

INTRODUCED: September 25, 2023

AN ORDINANCE No. 2023-284

To authorize the special use of the property known as 6426 Three Chopt Road for the purpose of an accessory building, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: NOV 13 2023 AT 6 P.M.

WHEREAS, the owner of the property known as 6426 Three Chopt Road, which is situated in a R-1 Single-Family Residential District, desires to use such property for the purpose of an accessory building, which use, among other things, is not currently allowed by section 30-680.1, concerning location within required yards, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: NOV 13 2023 REJECTED: _____ STRICKEN: _____

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 6426 Three Chopt Road and identified as Tax Parcel No. W021-0251/006 in the 2023 records of the City Assessor, being more particularly shown on a survey entitled “Survey of Lot and Improvements Thereon Located at #6426 Three Chopt Road, Richmond, Virginia,” prepared by A. G. Harocopos & Associates, P.C., and dated June 7, 2019, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of an accessory building, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Fraser Garage, 6426 Three Chopt Rd, Richmond, Virginia, 23226,” prepared by Menlo Architecture, and dated May 24, 2023, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as an accessory building, substantially as shown on the Plans.

(b) All building materials, elevations, and site improvements, including landscaping, shall be substantially as shown on the Plans.

(c) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

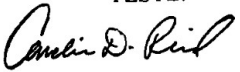
(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:
TESTE:


City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Master

File Number: Admin-2023-0230

File ID: Admin-2023-0230

Type: Request for Ordinance or Resolution

Status: Regular Agenda

Version: 2

Reference:

In Control: City Clerk Waiting Room

Department:

Cost:

File Created: 05/01/2023

Subject:

Final Action:

Title: To authorize the special use of the property known as 6426 Three Chopt Road for the purpose of an accessory building, upon certain terms and conditions.

Internal Notes:

Code Sections:

Agenda Date: 07/24/2023

Indexes:

Agenda Number:

Patron(s):

Enactment Date:

Attachments: Admin-2023-0230 - Application Documents,
Admin-2023-0230 - Draft Ordinance

Enactment Number:

Contact:

Introduction Date:

Drafter: David.Watson@rva.gov

Effective Date:

Approval History

Version	Seq #	Action Date	Approver	Action	Due Date
2	1	6/26/2023	Matthew Ebinger	Approve	6/28/2023
2	2	6/27/2023	Kevin Vonck	Approve	7/3/2023
2	3	6/27/2023	Kris Daniel-Thiem - FYI	Notified - FYI	
2	4	6/27/2023	Sharon Ebert	Approve	7/4/2023
2	5	6/27/2023	Alecia Blackwell - FYI	Notified - FYI	
2	6	6/27/2023	Caitlin Sedano - FYI	Notified - FYI	
2	7	6/27/2023	Jeff Gray - FYI	Notified - FYI	
2	8	7/7/2023	Lincoln Saunders	Approve	6/29/2023
2	9	7/19/2023	Mayor Stoney	Approve	7/11/2023

History of Legislative File

Ver- sion:	Acting Body:	Date:	Action:	Sent To:	Due Date:	Return Date:	Result:
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Text of Legislative File Admin-2023-0230

Title

To authorize the special use of the property known as 6426 Three Chopt Road for the purpose of an accessory building, upon certain terms and conditions.

Body

O & R Request

DATE: June 26, 2023 **EDITION:** 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 6426 Three Chopt Road for the purpose of an accessory building, upon certain terms and conditions.

ORD. OR RES. No.

PURPOSE: To authorize the special use of the property known as 6426 Three Chopt Road for the purpose of an accessory building, upon certain terms and conditions.

REASON: The subject property is located in the R-1 Single-Family Residential District where accessory buildings are permitted uses provided certain lot feature requirements are met. The proposal to construct an accessory building in the front yard area of the property does not meet these requirements. Therefore, a Special Use Permit is requested.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council.

BACKGROUND: The .788 acre subject property is located on the northern side of Three Chopt Road midblock between Honaker Avenue and Tiber Lane. The property does not have alley access.

The subject property, as well as the other properties on the block, is improved with a single-family dwelling.

The City's Richmond 300 Master Plan designates the property for Residential uses which consists primarily of single-family houses on large- or medium-sized lots more homogeneous in nature.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City’s budget for this or future fiscal years.

FISCAL IMPLICATIONS: The Department of Planning and Development Review does not anticipate any impact to the City’s budget for this or future fiscal years.

BUDGET AMENDMENT NECESSARY: None

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: July 24, 2023

CITY COUNCIL PUBLIC HEARING DATE: September 11, 2023

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission, September 5, 2023

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Application Form, Applicant’s Report, Plans, Survey, Draft Ordinance

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036

..Recommended Action

Key Issues:

- Retain on Consent Agenda
- Move to Regular Agenda
- Refer Back to Committee
- Remove from Council Agenda
- Strike Withdrawn --- Continue to:



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review

Land Use Administration Division

900 E. Broad Street, Room 511

Richmond, Virginia 23219

(804) 646-6304

<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 6426 Three Chopt Road Date: _____

Tax Map #: W0210251006 Fee: \$300

Total area of affected site in acres: 0.788 acres

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-1

Existing Use: Single-Family Detached Dwelling

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Construct an accessory 2-car garage

Existing Use: Single-Family Detached Dwelling

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Will Gillette / Mark Baker

Company: Baker Development Resources

Mailing Address: 530 East Main Street, Suite 730

City: Richmond State: VA Zip Code: 23219

Telephone: (804) 874-6275 Fax: ()

Email: markbaker@bakerdevelopmentresources.com

Property Owner: James M Fraser

If Business Entity, name and title of authorized signer: _____


(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 6426 Three Chopt Road

City: RICHMOND State: VA Zip Code: 23226

Telephone: (434) 825 5912 Fax: ()

Email: _____

Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

February 23rd, 2023

*Special Use Permit Request
6426 Three Chopt Rd, Richmond, Virginia
Map Reference Number: W021-0251/006*

Submitted to:	City of Richmond Department of Planning and Development Review Land Use Administration 900 East Broad Street, Suite 511 Richmond, Virginia 23219
Submitted by:	Baker Development Resources 530 East Main Street, Suite 730 Richmond, Virginia 23219

Introduction

The property owner is requesting a special use permit (the "SUP") for 6426 Three Chopt Road (the "Property"). The SUP would authorize the construction of a new two-story accessory garage. While the accessory structure is permitted by the underlying R-1 Single-Family Residential District, certain feature requirements are not met, and therefore, a SUP is required.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The subject property is located on the north side of Three Chopt Road between Honaker Avenue and Old Mill Road. The Property is referenced by the City Assessor as tax parcel W021-0251/006 and is currently improved with an owner-occupied single-family detached dwelling. The Property is approximately 117 feet in width and contains roughly 34,316 square feet of lot area.



The properties in the immediate vicinity are developed primarily with residential uses though institutional uses (The University of Richmond and St. Christopher's School) can

also be found nearby. Single-family detached dwellings are the most prevalent residential use.

EXISTING ZONING

The Property and those immediately surrounding it are located within the R-1 Single Family Residential District. Beyond that to the north are properties zoned R-4 Single Family Residential and to the east are several properties zoned R-2 Single Family Residential. Lastly, to the south is the University of Richmond campus which is zoned Institutional.

MASTER PLAN DESIGNATION

The request is consistent with the Richmond 300 Master Plan (the "Master Plan"), which suggests "Residential" for the Property. The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages developments to reinforce a gridded street pattern in order to increase connectivity. Single-family dwellings are the contemplated primary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request:

- Page 86 (High-Quality Places Chapter), Objective 1.4, to "maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards"
- Page 100 (High Quality Places Chapter), Objective 4.1, to "create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City," as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

TRANSPORTATION

The Property is located along Three Chopt Road which is not serviced by a bus route. The closest active route is Route 79 which runs along Patterson Avenue and provides connection from Gayton Crossing to Staples Mill.

Proposal

PROJECT SUMMARY

The SUP would authorize the construction of a new two-story accessory garage towards the front of the Property which would be accessed by the existing driveway. While the proposed use is permitted by the underlying R-1 Single-Family Residential District, some of the feature requirements cannot be met and therefore, a SUP is required.

PURPOSE OF REQUEST

The Property is of a typical size and configuration for the area. The owner now proposes to construct a two-story detached garage. The owner is situating the garage near the front of the Property to utilize the existing driveway and retain as much of the existing vegetation and landscaping as possible. Importantly, the existing evergreen hedge along the property line will screen the proposed garage from the street and nearby properties. While the proposed use is permitted by the underlying R-1 zoning regulations, the front yard setback is not met, and therefore, a SUP is required in order to permit the proposed development.

In exchange for the SUP, the intent of this request is to provide thoughtfully designed new construction in a manner not otherwise assured by-right. Furthermore, the quality assurances conditioned through the SUP would guarantee a high-quality development and ensure an appropriately scaled use that is compatible with and complementary to the surrounding residential neighborhood.

PROJECT DETAILS

When complete, the proposed two-story accessory garage structure would be located toward the southwest corner of the Property. The footprint of the structure is approximately 30 feet by 26 feet. The first floor includes space for two cars and includes a staircase leading to the second floor. The second floor would be open, and the homeowner reserves the right to occupy the second floor as livable space subject to the underlying zoning. The exterior would include a painted stucco façade to match the existing house. Ample sunlight will be allowed in the unit through the proposed windows. In exchange for the SUP, the intent of this request is to more efficiently utilize the Property to create a high-quality accessory garage for the current resident.

Findings of Fact

The following are factors indicated in Section 17.11 of the Charter and Section 114-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed special use permit for an accessory garage will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The proposed accessory use will create no congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The accessory structure will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed special use permit will not tend to over crowd the land or create an undue concentration of population.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The special use permit would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.

- ***Interfere with adequate light and air.***

The light and air available to the subject and adjacent properties will not be affected. The proposed structure is of compatible massing and spacing to the existing in the vicinity. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.

Summary

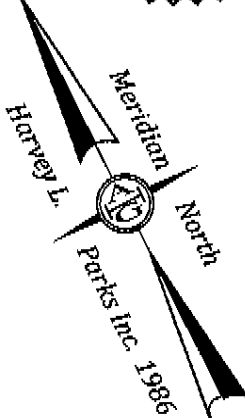
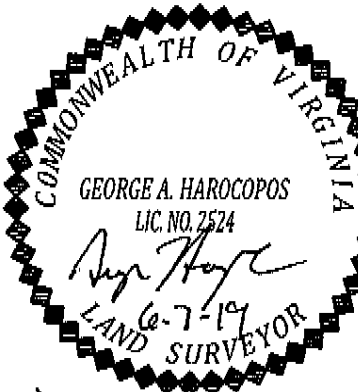
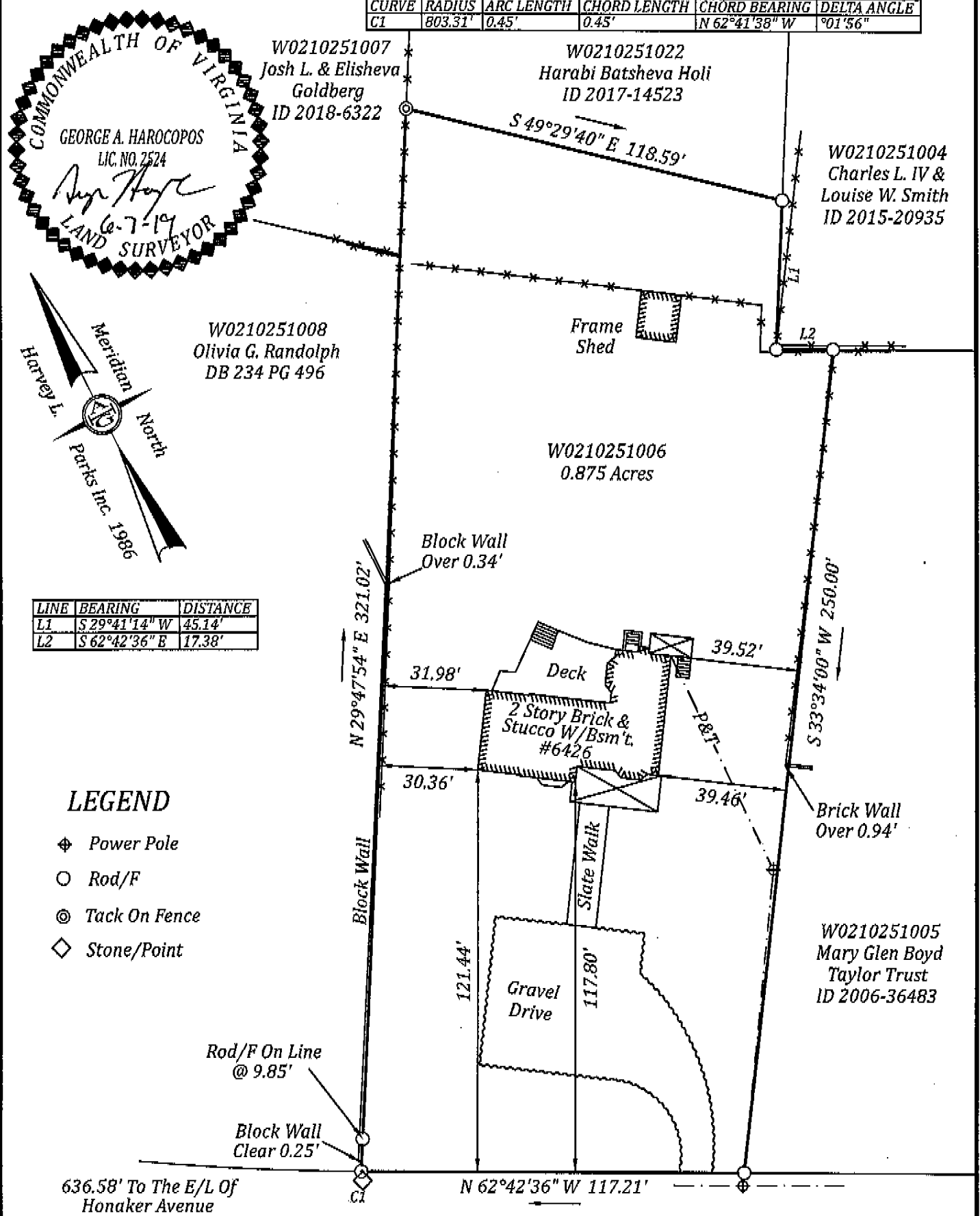
In summary we are enthusiastically seeking approval for the construction of a two-story accessory garage. This Special Use Permit proposal represents an ideal, small-scale

development for this location that is mindful of its surroundings and limits the impact on the existing landscaping and infrastructure on the Property. In exchange for the SUP, the quality assurances and conditions related to the construction of the structure would guarantee the construction of a new accessory structure that meets the need of the Property owner while significantly limiting the impact on the Property and nearby neighbors.

This is to certify that on 6/7/19
 I made an accurate field survey of the known premises shown hereon; that all improvements known or visible are shown hereon; that there are no encroachments by improvements either from adjoining premises, or from subject premises upon adjoining premises, other than shown hereon.

NOTE: THIS LOT APPEARS TO BE IN FEMA FLOOD ZONE X AS SHOWN ON HUD COMMUNITY PANEL NUMBERS 5101290009D

NOTE: This survey has been prepared without the benefit of a title report and does not therefore necessarily indicate all encumbrances on the property.



