



## Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

**12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION**

LOCATION OF WORK: 2123 E Marshall St DATE: 11/18/15

OWNER'S NAME: B & B 98 llc TEL NO.: 8043669977

AND ADDRESS: 4000 Fauquier Ave EMAIL: house111@comcast.net

CITY, STATE AND ZIPCODE: Richmond Va 23227

ARCHITECT/CONTRACTOR'S NAME: CarriageStone Cottage & Home Design, LLC. TEL. NO.: (804)-836-8074

AND ADDRESS: P. O. Box 1805 EMAIL: don@carriagestone.com

CITY, STATE AND ZIPCODE: Glen Allen, VA 23060

Would you like to receive your staff report via email? Yes ☒ No ☐

### REQUEST FOR CONCEPTUAL REVIEW

☐ I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

☒ I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

### DETAILED DESCRIPTION OF PROPOSED WORK (Required):

#### STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

**PROPOSED.** (Include additional sheets of description if necessary, and **12 copies** of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See *instruction sheet for requirements.*)

Build new back porch per drawing A1, place condenser unit with privacy fence on roof per drawing A2 and 2 photos of building, paint parts of building per attached color chart

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): Joe Gross

(Space below for staff use only)

Received by Commission Secretary

**RECEIVED**

APPLICATION NO. \_\_\_\_\_

DATE NOV 19 2015 B: ISam

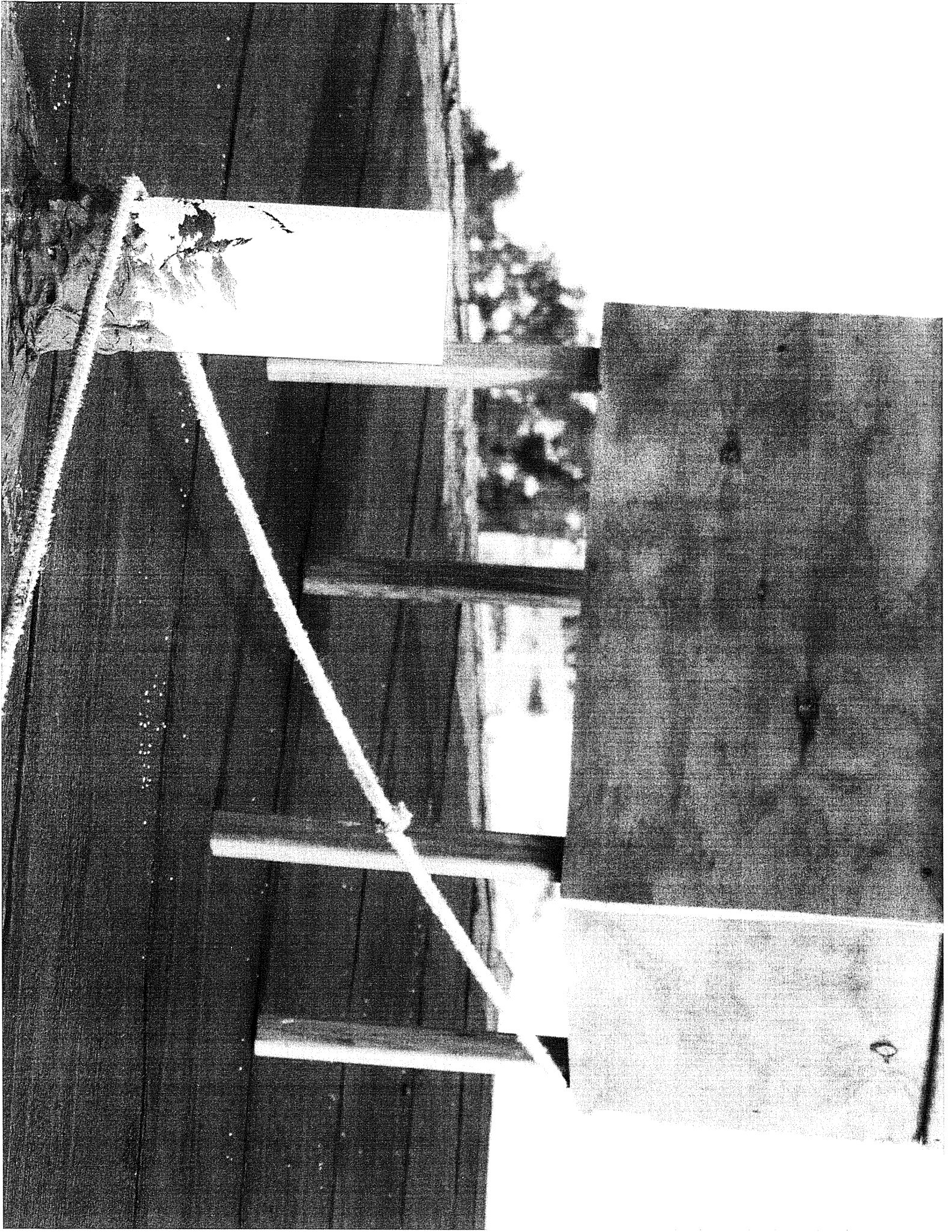
SCHEDULED FOR \_\_\_\_\_

**Note: CAR reviews all applications on a case-by-case basis.**

Revised 10-02-2014







## GENERAL NOTES

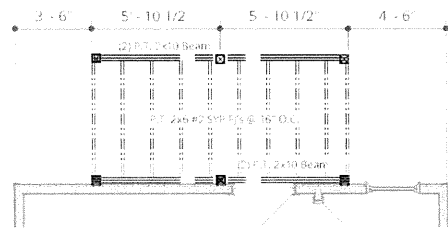
- All work for this project shall conform with all governing laws, codes, & ordinances including, but not limited to, the 2017 International Residential Code and the 2017 Virginia Supplemental Code.
- The builder/contractor shall be solely responsible for all means and methods of construction. This shall specifically include in-site procedures as they relate to the safety of the construction crew and the general public.
- The builder/contractor shall take special care to protect any existing structures to avoid any damage relating to work during this project.
- The builder/contractor shall provide clearing of debris and trash of regular intervals in order to keep the site and work areas reasonably clear of unsafe and unsightly accumulation.
- The builder/contractor shall also provide a professional clearing at project completion.
- Actual finish floor area will vary. Actual finish dimensions are not shown and will vary.
