



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 125 N 25th St DATE: Nov 20, 2015

OWNER'S NAME: Cornelia Barnwell Dykshorn TEL NO.: 804-426-6793

AND ADDRESS: 125 N 25th St EMAIL: neelybd@mac.com

CITY, STATE AND ZIPCODE: Richmond, VA 23223

ARCHITECT/CONTRACTOR'S NAME: ADO TEL. NO.: 804-343-1212

AND ADDRESS: 105 E Broad St EMAIL: todd@ado.design

CITY, STATE AND ZIPCODE: Richmond, VA 23219

Would you like to receive your staff report via email? Yes ☒ No ☐

REQUEST FOR CONCEPTUAL REVIEW

☐ I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

☒ I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (*Required*):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and **12 copies** of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See *instruction sheet for requirements*.)

Proposed work includes substantial rehabilitation of a portion of the existing residence and addition to the residence as outlined in the attached drawings and information. Both aspects of the work are conceived to be in accordance with Design Review Guidelines in the treatment of existing/repaired and new materials, as well as the form, massing and siting of the proposed addition which is intended to blend with the historic structure while maintaining with clarity the form and predominance of the historic structure.

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): Cornelia Dykshorn

(Space below for staff use only)

RECEIVED
Received by Commission Secretary

DATE NOV 20 2015

12:26 pm

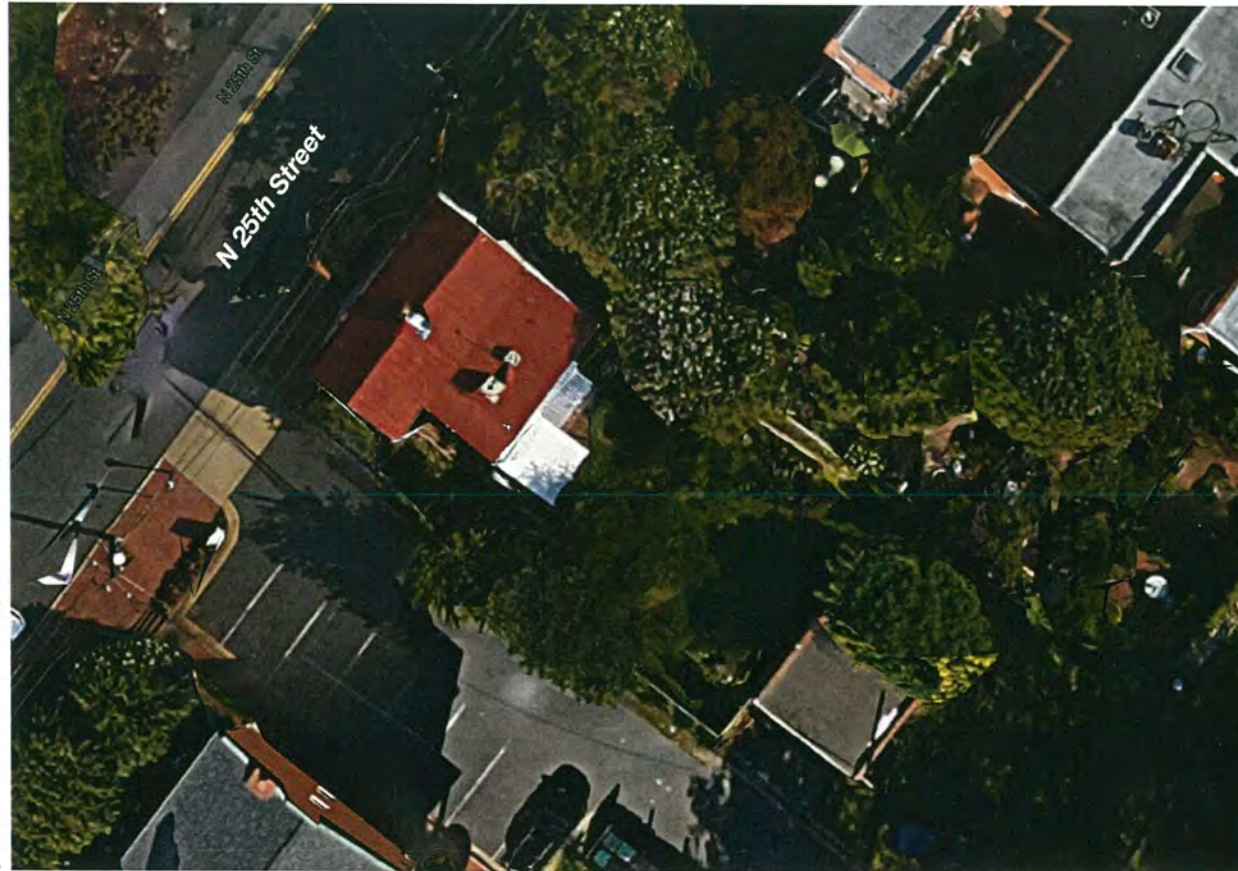
APPLICATION NO. _____

SCHEDULED FOR _____

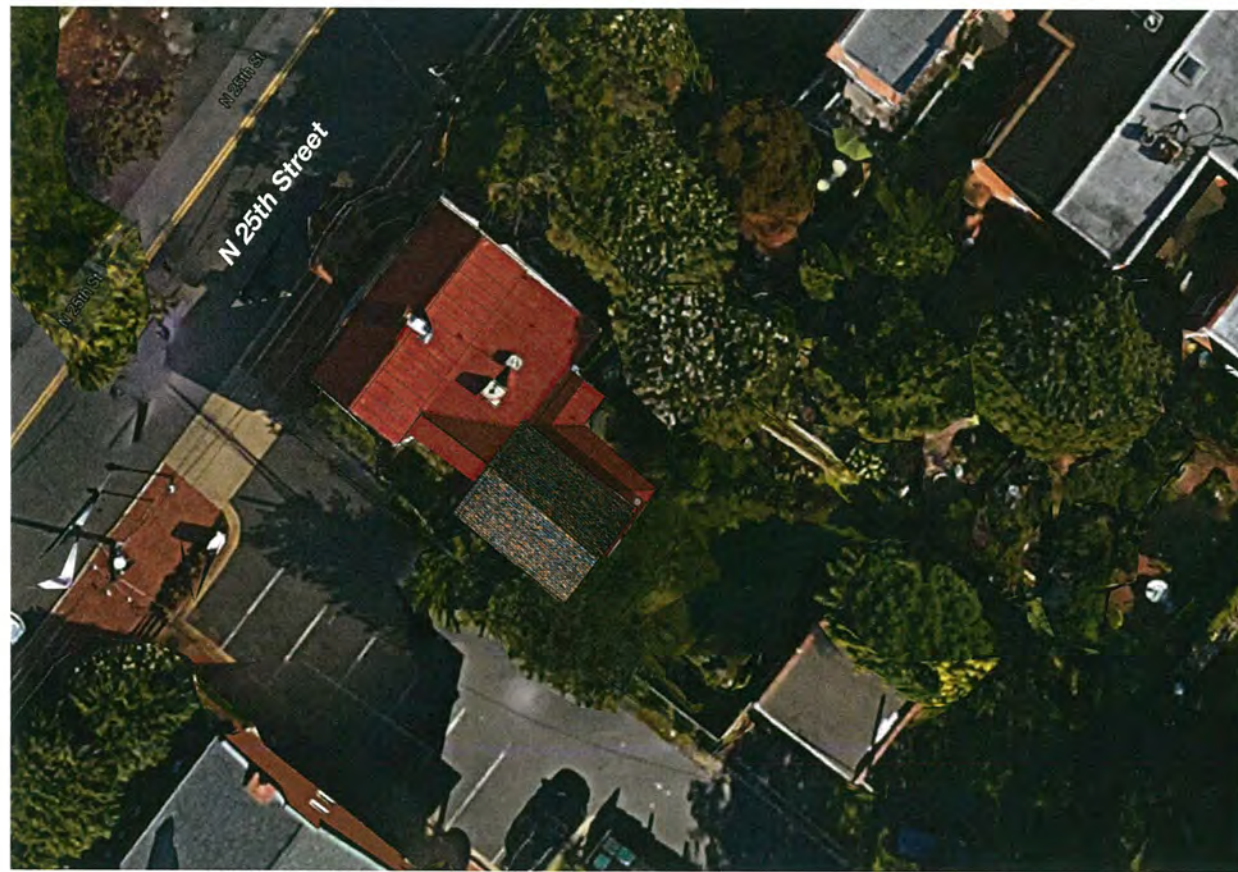
Note: CAR reviews all applications on a case-by-case basis.

