

INTRODUCED: January 8, 2024

AN ORDINANCE No. 2024-023

To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of two single-family detached dwellings, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 12 2024 AT 6 P.M.

WHEREAS, the owner of the property known as 3112 Woodcliff Avenue, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of two single-family detached dwellings, which use, among other things, is not currently allowed by section 30-410.4, concerning lot area and width, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: 8 NOES: 0 ABSTAIN:

ADOPTED: FEB 26 2024 REJECTED: STRICKEN:

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 3112 Woodcliff Avenue and identified as Tax Parcel No. N000-1055/012 in the 2024 records of the City Assessor, being more particularly shown on as a survey entitled “Plat of Property Situated on the Western Line of Woodcliffe Avenue and North of Highlandview Avenue, Richmond, Va.,” prepared by Chas. H. Fleet and Assocs., and dated May 17, 1968, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of two single-family detached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “New Single Family Residence, 3112 Woodcliff Avenue, Richmond, VA 23222,” prepared by Penn & Co., and dated March 18, 2023, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as two single-family detached dwellings, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed three stories, substantially as shown on the Plans.

(c) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(d) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(e) Prior to the issuance of a building permit for the Special Use, the establishment of two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

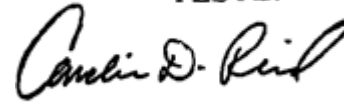
§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

APPROVED AS TO FORM:



City Attorney's Office

A TRUE COPY:
TESTE:


City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Master

File Number: Admin-2023-1252

File ID: Admin-2023-1252

Type: Request for Ordinance or Resolution

Status: Regular Agenda

Version: 1

Reference:

In Control: City Clerk Waiting Room

Department:

Cost:

File Created: 08/07/2023

Subject:

Final Action:

Title: To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of two single-family detached dwellings, upon certain terms and conditions.

Internal Notes:

Code Sections:

Agenda Date: 01/08/2024

Indexes:

Agenda Number:

Patron(s):

Enactment Date:

Attachments: Scanned SUP - 3112 Woodcliff Avenue.pdf,
Admin-2023-1252 - Application Documents.pdf

Enactment Number:

Contact:

Introduction Date:

Drafter: Shaianna.Trump@rva.gov

Effective Date:

Related Files:

Approval History

Version	Seq #	Action Date	Approver	Action	Due Date
1	1	9/26/2023	Matthew Ebinger	Approve	9/28/2023
1	2	9/26/2023	Kris Daniel-Thiem - FYI	Notified - FYI	
1	3	9/26/2023	Kevin Vonck	Approve	10/3/2023
1	4	9/26/2023	Alecia Blackwell - FYI	Notified - FYI	
1	5	9/28/2023	Sharon Ebert	Approve	10/3/2023
1	6	9/28/2023	Caitlin Sedano - FYI	Notified - FYI	
1	7	9/28/2023	Jeff Gray - FYI	Notified - FYI	
1	8	9/28/2023	Lincoln Saunders	Delegated	
Notes: Delegated: Out Of Office					
1	9	9/28/2023	Sabrina Joy-Hogg	Approve	10/2/2023
1	10	1/3/2024	Mayor Stoney	Approve	10/2/2023

History of Legislative File

Ver- sion:	Acting Body:	Date:	Action:	Sent To:	Due Date:	Return Date:	Result:
---------------	--------------	-------	---------	----------	-----------	-----------------	---------

Text of Legislative File Admin-2023-1252

Title

To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of two single-family detached dwellings, upon certain terms and conditions.

Body

O & R Request

DATE: September 26, 2023 **EDITION:** 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of two single-family detached dwellings, upon certain terms and conditions.

ORD. OR RES. No.

PURPOSE: To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of two single-family detached dwellings, upon certain terms and conditions.

REASON: The applicant is requesting a Special Use Permit for a second single-family detached dwelling in the R-5 Single Family Residential District, which would be located on a separate parcel after a lot split. The single-family dwelling is a permitted use but feature requirements regarding lot area and lot width cannot be met. Therefore, a Special Use Permit is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council.

BACKGROUND: The property is located in the Highland Terrace neighborhood between Craigie Avenue and Highland View Avenue. The property is currently a 4,200 (0.096 acre) parcel of land. The City’s Richmond 300 Master Plan designates a future land use for the subject property as Residential, which is defined as a “Neighborhood consisting primarily of single-family houses on large- or medium-sized lots more homogeneous in nature.”

Intensity: Buildings are generally one to three stories. Lot sizes generally range up to 5,000 to 20,000+ sq. ft. Residential density of 2 to 10 housing units per acre.

Primary Uses: Single-family houses, accessory dwelling units, and open space.

Secondary Uses: Duplexes and small multi-family buildings (typically 3-10 units), institutional, and cultural. Secondary uses may be found along major streets.

The current zoning for the property is R-5 - Residential (Single Family). Adjacent properties are within the same R-5 District. The area is generally residential properties.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 Application Fee

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: October 10, 2023

CITY COUNCIL PUBLIC HEARING DATE: November 13, 2023

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: Planning Commission
November 6, 2023

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Shaianna Trump, Associate Planner, Land Use Administration (Room 511) 646-7319

..Recommended Action

Key Issues:

Retain on Consent Agenda

Move to Regular Agenda

Refer Back to Committee

Remove from Council Agenda

Strike Withdrawn --- Continue to:



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review

Land Use Administration Division

900 E. Broad Street, Room 511

Richmond, Virginia 23219

(804) 646-6304

<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: _____ Date: _____

Parcel I.D. #: _____ Fee: _____

Total area of affected site in acres: _____

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: _____

Richmond 300 Land Use Designation: _____

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Lot division to construct one (1) new single-family detached dwelling fronting Groveland Avenue

Existing Use: _____

Is this property subject to any previous land use cases?

Yes

No

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: _____

Company: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _(_____) _____ Fax: _(_____) _____

Email: _____

Property Owner: _____

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _(_____) _____ Fax: _(_____) _____

Email: _____

Property Owner Signature: _____

Anthony J. Spence

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

March 21st, 2023

*Special Use Permit Request
3112 Woodcliff Avenue, Richmond, Virginia
Map Reference Number: N000-1055/012*

Submitted to: **City of Richmond**
Department of Planning and Development Review
Land Use Administration
900 East Broad Street, Suite 511
Richmond, Virginia 23219

Submitted by: **Baker Development Resources**
530 East Main Street, Suite 730
Richmond, VA 23219

Introduction

The applicant is requesting a special use permit (the "SUP") for the property known as 3112 Woodcliff Avenue (the "Property"). The SUP would authorize the division of the parcel and the construction of one new single-family detached dwelling. While that use is permitted by the underlying R-5 Single Family Residential zoning district, a number of the applicable feature requirements cannot be met. Therefore, the SUP is required.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is a "through lot" that shares frontage on Groveland and Woodcliff Avenues between their intersections with Craigie Avenue and Highland View Avenue. It is referenced by the City Assessor with a tax parcel number of N000-1055/012, is 30 feet in width and 140 feet in depth, and is currently improved with a "four square" dwelling fronting onto Woodcliff Avenue. According to the City Assessor's records, the Property is comprised of two original subdivision lots, being Lots 194 and 206 of the original Highland Terrace subdivision ("the Subdivision") from the early 1900s. These lots were configured back-to-back, with one fronting on Woodcliff Avenue and the other fronting on Groveland Avenue.



The lot pattern in the vicinity includes through lots as well as lots fronting on either Woodcliff or Groveland Avenues according to the original subdivision layout. Properties in the block are occupied with a combination of single- and two-family dwellings. Immediately to the north of the subject Property, the parcels at 3111 Groveland and 3114 Woodcliff, which are occupied with single-family detached dwellings, offer an example of the proposed back-to-back parcel layout.

Moving towards the nearby corridors of Brookland Park Boulevard to the south and Meadowbridge Road to the east, there are a variety of residential densities. These commercial corridors themselves are both within walking distance and include a variety of commercial, residential, office, mixed-use and institutional uses.

EXISTING ZONING

The Property and the surrounding properties are zoned R-5 Single-Family Residential, which permits single-family detached dwellings. The majority of properties in the immediate vicinity do not conform to the R-5 feature requirements such as lot area, lot width, and setbacks. In many cases, properties in the vicinity also do not meet the use requirements, that are applicable to this district, as demonstrated by the two-family dwelling in the block.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the "Master Plan") suggests "Residential" for the Property. The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages that developments reinforce a gridded street pattern to increase connectivity. Single-family dwellings are the contemplated primary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request, including:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to "Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options."
 - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to "Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers."
 - d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).
- Page 150 (Inclusive Housing Chapter), Objective 14.1 to "Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city."
- Amend the Zoning Ordinance to allow accessory dwelling units in all residential zones to allow for in-law apartments. (Inclusive Housing)
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.4 to "Increase the number of mixed-income communities along enhanced transit corridors."
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to "Encourage more housing types throughout the city and greater density along enhanced transit corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning Ordinance. "
- Page 159 (Thriving Environment Chapter) Objective 15.1 to "Reduce air pollution related to transportation."

- a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).
- Page 86 (High-Quality Places Chapter), Objective 1.4, to “maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards”
- Page 100 (High Quality Places Chapter), Objective 4.1, to “create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City,” as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

Proposal

PURPOSE OF REQUEST

The SUP would permit the division of the Property into two lots and the construction of a new single-family detached dwelling fronting on to Groveland Avenue. The existing single-family dwelling fronting Woodcliff Avenue would be retained, and the other lot and proposed dwelling would front onto Groveland Avenue. Each lot would be 30 feet in width and 70 feet in depth and would include 2,100 square feet in lot area. As a result, the R-5 Single Family Residential District lot width and lot area requirements would not be met. While this configuration is consistent with the Subdivision layout, the deed and zoning history applicable to this parcel make the SUP the required process to restore this configuration. This configuration was created by-right on the parcel immediately adjacent to the north at 3111 Groveland and 3114 Woodcliff Avenues. However, due to the lot history of the subject Property, a SUP is required to achieve the same lot configuration here.

Finally, the SUP would provide relief from required parking. Under normal zoning, one (1) off-street parking space would be required for each dwelling. In areas where public alley access is not available, particularly those areas that are also of a dense urban character, it is undesirable to provide off street parking accessed by driveways from the street. This is contrary to VisionZero and other planning guidance. For this reason, the zoning ordinance does not require off street parking on lots that are 35 feet or less in width and which do not have alley access. The SUP proposes on street parking in order to satisfy parking. The use of on street parking is consistent with the way in which the current residents along the street satisfy their parking needs.

PROJECT DETAILS/DESIGN

The proposed dwelling would be approximately twenty feet in width, 34 feet in depth, and two stories in height. It would include approximately 1,360 square feet of finished floor area and consist of three bedrooms and two-and-one-half bathrooms. The dwelling would be of a traditional urban design that is consistent with the architectural character found in the Highland Terrace neighborhood. The proposed floor plans are modern and efficient, and designed to be meet the needs of the market with floor plans that include a primary bedroom with en-suite bathroom and walk-in closet. A full-width front porch is also proposed for the new dwelling.

Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed SUP will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The proposed site improvements and density are consistent with the existing development in the vicinity. This request would simply permit the efficient utilization of the Property by allowing for new development to occur in a manner that is both of quality as well as consistent with the Subdivision. The improvement of the Property in conjunction with the high quality/benefits provided by the SUP will provide positive impacts in terms of health, welfare, etc., and furthermore will add to the vibrancy of the neighborhood.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods. The traffic generation for one dwelling unit will be negligible, especially within the context of a walkable neighborhood. In addition, the Property lies within a ten-minute walk to three different bus corridors, two of which (the "2" routes along North Avenue and the "3" routes along Meadowbridge Road) offer high-frequency 15-minute service and one of which (the "20" orbital route along Brookland Park Boulevard) offers a 30-minute frequency. Because of that, the Property is within a 30-minute bus commute to Downtown, Manchester, VCU, Scott's Addition, the Fan, the Museum District, and Carytown. As such, the SUP will not create congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The SUP will not tend to overcrowd the land or create an undue concentration of population. The request is reflective of the anticipated use of the Property for two dwelling units based on the original subdivision.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The SUP would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.

- *Interfere with adequate light and air.*

The light and air available to the subject and adjacent properties will not be affected. The massing of the proposed structures is similar to what the underlying zoning district and feature regulations applicable to single-family detached dwellings allow for by-right. As it relates to adjacent properties, normal side yard setbacks would be met.

Summary

In summary we are enthusiastically seeking approval for the construction of one single-family detached dwelling on the Property. The SUP represents an ideal, small-scale urban infill development for this location that is mindful of its surroundings. In exchange for the SUP, the quality assurances conditioned therein would guarantee the construction of a quality homeownership opportunities consistent with Master Plan guidance.

WOODCLIFF AVENUE

3112 WOODCLIFF AVENUE
ID:N0001055024
.096 ACRES
4200 SF

NOTES:

1. TC - TRASH TO BE SCREENED FROM ROW
2. RC - RECYCLING TO BE SCREENED FROM ROW
3. AC - HVAC UNIT
4. PS - 8'X18' GRAVEL PARKING SPACE
5. MULCH BEDS TO HAVE 2 BOX SHRUBS EACH
6. WALKS TO PORCHES TO BE CONCRETE
7. EXISTING CURB OPENING TO BE CLOSED WITH CURB, GUTTER, AND SIDEWALK TO MATCH ADJACENT

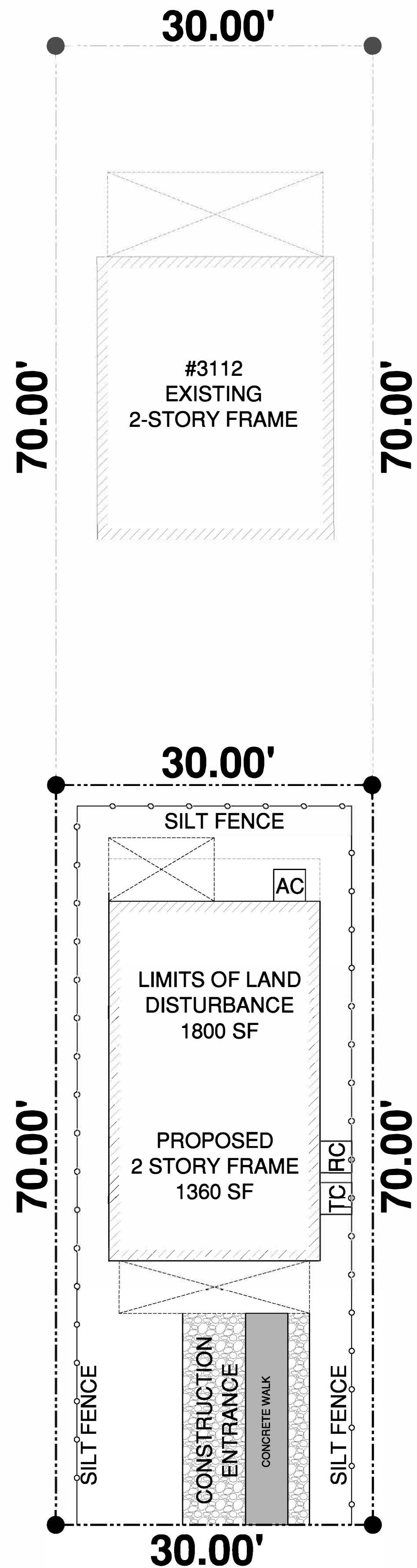
DESIGNED LOT COVERAGE:
 845 SF

ZONING:
 R-5
 SINGLE FAMILY-RESIDENTIAL

MINIMUM LOT REQUIREMENTS:
 6,000 SF

SETBACKS:
 FRONT YARD 25 FT.
 SIDE YARD 5 FT.
 REAR YARD 5 FT.

HEIGHT REQUIREMENTS:
 MAIN BUILDING 35 FT.
 ACCESSORY BUILDING 20 FT.
 FENCE OR WALL 6.5 FT. (SIDE & REAR YARD)
 FENCE OR WALL 4.0 FT. (FRONT YARD)



GROVELAND AVENUE

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SWN	1

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4509 PHONE

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
 PROPOSED SITE PLAN

SCALE	1/4"=1'-0"
PROJECT NO.	2023-11
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET	OF
A-100	

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SW	1

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE
 DESIGN CONSULTANT

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE
 GENERAL CONTRACTOR

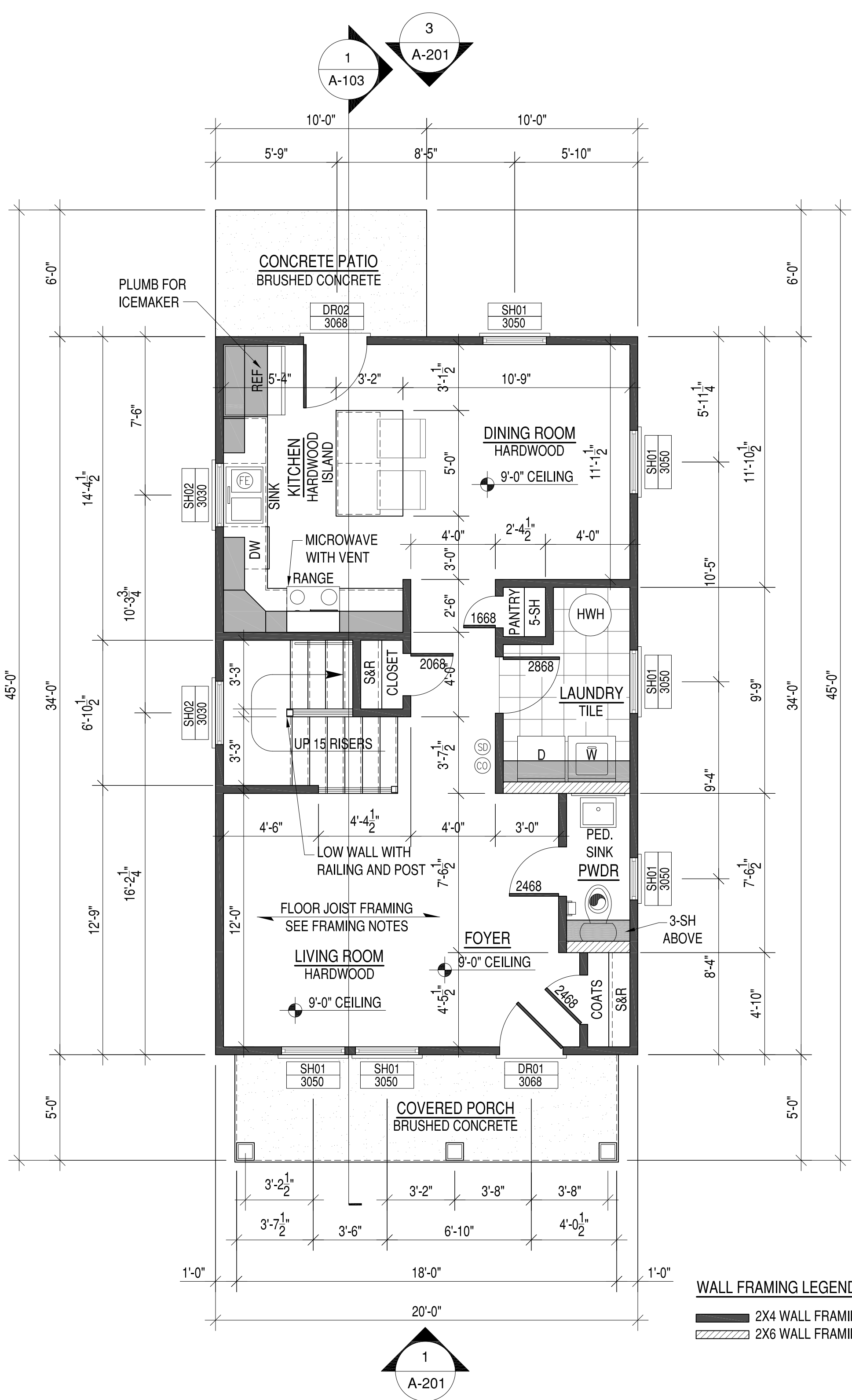
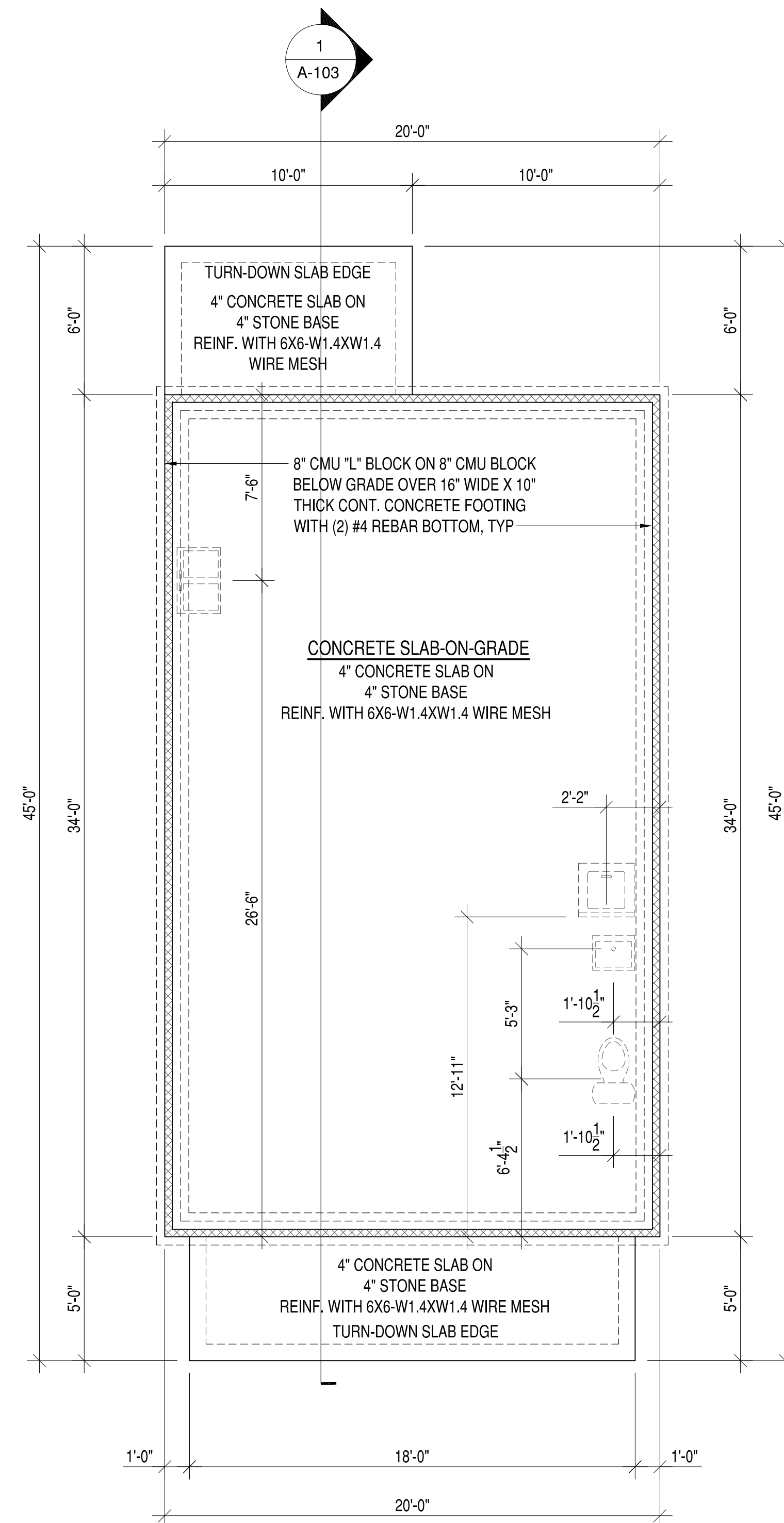
APPROVED