LEGEND

- ◆ Power Pole
- Rod/F
- ⊙ Tack On Fence
- ◇ Stone/Point

THREE CHOPT ROAD

SURVEY OF
 LOT AND IMPROVEMENTS THEREON LOCATED AT
#6426 THREE CHOPT ROAD
 RICHMOND, VIRGINIA

IN 48561

A. G. HAROCOPOS & ASSOCIATES, P.C.
 CERTIFIED LAND SURVEYOR AND CONSULTANT

4920 E. MILLRIDGE PKWY, SUITE 200 MIDLOTHIAN VA. 23112
 Office 804 744 2630 FAX 804 744 2632
 E-MAIL AGHAROCOPOS72@GMAIL.COM

Scale 1"=40' Date 6/7/19 Drawn by GAH

NOTE: PLAT PREPARED FOR THE EXCLUSIVE USE OF THE CONVEYANCE TO WILLIAM C. & PAMELA H. McGHEE

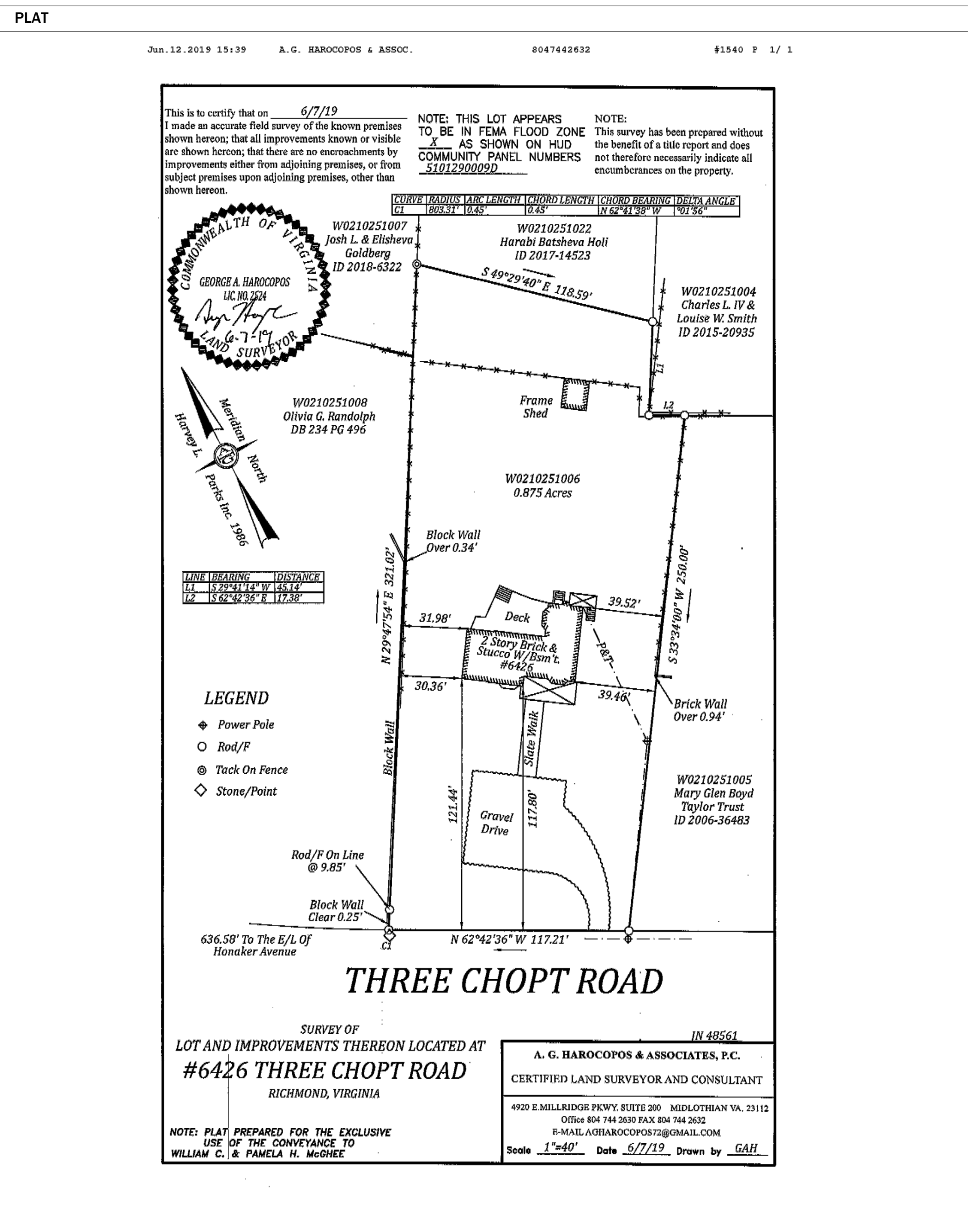
REVISION	DATE
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2	
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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.

PROJECT TEAM	
ARCHITECT	MENLO ARCHITECTURE, CONTACT: NAME: BYRON KNOWLSON EMAIL: BYRON@MENLOARCHITECTURE.COM PHONE: (804) 305-9997
CONTRACTOR	tdb CONTACT: NAME: tdb EMAIL: tdb PHONE: tdb
STRUCTURAL ENGINEER	RICHMOND STRUCTURAL DESIGN CONTACT: NAME: JOSIAH JOHNSON, PE EMAIL: JOSIAH@RICHMONDSTRUCTURALDESIGN.COM PHONE: (301) 351-9346

CODE AND ZONING INFORMATION	
PROPERTY INFO	APPLICABLE BUILDING CODES
- ADDRESS: 6426 THREE CHOPT ROAD	- 2018 VIRGINIA RESIDENTIAL CODE (VRC)
- PARCEL ID: W0210251006	- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- OWNER: FRASER JAMES M TRUST TRUSTEE	
ZONING ORDINANCE	
- CITY OF RICHMOND VIRGINIA	
- ZONE: R-1 RESIDENTIAL	
- HEIGHT LIMIT:	
MAIN ACCESSORY	MAXIMUM: 35' 20' OR 12'
	EXISTING NO CHANGE N/A
	PROPOSED NO CHANGE 20'
- LOT COVERAGE [LOT SIZE 34,316 SF]	MAXIMUM 20% / 6,863 SF
	EXISTING XX%
	PROPOSED XX%

ABBREVIATIONS	
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ACT	ACOUSTICAL TILE
ACC	ACOUSTICAL(L)
ADJ	ADJACENT
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
AB	ANCHOR BOLT
APPROX	APPROXIMATE
AD	AREA DRAIN
APC	ARCHITECTURAL PRECAST CONC.
BRG	BEARING
BLW	BELOW
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BD	BOARD
BM	BEAM
BO	BOTTOM OF
BRK	BRICK
BTW	BETWEEN
BUR	BUILT UP ROOFING
BOW	BOTTOM OF WALL
CPT	CARPET
CI	CAST IRON
CIP	CAST IN PLACE
CB	CEMENT BOARD
CLG	CEILING
CTR	CENTER
CT	CERAMIC TILE
CIR	CIRCLE
CLR	CLEAR(ANCE)
CLOS	CLOSET
CO	CLEAN OUT
COL	COLUMN
COMP	COMPOSITION
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONST	CONSTRUCTION
CONT	CONTINUOUS OR CONTINUE
CLL	CONTRACT LIMIT LINE
CJ	CONTROL JOINT
CG	CORNER GUARD
CORR	CORRIDOR
CH	COUNTER HEIGHT
CRS	COURSE(S)
CF	CUBIC FEET
CY	CUBIC YARD
DEPT	DEPARTMENT
DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DIV	DIVISION
DR	DOOR
DRY	DRYER
DBL	DOUBLE
DH	DOUBLE HUNG
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING
DF	DRINKING FOUNTAIN
EA	EACH
E	EAST
EJ	EXPANSION JOINT
ELEC	ELECTRIC(AL)
EWC	ELECTRIC WATER COOLER
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSE(SURE)
EP	EPOXY PAINT
EQUIP	EQUIPMENT
EST	ESTIMATE
EXH	EXHAUST
EXT'G	EXISTING
(E)	EXISTING DIMENSIONS
EXP	EXPOSED
EXT	EXTERIOR
EIFS	EXTERIOR INSULATION FINISH SYSTEM
FOC	FACE OF CONCRETE
FOM	FACE OF MASONRY
FOS	FACE OF STUDS
FEE	FINISH FLOOR ELEVATION
FIN	FINISHED
FKT	FIXTURE
FCU	FAN COIL UNIT
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FA	FIRE ALARM
FLR	FLOOR(ING)
FD	FLOOR DRAIN
FLUOR	FLUORESCENT
FT	FOOT OR FEET
FTG	FOOTING
FND	FOUNDATION
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACT(OR)
GL	GLASS/GLAZING
GLB	GLASS BLOCK
GCMU	GLAZED CMU
GD	GRADE
GRNT	GRANITE
GFCMU	GROUND FACE CMU
GFCI	GROUND FAULT CIRCUIT
GPDW	GYPSPUM DRYWALL
HDW	HARDWARE
HTG	HEATING
HVAC	HEATING VENTING AIR
HGT	HEIGHT
HM	HOLLOW METAL
HORZ	HORIZONTAL
HB	HOSE BIB
HR	HOUR
INCL	INCLUDE
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR CLOSET
JT	JOINT
J	JOIST
KIT	KITCHEN
LBL	LABEL
LAM	LAMINATE
LAV	LAVATORY
LH	LEFT HAND
L	LEFT ANGLE
LT	LIGHT
LT WT	LIGHT WEIGHT
LF	LINEAR FOOT
LL	LIVE LOAD
MH	MANHOLE
MFR	MANUFACTURER
MAS	MASONRY
MO	MASONRY OPENING
METAL	METAL
MAX	MAXIMUM
MECH	MECHANICAL
MED	MEDIUM
MR	MEMBER
MATL	MATERIAL
M	METER
MM	MILLIMETER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MOD	MODULAR
MTD	MOUNTED
NAT	NATURAL
NRC	NOISE REDUCTION COEFFICIENT
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO	NUMBER
O/	OVER
OC	ON CENTER
OFF	OFFICE
OPNG	OPENING
OPP	OPPOSITE
OWSJ	OPEN WEB STEEL JOIST
OPPH	OPPOSITE HAND
OD	OUTSIDE DIAMETER
OA	OVERALL
OH	OVERHEAD
O.F.C.I.	OWNER FURNISHED, GC INSTALLED
O.F.O.I.	OWNER FURNISHED, GC INSTALLED
PT	PRESSURE TREATED
PNT	PAINT(ED)
PVMT	PAVEMENT
PR	PAIR
PERIM	PERIMETER
PLAS	PLASTIC
PLAM	PLASTIC LAMINATE
PL	PLATE
PWD	PLYWOOD
PVC	POLYVINYL CHLORIDE
PCF	POUNDS PER CUBIC FOOT
PFL	FOOT OR FEET
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PC	PRECAST
QT	QUARRY TILE
R	RUBBER
RA	RETURN AIR
RAD	RADIUS
RD	ROOF DRAIN
RCP	REFLECTED CEILING PLAN
REF	REFERENCE(REFER)
RECEP	RECEPTACLE
RFL	REFLECT(ED)
REFR	REFRIGERATOR
REINF	REINFORCED
REQ	REQUIRED
RESIL	RESILIENT
RH	RIGHT HAND
RND	ROUND
ROOM	ROOM
RL	RAIN LEADER
RO	ROUGH OPENING
ROF	ROUGH OPENING
SELF	SELF ADHERED FLASHING
SCHED	SCHEDULE
SFCMU	SPLIT FACE CMU
SLNT	SEALANT
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
S	SOUTH
SC	SOLID CORE
SD	SMOKE DETECTOR
SPEC	SPECIFICATION
SQ	SQUARE
STD	STANDARD
STC	SOUND TRANSMISSION
STG	STORAGE
STL	STEEL
STRUCT	STRUCTURAL
SYM	SYMMETRICAL
SUSP	SUSPENDED
SYS	SYSTEM
SS	STAINLESS STEEL
TEL	TELEPHONE
TV	TELEVISION
TEMP	TEMPERATURE
T.S.	TUBE STEEL
THK	THICK
THR	THRESHOLD
T&G	TONGUE & GROOVE
TOC	TABLE OF CURB
TP	TOP OF PAVEMENT
T	TREAD
TOW	TOP OF WALL
TJI	TRUSJOIST
TWF	THROUGH WALL FLASHING
TYP	TYPICAL
UC	UNDER COUNTER
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VB	VAPOR BARRIER
VERT	VERTICAL
VEST	VESTIBULE
VCT	VINYL COMPOSITE TILE
VSG	VINYL SHEET GOOD
VP	VENEER PLASTER
WA	WASHER
WC	WALL CLOSET
W.F.	WIDE FLANGE
WP	WATERPROOFING
WVF	WELDED WIRE FABRIC
W	WEST
WT	WEIGHT
WN	WINDOW
W/	WITH
W/O	WITHOUT
WD	WOOD



GENERAL NOTES	
1.	IF PROVIDED, SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2.	ALL WORK SHALL CONFORM WITH ALL GOVERNING LAWS, CODES & ORDINANCES INCLUDING, BUT NOT LIMITED TO, THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VAUSBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC). IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR SHALL NOT PROCEED WITH THE EFFECTED WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY.
3.	THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. THIS SHALL SPECIFICALLY INCLUDE ON-SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, IT SHALL SPECIFICALLY INCLUDE THE PROTECTION OF ANY EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT.
4.	THE CONTRACTOR SHALL NOTIFY THE DESIGNER ARCHITECT OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN ANY AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED.
5.	THE CONTRACTOR SHALL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR SHALL ALSO PROVIDE A PROFESSIONAL CLEANING AT PROJECT COMPLETION. SEE SPECIFICATIONS FOR REQUIREMENTS.
6.	WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR USING NECESSARY PRECAUTIONS DURING WORK AND / OR DISPOSAL. IF UNFORESEEN SUSPECT MATERIALS ARE UNCOVERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL STOP WORK IN THE AREA IMMEDIATELY AND NOTIFY THE ARCHITECT.
7.	ALL MECHANICAL, PLUMBING, AND ELECTRICAL WORK, AS REQUIRED, TO BE COMPLETED BY LICENSED CONTRACTOR IN THEIR RESPECTIVE TRADES. EACH SUB-CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE PERMITS AS NECESSARY FROM THE MUNICIPALITY HAVING JURISDICTION






DRAWING LIST			
SHEET #	DRAWING TITLE	FOR PERMIT	
A0.0	PROJECT INFORMATION	X	
A0.1	PROPOSED SITE PLAN	X	
A1.0	FLOOR PLANS	X	
A2.0	BUILDING ELEVATIONS & SECTIONS	X	
A3.0	WALL SECTIONS	X	
S1.0	STRUCTURAL DETAILS	X	

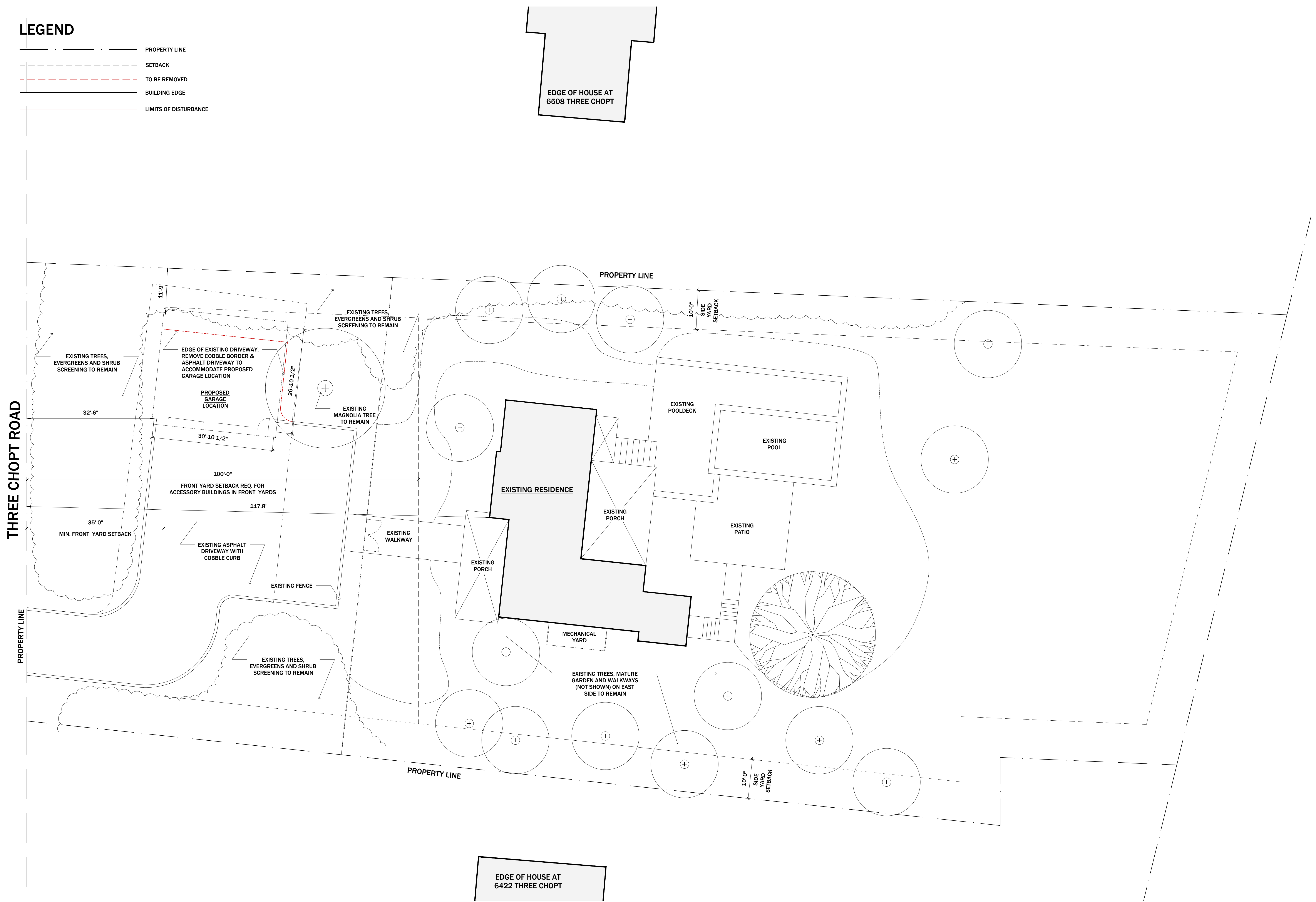
SYMBOLS	
DRAWING TITLE	1 DRAWING NAME
DRAWING SCALE	1/100
ELEVATION KEY	1/100 FL WD
SECTION KEY	1/100 WINDOW TAG
INTERIOR ELEVATION KEY	1/100 DOOR TAG
ELEVATION TAG	1/100 CENTER LINE
	1/100 STEP ELEVATION (PLAN)
	1/100 REVISION BUBBLE TAG

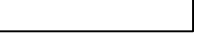
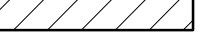
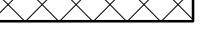
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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.