- All rights in and to these drawings are owned by CarriageStone Cottage & Home Design, LLC, a Virginia LLC. They shall not be reproduced, modified, or revised in any way without the written consent from, and proper compensation to, CarriageStone Cottage & Home Design, LLC. Any use of these drawings is strictly prohibited unless pursuant to an authorized and paid for CarriageStone Cottage & Home Design, LLC LICENSE AGREEMENT. The use hereof is subject to agreement to the terms, qualifications, and conditions therein. CarriageStone Cottage & Home Design, LLC shall protect the right and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings.
- CarriageStone Cottage & Home Design, LLC is not responsible for consulting with qualified building contractors, engineers, and other professionals regarding the feasibility, legality, and safety of using these drawings. The use of these drawings are at one's own risk and their use waives any claims thereon.
- Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions herein.

## FRAMING NOTES

- Exterior dimensions are to face of masonry or wall sheathing.
- Interior dimensions are to face of studs.
- On an Addition or Renovation project, shaded walls indicate existing walls that shall remain.
- Solid bearing walls are indicated by shaded marks.
- Roofing floor spans are based on 30# per square foot Live Load and 100# per square foot Dead Load. All Other Room spans are based on 40# per square foot Live Load and 100# per square foot Dead Load. Roof rafters are based on 20# per square foot Live Load and 100# per square foot Dead Load.
- Unless otherwise noted, #2 SYP is assumed for all framing lumber when calculating maximum spans.
- Unless otherwise noted, all stud framing is assumed to be #2 SYP.
- Pressure treated joists, girders, and joists to the foundation wall and footings spaced at a maximum of 6 feet on center. There shall be a minimum of two bolts per plate section with one bolt located no more than 12 inches, or less than seven bolt diameters, from each end of the plate section. A nut and washer shall be tightened on each bolt of the plate.
- Pressure treated lumber for all beams and members within 12" of finished grade.
- Pressure treated board and sill wherever any deck meets the house.
- All metal fasteners and connectors used pressure treated lumber must be listed "ACQ Approved" Hot Dipped Galvanized or Stainless Steel.
- Double girts under all parallel partitions or cabinetry.
- Unless otherwise noted, all sawn lumber header beams to receive (2) jack studs and (1) king stud @ each end.
- Unless otherwise noted, all joists to be minimum 1-9.
- Unless otherwise noted, all double 11's get (3) jacks each end and all triples get (3) jacks each end.
- Unless otherwise noted, all roof & wall headers to be (2) 2x10's.
- All wall sheathing to be 5/8" CDX Plywood or 7/16" OSB with Tyvek Housewrap or 15" felt.
- All sub flooring to be glued and nailed.
- All roof sheathing to be 1/2" CDX Plywood or 7/16" OSB.