ACTIVITY

SATISFACTORY TO DATE
 DES: [initials] | DRW: JRP3 | CHK: JRP3

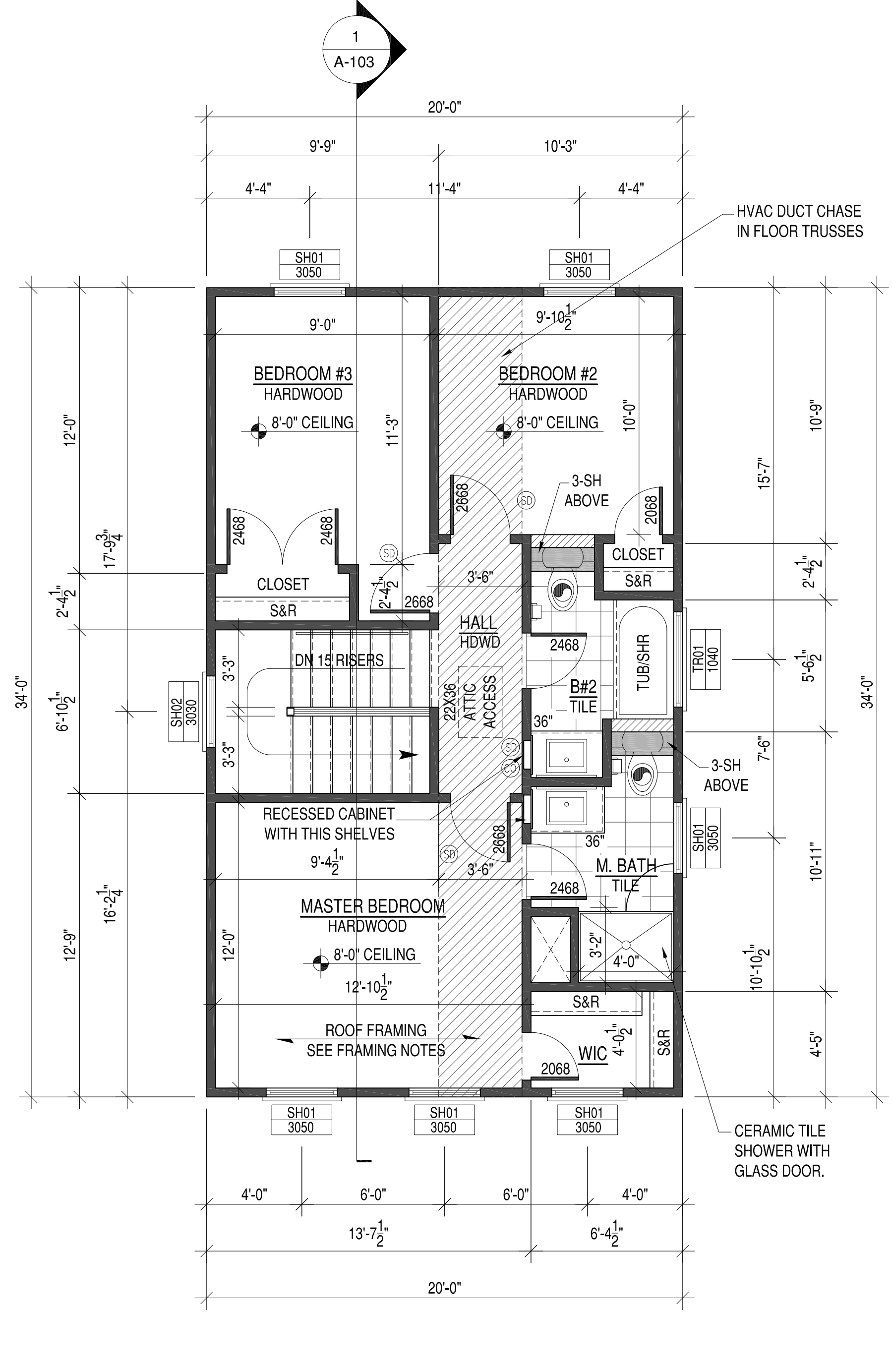
NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
FOUNDATION, FIRST AND SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
 PROJECT NO.: 2023-11
 CONSTR. CONTR. NO.
 DRAWING NO.
 SHEET OF
A-101



WALL FRAMING LEGEND

- 2X4 WALL FRAMING AT 16" OC. SHOWN 4-1/2" THICK (FINISHED).
- 2X6 WALL FRAMING AT 16" OC. SHOWN 6-1/2" THICK (FINISHED).



STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.

HANDRAILS & PICKETS:
 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.

LABEL DRYER VENT LENGTH ON DUCT
 ALL DRYWALL TO BE 1/2" EXCEPT GARAGE CEILING TO BE 5/8" TYPE X

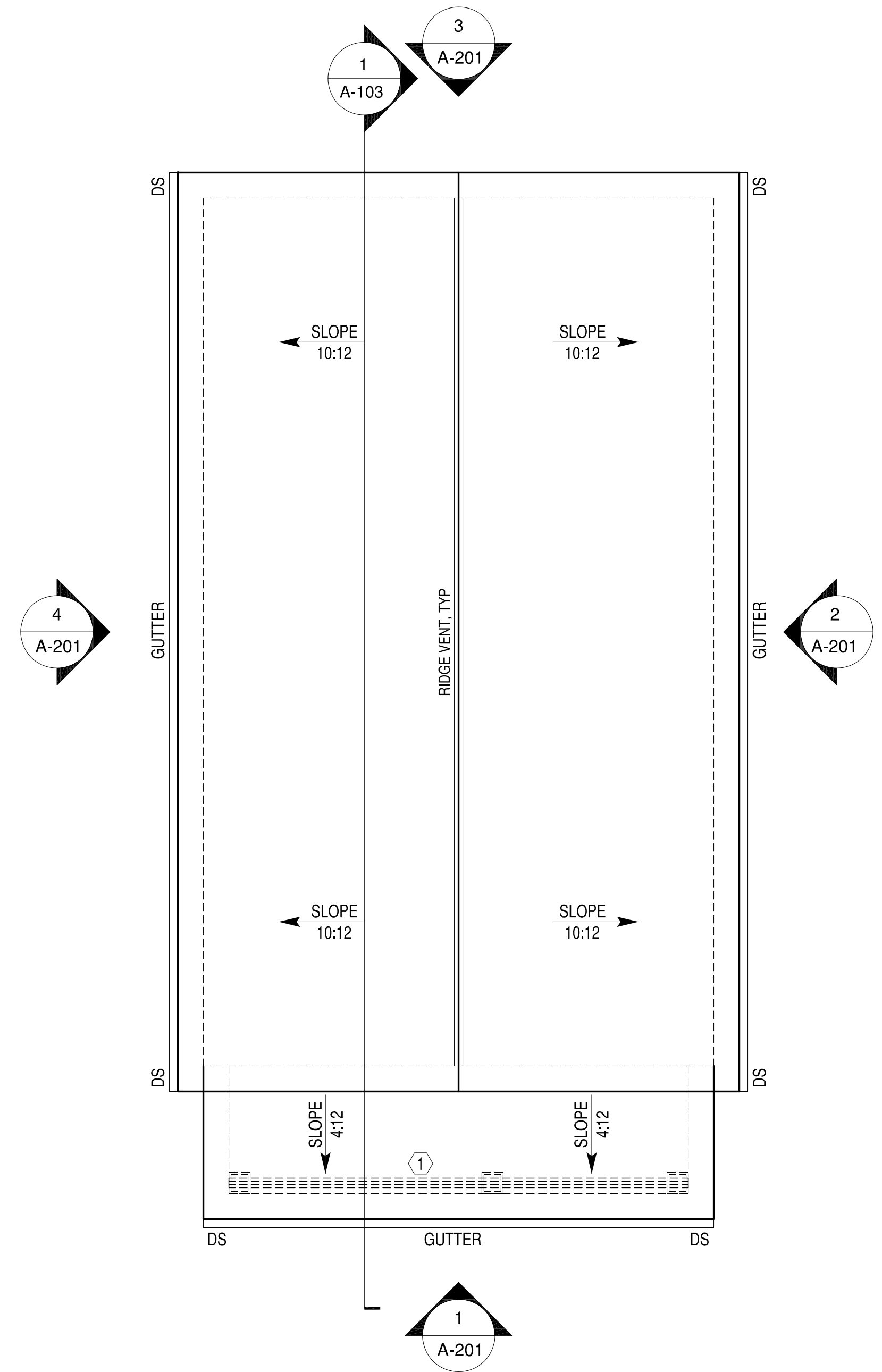
FE = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK

BATH FAN VENTED TO EXTERIOR
 CO = CARBON MONOXIDE DETECTOR
 SD = SMOKE DETECTOR

SQUARE FOOTAGES

FIRST FLOOR	=	680	SF
SECOND FLOOR	=	680	SF
TOTAL HEATED	=	1360	SF
FRONT PORCH	=	105	SF
REAR PATIO	=	60	SF

ATTIC AREA VENTILATION CALCULATIONS PER UNIT	
ATTIC AREA:	1565 SQ.FT. / 300*144 =
	751 SQ. IN. NET FREE AREA REQUIRED (50% MIN AT RIDGE)
RIDGE VENT:	20 L.F. X 18 SQ. IN. PER LINEAR FOOT =
	360 SQ. IN. PROVIDED
SOFFIT VENT:	146 L.F. X 5.867 SQ. IN. PER LINEAR FOOT =
	856 SQ. IN. PROVIDED
	TOTAL NET FREE ARE PROVIDED = 1,216 SQ. IN.
POWER VENT = (1) 12" AIRVENT, INC POWERCOOL PLUS 12 AUTOMATIC THERMOSTAT W/ HUMIDSTAT VENT FOR UP TO 1,650 SF OF ATTIC SPACE, INSTALL MULTIPLE VENTS FOR ADDITIONAL AREA.	
IF INSTALLING POWER VENT, DO NOT INSTALL RIDGE VENT	



PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES

- THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
- REFERENCE STANDARDS
 - NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
 - TPI-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
- MATERIALS
 - THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPERATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
 - LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
- DESIGN
 - THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
 - THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
 - METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A653, COATING CLASS G60. MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
 - IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
 - DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
 - DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
 - DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
- DESIGN LOADS
 - ROOF

5.1.1.	TOP CHORD DEAD LOAD	=	10	PSF
5.1.2.	TOP CHORD LIVE LOAD	=	20	PSF
5.1.3.	BOTTOM CHORD DEAD LOAD	=	10	PSF
5.1.4.	BOTTOM CHORD LIVE LOAD	=	0	PSF
5.1.5.	WIND LOADING:	SEE DESIGN LOADS SECTION ON SHEET S 001		
5.1.5.1.	NET WIND UPLIFT	=	8	PSF
 - DEFLECTIONS

5.2.1.	ROOF			
5.2.1.1.	MAXIMUM LIVE LOAD DEFLECTION	=	L/360, OR .625" MAXIMUM	
5.2.1.2.	MAXIMUM TOTAL LOAD DEFLECTION	=	L/240, OR 1.0" MAXIMUM	
- DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
- SUBMITALS
 - SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
 - SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
 - SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
 - INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

EXTERIOR DOOR SCHEDULE						
MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES
DR01	FRONT ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR
DR02	REAR ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR

- DOOR NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO ORDERING DOORS AND FRAMES.
 - ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
 - ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
 - ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

- DOOR HARDWARE SETS:**
- (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

WINDOW SCHEDULE						
MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES	
SH01	SINGLE HUNG	3'-0"	5'-0"	6'-8"	VINYL 1 OVER 1	
SH02	SINGLE HUNG	3'-0"	3'-0"	6'-8"	VINYL 1 OVER 1	
FIXED	FIXED WINDOW	3'-0"	2'-0"	SEE PLAN	VINYL 1 OVER 1	
TR01	TRANSOM	1'-0"	4'-0"	6'-8"	VINYL	

- WINDOW NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS AND FRAMES.
 - ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
 - SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND 5.7 SQUARE FEET NET CLEAR OPENING.
 - NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
 - SAFETY GLAZING SHALL BE TEMPERED.

