



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 3516 East Broad Street _____

DATE: June 6, 2014 _____

OWNER'S NAME: Michael & Kristen Wind _____

TEL NO.: 804-516-1590 _____

AND ADDRESS: 3516 East Broad Street _____

EMAIL: kristen.wind@hotmail.com

CITY, STATE AND ZIPCODE Richmond VA 23223

ARCHITECT/CONTRACTOR'S NAME: J. D. Lewis Construction _____

TEL. NO. 703-576-4958 _____

AND ADDRESS: 321 South 10th _____

EMAIL: jflanigan@jdlewiscm.com

CITY, STATE AND ZIPCODE Richmond VA 23219

Would you like to receive your staff report via email? Yes

REQUEST FOR CONCEPTUAL REVIEW



I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Addition of two car garage within the property of 3516 East Broad facing the back alley between Broad Street & East Marshall Street.

Existing Conditions

Currently the area where the garage will be located is grass yard surrounded by a wood fence. Some of the adjacent properties in the alley between Broad and Marshall currently either have garages or sheds which face the alley, examples of these structures are included in attached pictures.

Modifications

We propose to demo a portion of the fencing and erect a 1story two car garage. The visible exterior of the garage would be brick; the brick would closely match the back of the existing house in color, size and bond. The brick walls would extend up above the roof line on the sides to form a parapet wall similar to what is seen on the existing neighboring carriage house. The roof would be a two membrane flat sloped roof, with a gutter in the back and two downspouts. Two windows and a door will face the home and will not be visible from the alley. The garage door will be a single overhead door in a carriage house style. Attached are a full set of architectural drawings which reflect the above mentioned summary and provide more detail.

Signature of Owner or Authorized Agent: **X** _____

Name of Owner or Authorized Agent (please print legibly): _____

KRISTEN WIND

(Space below for staff use only)

Received by Commission Secretary

APPLICATION NO.

14-67

DATE _____ RECEIVED _____

SCHEDULED FOR

6/24/14

Note: CAR reviews all applications on a case-by-case basis.

JUN 06 2014

2:08

Side elevation of home



Back elevation of home





Please note change in brick type
on the back portion of the home



Garage brick would closely resemble this type of
brick on the main house in color, size, and bond.



