



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2912 1/2 E. Leigh DATE: 6/2/14

OWNER'S NAME: Pending Purchase TEL NO.: 804-980-7377

AND ADDRESS: 2450 Old Brick Rd #1332 EMAIL: richmondhomesforale@ychoo.com

CITY, STATE AND ZIPCODE Glen Allen, VA 23060

ARCHITECT/CONTRACTOR'S NAME: Upward Builders TEL. NO. 804-980-7377

AND ADDRESS: 2450 Old Brick Rd #1332 EMAIL: —

CITY, STATE AND ZIPCODE Glen Allen VA 23060

Would you like to receive your staff report via email? Yes — No —

REQUEST FOR CONCEPTUAL REVIEW

☐ I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

☒ I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Signature of Owner or Authorized Agent: X

Name of Owner or Authorized Agent (please print legibly): Zeeta Kennedy

(Space below for staff use only)

RECEIVED
Received by Commission Secretary
JUN 06 2014 10:40 am

APPLICATION NO. 14-64

SCHEDULED FOR 6/24/14

Note: CAR reviews all applications on a case-by-case basis.

Revised 04-16-2013

New Construction Proposal

2912 E Leigh Street

It is proposed that a new single family dwelling will be constructed on 2912 & 2912 1/2 E Leigh St. The proposed new single family dwelling will mimic the historic charm of homes in the immediate area. The siding near the roof will have a decorative top piece above the second story windows and the roof will have a gentle slope towards the rear of the home. There will be no pitch on roof. The siding of the home will be cement siding and painted to satisfy the Historical Boards requirements. Windows will be a low profile energy efficient window that is approved for use by the board. The entire home will have a brick foundation and all porches, rails and columns will be constructed out of either metal or wood. The home will be positioned on the front of the property as to be "flush" with the neighboring properties. There will be off-street parking by way of the alley with a back deck (wood) and/or concrete patio. The porch roof will have a low pitch and be constructed out of a architectural shingle. The front door will have side lights and a transom and the door will be painted in accordance with the Historical Boards requirements. There will be no vinyl siding or composite decking boards on the property. Landscapping will be a clean but modest approach featuring some combination of boxwoods and azaleas and some flowers. The front will be neatly mulched after construction. It is our goal to provide a home that allows for all the comforts and modern amenities that a homeowner desires while maintaining the historical aesthesis of the neighborhood.

2912 E. Leigh st.
Richmond, Virginia

RECORD:DATE:

REVIEW06-05-14

DRAWING TITLE:

PROPOSED LEIGH
STREET ELEVATION

SHEET:

SK-2

PROJECT NUMBER:

1407



1

PROPOSED LEIGH ST ELEVATION

SCALE: 1/4"=1'-0"

2912 E. Leigh st.
Richmond, Virginia

RECORD: DATE:
REVIEW 06-05-14

DRAWING TITLE:

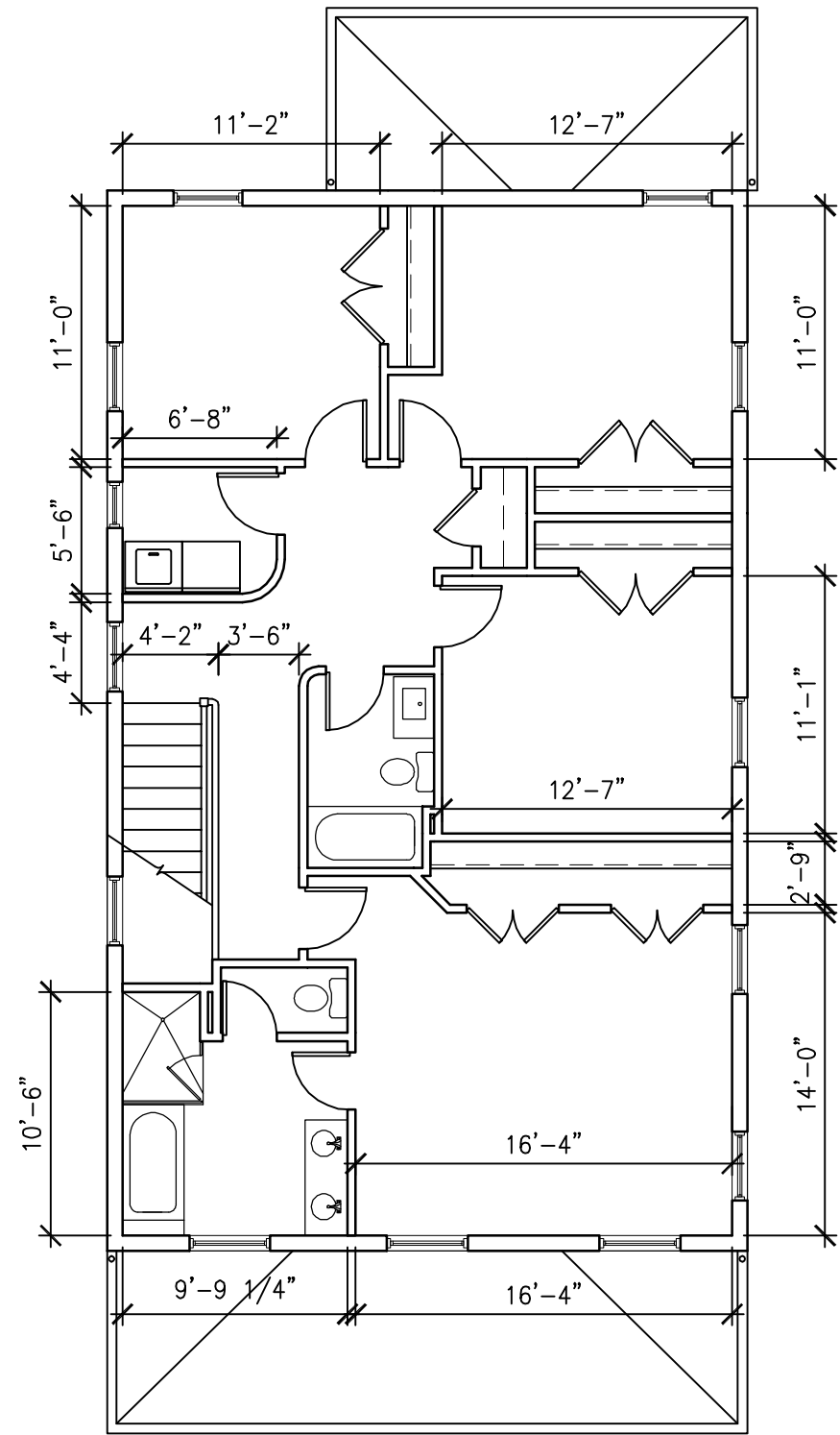
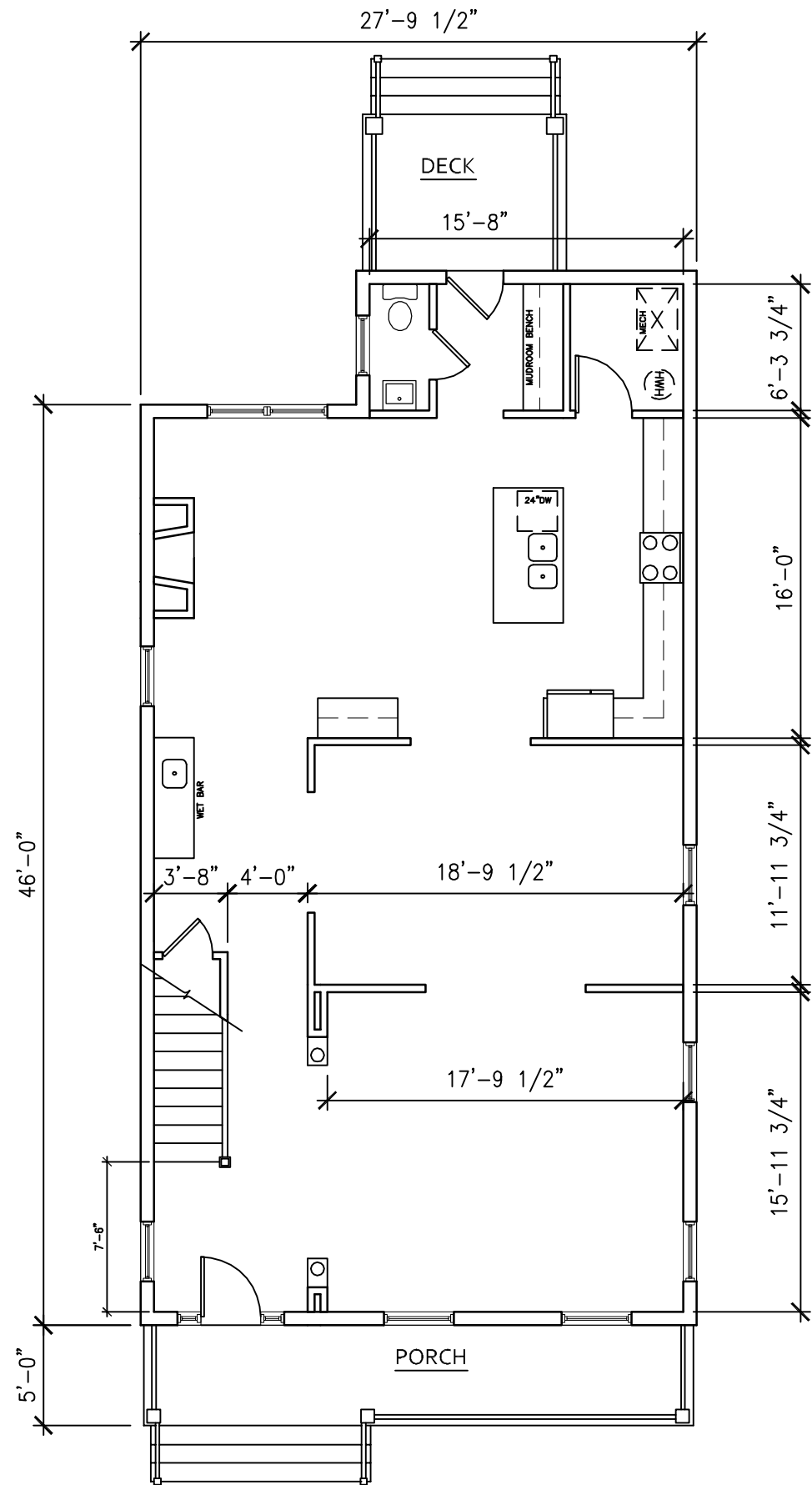
PROPOSED PLANS