ROOF PLAN

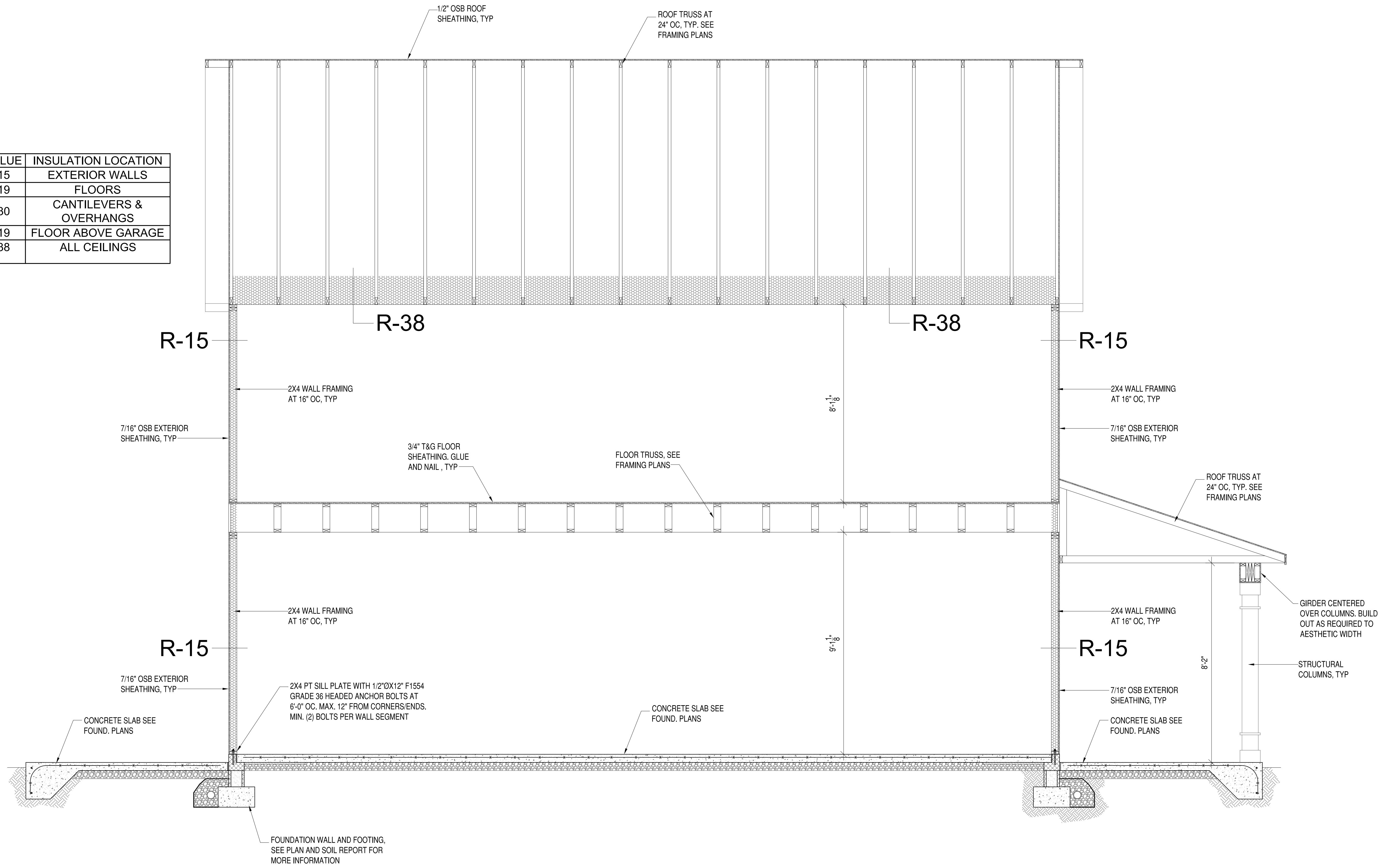
SCALE: 1/4"=1'-0"

- PLAN NOTES**
- ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC, TYP UNLESS OTHERWISE NOTED.
 - 12" OVERHANGS AND 12" GABLE END EXTENSIONS, TYP.

MARK	BEAM SIZE	REMARKS
(1)	(3) SPF NO.2 2X10 OR BETTER	DROPPED GIRDER

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SW	1
APPR	
<p>PENN & CO. 10921 PARKSHIRE LANE HENRICO, VA 23233 (703) 728-5779 PHONE <small>DESIGN CONSULTANT</small></p>	
<p>ANTHONY SPENCE 18705 SW 25TH COURT MIRAMAR, FL 33029 (954) 205-4309 PHONE <small>GENERAL CONTRACTOR</small></p>	
<p>NEW SINGLE FAMILY RESIDENCE 3112 WOODCLIFF AVENUE RICHMOND, VA 23222 ROOF PLAN & DOOR AND WINDOW SCHEDULE</p>	
SCALE: 1/4"=1'-0"	
PROJECT NO.: 2023-11	
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET	OF
A-102	

R VALUE	INSULATION LOCATION
R-15	EXTERIOR WALLS
R-19	FLOORS
R-30	CANTILEVERS & OVERHANGS
R-19	FLOOR ABOVE GARAGE
R-38	ALL CEILINGS



DATE	DESCRIPTION	APPROVED
3-18-2023	PERMIT PLANS	
	1	

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
 BUILDING SECTION

SCALE: 1/4"=1'-0"
PROJECT NO.: 2023-11
CONSTR. CONTR. NO.:
DRAWING NO.:
SHEET OF
A-103

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SW	1
APPR	

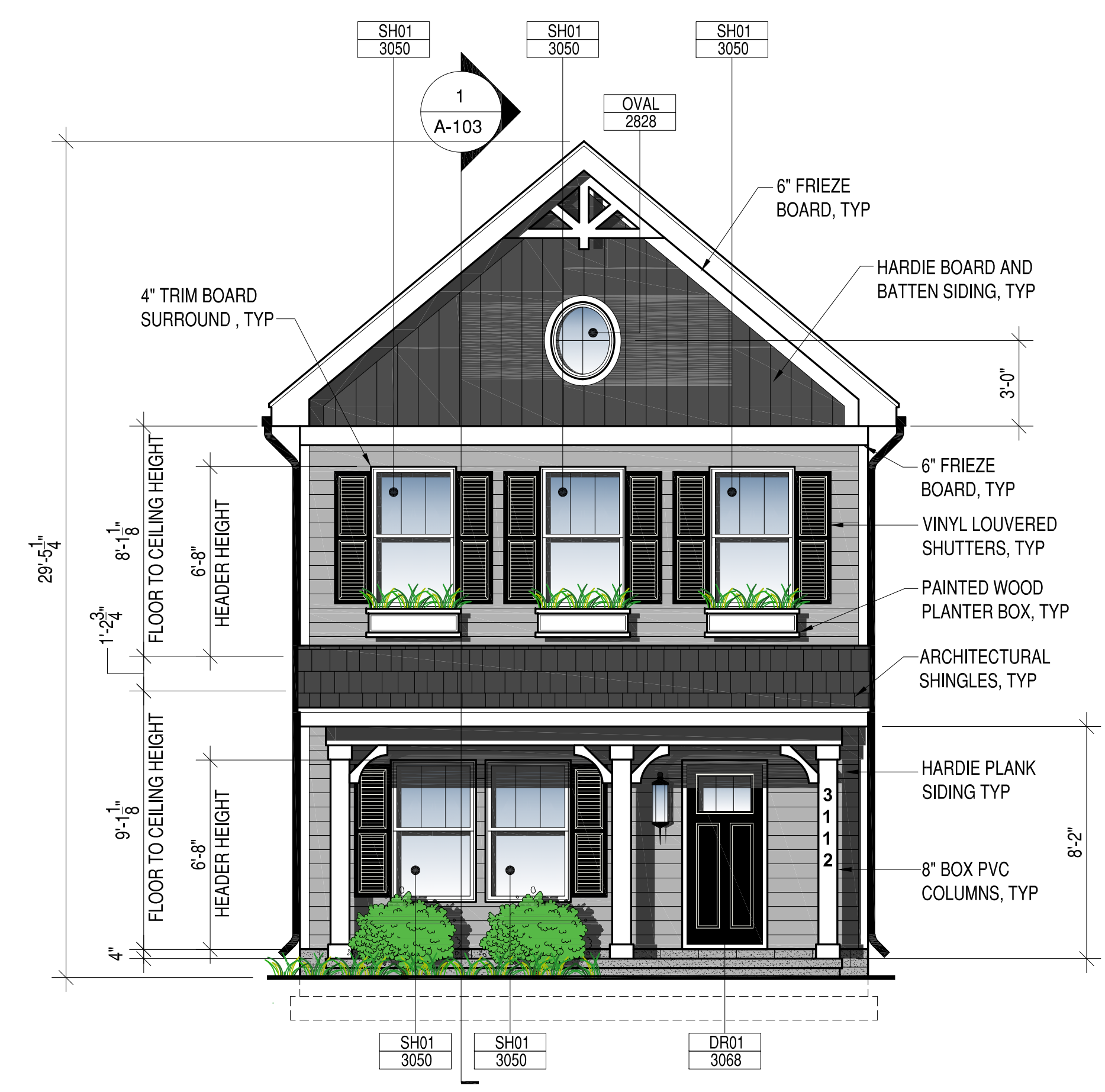
PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE
DESIGN CONSULTANT