LEGEND

-  PROPERTY LINE
-  SETBACK
-  TO BE REMOVED
-  BUILDING EDGE
-  LIMITS OF DISTURBANCE



- LEGEND:
-  EXISTING WALL TO REMAIN
 -  BRICK VENEER
 -  CONCRETE MASONRY UNIT

- KEY NOTES:
-  NOT USED

WIND BRACING KEY

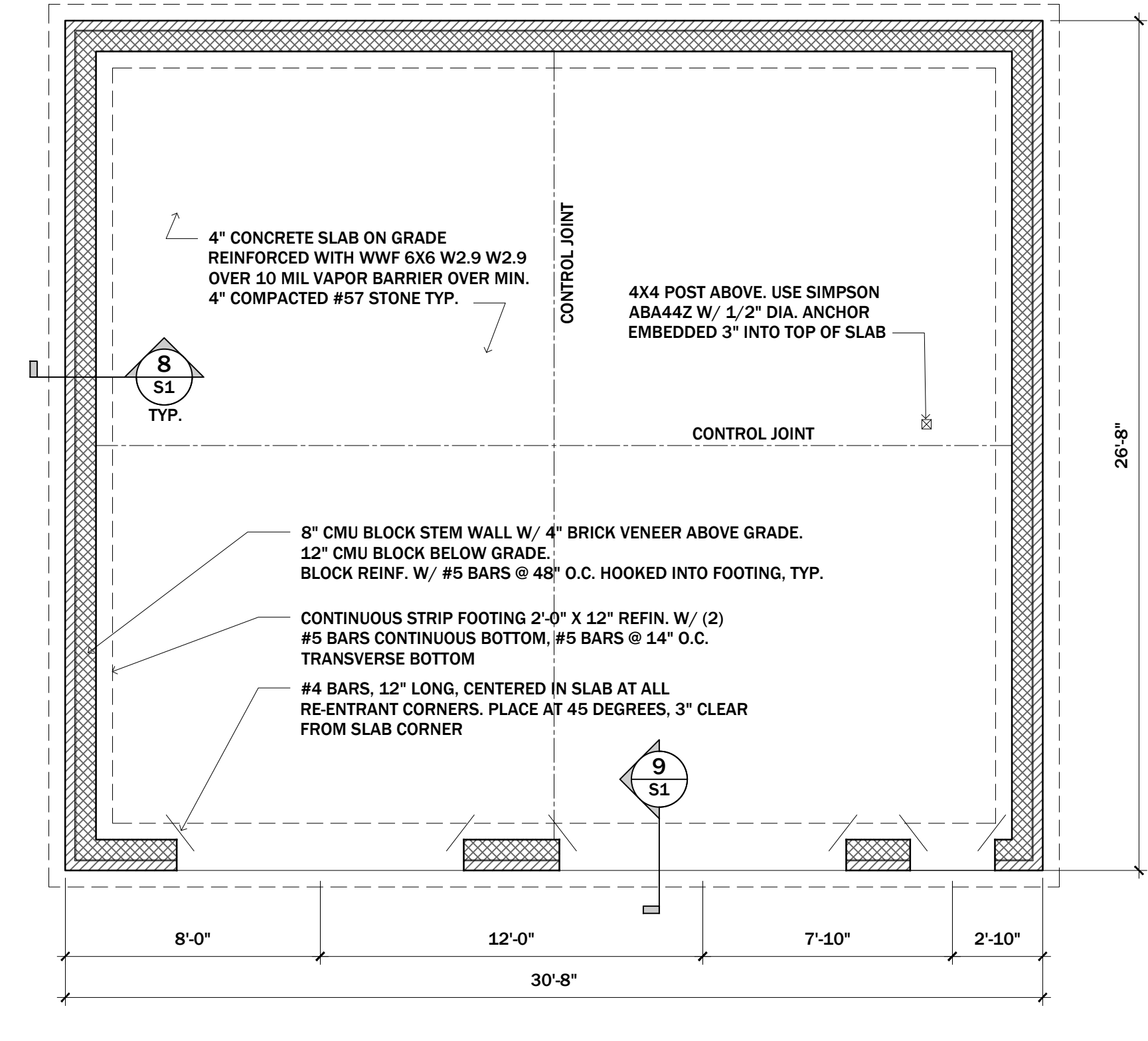
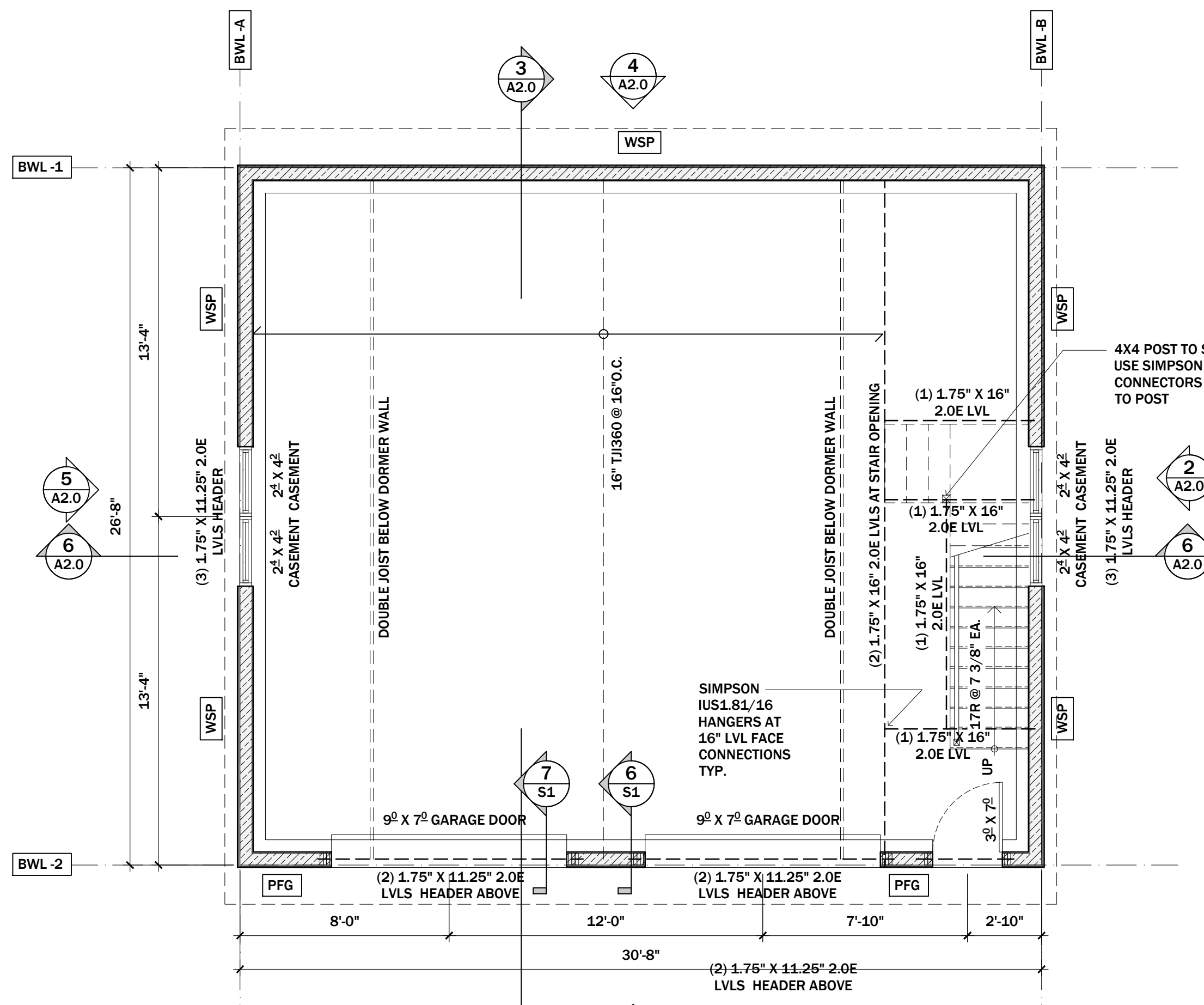
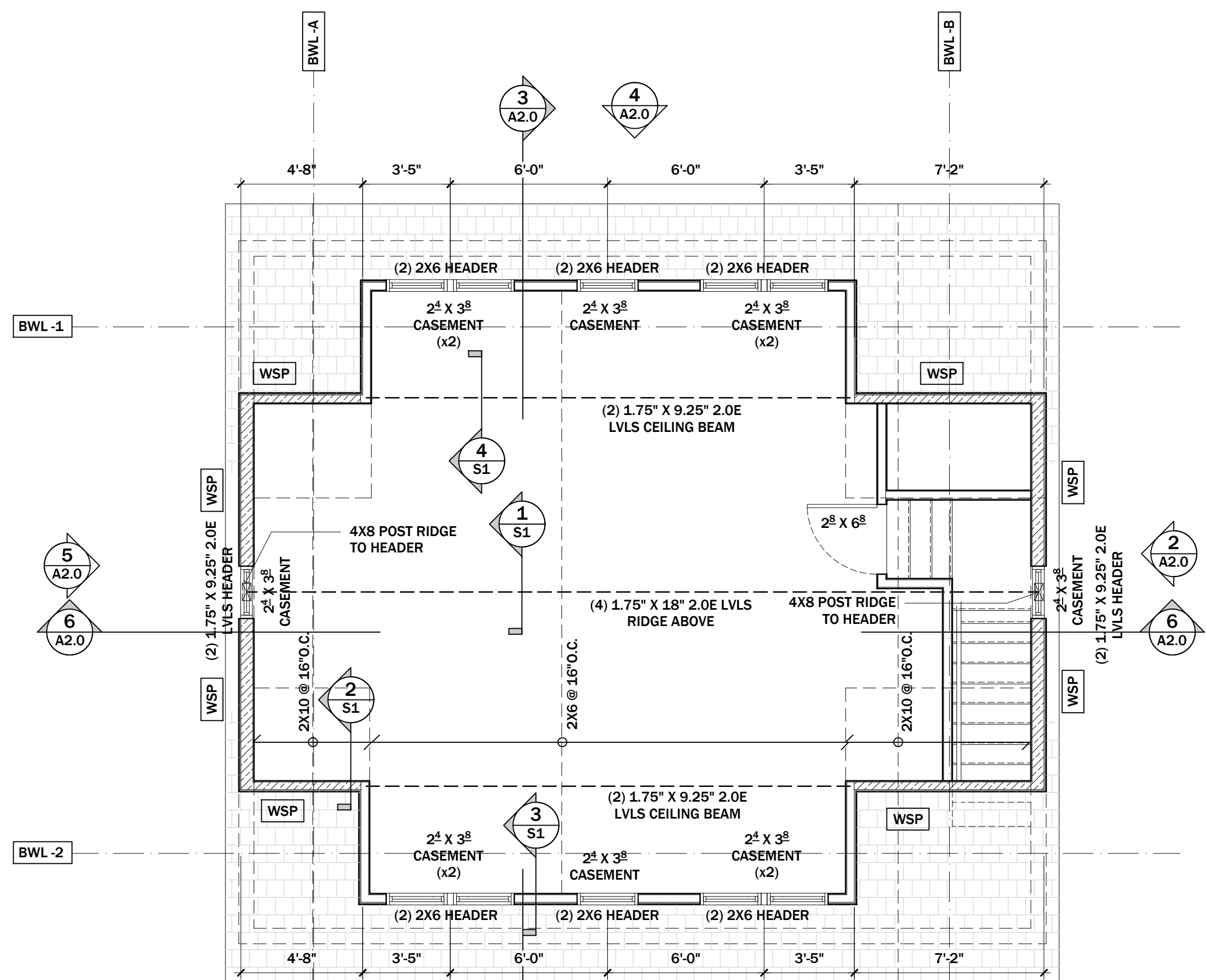
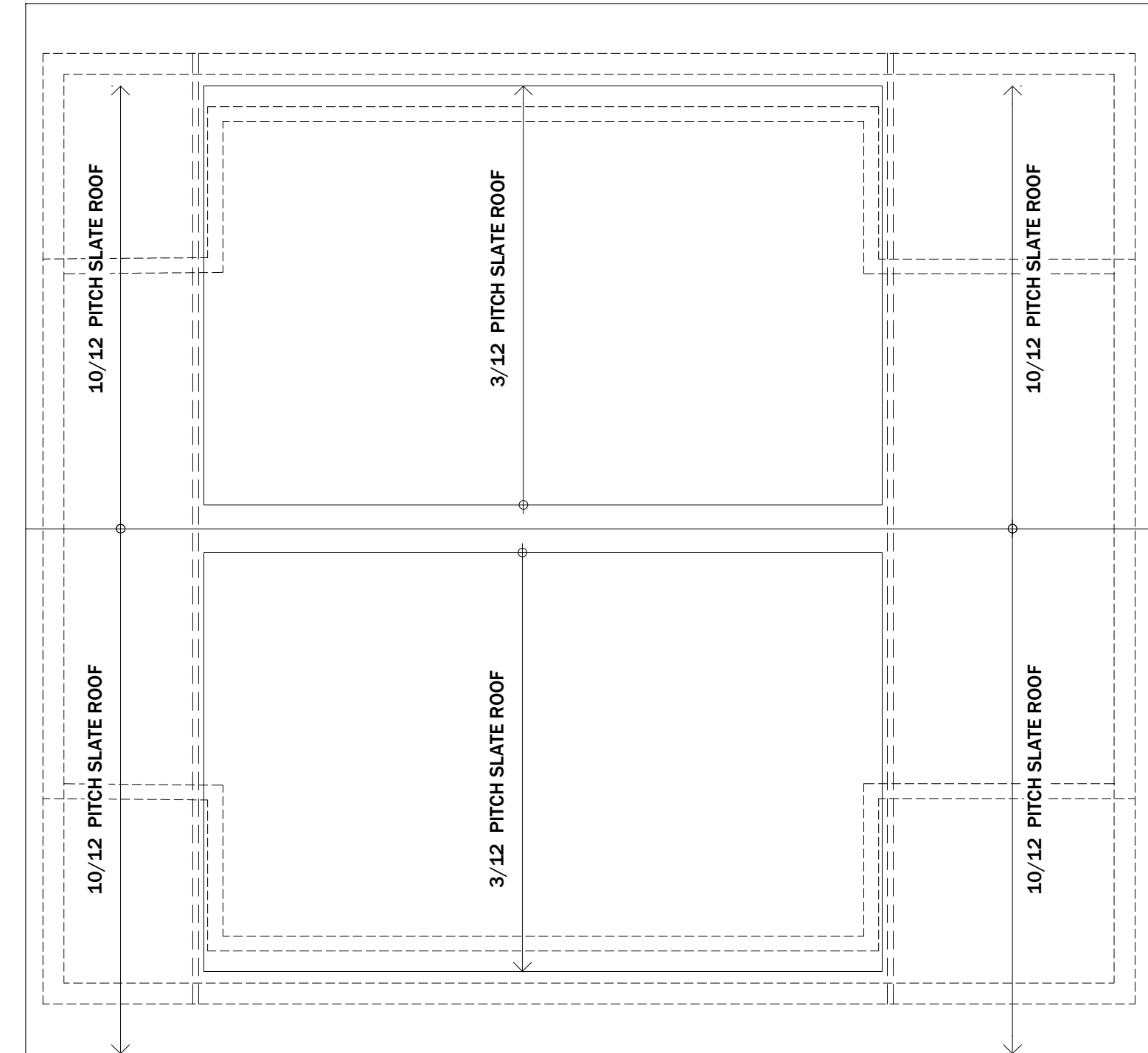
- BWL BRACED WALL LINE
- WSP 1/2" NOMINAL (MIN 7/16") WOOD STRUCTURAL PANEL SHEATHING FASTENED TO EXTERIOR FACE OF FRAMING WITH 8D COMMON NAILS SPACED 3" O.C. AT ALL PANEL EDGES, 12" O.C. FIELD. PROVIDE SOLID BLOCKING AT ALL PANEL SEAMS, MIN 1/2" GYPSUM BOARD INTERIOR SHEATHING FASTENED TO FRAMING WITH NO. 6 TYPE S OR W DRYWALL SCREWS 1-1/4" LONG SPACED AT 4" O.C. AT ALL PANEL EDGES, 16" O.C. FIELD. PROVIDE SOLID BLOCKING AT ALL PANEL SEAMS
- PFG PORTAL FRAME AT GARAGE, REFER TO DETAIL (SHEET S1) FOR SHEATHING AND FASTENING PATTERN

