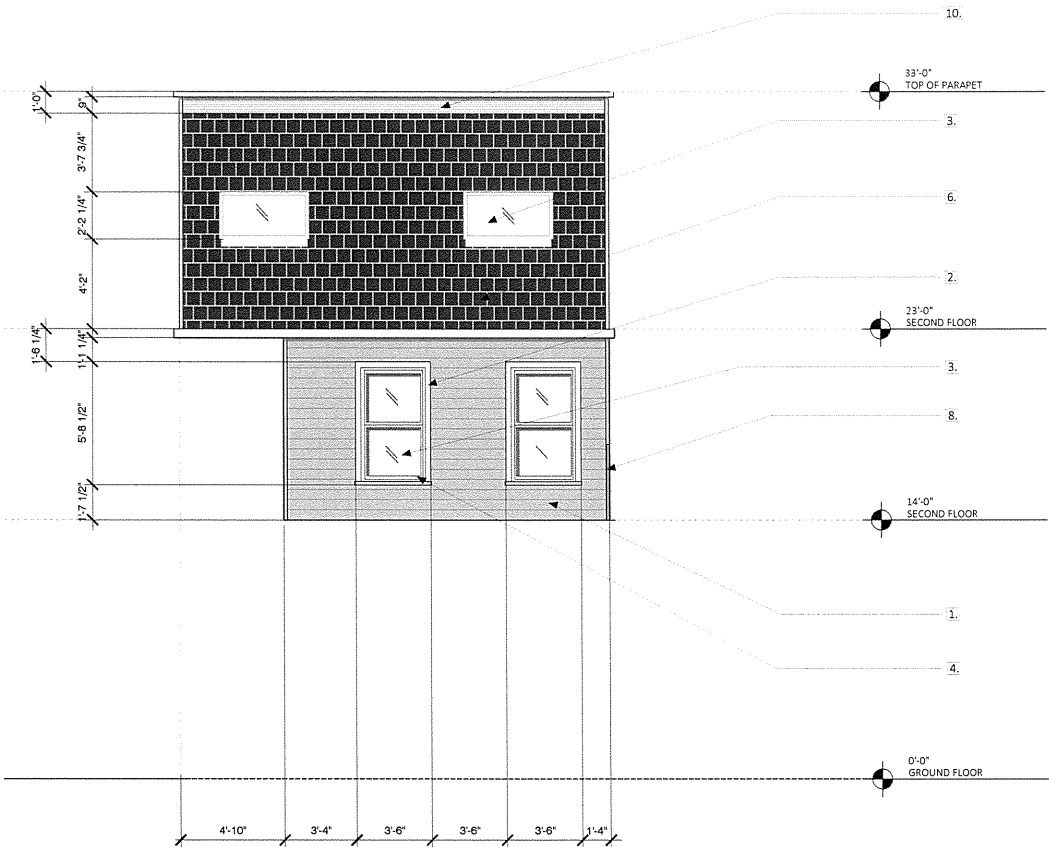
JKD/JSQ

Scale Date

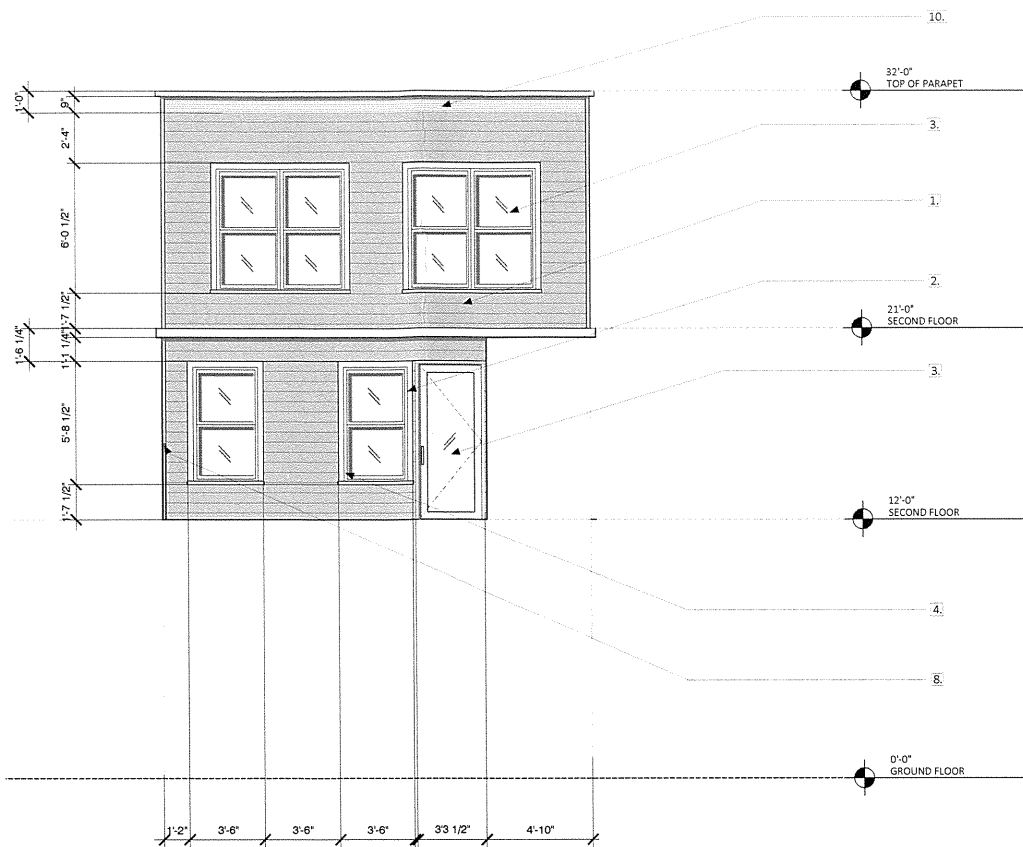
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A200