SHEET:

SK-1

PROJECT NUMBER:

1407



1

PROPOSED FIRST FLOOR PLAN

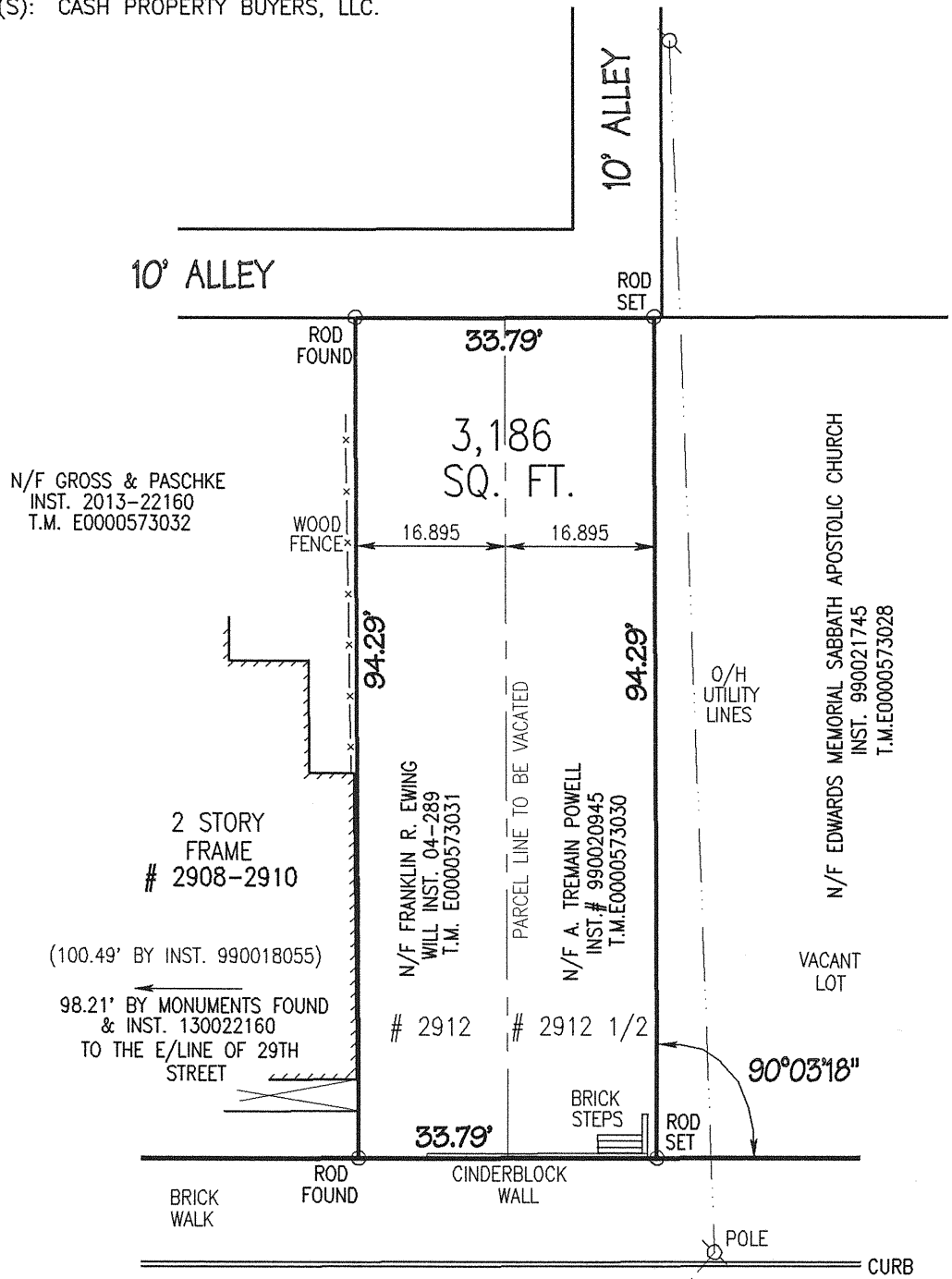
SCALE: 1/8"=1'-0"