GENERAL NOTES:

1. DIMENSIONS WHERE SHOWN ARE TO FACE OF CONCRETE, MASONRY OR STUD UNLESS NOTED OTHERWISE. VERIFY ALL DIMENSIONS OF EXISTING WALLS, NOTIFY ARCHITECT OF ANY DISCREPANCIES, MAINTAIN ANY CLEAR DIMENSIONS SHOWN.
2. ALL MATERIALS AND PRODUCTS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES

GENERAL STRUCTURAL NOTES

1. ALL STRUCTURAL DESIGN PERFORMED IN ACCORDANCE WITH VUSBC 2018 AND ITS REFERENCED DESIGN CODES.
2. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
3. COORDINATE ALL DETAILS WITH ARCHITECTURE.
4. ALL SOLID SAWN WOOD TO BE SOUTHERN YELLOW PINE (SYP) #2 UNLESS NOTED OTHERWISE. ALL LVLS TO BE WEYERHAEUSER 2.0E MICROLAM OR EQUIVALENT. ALL WOOD JOISTS TO BE WEYERHAEUSER TRUSSJOIST OR EQUIVALENT. WIDTH AND DEPTH NOTED ON PLANS. ALL WOOD EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH CMU SHALL BE PRESSURE TREATED TYP.
5. ALL MULTI-PLY SOLID-SAWN AND LVL WOOD MEMBERS SHALL BE FASTENED TOGETHER USING SIMPSON STRONG-TIE SDW TRUSS-PLY SCREWS SPACED AT 16" OC FOR FULL LENGTH UNLESS NOTED OTHERWISE. MATCH SCREW LENGTH TO MEMBER WIDTH TYP. QUANTITY OF FASTENERS SHALL BE AS FOLLOWS:
NOMINAL 10" MEMBERS OR LESS - MINIMUM 2 ROWS OF FASTENERS EVENLY SPACED ACROSS MEMBER DEPTH.
NOMINAL 12" MEMBERS OR GREATER - MINIMUM 3 ROWS OF FASTENERS EVENLY SPACED ACROSS MEMBER DEPTH.
6. SOLID-SAWN FACE-MOUNT CONNECTIONS SHALL USE SIMPSON STRONG-TIE LUS, LUC, LRUZ, AND LSSR HANGERS AS APPLICABLE. TJI FACE-MOUNT CONNECTIONS SHALL USE SIMPSON STRONG-TIE IUS AND MIU HANGERS AS APPLICABLE. MATCH HANGER SIZE TO MEMBER WIDTH AND DEPTH, INSTALL PER MANUFACTURER GUIDELINES TYP.
7. ALL CONNECTIONS OF ROOF FRAMING MEMBERS TO WALL TOP PLATE OR TOP OF BEAM SHALL UTILIZE A SIMPSON STRONG-TIE H2.5 OR H3 HURRICANE TIE AT EACH RAFTER OR TRUSS, TYP. INSTALL PER MANUFACTURER GUIDELINES.
8. ALL ROOF SHEATHING SHALL BE MIN 5/8" CDX OR OSB, FASTEN WITH 10D COMMON NAILS @ 6" OC ALL PANEL EDGES AND IN FIELD. PROVIDE SOLID BLOCKING AT ALL PANEL SEAMS TYP.
9. ALL EXTERIOR WALL SHEATHING SHALL BE MIN 1/2" CDX OR OSB, FASTEN WITH 8D COMMON NAILS @ 6" OC ALL PANEL EDGES, 12" OC FIELD.
10. ALL INTERIOR WALL SHEATHING SHALL BE MIN 1/2" GYP, FASTEN WITH 1 1/4" TYPE S OR W SCREWS @ 7" OC ALL PANEL EDGES, 7" OC FIELD.
11. ALL FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE, FASTEN WITH 8D COMMON NAILS @ 6" OC ALL PANEL EDGES, 12" OC FIELD. PROVIDE SOLID BLOCKING AT ALL PANEL SEAMS TYP.
12. ALL BOLTS SHALL BE ASTM A325 UNLESS NOTED OTHERWISE. ALL ANCHOR BOLTS SHALL BE ASTM F1554 GR. 36.
13. ALL CONCRETE FOUNDATIONS SHALL HAVE MINIMUM 3000PSI COMPRESSIVE STRENGTH TYP. ALL CONCRETE SLABS SHALL HAVE MINIMUM 3500PSI COMPRESSIVE STRENGTH TYP.
14. CONCRETE AND MASONRY REINFORCEMENT BARS SHALL BE ASTM A615 GR 60. WELDED WIRE FABRIC (WWF) SHALL BE SMOOTH PER ASTM A185.
15. LAP SPLICES OF REINFORCEMENT SHALL BE A MINIMUM OF 48 BAR DIAMETERS TYP.
16. ALL MASONRY CONSTRUCTION SHALL USE MIN 2000PSI FINE GROUT.
17. ALL MASONRY CONSTRUCTION SHALL USE TYPE M OR S MORTAR.
18. MASONRY WALLS SHALL BE HORIZONTALLY REINFORCED AT 16" ON CENTER VERTICALLY USING DUR-O-WAL OR EQUIVALENT LADDER-TYPE REINFORCEMENT.
19. SOIL BEARING CAPACITY ASSUMED TO BE 1500PSF FOR FOOTING DESIGN. SOIL BEARING CAPACITY SHALL BE VERIFIED IN FIELD BY A PROFESSIONAL GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH



PROJECT
FRASER GARAGE

6426 THREE CHOPT RD
RICHMOND, VA 23226

FOR PERMIT
MAY 24 2023

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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.

FLOOR PLANS

EXTERIOR MATERIAL KEY

- 01** STUCCO SIDING (MATCH COLOR AND TEXTURE OF EXISTING HOUSE)
- 02** COMPOSITE FASCIA/SOFFIT, PAINTED - BY BORAL OR EQUIVALENT. MATCH MAIN HOUSE
- 03** BRICK WATER TABLE. PAINTED
- 04** SLATE SHINGLE ROOF
- 05** COMPOSITE TRIM (PAINTED) - BY BORAL OR EQUIVALENT
- 06** COPPER GUTTER AND DOWNSPOUT
- 07** PVC OR COMPOSITE SKIRT BOARD
- 08** CLAD WOOD WINDOWS
- 09** INSULATED STEEL OVERLAY CARRIAGE DOOR (BY CLOPAY OR SIMILAR)
- 10** FIBERGLASS EXTERIOR DOOR (JELDWEN AUORA OR SIMILAR)

NOTE:
ALTERNATIVE ROOFING MATERIAL TO BE STANDING SEAM METAL
ROOFING TO MATCH EXISTING ON MAIN HOUSE. GC TO PRICE AS
ALTERNATE

ALTERNATIVE SIDING MATERIAL TO BE HARDIE PLANK SIDING. EXPOSURE
AND COLOR TO MATCH SIDING ON EXISTING HOUSE. GC TO PRICE AS
ALTERNATE.

PROJECT

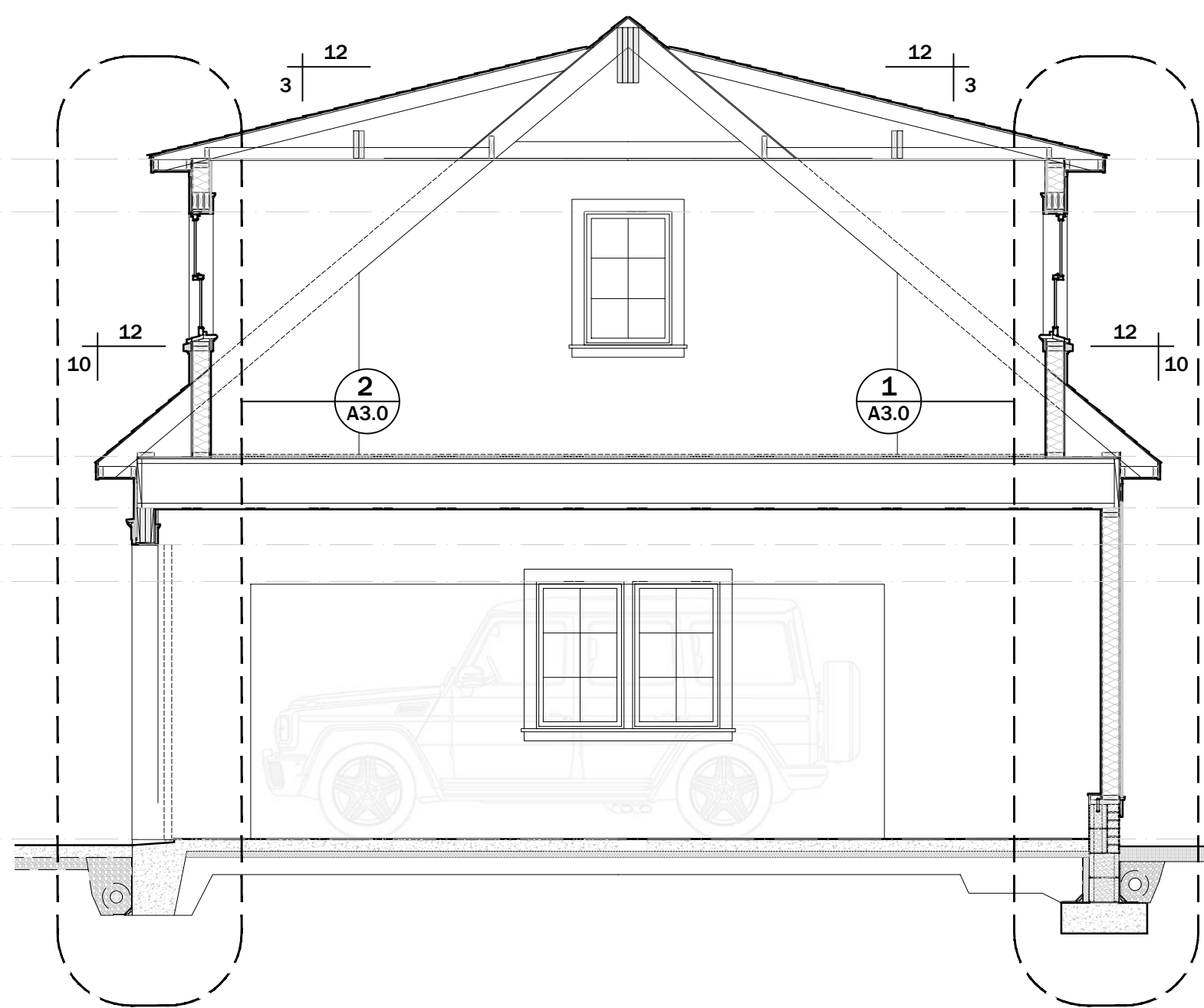
**FRASER
GARAGE**

6426 THREE CHOPT RD
RICHMOND, VA 23226

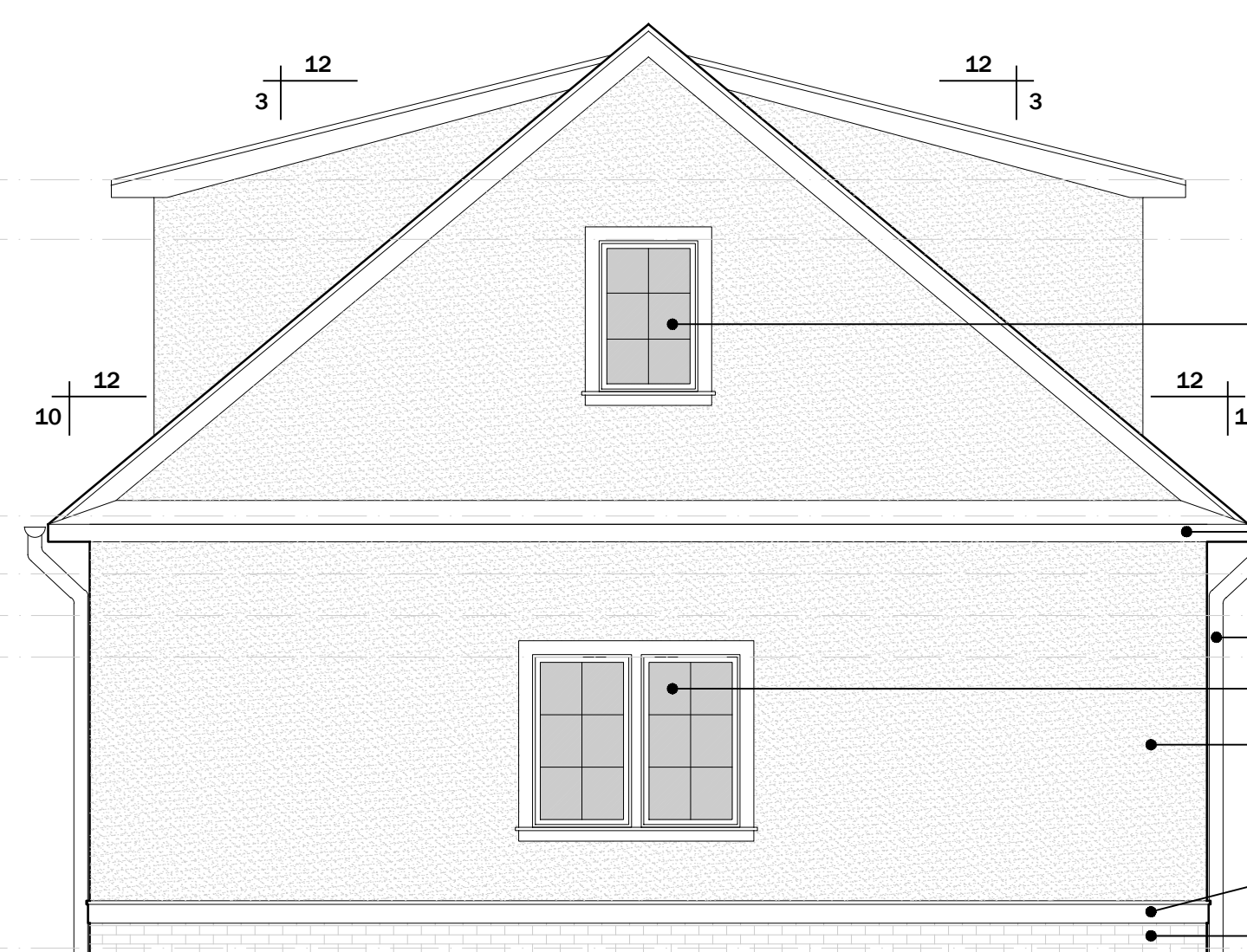
FOR PERMIT
MAY 24 2023

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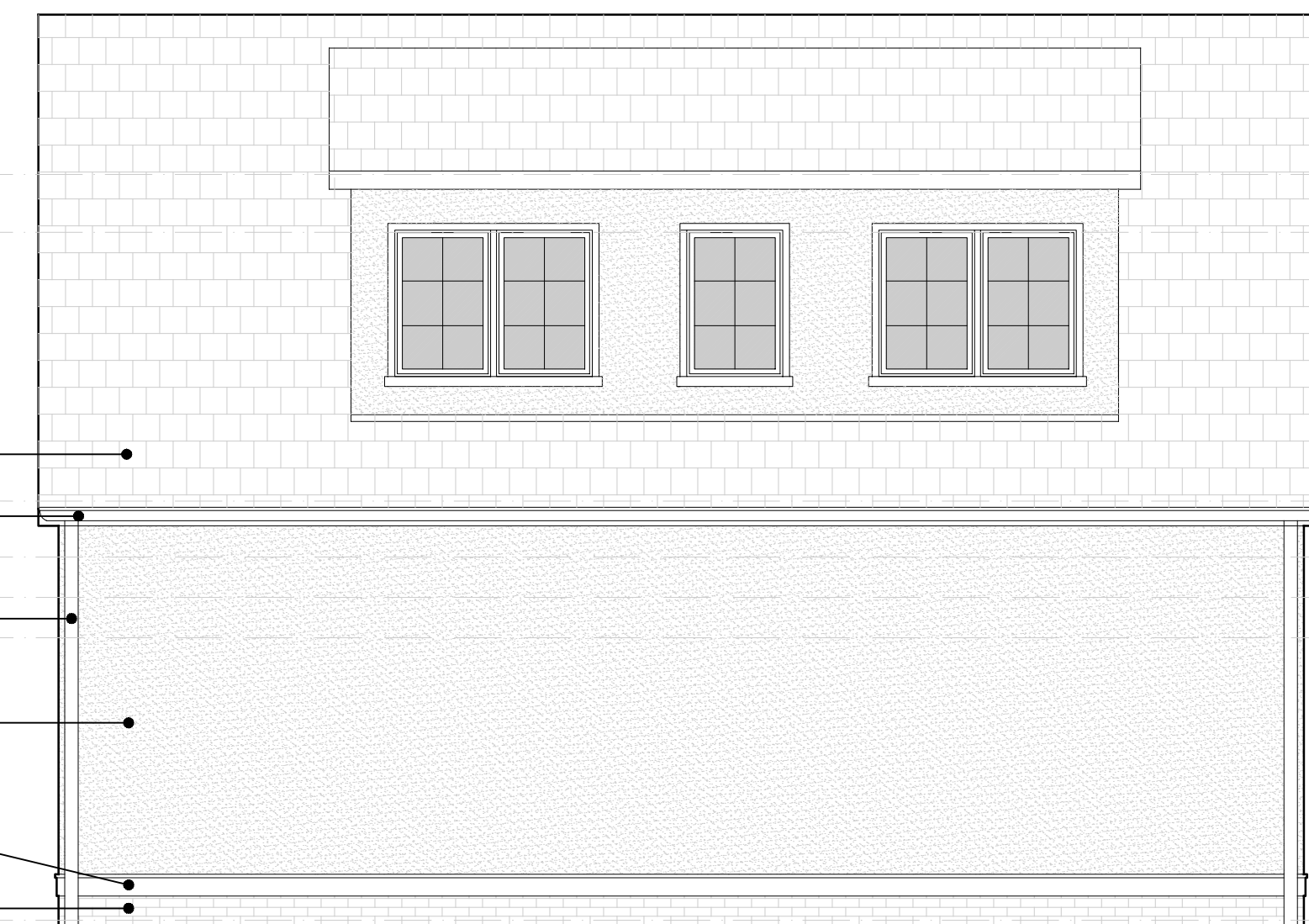
NOTES:
1. ALL DIMENSIONS SHOWN
ARE TO F.O. STUD UNLESS
OTHERWISE NOTED.