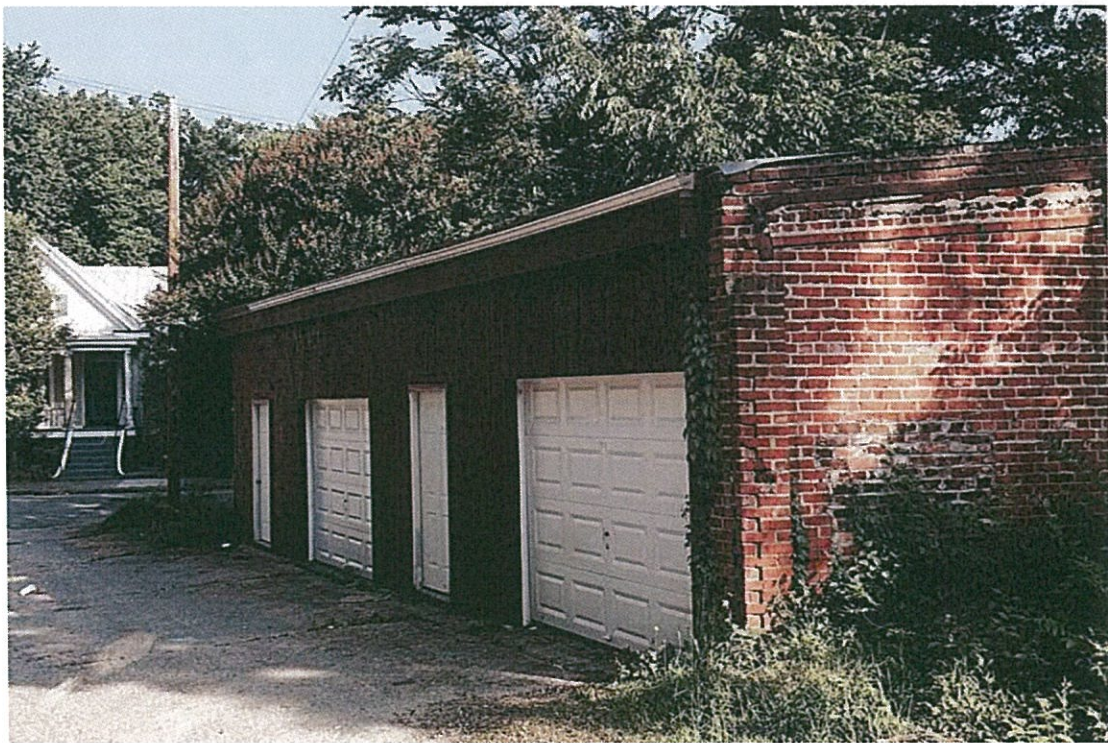
Alley view of 3516



Carriage House same alley same side
several house down.

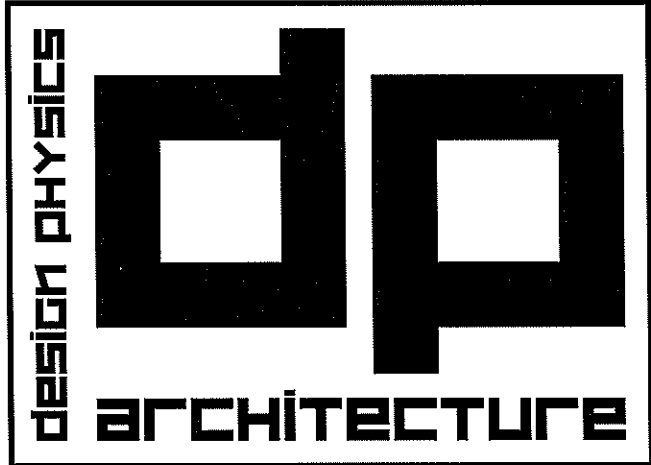


Shed opposite side several houses down



Garage Opposite side several houses down

PLANS FOR
Wind residence
Garage addition
RICHMOND, VIRGINIA

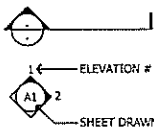


PH: 804-598-9216
FX: 703-935-1432

1. WORK SHALL INCLUDE ALL LABOR, ASSEMBLIES, AND FINISH WORK INCLUDING ALL PARTS AND MATERIALS NECESSARY TO MAKE A COMPLETE, IN-PLACE, PROPERLY WORKING AND FINISHED INSTALLATION.
2. ALL DIMENSIONS AND DESCRIPTIONS ON CONSTRUCTION DRAWINGS ARE COMPLEMENTARY, ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH REQUIRED BY ALL RELATED DOCUMENTS. MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING.
3. THE WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. REFER ANY QUESTIONS TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING.
4. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ACCEPTED FIRST CLASS CONSTRUCTION PRACTICES.
5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER COMPLETION OF ALL WORK REQUIRED BY THESE DOCUMENTS.
6. ALL CONTRACTORS SHALL VISIT THE PROJECT TO FAMILIARIZE THEMSELVES WITH SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION. BY SUBMITTING A BID, THE CONTRACTOR AND HIS SUBCONTRACTORS ARE CONFIRMING THAT THEY HAVE VISITED THE SITE AND HAVE INCLUDED IN THEIR BID ANY ADDITIONAL ITEMS OF CONSTRUCTION THAT MY BE REQUIRED DUE TO EXISTING SITE CONDITIONS.
7. THE CONTRACTOR SHALL FIELD MEASURE ALL DISTANCES AND CLEARANCES PRIOR TO COMMENCEMENT OF NEW WORK OR ORDERING MATERIAL. ANY DEVIATION TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THAT PORTION OF WORK. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS OR SIZES. VERIFY ALL DIMENSIONS IN THE FIELD.
8. PRIOR TO PROCEEDING WITH ANY WORK THAT MAY RESULT IN ADDITIONAL COST OR ADDITIONAL TIME TO THE PROJECT, THE CONTRACTOR SHALL DETERMINE THE ADDITIONAL COST OR TIME OR, IF THE EXACT COSTS FOR TIME CANNOT BE DETERMINED, THE CONTRACTOR SHALL MAKE HIS MOST REASONABLE ESTIMATE (AN ESTIMATE OF THE WORST CASE) AND SUBMIT THE ADDITIONS TO THE ARCHITECT FOR APPROVAL. SHOULD THE CONTRACTOR FAIL TO ADVISE THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK, ADDITIONAL COST OR TIME WILL NOT BE APPROVED.
9. IDENTIFY DELIVERY TIMES FOR ALL ITEMS AND PLACE THE ORDERS FOR THE LONG LEAD TIME ITEMS SO AS NOT TO DELAY THE PROJECT.
10. REMOVE ALL CONSTRUCTION DEBRIS AS REQUIRED TO MAINTAIN A CLEAN ENVIRONMENT AND TO PREVENT THE POSSIBILITY OF ACCIDENT OR FIRE. COORDINATE REMOVAL WORK WITH BUILDING MANAGEMENT.
11. PROVIDE A FINAL PROFESSIONAL CLEANING OF THE ENTIRE SPACE AFTER CONSTRUCTION AND PUNCH LIST ITEMS ARE COMPLETE AND PRIOR TO OCCUPANCY.
12. UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN INSTALL ALL MATERIAL/PRODUCTS FOR THIS PROJECT IN STRICT ACCORDANCE WITH THE MANUFACTURERS LATEST PUBLISHED SPECIFICATIONS/ RECOMMENDATIONS.
13. CONTRACTOR TO NOTE THAT STRUCTURE IS PRE 1978 AND MUST FOLLOW LRRP LAWS AS REQUIRED.
14. PRIME ALL SIDES OF EXPOSED CEDAR WOOD & TRIM.