2

PROPOSED SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

NOTES: THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A F.E.M.A. DEFINED FLOOD HAZARD AREA. FREDERICK A. GIBSON & ASSOCIATES, P.C. ASSUMES NO LIABILITY REGARDING SUB-SURFACE FEATURES SUCH AS TOXIC WASTE, GARBAGE OR WASTE DISPOSAL AREAS, LANDFILLS, UNDERGROUND STORAGE TANKS,CEMETERIES OR BURIAL SITES, SHRINK/SWELL SOILS, UNDERGROUND WATERWAYS OR UTILITIES. PURCHASER(S): CASH PROPERTY BUYERS, LLC.



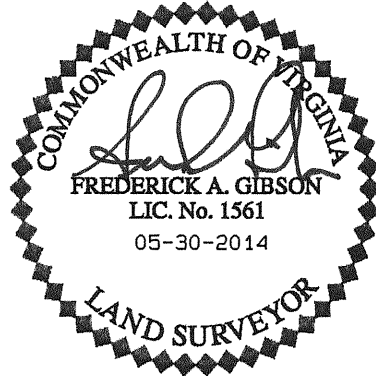
E. LEIGH STREET

VARIABLE WIDTH R/W

(PHYSICAL SURVEY)

SURVEY & PLAT OF TWO PARCELS OF LAND SITUATED ON THE
NORTH LINE OF EAST LEIGH STREET IN THE
CITY OF RICHMOND, VIRGINIA

SCALE: 1" = 20'

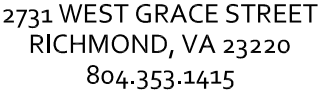


THIS IS TO CERTIFY THAT ON MAY 30, 2014, I MADE A FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS PLAT IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, AND CERTIFIED LANDSCAPE ARCHITECTS.

FREDERICK A. GIBSON
& ASSOCIATES, P.C.
LAND SURVEYORS

LEGEND	
○	= IRON ROD FOUND
●	= IRON ROD SET
UNLESS OTHERWISE NOTED.	