SECTION B
1/4" = 1'-0"

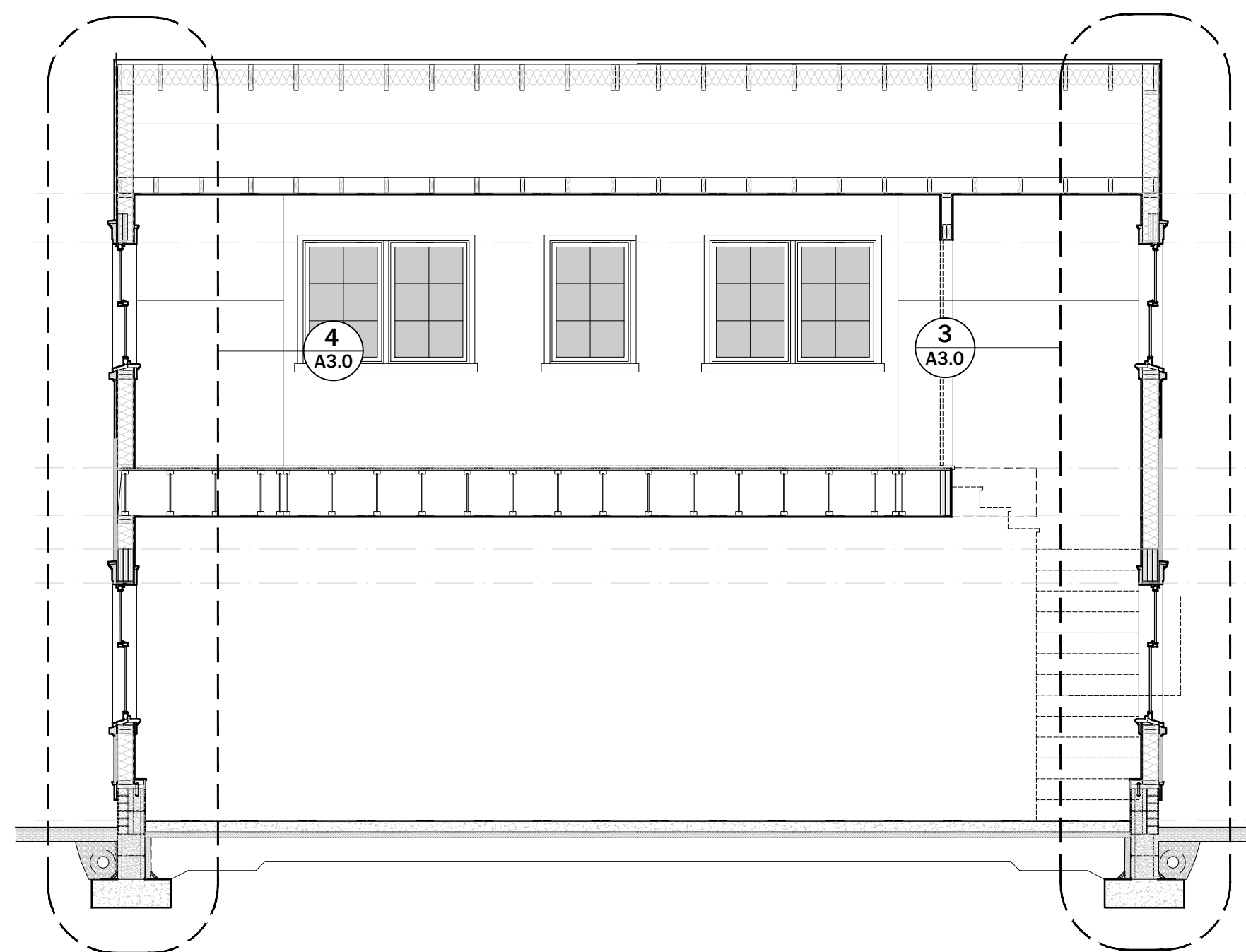


NORTHWEST ELEVATION
1/4" = 1'-0"

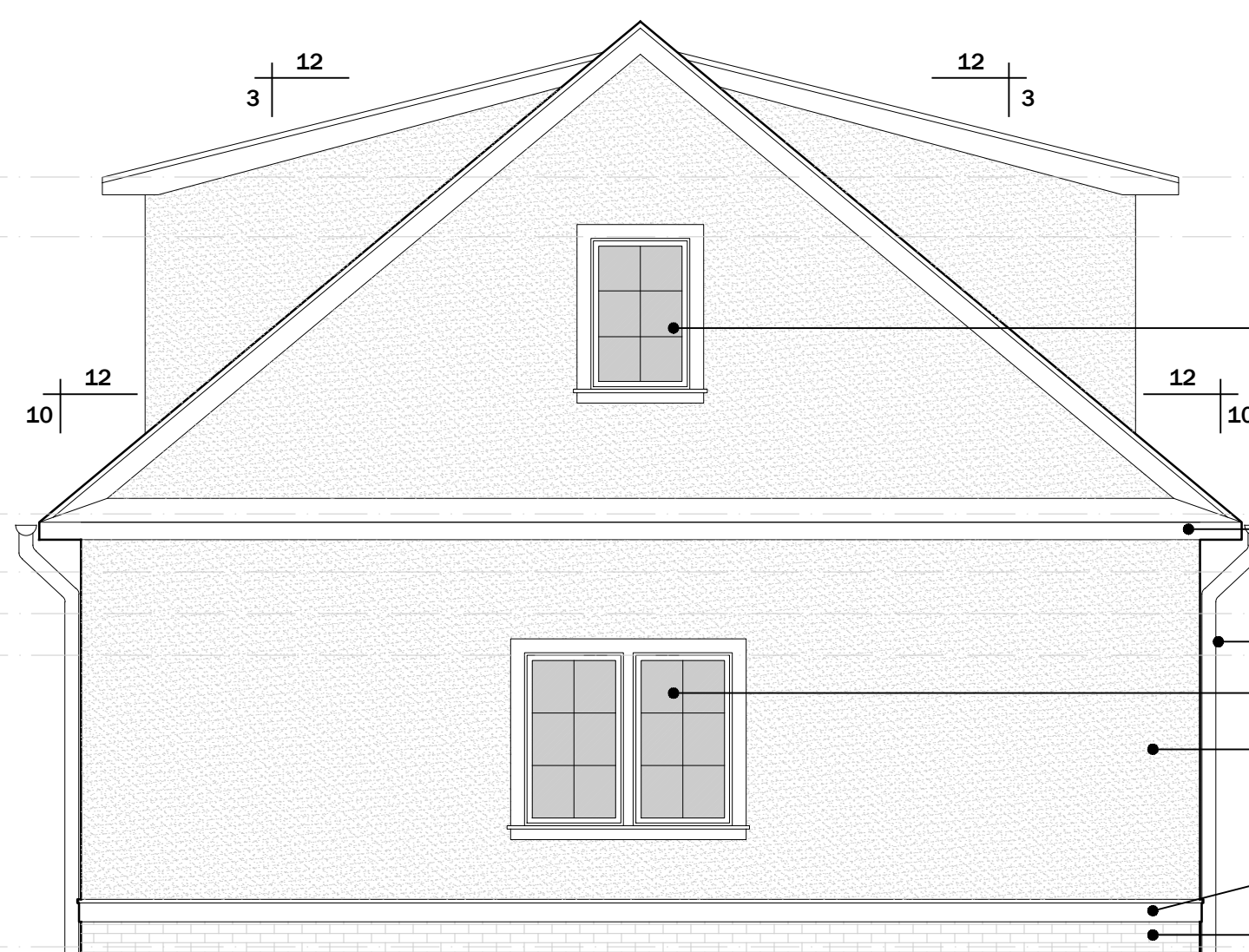


NORTHWEST ELEVATION
1/4" = 1'-0"

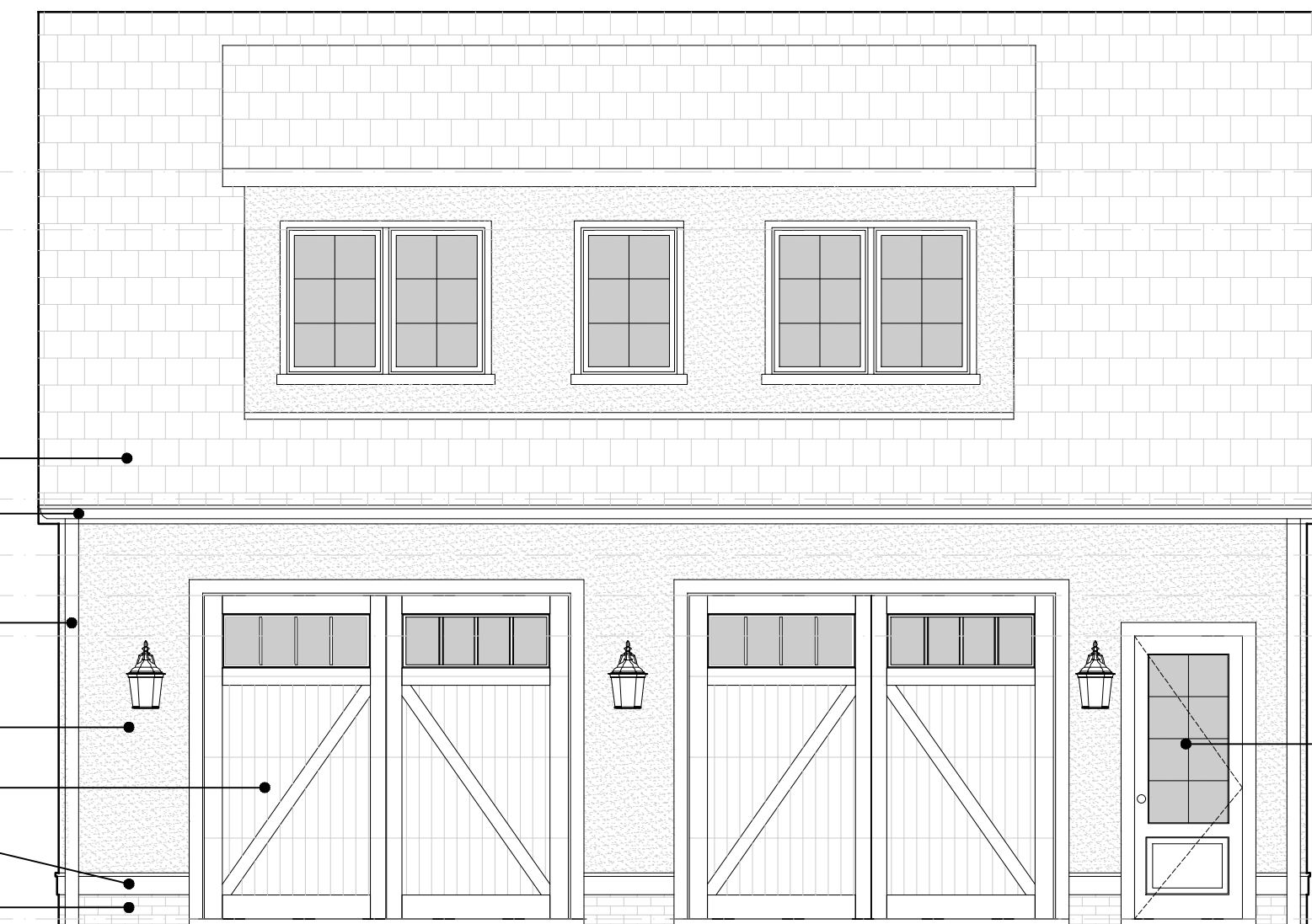
- +18'-5 1/2" B.O. CEILING JOIST
- +17'-1 3/4" WINDOW HEAD
- +10'-4 3/4" T.O. SUBFLOOR
- +9'-0" T.O. TOP PLATE
- +8'-0" GARAGE DOOR HEAD
- +7'-0" WNDW & DOOR HEAD
- 0'-0" GARAGE SLAB



SECTION A
1/4" = 1'-0"



NORTHEAST ELEVATION
1/4" = 1'-0"



SOUTHEAST ELEVATION
1/4" = 1'-0"

- +18'-5 1/2" B.O. CEILING JOIST
- +17'-1 3/4" WINDOW HEAD
- +10'-4 3/4" T.O. SUBFLOOR
- +9'-0" T.O. TOP PLATE
- +8'-0" GARAGE DOOR HEAD
- +7'-0" WNDW & DOOR HEAD
- 0'-0" GARAGE SLAB