Revised 10-02-2014

aerial view or existing structure
[white areas are fabric canopy above concrete patio and rear vestibule roof]



aerial view with proposed addition



A Brief History:

The proposal outlined in these pages is for rehabilitation of and addition to the existing residence at 125 N 25th Street in the St John's National and Richmond Historic Districts. The existing residence is recorded as being constructed in 1849 and comprised a 16' x 32' two-story gabled volume set on the N 25th St sidewalk. It is understood this original structure served as a double-tenement, or duplex, with one room down and one up on either side of a central chimney. This arrangement remains evident today with twin staircases and equal rooms up and down in the original house. The structure was nearly doubled in area in the 1890's with a two-story shed-roofed addition on the southeast/rear yard side. A concrete patio was constructed in the rear yard in the late 20th-century and the current owner constructed a small rear entry vestibule in 2007 under approval from the Commission of Architectural Review. The residence's context today is characterized most predominantly by its N 25th St frontage with no setback or front yard, a paved alley with fence line along the south edge of the property, and a granite retaining wall along the north edge of the property.

The structure represents a mixture of early colonial vernacular and federal styles and is characterized by a lack of ornamentation or decorative features and very simple trim, casings and exterior details. The siding today is 1x painted boards with various but average 6" exposure. Photographs of the structure in the mid-20th-century show it clad in asbestos shingles so it is evident this wood siding is not original although, as compared to St John's Church itself and similar framed structures in the immediate neighborhood, it is presumed to represent the original historic cladding and character. Roofing is standing-seam and flat-seam metal which has been painted. The roofing material is also believed to be characteristic of the original type of roofing that would have been used although no direct evidence of this exists. Windows are typically double-hung and have had sashes replaced with in what are believed to be original frames and openings. Two smaller fixed windows in bathrooms may have been added at some point in the structure's history. The exteriors are in moderate to poor condition despite several substantial renovations, the most recent being done in the early 21st-century prior to the current owner's occupancy beginning in 2005. Preliminary investigation of the framing substantiates this, particularly pertaining to the rear, 1890's shed roof addition which is known to be in very poor condition structurally.

Project Description:

The intent of the project herein is to substantially rehabilitate the existing historic structure, and notably both levels of the rear, shed-roofed section and to construct an addition to the south-east of this section on what is currently a concrete patio in the rear yard. Rehabilitated areas currently house the kitchen on the main level and bathrooms on the upper level. These uses are proposed to remain in this area in order to preserve the open parlors of the original gabled structure. Along the south/alley elevation of this section, it is proposed to construct a new wall and to interiorize what is now an exterior concrete walk. The addition is proposed to be a two-story gabled volume that mirrors the massing and proportions of the original house. The footprint on the ground level is roughly square in plan, extending into the rear yard on the north wall. The 2nd level, however, is confined to the same 16' width as the historic main volume and gabled. This arrangement is intended to present the addition as a separate pavilion within the rear yard and the house in total is perceived as several smaller structures on the site rather than a single larger one.