## FOOTING & MASONRY NOTES

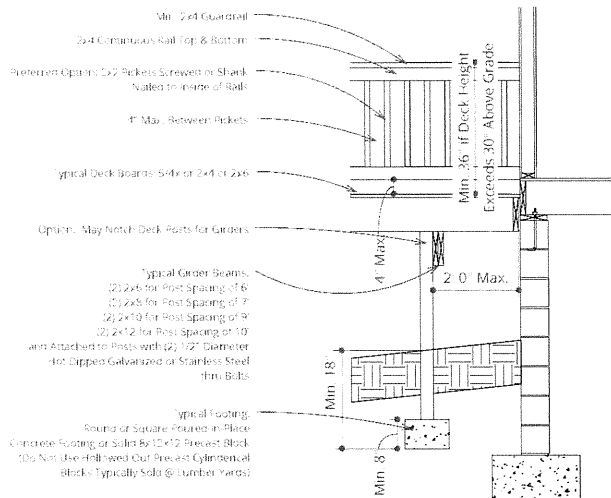
- Soil conditions are assumed to be 2,000psi.
- Exterior dimensions are to face of masonry or wall sheathing.
- Continuous concrete footings shall be continuous of minimum 24" deep concrete. See plan notes for wall and thickness.
- Provide minimum 2 courses x 24" wide grouted solid under all steel beams or concentrated loading conditions.
- Exterior steps are shown for location only. Contractor shall determine and verify all grade elevations and number of steps required.
- Anchor bolts shall be placed at a maximum of 6 feet on center. There shall be a minimum of two bolts per plate section with one bolt located no more than 12 inches, or less than seven bolt diameters, from each end of the plate section. Bolts shall be a minimum 1/2" in diameter and shall extend a maximum of 7 inches into masonry or concrete.  
Exceptions:  
a. Walls 24 inches total length or shorter connecting offset braced wall panels shall be anchored to the foundation with a minimum of one anchor bolt located in the center third of the plate section and shall be attached to adjacent braced wall panels.  
b. Walls 12 inches total length or shorter connecting offset braced wall panels shall be permitted to be connected to the foundation without anchor bolts.
- Brick veneer walls to have non-corrosive metal ties @ 16" O.C. vertically and horizontally and weep holes at 24" O.C. at base flashing.
- Provide minimum 4" bearing at each end of ledgers for brick veneer walls.



## PORCH FRAMING PLAN

1/4" = 1'-0"

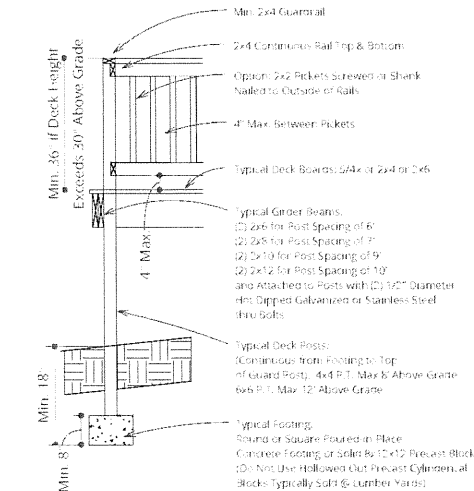
### OPTION "1" FREESTANDING (CANTILEVER) DESIGN



## Freestanding Deck Design @ House -- Typical

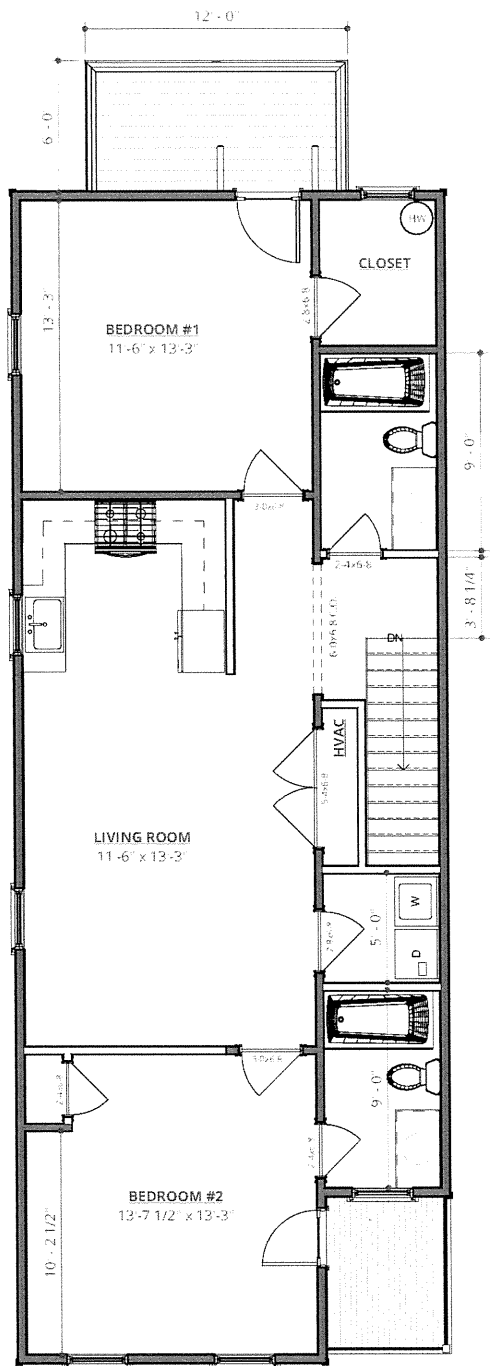
1/2" = 1'-0"