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE
GENERAL CONTRACTOR

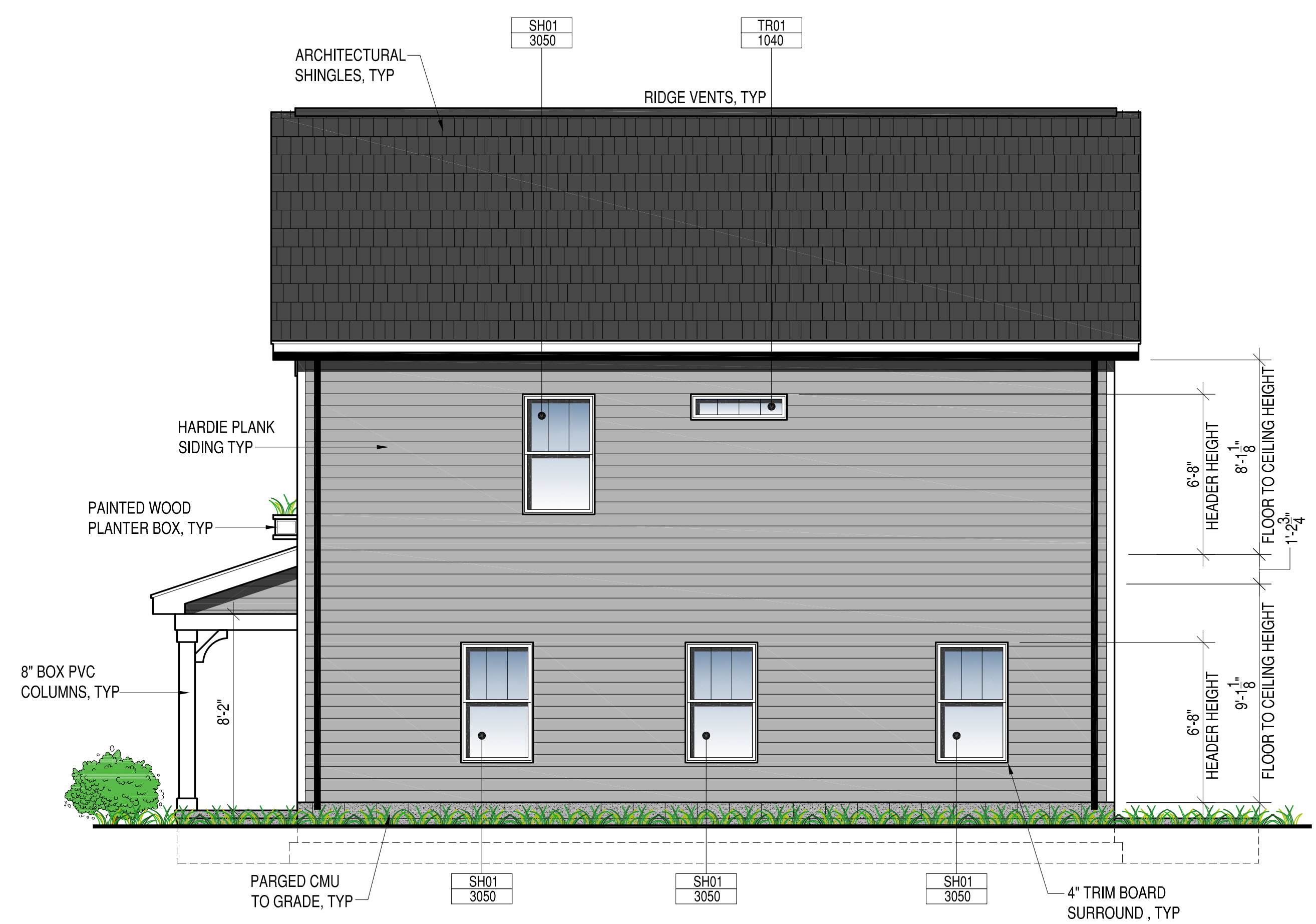
APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW_JRP3 CHK_JRP3

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
 FRONT, REAR, RIGHT AND LEFT ELEVATIONS

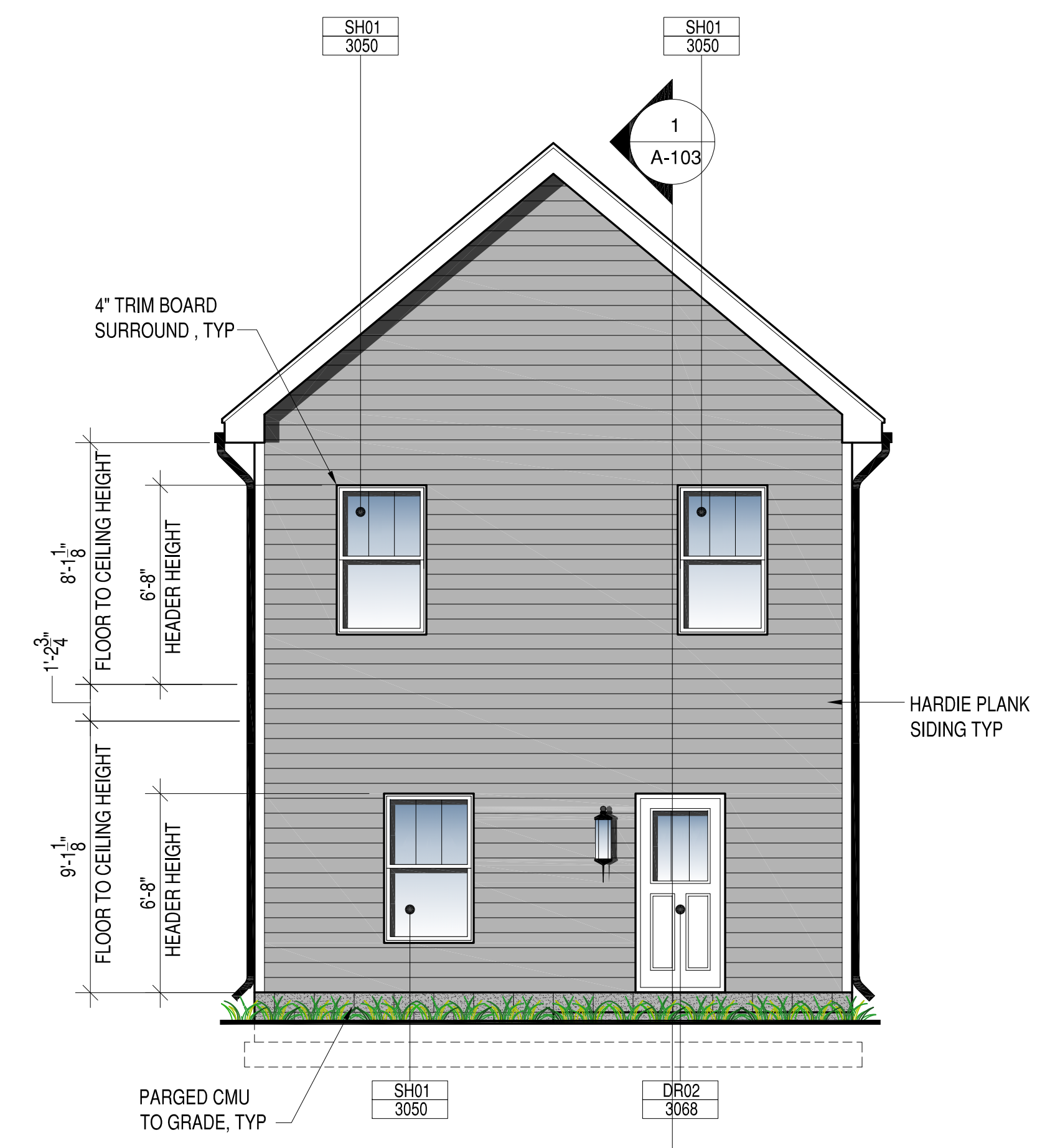
SCALE: 1/4"=1'-0"
PROJECT NO: 2023-11
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-201



1 FRONT ELEVATION
 A-201 SCALE: 1/4"=1'-0"



2 LEFT ELEVATION
 A-201 SCALE: 1/4"=1'-0"



3 REAR ELEVATION
 A-201 SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION
 A-201 SCALE: 1/4"=1'-0"

GENERAL NOTES

- 1. DESIGN BUILD CODE: 2015 VIRGINIA RESIDENTIAL BUILDING CODE
2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING.
4. DESIGN LOADS: LIVE LOADS, DEAD LOADS, WIND

SITE WORK

- 1. SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES.
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-6" BELOW GRADE.
3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE.
2. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

WOOD

- 1. ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE.)
2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE

- 6. LVL (LAMINATED VENEER LUMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNO.
7. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS.
9. STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS.

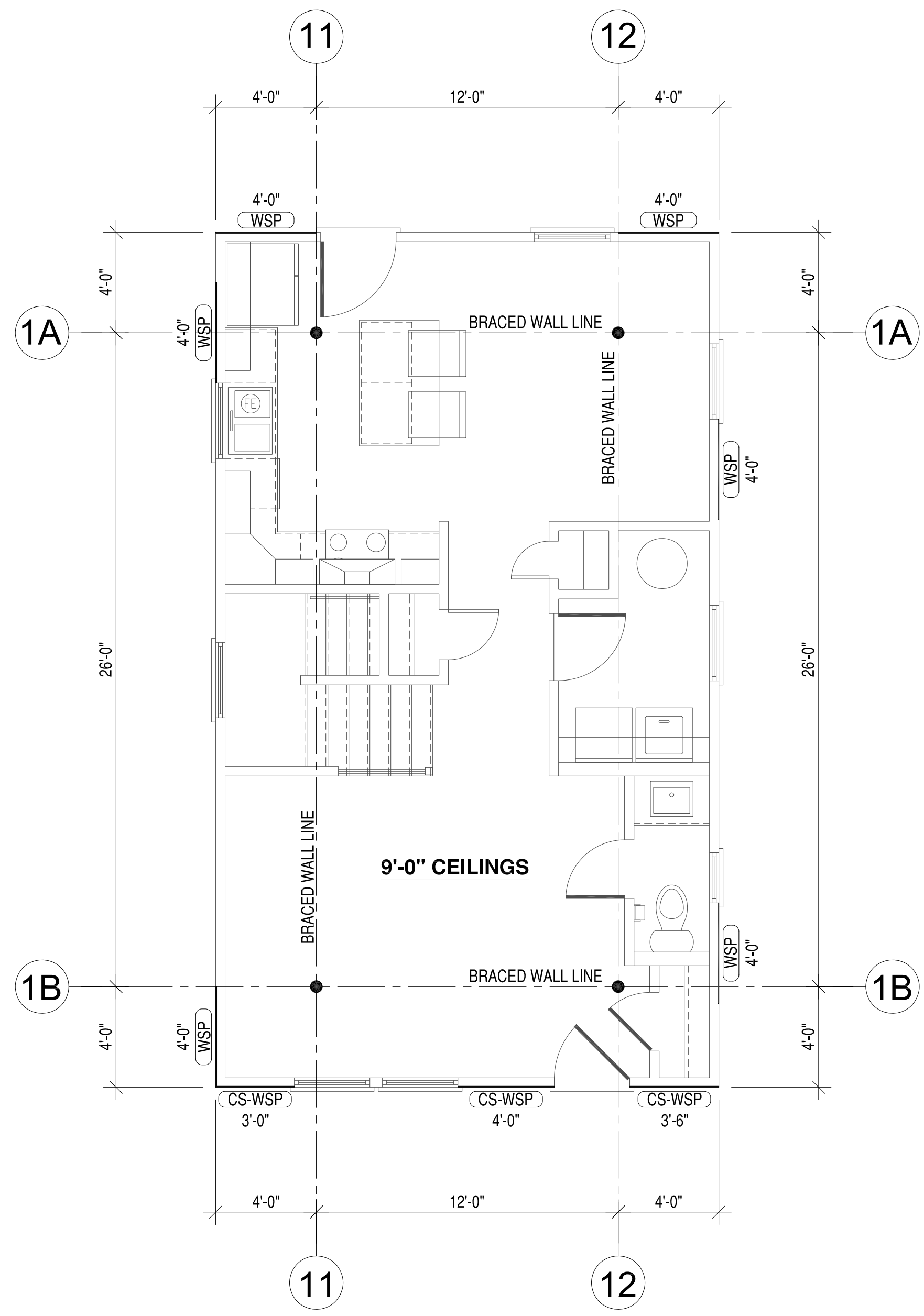
CONCRETE MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI.
2. MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS.
3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAY, 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP.