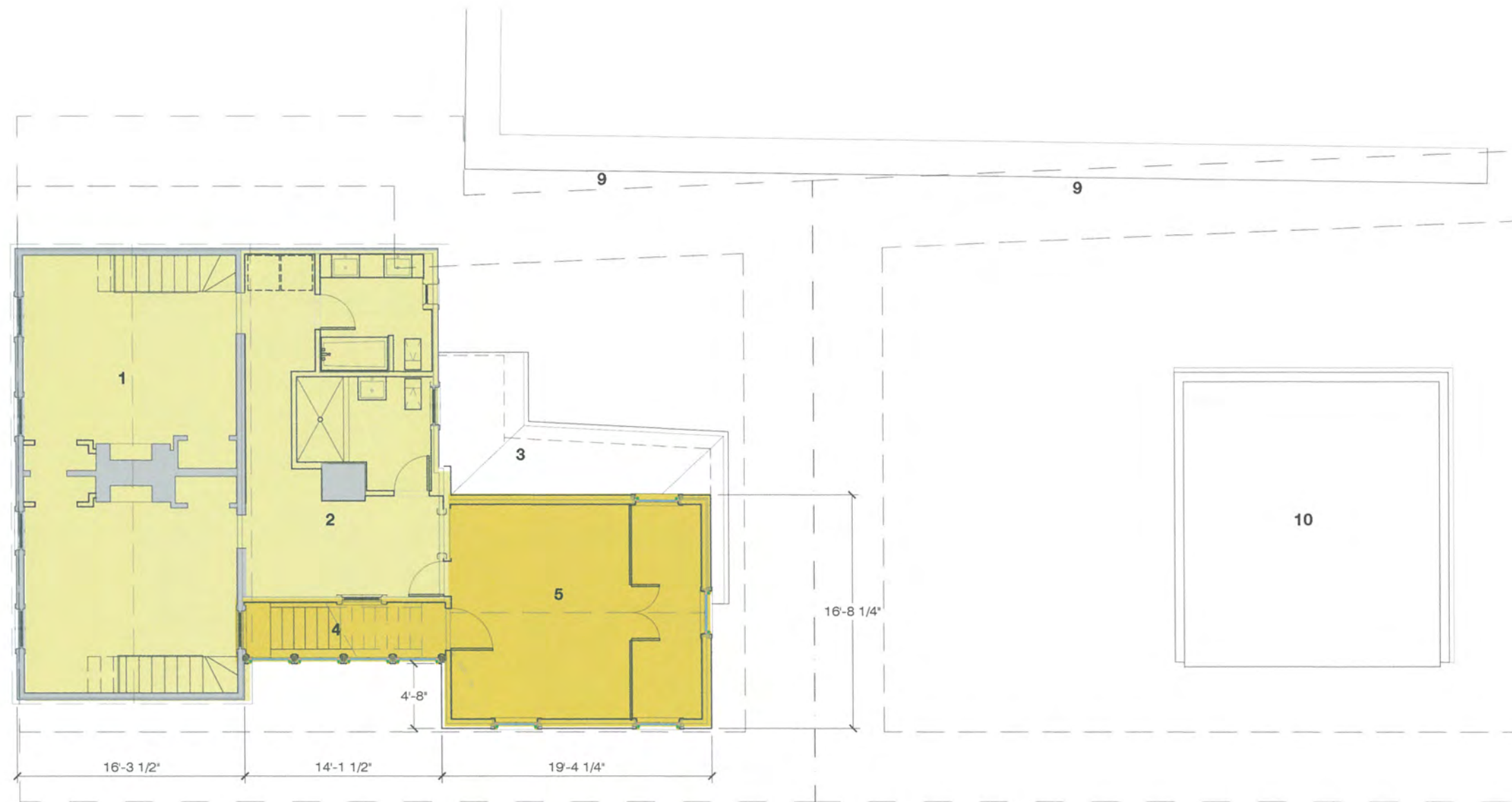
Contents:

Page 1	History and Project Description
Page 2	Property and 1st Level Floor Plan
Page 3	2nd Level Floor Plan
Page 4	Conceptual View showing Addition
Page 5	Scaled South Elevation and Materials List
Page 6	Graphic South Elevation
Page 7	Materials and Colors Information