GENERAL NOTES

ADJ.	ADJUSTABLE	M.P.E.	MECHANICAL, PLUMBING, ELECTRICAL
A. F. F.	ABOVE FINISHED FLOOR	MTD.	MOUNTED
CL.	CLOSET	MTL.	METAL
CLG.	CEILING	MULL.	MULLION
COL.	COLUMN	N. I. C.	NOT IN CONTRACT
CONC.	CONCRETE	N. T. S.	NOT TO SCALE
CORR.	CORRIDOR	O. C.	ON CENTER
C. H. U.	CONCRETE MASONRY UNIT	OSD.	OPEN SITE DRAIN
CONT.	CONTINUOUS	PART.	PARTITION
C. B.	CHALK BOARD	P.T.	PRESSURE-TREATED
C. C. T.	CUBICLE CURTAIN TRACK	P. T. D.	PAPER TOWEL DISPENSER
C. J.	CONTROL JOINT	PLAS. LAN.	PLASTIC LAMINATE
CLER.	CLERESTORY	RECEPT.	RECEPTACAL
C. T.	CERAMIC TILE	REF.	REFRIGERATOR
C. TR.	CHALK TRAY	REQD.	REQUIRED
DWGS.	DRAWINGS	REV.	REVERSE
E. W. C.	ELECTRIC WATER COOLER	R. T. U.	ROOF TOP UNIT
EL.	ELEVATION	RM.	ROOM
EQ.	EQUAL	S. D.	SOAP DISPENSER
E. J.	EXPANSION JOINT	SIM.	SIMILAR
FD.	FLOOR DRAIN	SP. GL.	SPANDREL GLASS
FIN.	FINISH	STL.	STEEL
F. E. C.	FIRE EXTINGUISHER CABINET	STRUCT.	STRUCTURE
F. R. T.	FIRE RETARDANT TREATED	SUSP.	SUSPENDED
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER	T. B.	TACK BOARD
GL.	GLASS	T. & G.	TONGE & GROOVE
G. B.	GRAB BAR	T / O	TOP OF
G.S.	GRAVEL STOP	T. P. H.	TOILET PAPER HOLDER
GYP. BD.	GYP. BOARD	TRANS.	TRANSLUCENT
HT.	HEIGHT	T. V. S.	THRU WALL SCUPPER
H. C.	HANDICAP	TYP.	TYPICAL
INSUL.	INSULATION	U.C.R.	UNDER COUNTER REFRIGERATOR
M. B.	MARKER BOARD	U. L.	UNDERWRITERS LABORATORIES
MIN.	MINIMUM	W. R.	WASTE RECEPTACLE
		U.O.N.	UNLESS OTHERWISE NOTED