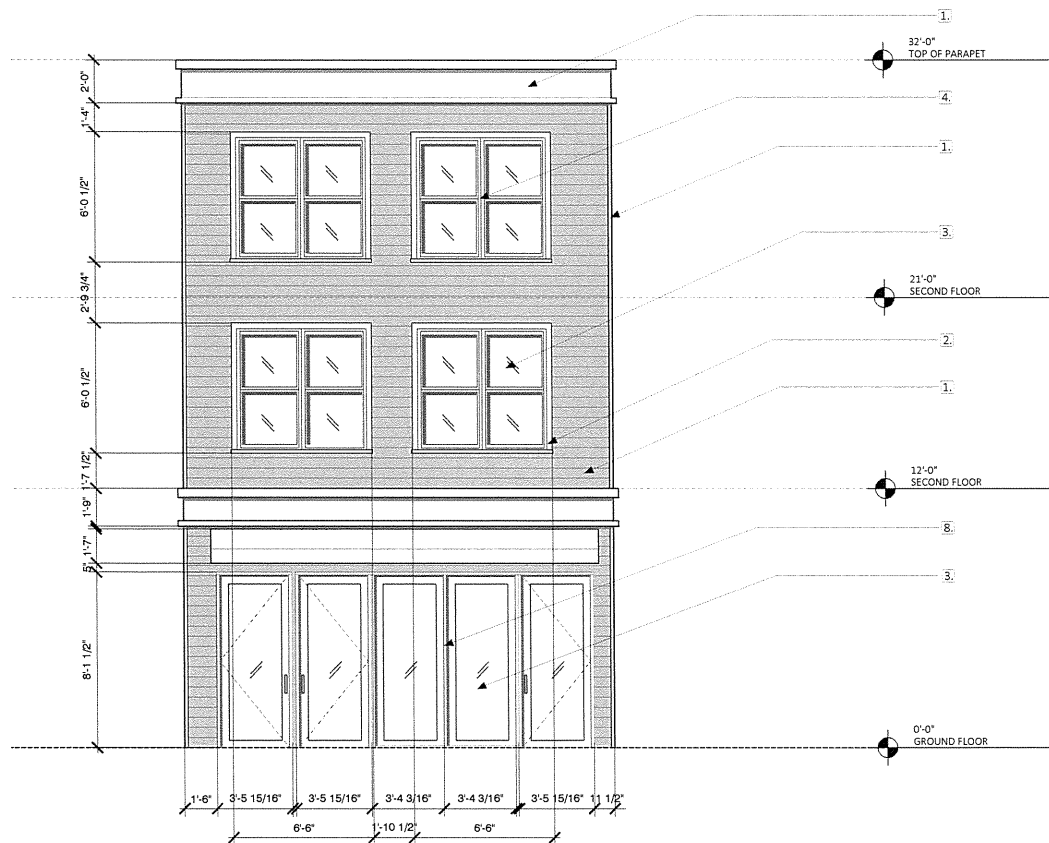
Page 100



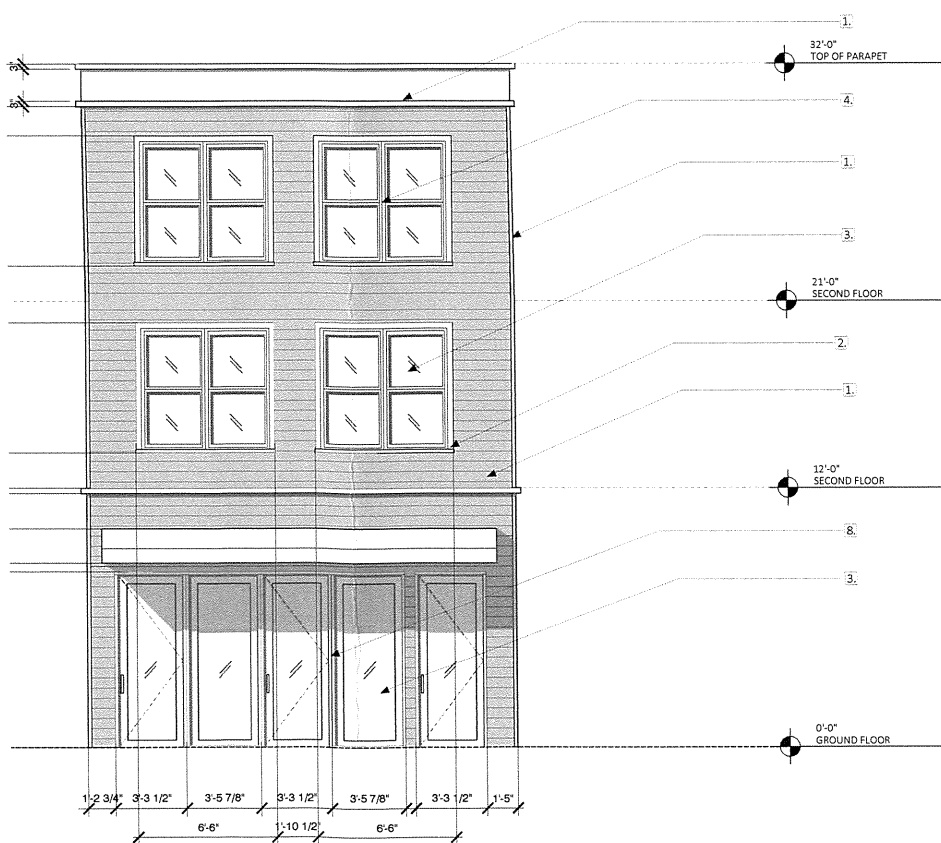
04 EXTERIOR ELEVATION - APT. B & C - FRONT FACADE
SCALE: 1/4" = 1'-0"



03 EXTERIOR ELEVATION - APT. B - REAR FACADE
SCALE: 1/4" = 1'-0"

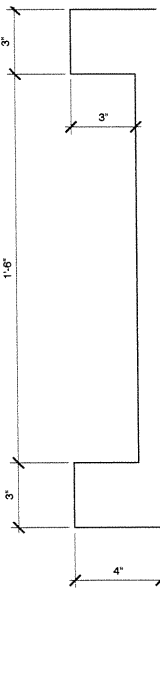


02 EXTERIOR ELEVATION - APT. A - FRONT FACADE
SCALE: 1/4" = 1'-0"



01 EXTERIOR ELEVATION - APT. C - REAR FACADE
SCALE: 1/4" = 1'-0"

1A CORNICE PROFILE
SCALE: 3" = 1'-0"



MATERIALS KEY

1.

HARDI PLANK - SEE CUTSHEETS
2.

HARDI TRIM - SEE CUTSHEETS
3.

GLASS - CLEAR GLASS PER IEC
4.

WINDOW UNITS - SEE CUTSHEETS
5.

STOREFRONT - SEE CUTSHEETS
6.