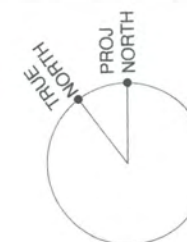
PLAN NOTES

- 1 1849 2-STORY GABLE SECTION
- 2 1890'S 2-STORY SHED-ROOF ADDITION
- 3 2007 REAR VESTIBULE ADDITION
- 4 PROPOSED NEW STAIR ENCLOSURE [EXISTING CONCRETE WALK]
- 5 PROPOSED REAR ADDITION
- 6 PROPOSED TERRACE
- 7 EXISTING YARD
- 8 EXISTING STAINED WOOD FENCING W LIGUSTRUM HEDGEROW ON ALLEY SIDE
- 9 EXISTING GRANITE RETAINING WALL
- 10 EXISTING 1-STORY MASONRY GARAGE ON ADJACENT PROPERTY [SAME OWNER]



PLAN NOTES

- 1 1849 2-STORY GABLE SECTION
- 2 1890'S 2-STORY SHED-ROOF ADDITION
- 3 ROOF CONTINUES AT EXISTING 2007 ADDITION AND 1ST FLOOR EXTENSION
- 4 PROPOSED NEW STAIR ENCLOSURE [EXISTING CONCRETE WALK]
- 5 PROPOSED ADDITION
- 9 EXISTING GRANITE RETAINING WALL
- 10 EXISTING 1-STORY MASONRY GARAGE ON ADJACENT PROPERTY [SAME OWNER]

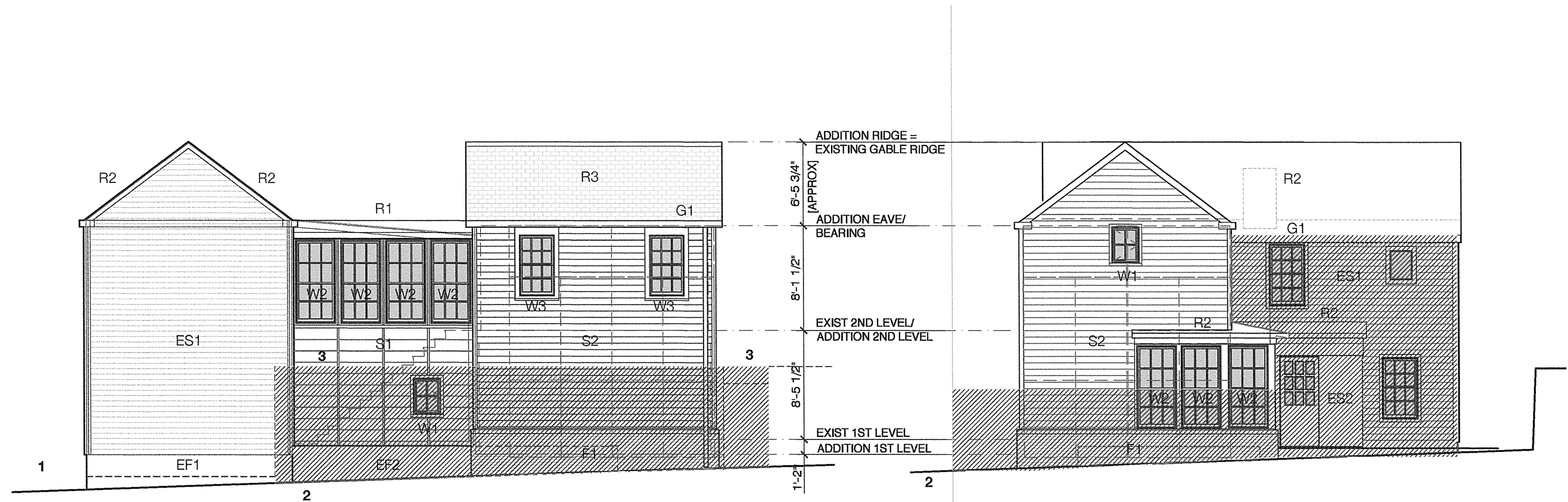




Page 4
MONTAGE VIEW FROM SOUTHWEST
 looking north on N 25th St showing existing residence and proposed addition areas