SECTION CUT
ELEVATION #
ELEVATION IDENTIFICATION
SHEET DRAWN ON

SYMBOLS & ABBREVIATIONS

DRAWING INDEX

CS COVER SHEET
GS-1 ARCHITECTURAL SITE PLAN
G-1 PLANS
G-2 ELEVATIONS
G-3 SECTION & DETAILS

PROJECT:

ADDRESS: 3516 E. BROAD STREET
RICHMOND, VIRGINIA 23223

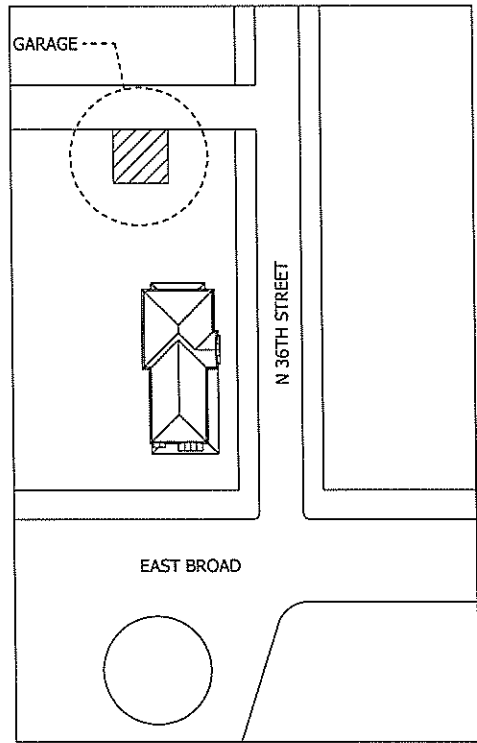
DESCRIPTION: ADDITION OF TWO CAR GARAGE TO REAR OF PROPERTY - WHERE PREVIOUS CARRIAGE HOUSE WAS LOCATED.

CODES:

CODES: BUILDING: 2009 VIRGINIA STATEWIDE BUILDING CODE (VSB/C)
REFERENCING THE 2009 INTERNATIONAL RESIDENTIAL CODE
AREA: 527 SF GARAGE



VICINITY MAP



SITE PLAN

PERMIT SET: 06.04.2014

0.212 Acres

3-Story Brick with Basement
#3516 E. Broad St.

1-Story Frame Covered Porch

2-Story Frame Covered Porch

Up
Dn.

Brick Patio

NEW BRICK WALK

Conc. Wall

20' Alley

Brick Apron

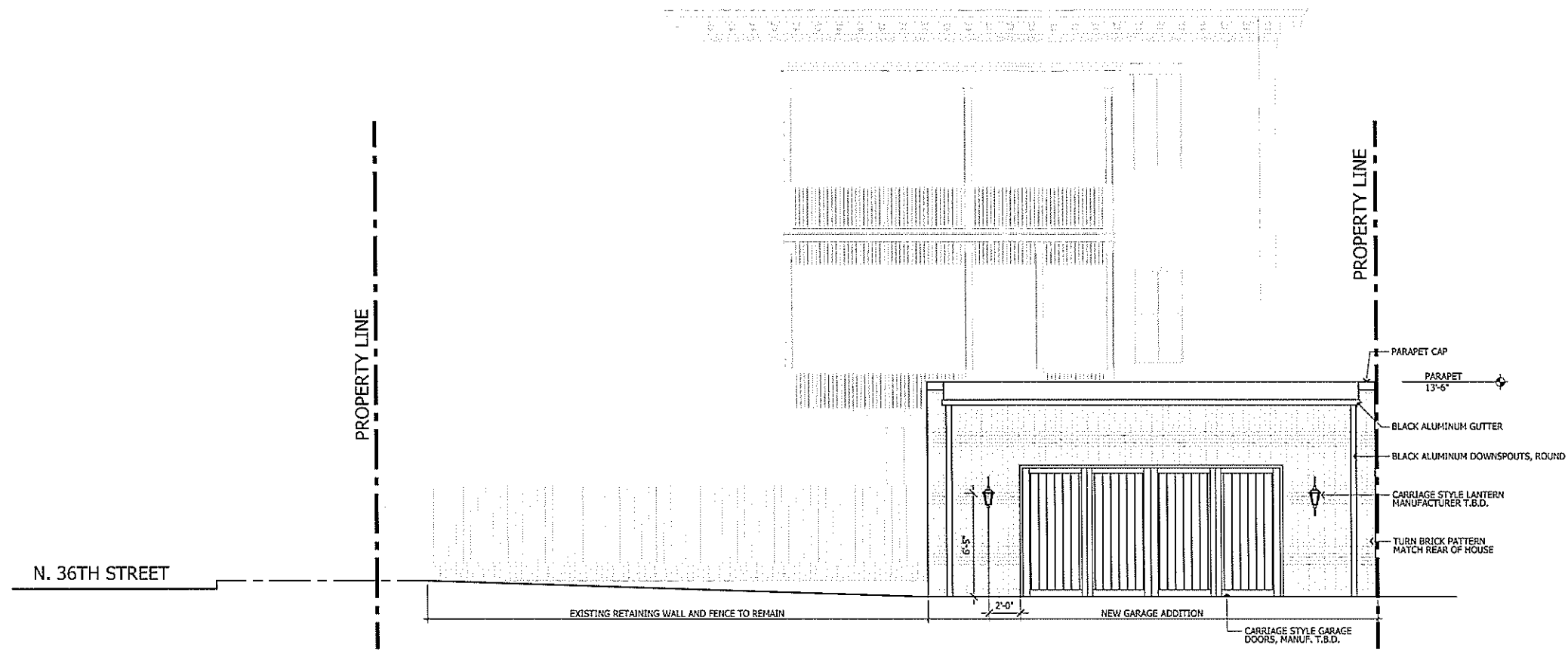
Elevations: +87.81, +88.55, +90.85, +90.03, +91.83, +92.95, +91.13, +94, +93, +92, +91