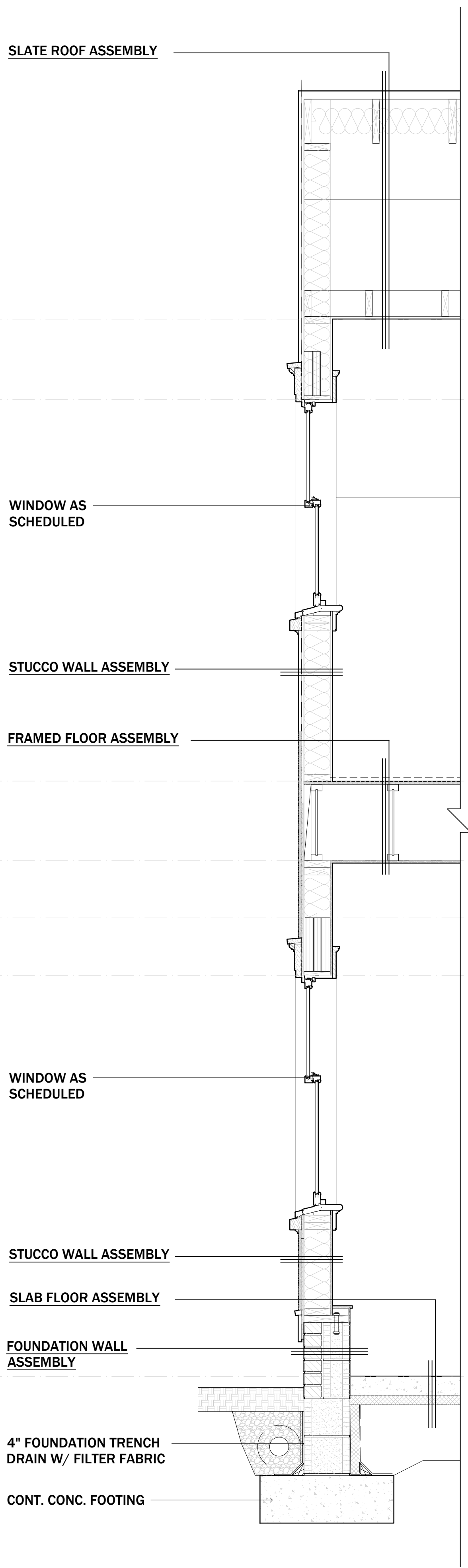
16'-7" MEAN ROOF HEIGHT

**EXTERIOR
ELEVATIONS**

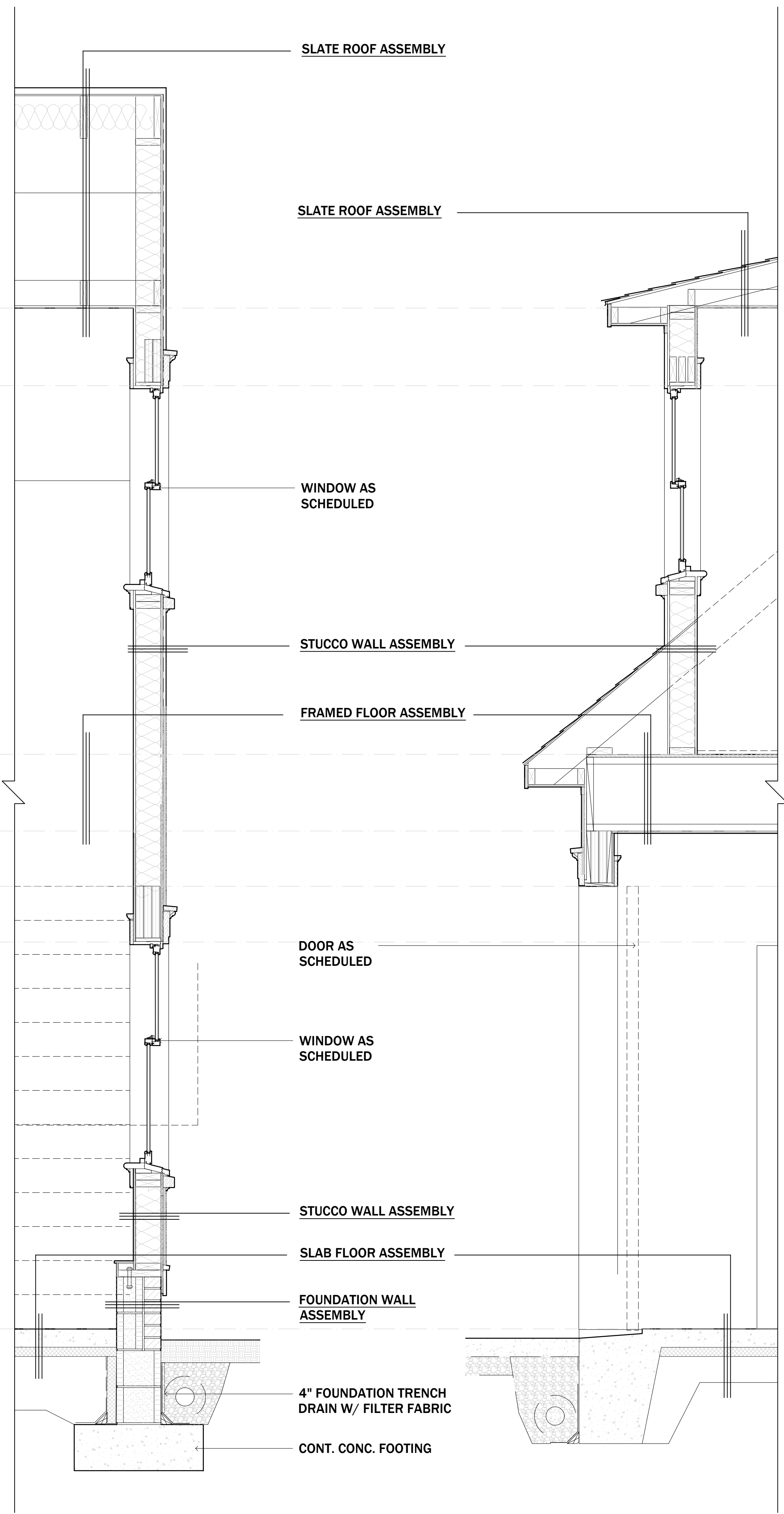
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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.

TYPICAL ASSEMBLIES (OUTSIDE TO INSIDE) / (TOP TO BOTTOM)	
SLATE SHINGLE ROOF ASSEMBLY	
SLATE SHINGLE TO MATCH EXISTING	
#30 FELT PAPER	
(1) LAYER OF ICE & WATER SHIELD (36" FROM EAVE)	
7/16" OSB ROOF SHEATHING	
ENGINEERED WOOD TRUSSES (W/ INSULATION WHERE OCCURS)	
1/2" GYPSUM DRYWALL (OR T&G AT COVERED PATIO)	
STUCCO WALL ASSEMBLY	
HARDIE PLANK OR HARDIE SHINGLE AS NOTED IN ELEVATIONS	
HOMESLICHER RAINSCREEN	
WATER RESISTANT BARRIER	
WALL SHEATHING	
2 x 6 WOOD STUDS @ 16" O.C. (W/ INSULATION WHERE OCCURS)	
1/2" GYPSUM DRYWALL	
SLAB FLOOR ASSEMBLY	
TILE OR EXPOSED CONCRETE AS SCHEDULE	
4" CONCRETE SLAB	
VAPOR BARRIER	
4" COMPACTED FILL	
FOUNDATION WALL ASSEMBLY	
DRAINAGE AND PROTECTION BOARD	
WATERPROOFING	
3" BRICK WYTHE	
3/8" MORTAR JOINT	
6" OR 8" CONCRETE BLOCK GROUTED SOLID (SEE FOUND. PLAN)	
2" RIGID INSULATION	
FRAMED FLOOR ASSEMBLY	
FINISHED FLOOR (IF FINISHED)	
3/4" ADVANTECH SUBFLOOR	
STRUC. WOOD FLOOR JOISTS (SEE PLAN FOR SIZE & SPACING)	
1/2" GYPSUM DRYWALL CEILING	

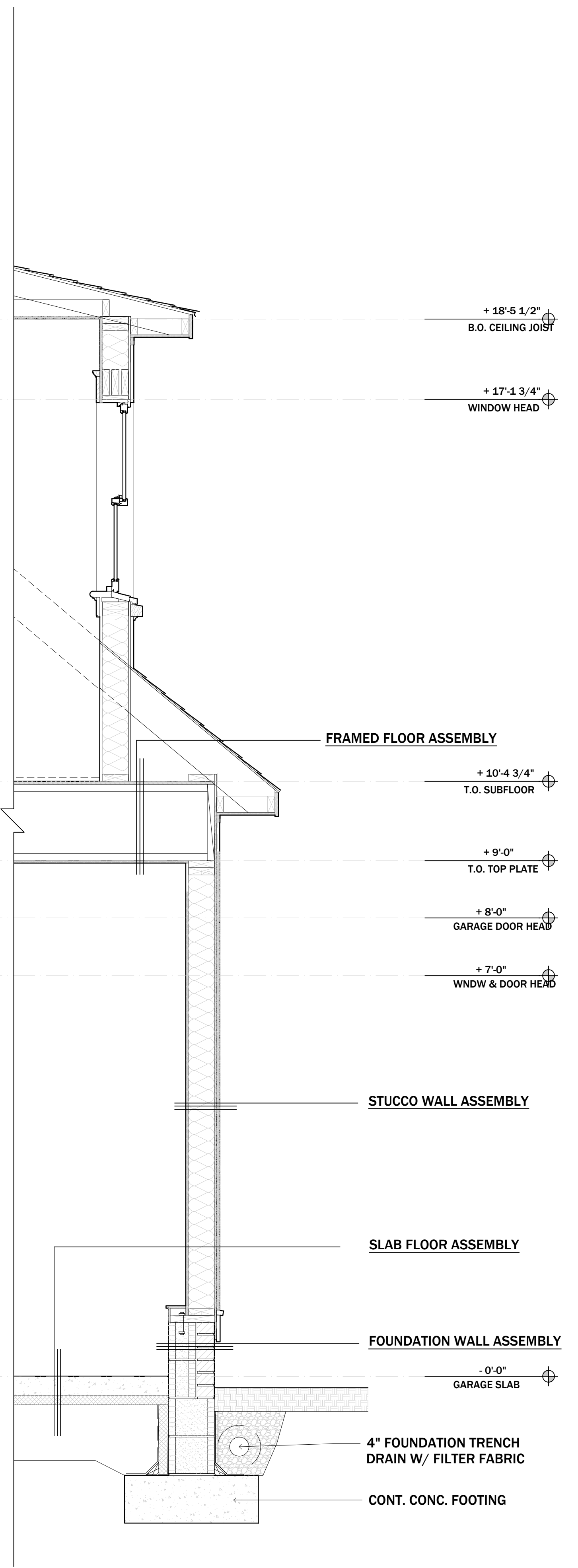


4 WALL SECTION - GABLE END
3/4" = 1'-0"

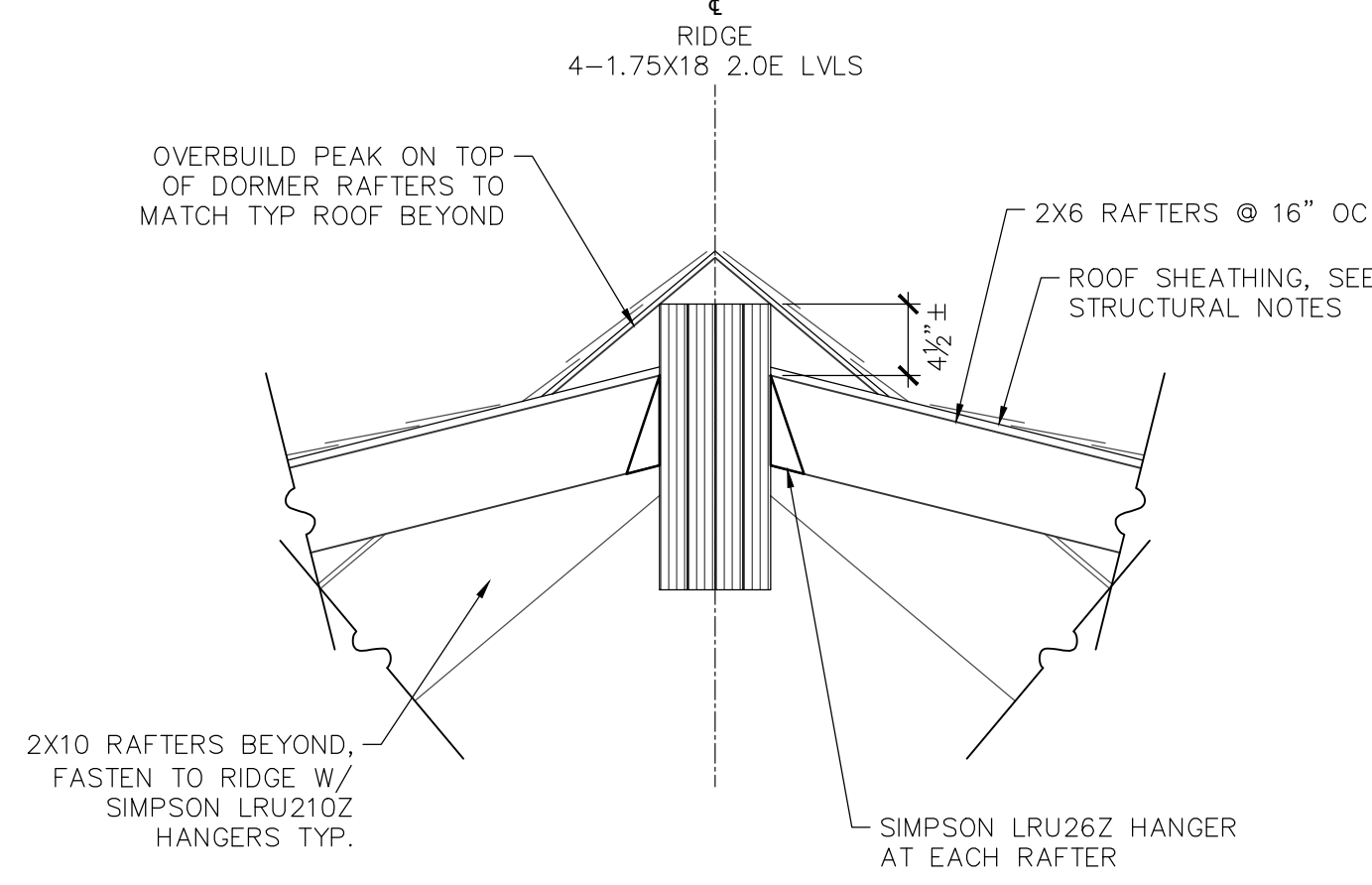
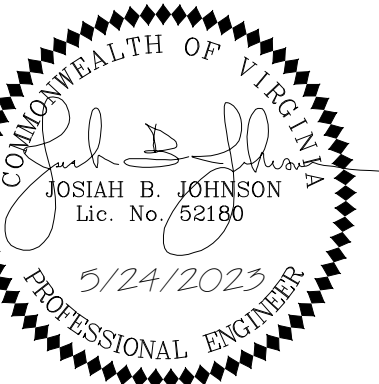


3 WALL SECTION - GABLE END
3/4" = 1'-0"

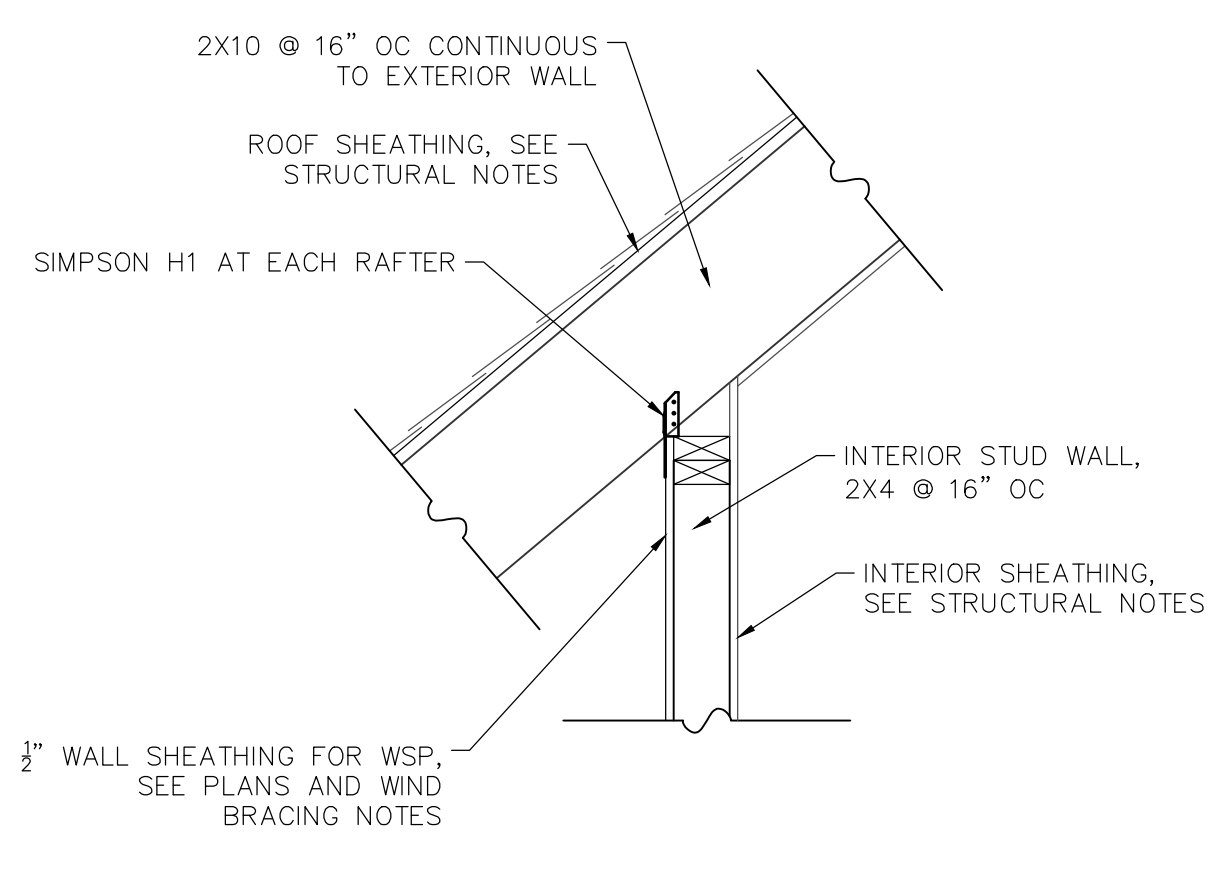
2 WALL SECTION - GARAGE DOOR
3/4" = 1'-0"