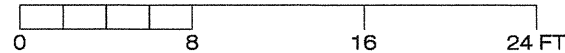
Additions and Rehabilitation at
125 N 25th Street
 St John's National Historic District
 Richmond, VA 23223

Application for Certificate of Appropriateness
COMMISSION OF ARCHITECTURAL REVIEW
 submitted Nov 20, 2015



SOUTH/ALLEY ELEVATION

1/8" = 1'-0"



EAST/YARD ELEVATION

[Note: Windows and Doors this elevation not labeled are existing to remain, typical for (4)]

MATERIALS KEY [Note: Hatched areas indicate areas of the structure obscured from view from the public right-of-way by fencing, landscaping, or other features]

FOUNDATIONS

- EF1** EXISTING BRICK FOUNDATION WALL PAINTED BLACK [WITHIN WOOD EDGED LANDSCAPED AREA THIS SIDE]
- EF2** EXISTING RED BRICK FOUNDATION WALL W CONTINUOUS ROWLOCK TOP TO REMAIN
- F1** NEW RED BRICK FOUNDATION WALL W CONTINUOUS ROWLOCK TOP COURSE

SIDING

- ES1** EXISTING HORIZONTAL 1X WOOD LAP SIDING, 6" EXPOSURE, PAINT FINISH
- ES2** EXISTING VERTICAL 1X 12 SIDING BOARDS PAINT FINISH
- S1** HORIZONTAL 1X WOOD BOARD SIDING, 10" EXPOSURE W RABBETED 1/4" REVEAL BTWN BOARDS, PAINT FINISH AND W DIAGONAL LATTICE - REFER TO RENDERED VIEW PAGE 6
- S2** HORIZONTAL 1X WOOD LAP SIDING, 6" EXPOSURE, PAINT FINISH

ROOF AREAS

- R1** FLAT SEAM METAL ROOFING ON MODIFIED LOW SLOPED ROOF AREAS, METAL TYPE AND COLOR TBD
- R2** STANDING SEAM METAL ROOFING ON 6:12 SLOPED ROOF AREAS, RED PAINTED METAL TO MATCH EXISTING ROOF
- R3** SHINGLE ROOF IN VARIGATED RANDOM PATTERN, REFER TO DESCRIPTION PAGE 7
- G1** PREFINISHED ALUMINUM GUTTER AND MATCHING DOWNSPOUT, COLOR: TAUPE

WINDOWS

- W1** 2'-1"W X 2'-9"H CASEMENT WINDOW, PELLA SERIES 450 PREFINISHED ALUMINUM CLAD, COLOR: 'PUTTY'
- W2** 3'-1"W X 6'-5"H DOUBLE-HUNG WINDOW, PELLA SERIES 450 PREFINISHED ALUMINUM CLAD, COLOR: 'PUTTY'
- W3** 2'-9"W X 4'-9"H DOUBLE-HUNG WINDOW, PELLA SERIES 450 PREFINISHED ALUMINUM CLAD, COLOR: 'PUTTY'

ELEVATION NOTES

- 1** N 25TH STREET SIDEWALK, HOUSE ABUTS SIDEWALK ALONG WEST PROPERTY LINE
- 2** LINE OF APPROXIMATE GRADE ALONG SOUTH PROPERTY LINE/ALLEY
- 3** DASHED LINE INDICATES TOP OF EXISTING WOOD FENCE AND LANDSCAPING TO REMAIN ALONG SOUTH PROPERTY EDGE