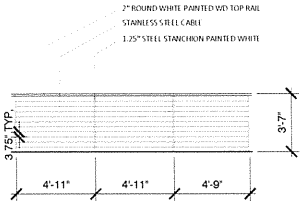
ROOFING - SEE CUTSHEETS
7.

HARDI PANEL - CAR PRE-APPROVED COLOR TBD
8.

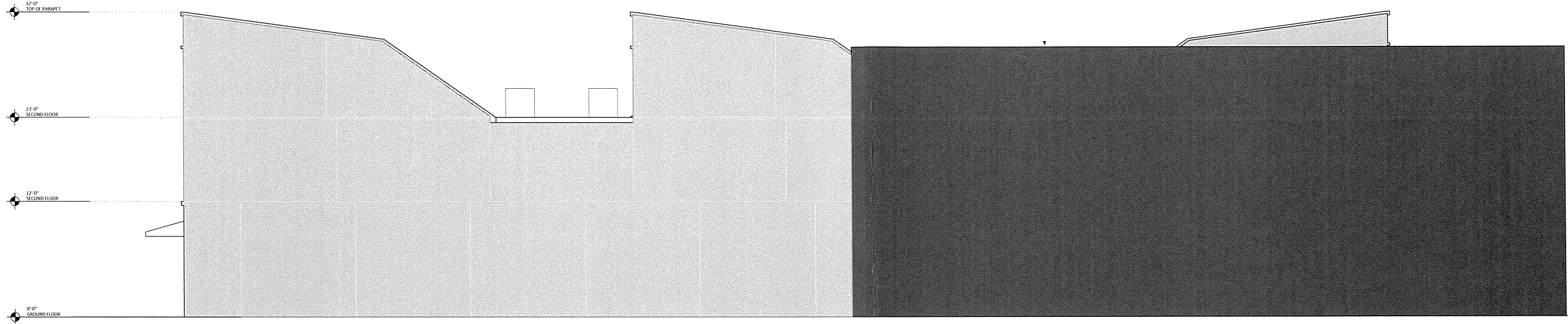
RAILING - SEE 3/A201
9.

BLACK CANVAS AWNING
10.

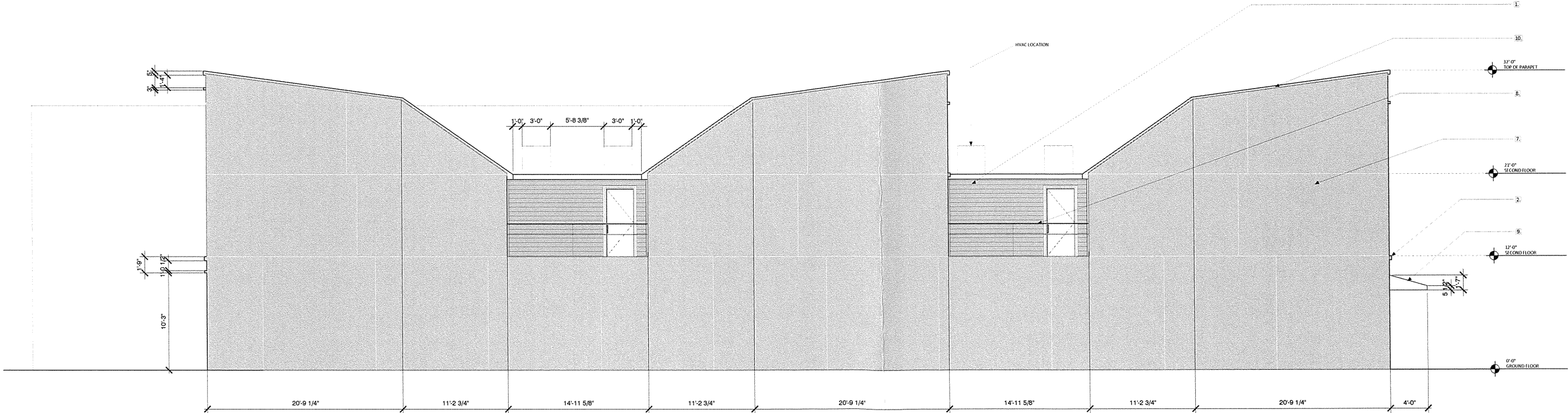
TPO MEMBRANE ROOF - NOT VISIBLE FROM PUBLIC WAY