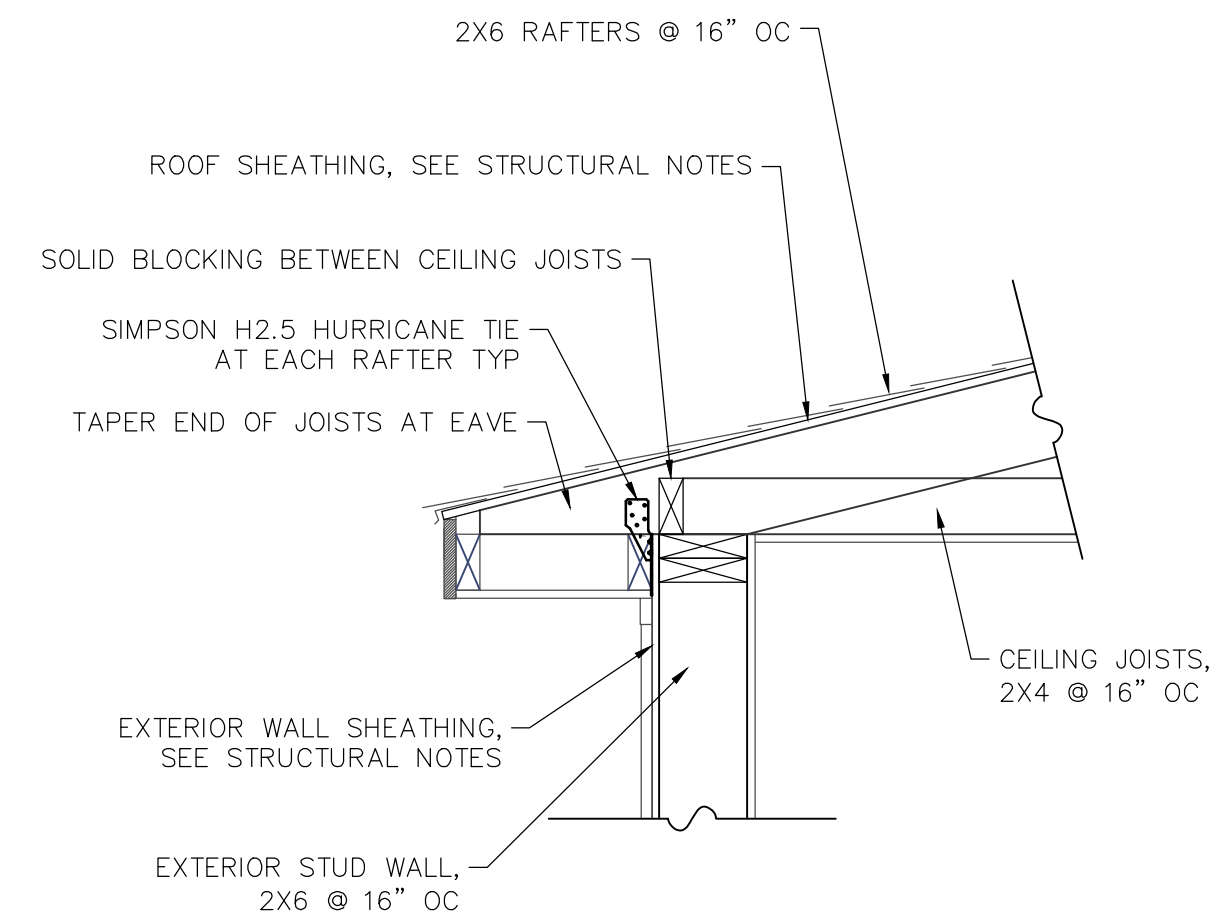
1 WALL SECTION - TYPICAL
3/4" = 1'-0"



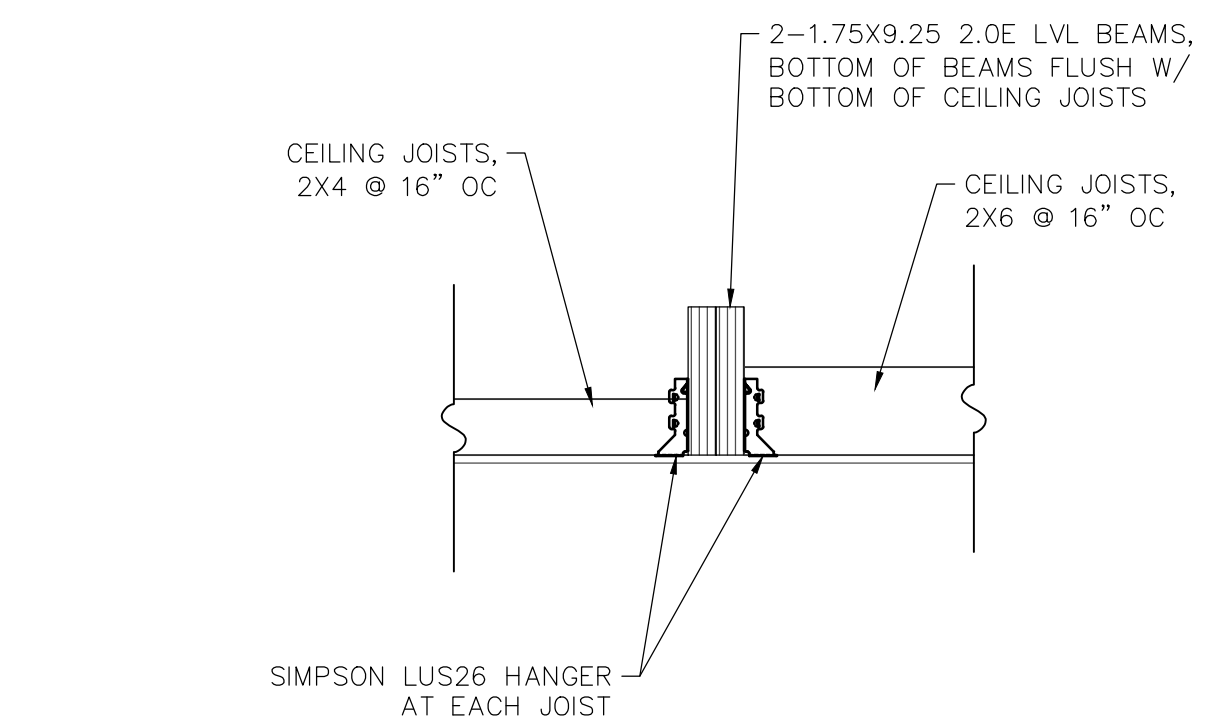
1 RAFTER TO RIDGE CONN
 S1 SCALE: 1"=1'-0"



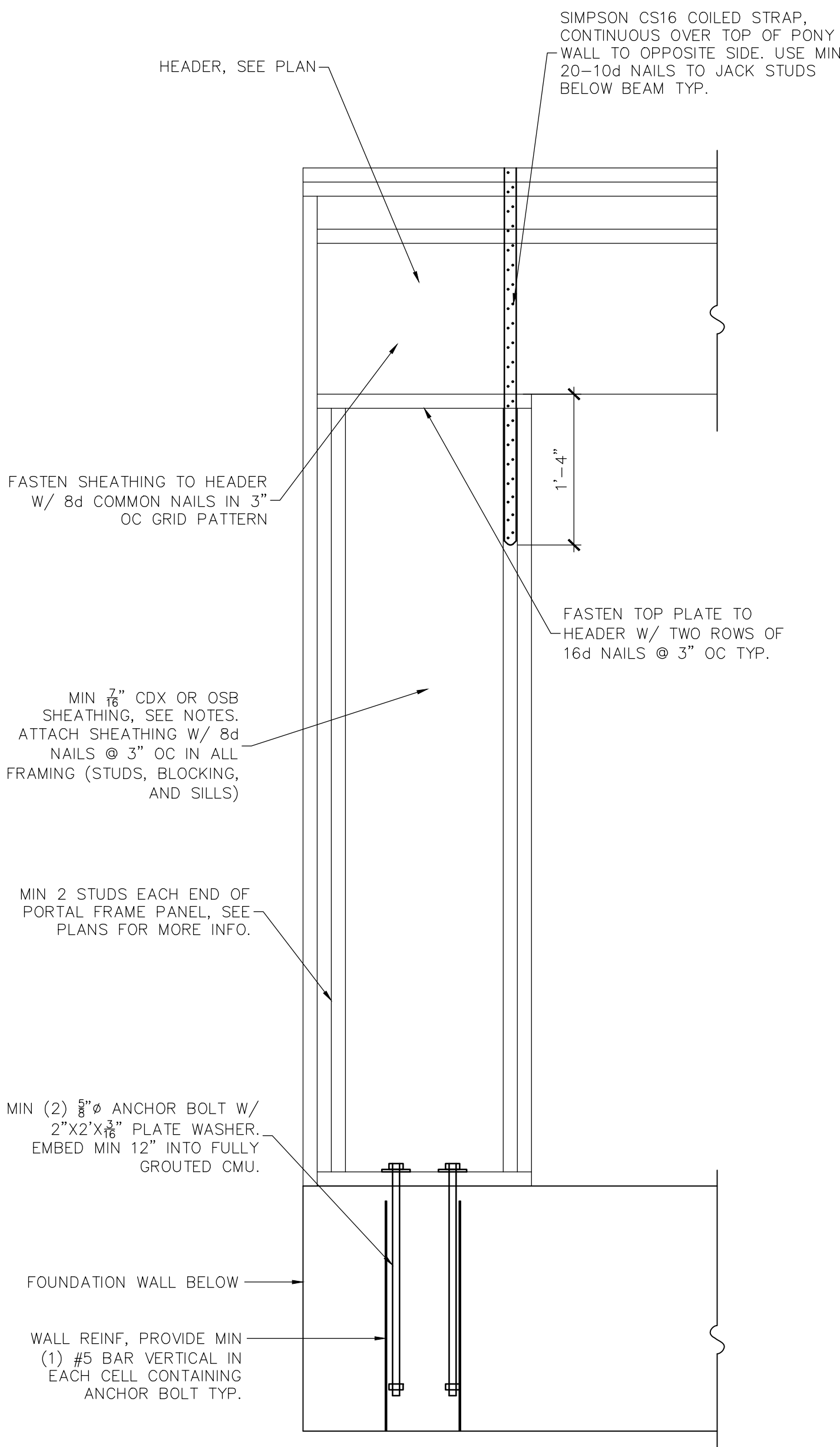
2 RAFTER TO INTERIOR WALL CONN
 S1 SCALE: 1"=1'-0"



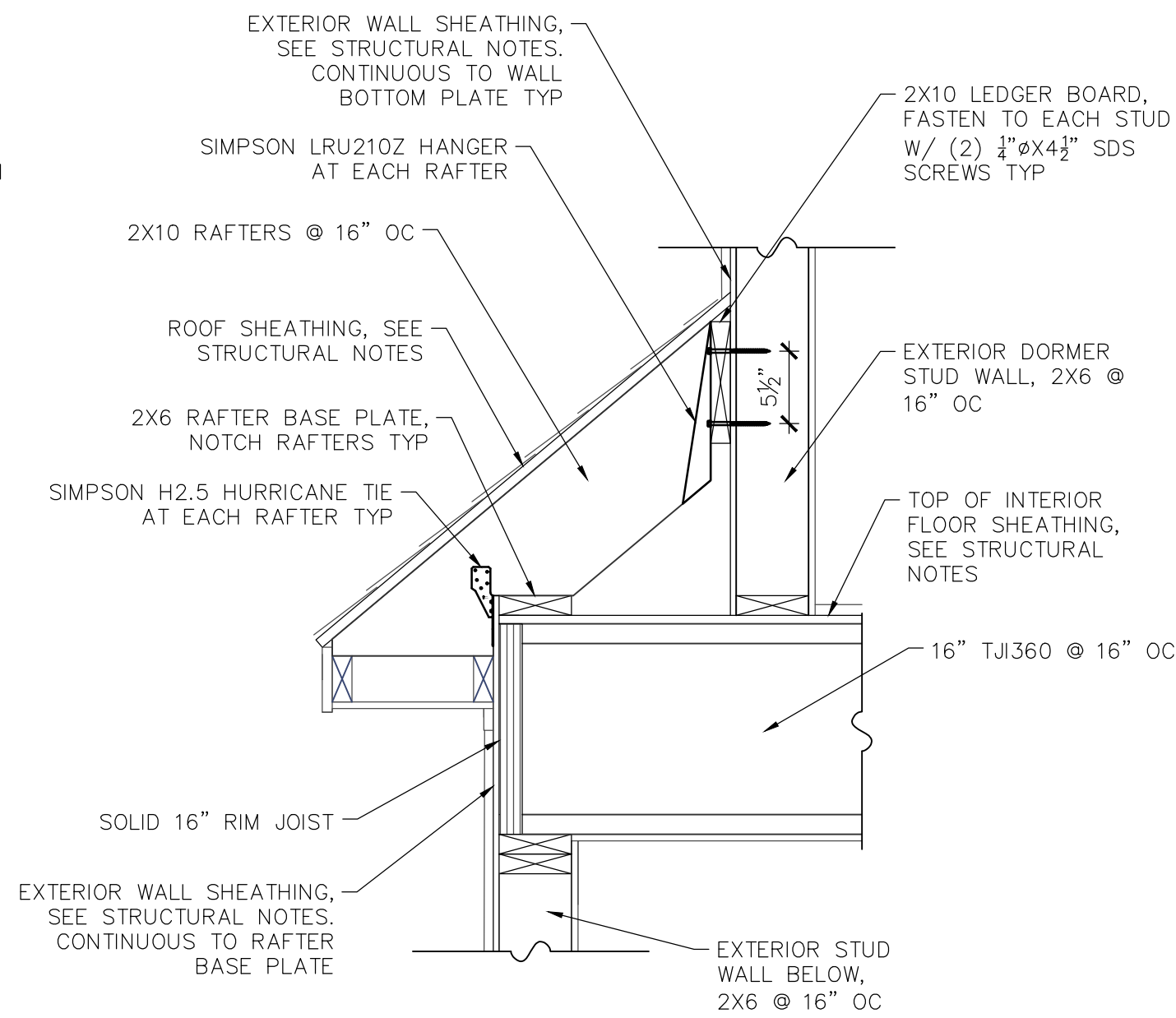
3 DORMER RAFTER TO WALL CONN
 S1 SCALE: 1"=1'-0"
 1. COORD. TOP OF WALL W/ ARCHITECTURE



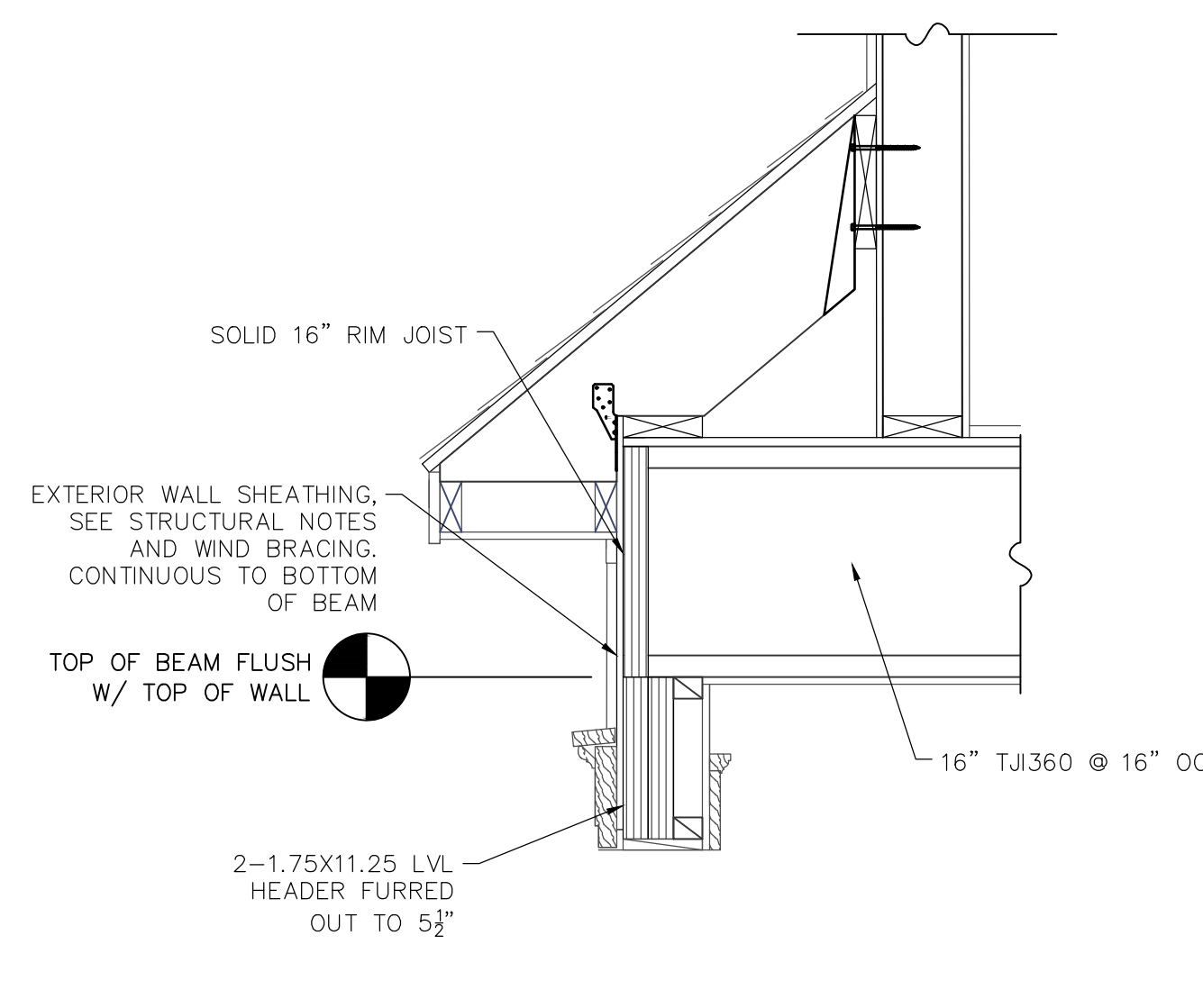
4 CEILING BEAM DET
 S1 SCALE: 1"=1'-0"