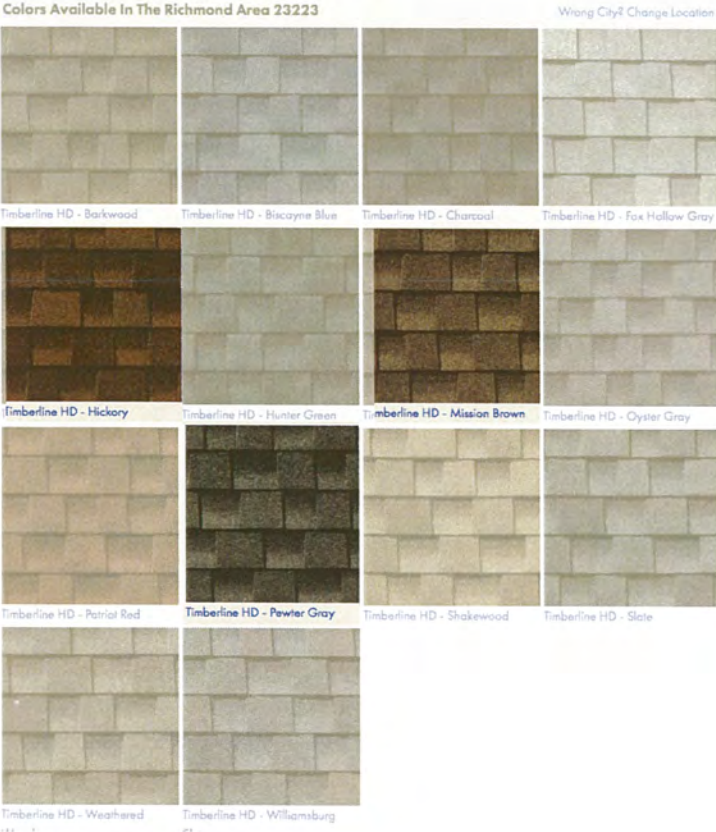
SOUTH/ALLEY and EAST/YARD ELEVATIONS

showing existing residence and proposed addition areas from public ROW



Timberline HD® Shingles

Help improve your home's resale value with Timberline HD® Shingles from GAF. Timberline® High Definition® Shingles with Advanced Protection® Shingle Technology are the #1-selling shingles in North America. Timberline HD® Shingles will not only protect your most valuable asset but also beautify your home for years to come.



ROOFING:
TIMBERLINE HD SHINGLES
COLOR - 3 COLOR RANDOM PATTERN IN BLEND OF -
45% PEWTER GRAY
40% HICKORY
15% MISSION BROWN
[REFER TO REFERENCE IMAGE THIS SHEET]

Exterior Aluminum-Cladding Colors



WINDOWS:
PELLA 450 SERIES ALUMINUM CLAD WOOD
CONFIGURATION OF VISIBLE WINDOWS - 6-OVER-6
DOUBLE HUNG
EXTERIOR COLOR - PUTTY
GLAZING - DOUBLE PANE W BETWEEN GLASS
INTEGRAL SPACER



SIDING - INFILL SOUTH WALL:
1X10 PINE BOARD, RABBETED OVERLAP
JOINT W 1/4" REVEAL
PAINT FINISH - GLIDDEN/TUILE WHITE
TRELLIS OVERLAY - ENGLISH IVY ON AP-
PROXIMATELY 18" X 18" STICK FORMED
LATTICE MOUNTED DIAGONALLY IN
FRONT OF SIDING FROM BRICK FOUN-
DATION TO WINDOW SILL - REFER TO
RENDERED ELEVATION



ROOF:
SHINGLE - REFER TO
DESCRIPTION THIS
SHEET

**PREFINISHED METAL GUTTER/
DOWNSPOUTS:**
COLOR: TAUPE

SIDING - ADDITION:
1X8 PINE BOARD, LAPPED
W 6" EXPOSURE
PAINT FINISH - GLIDDEN/TUILE WHITE

WINDOW TRIM:
5/4X4 PINE BOARD SIDES
5/4 PINE BOARD VALENCE TOP TO
SOFFIT
2X PINE BOARD SKIRT/SUB-SILL
BENEATH WINDOW MFR'S
PREFINISHED SILL
PAINT FINISH - GLIDDEN/TUILE WHITE

FOUNDATION BRICK:
RED - 'OLD VIRGINIA MONTEPELIER'
RUNNING BOND PATTERN
TAN MORTAR TO MATCH EXISTING
WHERE UNPAINTED