03 RAILING DETAIL
SCALE: 3/16" = 1'-0"



02 EXTERIOR ELEVATION -SIDE
SCALE: 3/16" = 1'-0"



02 EXTERIOR ELEVATION -SIDE
SCALE: 3/16" = 1'-0"

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Project Team
General Contractor
Expedition Code Consultant

Structural Consultant

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No. Revision Description Date

Owner: Team
General
Contractor:

Expeditor Code
Consultant:

Structural
Consultant:

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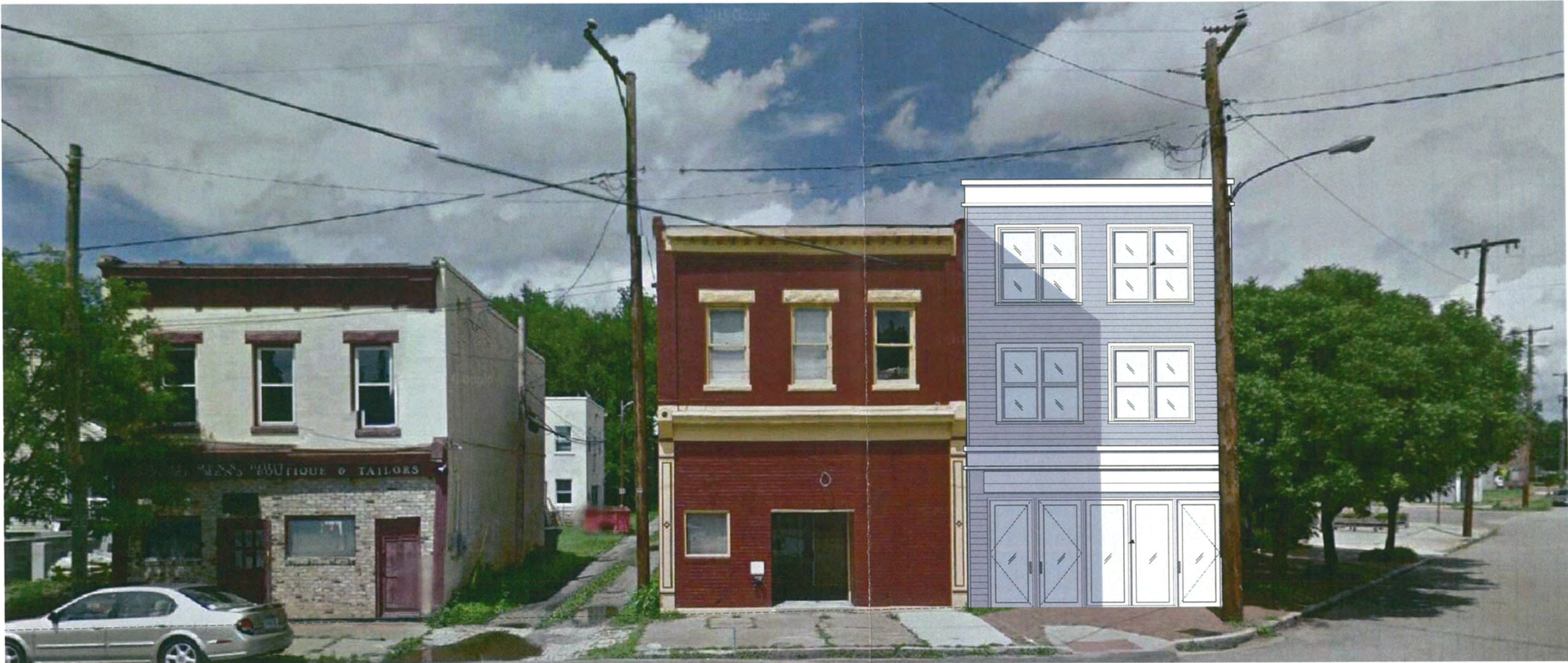
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No.	Revision	Description	Date

Sheet Title:

SIDE
ELEVATIONS

Project Number	Sheet Number
Drawn By	A201
JK/DJSO	
Issue Date	Page No.
11.04.2015	



01 FRONT ELEVATION IN CONTEXT - JEFFERSON AVE.
SCALE: NTS

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