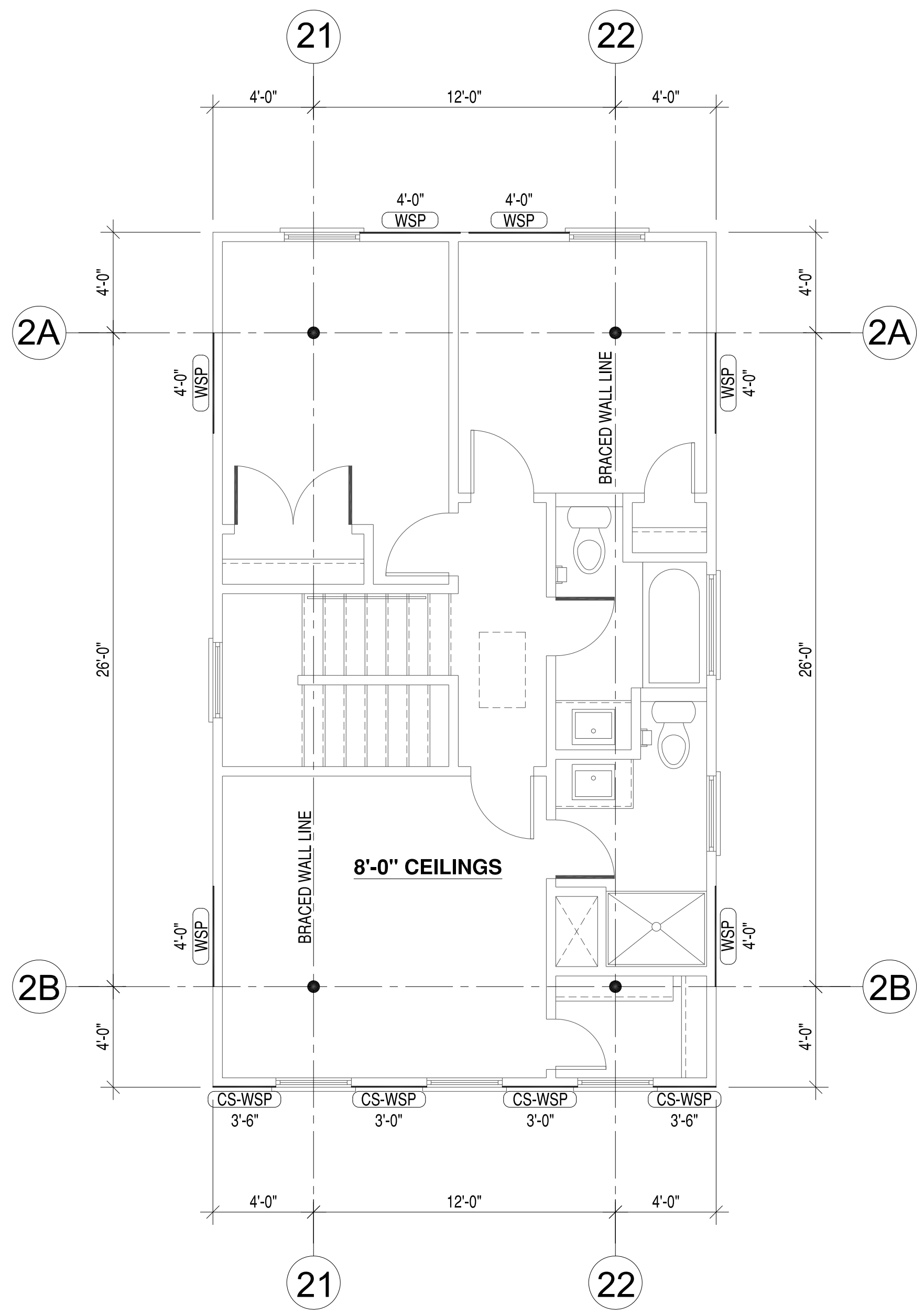
MASONRY

- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES.
3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.

Project title: NEW SINGLE FAMILY RESIDENCE
Address: 3112 WOODCLIFF AVENUE, RICHMOND, VA 23222
Structural General Notes
Scale: 1/4"=1'-0"
Project No: 2020-11
Constl. Contr. No.
Drawing No.
Sheet: S-001



FIRST FLOOR BRACED WALL PLAN
 SCALE: 1/4"=1'-0"



SECOND FLOOR BRACED WALL PLAN
 SCALE: 1/4"=1'-0"

- BRACED WALL PLAN NOTES:**
- DESIGN AND CALCULATIONS BASED ON 2015 IRC SECTION R602.10.
 - DESIGN BASED ON 90 MPH WIND SPEED, SEE CALCULATIONS.
 - CLASSIC WALL BRACING METHOD USED.
 - DENOTES BRACED WALL PANELS.
 - BLOCK HORIZONTAL SHEATHING JOINTS AT ALL BRACED WALL LINES AT FIRST FLOOR AND BRACED WALL LINES 2A AND 2B AT SECOND FLOOR.

WIND SPEED (MPH)		90				11				12				1A				1B				21				22				2A				2B			
BWL DESIGNATION		11				12				1A				1B				21				22				2A				2B							
NUMBER OF FLOORS ABOVE BWL		1				1				1				1				0				0				0				0							
BWP METHOD		WSP				WSP				WSP				CS-WSP				WSP				WSP				WSP				CS-WSP							
AVERAGE BWL SPACING (ft)		12				12				26				26				12				12				26				26							
TABULAR REQUIREMENT (ft)		4.70				4.70				9.30				8.00				2.40				2.40				4.90				4.40							
COMPLIANCE	EXPOSURE	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00								
	EAVE-TO-RIDGE HT (ft)	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00	10.00	1.00								
	MAXIMUM WALL HEIGHT (ft)	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95								
	NUMBER OF BWLS	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00								
	OMIT INTERIOR FINISH	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00								
	ADD PARI ROOF HOLD DOWNS	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00								
	HORIZONTAL JOINTS BLOCKED	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	No	2.00	No	2.00	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00								
	REDUCED FASTENER SPACING	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00								
	REQUIRED BWP LENGTH (ft)	4.47				4.47				8.84				7.60				4.32				4.32				4.41				3.96							
	ACTUAL BWP	CONTRIBUTING LENGTH (ft)	1	WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP	3.00					WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP	3.00					WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP	3.00		
WSP, SFE = actual		2	WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP	3.00					WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP	3.00					WSP	4.00	WSP	4.00	WSP	4.00	CS-WSP	3.00			
OR (S) = 0.5 x actual		3									WSP	4.00	CS-WSP	3.00																							
OR (S) = actual		4																																			
CS-WSP = 1.5 x actual		5																																			
PPH = 1.5 x actual		6																																			
PPH, ABW = 4 feet		7																																			
ACTUAL BWP LENGTH (ft)	8.00				8.00				12.00				10.50				8.00				8.00				8.00				13.00								
ACTUAL ≥ REQUIRED?	PASS				PASS				PASS				PASS				PASS				PASS				PASS				PASS								
BWP ≤ 20' APART?	Yes				Yes				Yes				Yes				Yes				Yes				Yes				Yes								
≥ 2 PANELS IN BWL?	Yes				Yes				Yes				Yes				Yes				Yes				Yes				Yes								
BWP BEGINS ≤ 10' FROM END?	Yes				Yes				Yes				Yes				Yes				Yes				Yes				Yes								
CONTINUOUS SHEATHING	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2	END 1	END 2							
END CONDITIONS	NA	NA	NA	NA	NA	NA	NA	NA	1	1					NA	NA	NA	NA	NA	NA	NA	NA	1	1													
BWL COMPLIANCE	PASS				PASS				PASS				PASS				PASS				PASS				PASS												

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
FIRST & SECOND FLOOR BRACED WALL PLAN

DATE: 3-18-2023
 PERMIT PLANS
 1 SW DESCRIPTION
 APPROVED: [Signature]
 ACTIVITY: [Blank]
 SATISFACTORY TO: DATE: [Blank]
 DES: [Blank] | DRW: JRP3 | CHK: JRP3

SCALE: 1/4"=1'-0"
 PROJECT NO.: 2023-11
 CONST. CONTR. NO.: [Blank]
 DRAWING NO.: [Blank]
 SHEET OF
S-102

DATE	3-18-2023
DESCRIPTION	PERMIT PLANS
SW	1
APPR	

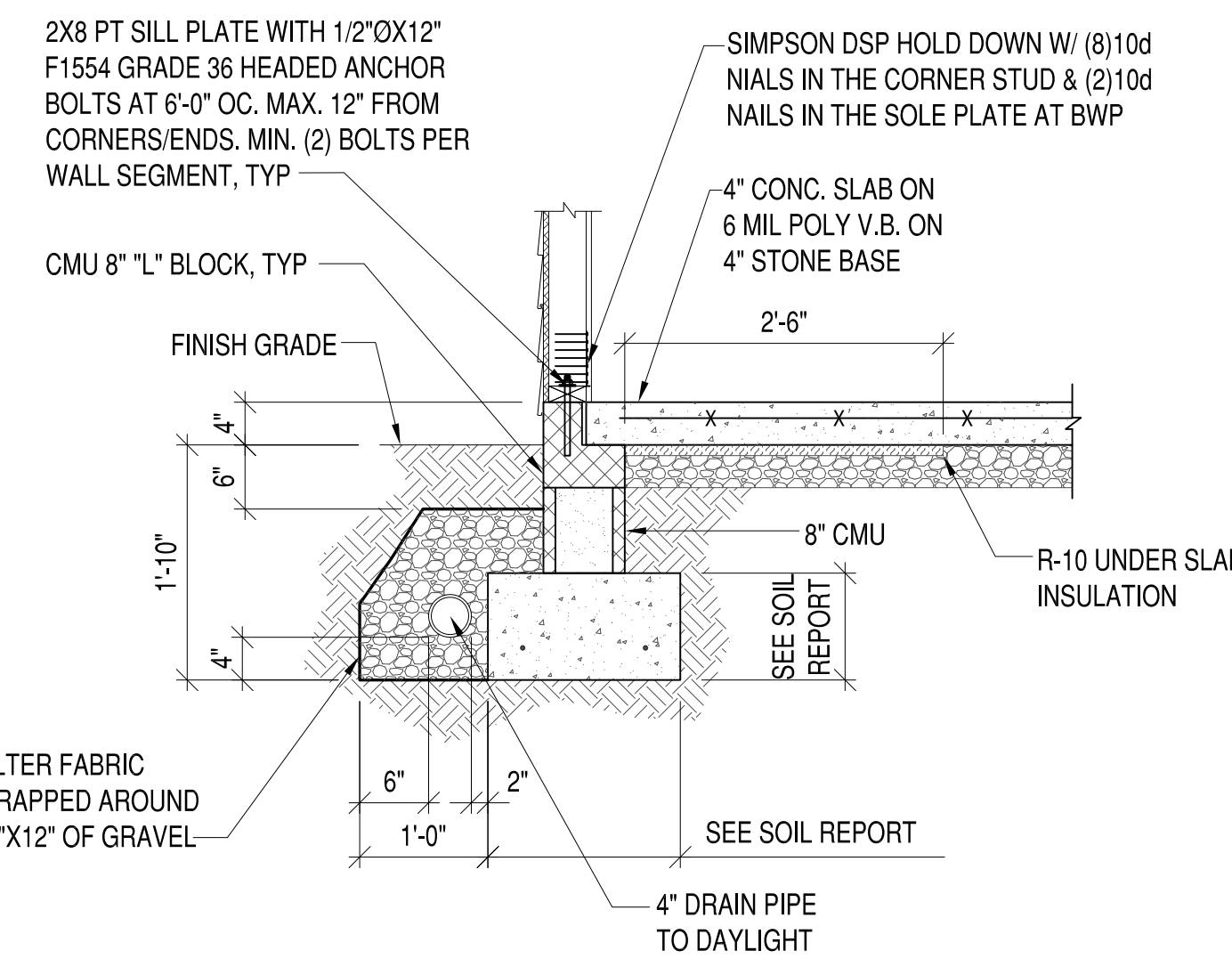
PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE
DESIGN CONSULTANT