FILE # 1306-04 M



2912 E. Leigh st.
Richmond, Virginia

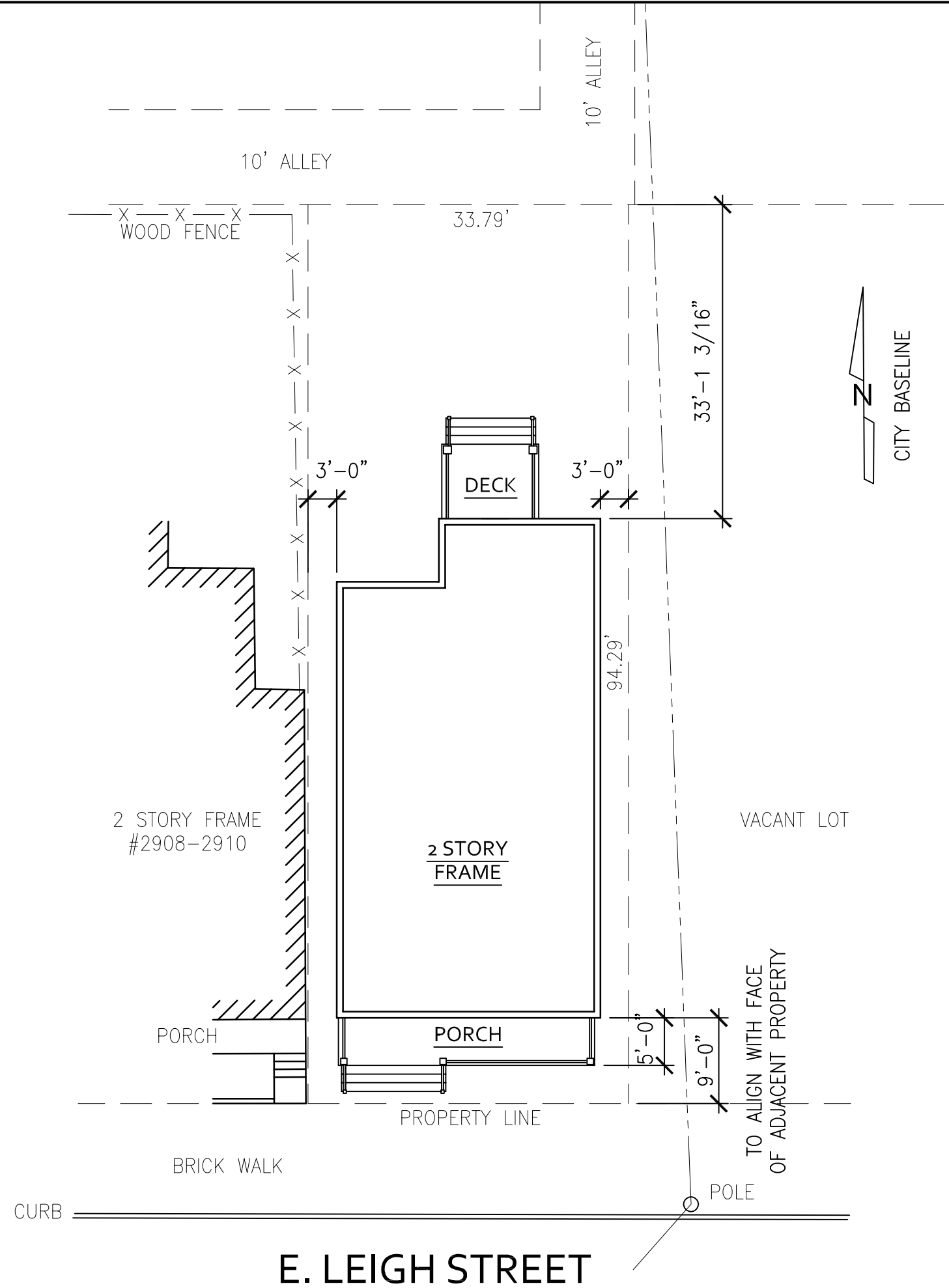
STEP:

06-05-14

PROPOSED STE PLAN

SK-3

1407



2912 E. Leigh st.
Richmond, Virginia

RECORD:
DATE:

REVIEW
06-05-14

DRAWING TITLE:

LEIGH STREET

SHEET:

SK-3

PROJECT NUMBER:

1407



EXISTING 29TH BLOCK OF E LEIGH STREET



PROPOSED 29TH BLOCK OF E LEIGH STREET



PROPOSED 29TH BLOCK OF E LEIGH STREET ENLARGED



LEIGH STREET LOOKING NORTH



LEIGH STREET LOOKING SOUTH