### OPTION "A" FLUSH POST DESIGN



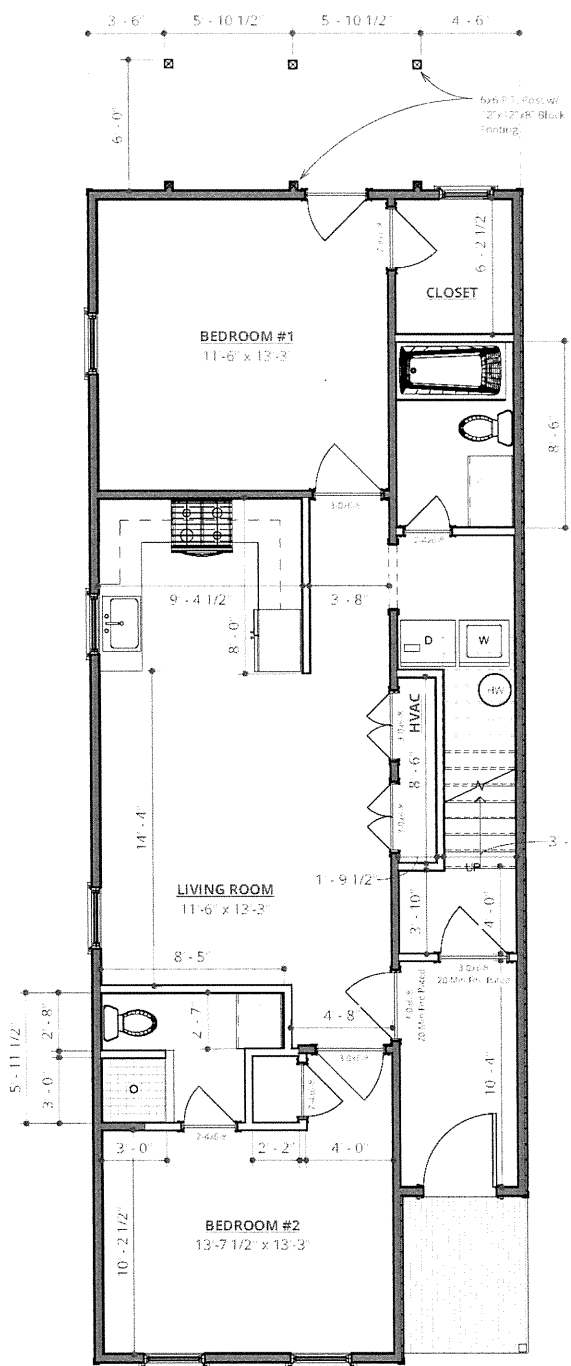
## Flush Post Deck Design -- Typical

1/2" = 1'-0"



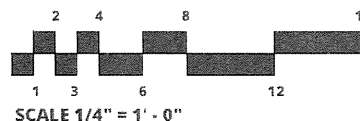
## SECOND FLOOR

1/4" = 1'-0"



## FIRST FLOOR

1/4" = 1'-0"



**CarriageStone**  
COTTAGE & HOME DESIGN, LLC

Issue Date: 11-07-15  
Rev. Date:

Drawn by: Donald L. Files, Jr.