① ARCHITECTURAL SITE PLAN

$$1/4'' = 1'-0''$$

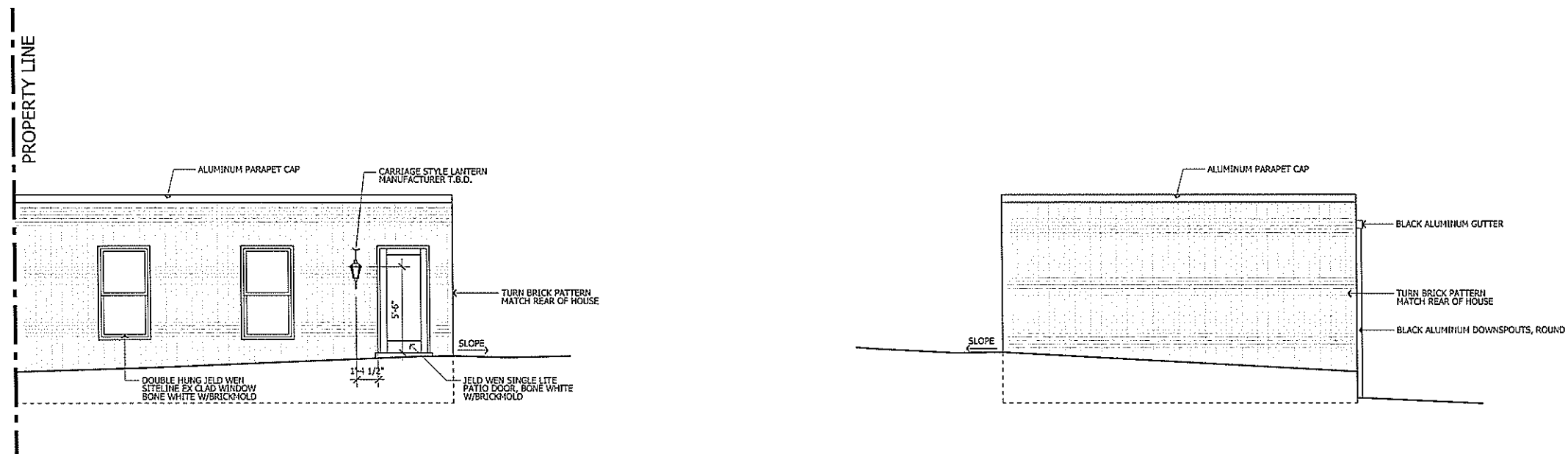
GS-1

DRAWING NUMBER



① GARAGE ELEVATION

1/4" = 1'-0"



② GARAGE ELEVATIONS

1/2" = 1'-0"