ANTHONY SPENCE
 18705 SW 25TH COURT
 MIRAMAR, FL 33029
 (954) 205-4309 PHONE
GENERAL CONTRACTOR

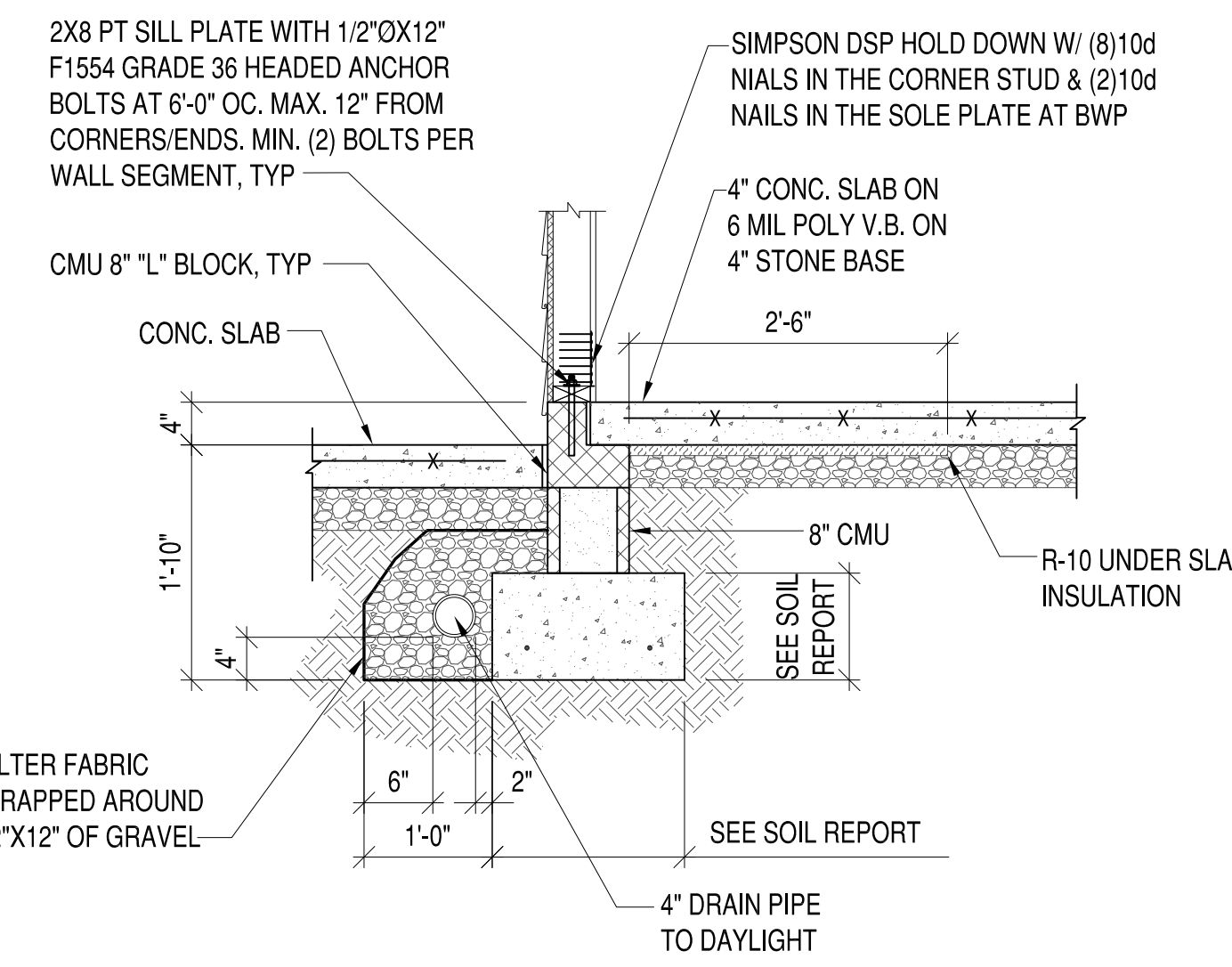
APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW, JRP3
CHK	JRP3

NEW SINGLE FAMILY RESIDENCE
 3112 WOODCLIFF AVENUE
 RICHMOND, VA 23222
TYPICAL FOUNDATION AND FRAMING SECTIONS

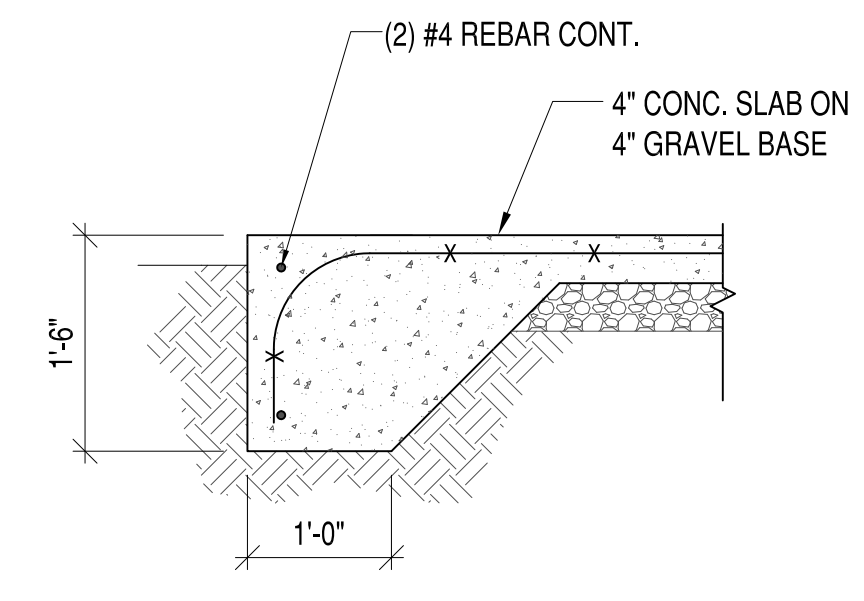
SCALE	1/4"=1'-0"
PROJECT NO.	2023-11
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET	OF
S-201	



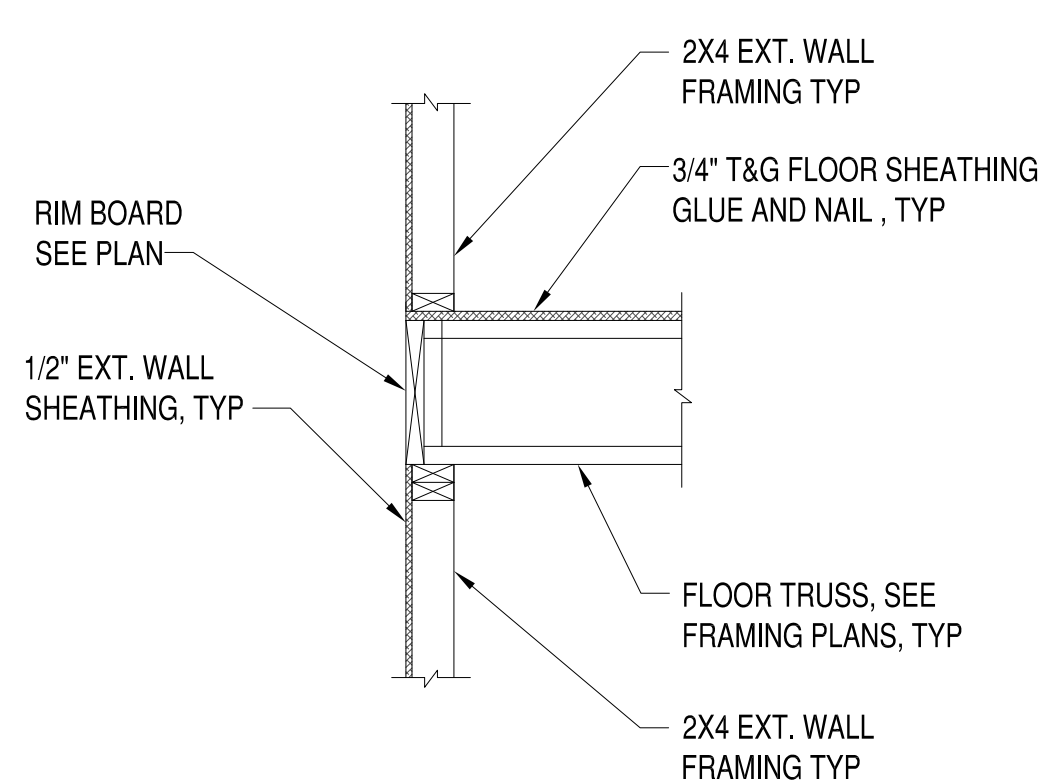
1 TYP. FOUNDATION SECTION
 S-201 3/4"=1'-0"



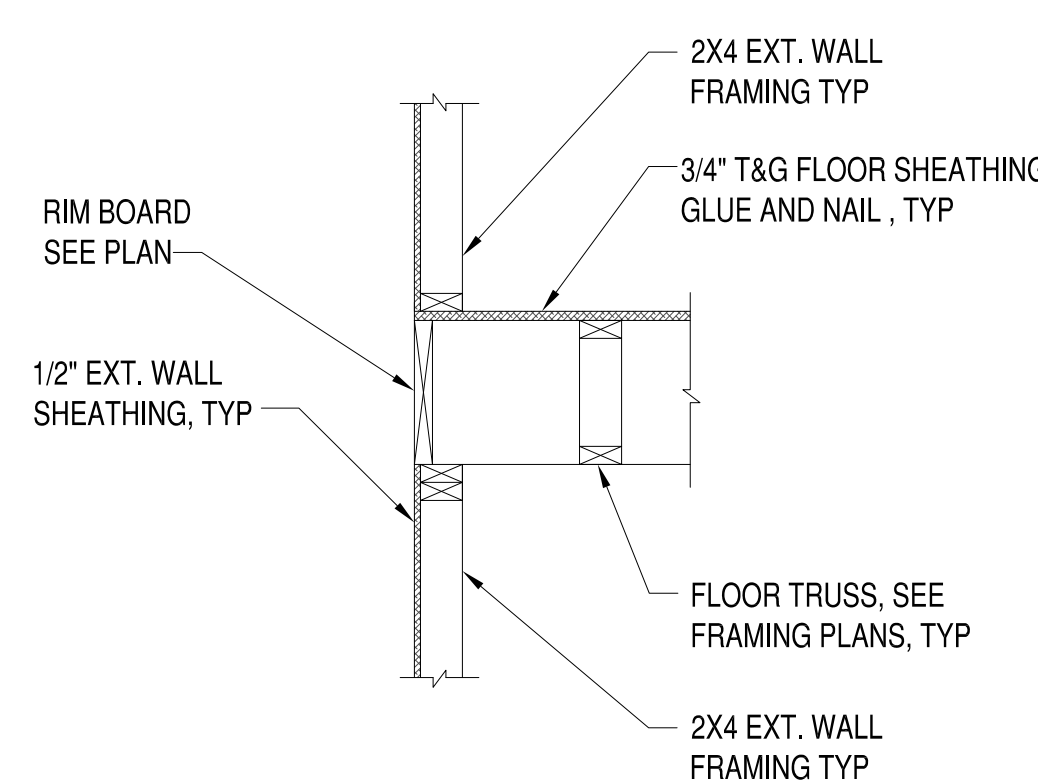
2 FOUNDATION SECTION AT PORCH
 S-201 3/4"=1'-0"