2123 E. Marshall Street

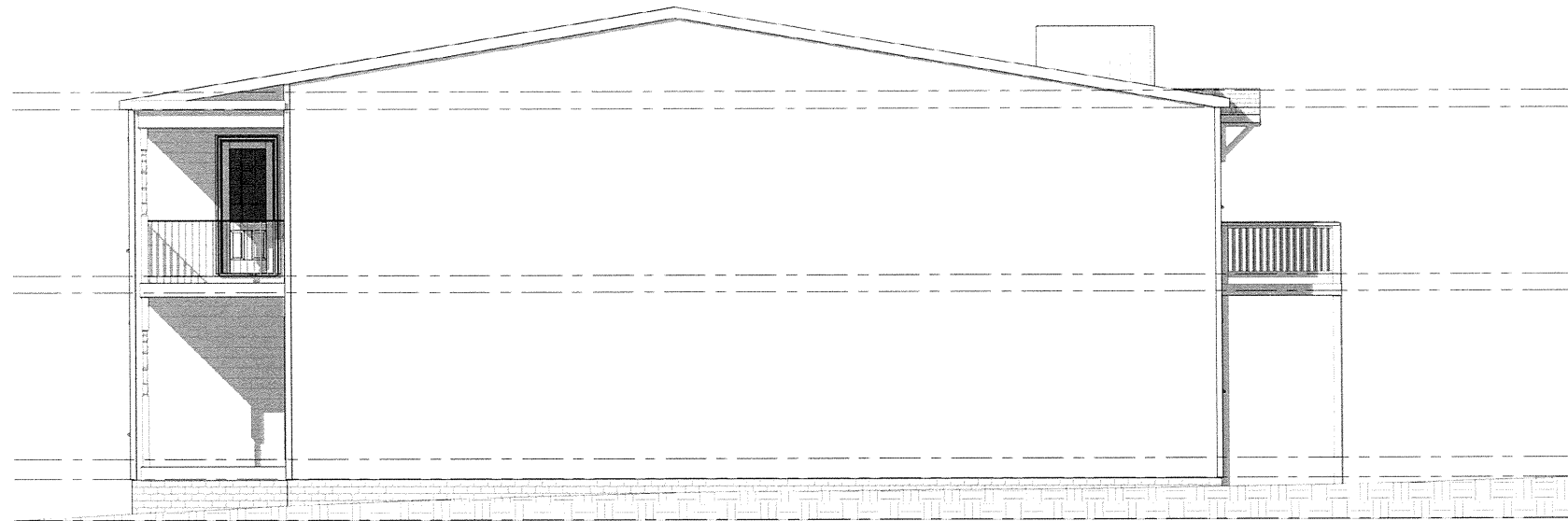
Joe Gross & Anne Paschke  
2123 E. Marshall Street  
Richmond, VA

Floor Plans

A1

Project Number 2015.404  
Scale As indicated

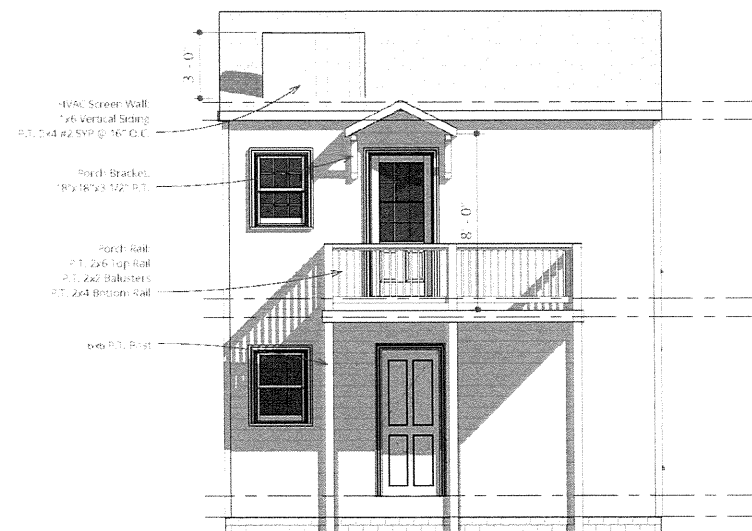
11.2015.404V1.DWG



**RIGHT ELEVATION**  
1/4" = 1'-0"



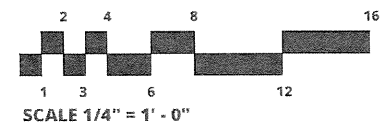
**FRONT ELEVATION**  
1/4" = 1'-0"



**REAR ELEVATION**  
1/4" = 1'-0"



**LEFT ELEVATION**  
1/4" = 1'-0"



**CarriageStone**  
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Elevations

**A2**

Project Number 2015.404  
Scale 1/4" = 1'-0"

1/8" = 1' - 0"