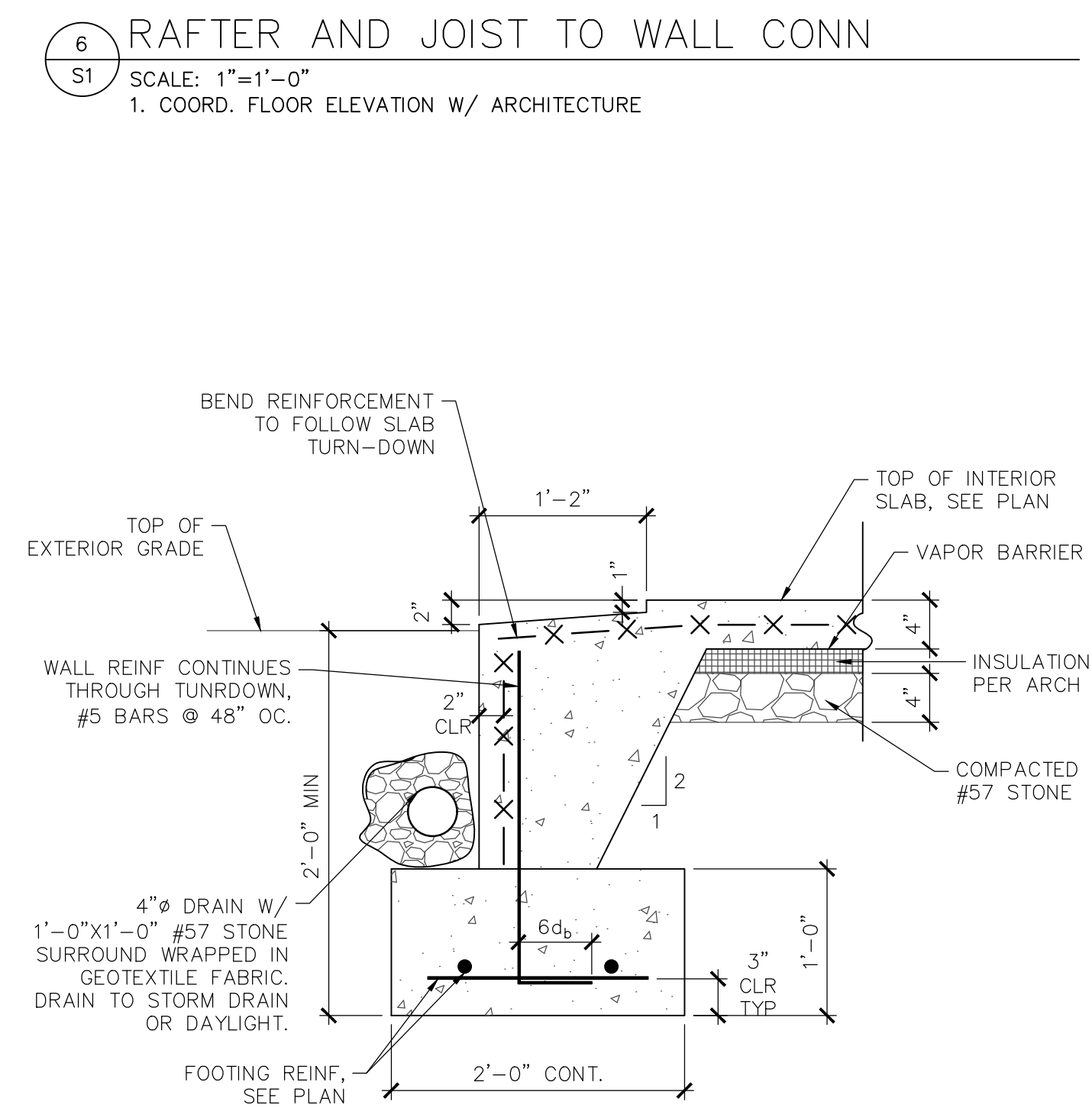
5 PFG - PORTAL FRAME AT GARAGE DOOR
 S1 SCALE: 1"=1'-0"



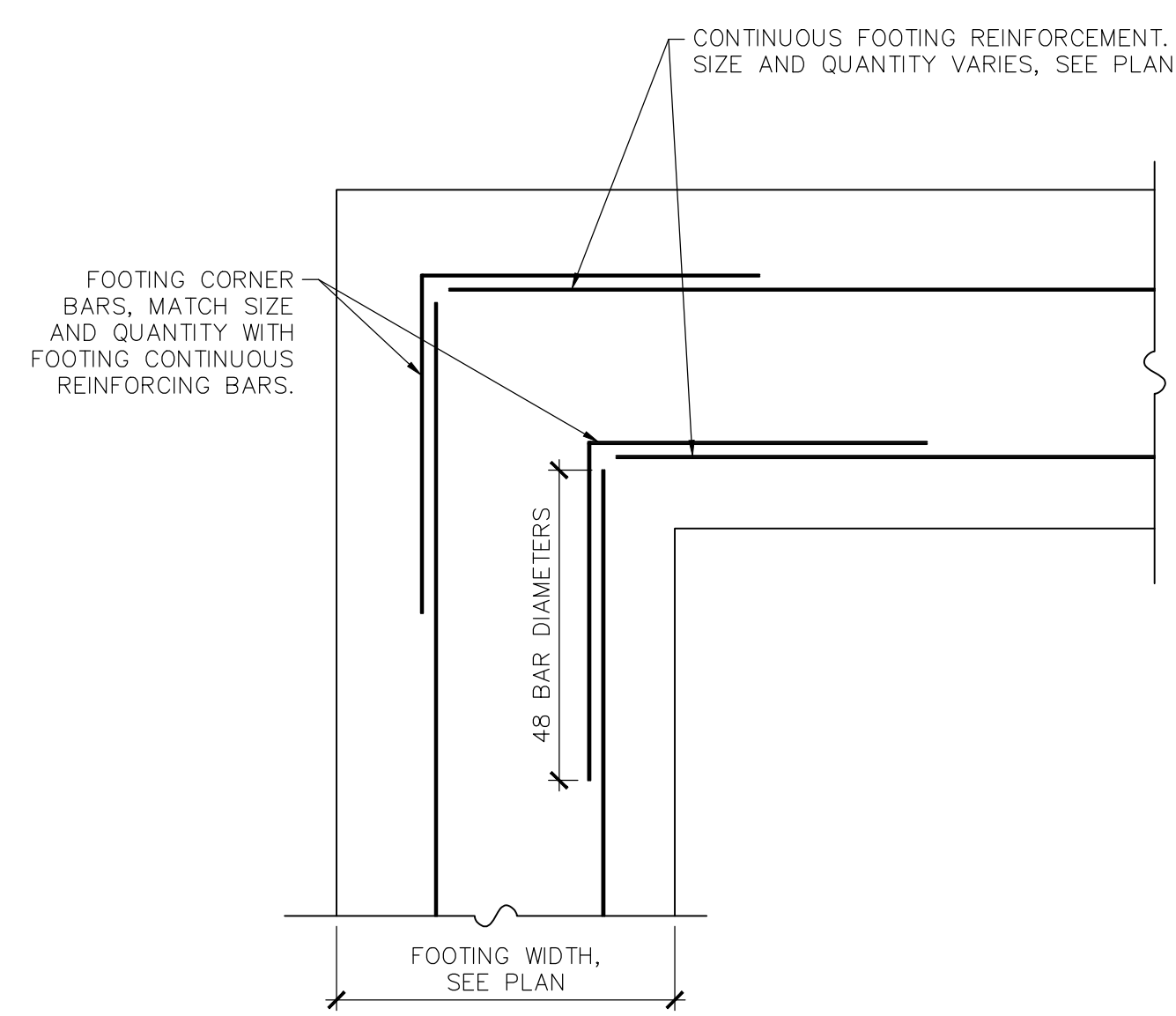
6 RAFTER AND JOIST TO WALL CONN
 S1 SCALE: 1"=1'-0"
 1. COORD. FLOOR ELEVATION W/ ARCHITECTURE



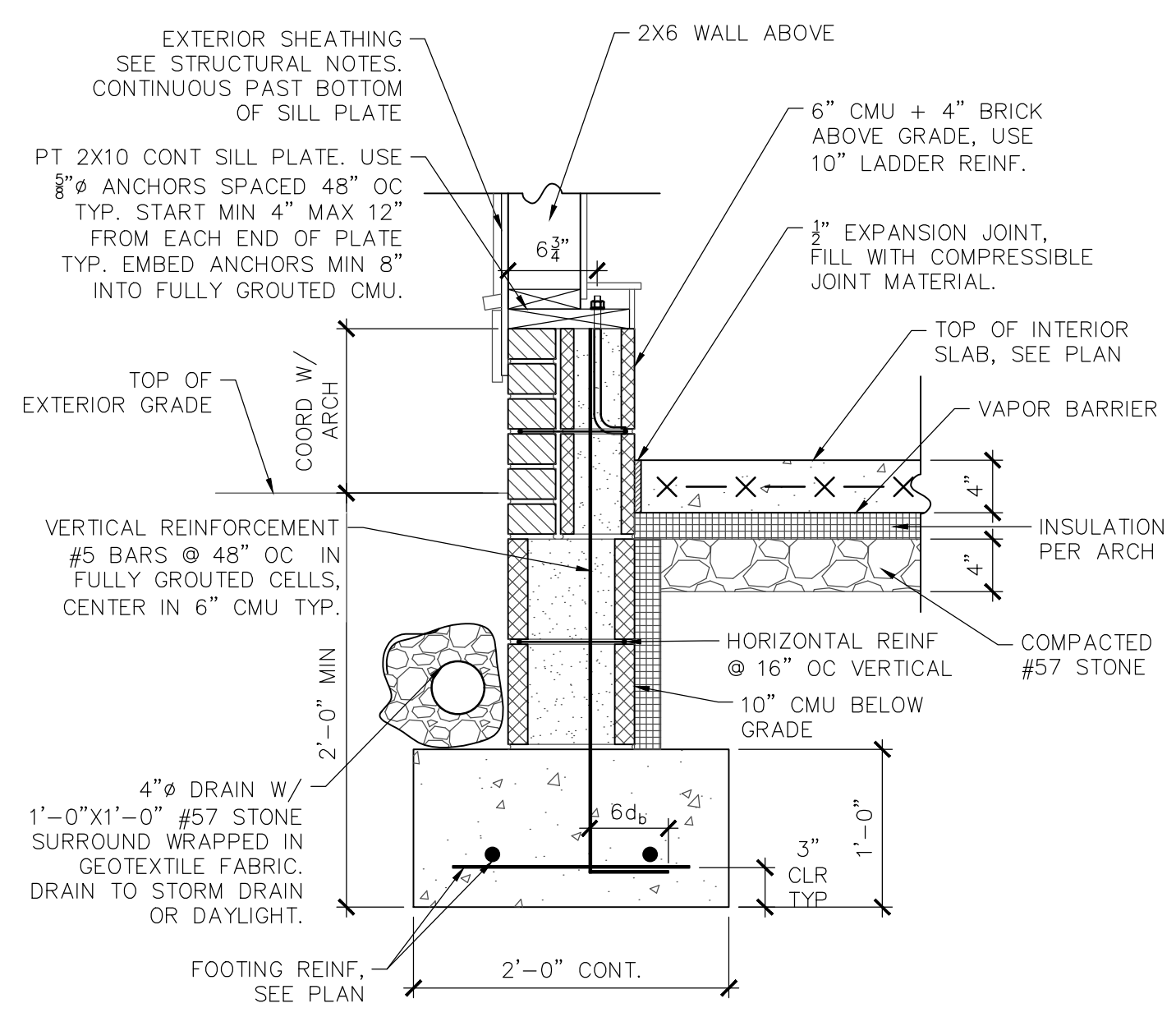
7 RAFTER AND JOIST AT GARAGE DOOR
 S1 SCALE: 1"=1'-0"
 1. FOR INFORMATION NOT SHOWN, SEE DET 5/S1



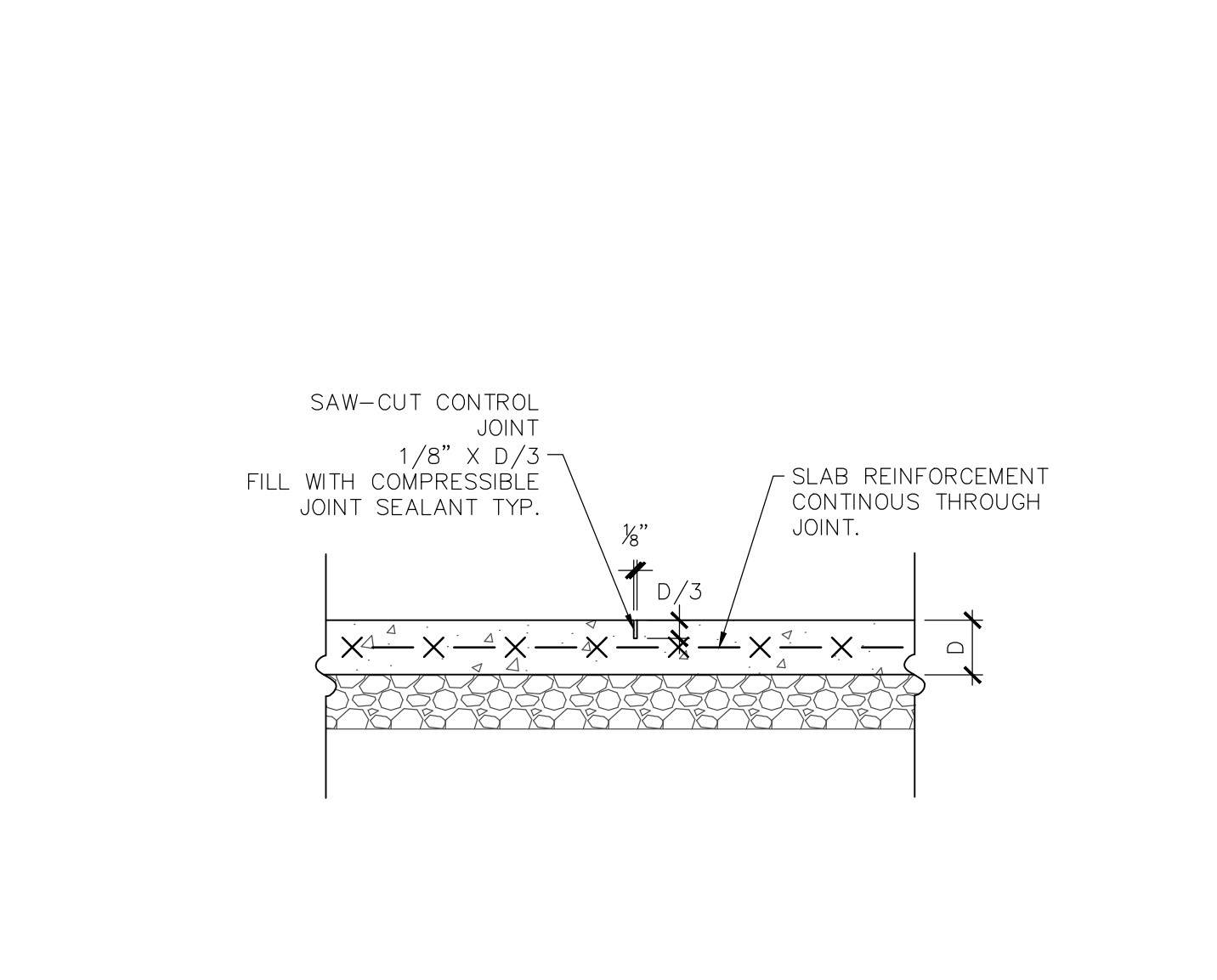
9 FOUNDATION DET AT GARAGE DOOR
 S1 SCALE: 1"=1'-0"



10 TYP FOOTING CORNER
 S1 SCALE: 1"=1'-0"



8 TYP FOUNDATION DET
 S1 SCALE: 1"=1'-0"



11 TYP SAW-CUT CONTROL JOINT
 S1 SCALE: 1"=1'-0"
 1. JOINT SEALANT SHALL CONFORM TO ASTM D1190