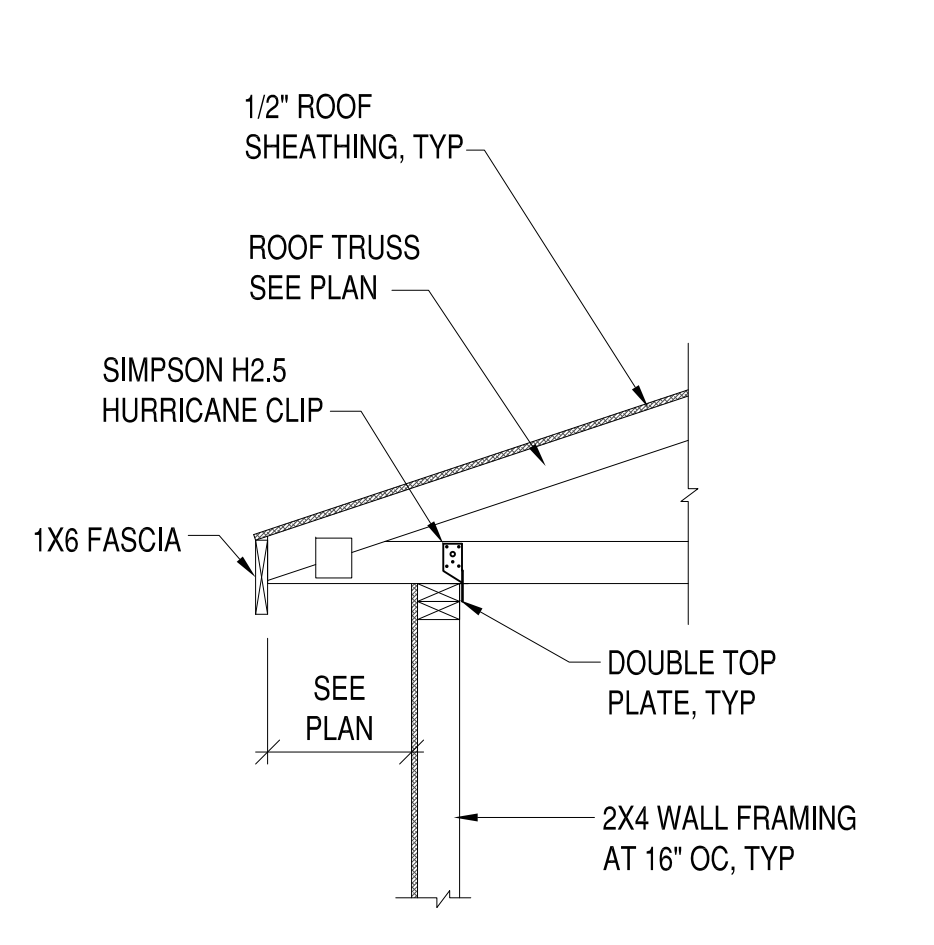
3 FOUNDATION SECTION AT PORCH EDGE
 S-201 3/4"=1'-0"



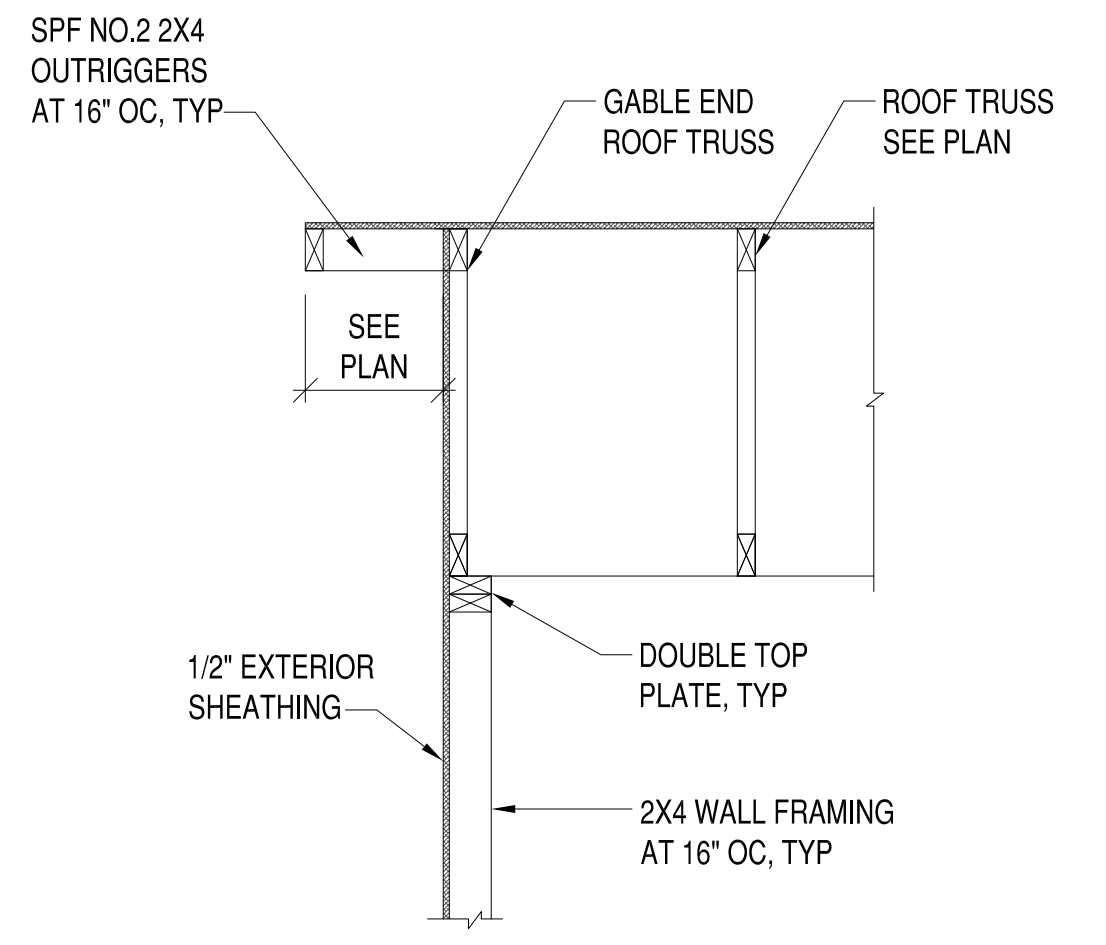
4 SECTION AT 2ND. FLOOR JOIST
 S-201 3/4"=1'-0"



5 SECTION AT 2ND. FLOOR JOIST
 S-201 3/4"=1'-0"

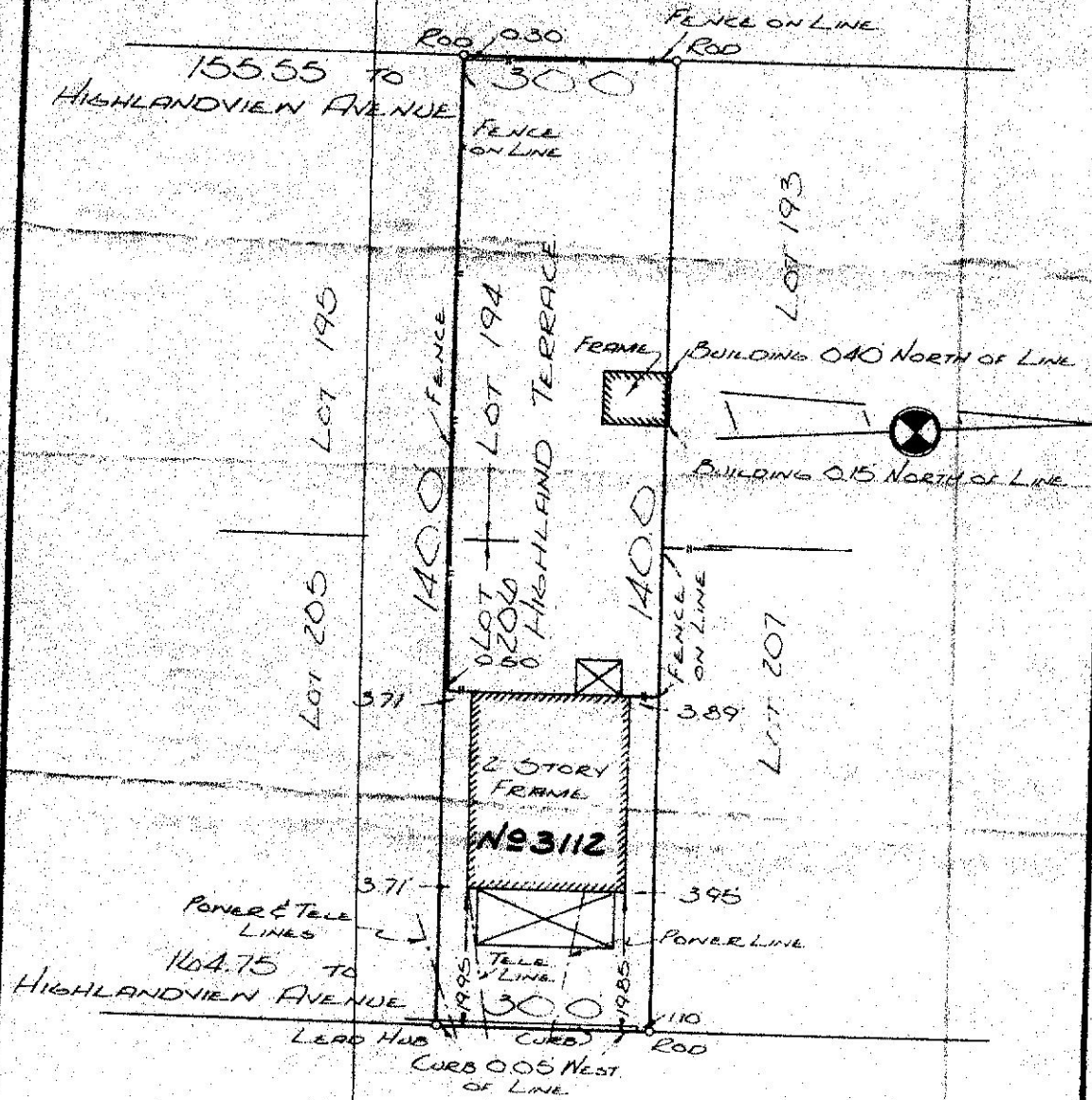


6 SECTION @ ROOF TRUSS
 S-201 3/4"=1'-0"



7 SECTION @ ROOF GABLE END
 S-201 3/4"=1'-0"

GROVELAND AVENUE



WOODCLIFFE AVENUE

Plot of Property Situated
 on the Western Line of
 Woodcliffe Avenue and North
 of Highlandview Avenue.

Richmond, Va.

May 17, 1968

Scale 1"=20'

CHAS. H. FLEET & ASSOCS.
 CERTIFIED SURVEYORS

FILE 2878