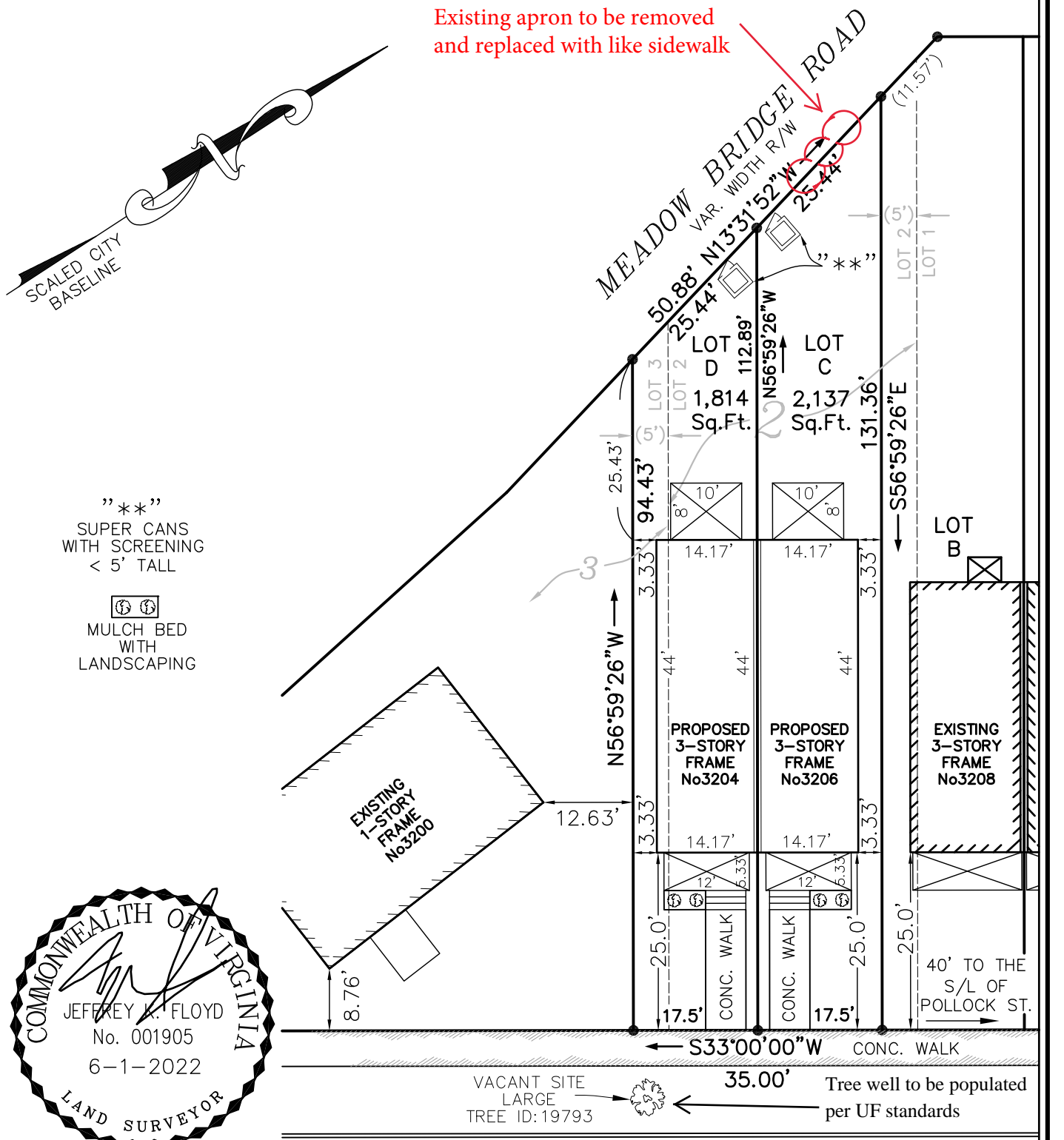


This is to certify to the PURCHASER/OWNER shown hereon, and his TITLE INSURER and Lender, that on 4-25-2022 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.



DELAWARE AVENUE
60'± R/W

SKETCH SHOWING THE DIVISION
OF A PORTION OF
LOTS 2 & 3, BLOCK 11,
"HIGHLAND PARK"
IN THE CITY OF RICHMOND, VA.



Virginia Surveys
P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
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REVISED: 6-1-2022
DATE: 5-9-2022
CERTIFIED BY JEFFREY K. FLOYD
VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=20'
JOB NO. 220314932

PRELIMINARY SET DRAWINGS OF 3206 DELAWARE AVE

PROJECT ADDRESS: 3206 DELAWARE AVE, RICHMOND, VA 23222
3-STORY 3-BEDROOM, 2-1/2 BATH, NEW CONSTRUCTION 2-FAMILY ATTACHED (DUPLEX) RESIDENCE



SHEET LIST	
PAGE #	TITLE
A0.0	COVER SHEET
A0.1	AREA PLANS, SITE PLAN, & SCHEDULES
A1.0	FOUNDATION & ROOF PLANS
A1.1	1ST & 2ND LEVEL CONSTRUCTION PLANS
A1.2	3RD LEVEL CONSTRUCTION PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS



NVISIONTEKBIM.COM
INFO@NVISIONTEKBIM.COM
CELL: 804.966.0074
NORTH CHESTERFIELD, VA 23236

REVISIONS

#	DATE	DESCRIPTION
1	5/27/2022	3RD LEVEL DESIGN CHANGES

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PROJECT NAME

3206 DELAWARE AVE

CLIENT(S)

KYLE HOFFER
3912 SEMINARY AVE
RICHMOND, VA, 23237
T: 804.486.0386

PROJECT ADDRESS

3206 DELAWARE AVE
RICHMOND, VA 23222

TITLE

COVER SHEET

DOCUMENT PHASE:
PRELIMINARY SET

PLOT DATE:

5/27/2022
3:09:47 PM

DRAWN BY:

DUSTIN HETRICK

SCALE: SEE PLAN

SHEET

A0.0

1 OF 12

ABBREVIATIONS LEGEND

ABV	ANCHOR BOLT	MAX	MECH	MECHANICAL
ABV	ABOVE	MFR	MIN	MINIMUM
ADJ	ADJUSTABLE	MLDG	MO	MOLDING
AFF	ABOVE FINISHED FLOOR	NTS	OC	NOT TO SCALE
ALUM	ALUMINUM	O	OH	ON CENTER
APPROX	APPROXIMATE	OSB	ORIENTED STRAND BOARD	
BLDG	BUILDING	PERF	PERFORATED	
BLKG	BLOCK	PGM	PLATE GLASS MIRROR	
BLKG	BLOCKING	PL	PROPERTY LINE	
BO	BOTTOM OF	PLY	PLYWOOD	
CJ	CENTER JOINT	PSI	POUNDS PER SQUARE INCH	
CL	CENTER LINE	PT	PRESSURE TREATED	
CLG	CLEAR	PWD RM	POWDER ROOM	
CMU	CONCRETE MASONRY UNIT	QTY	QUANTITY	
COL	COLUMN	REF	REFRIGERATOR	
CONC	CONCRETE	REINF	REINFORCED	
CONT	CONTINUOUS OR CONTINUE	REQD	REQUIRED	
CPT	CARPET	RM	ROOM	
CT	CERAMIC TILE	RO	ROUGH OPENING	
CWL	COLD WATER	SD	SMOKE DETECTOR	
DBL	DOUBLE	SF	SQUARE FEET	
DIA	DIAMETER	SHTG	SHEATHING	
DI	DIMENSION	SIM	SIMILAR	
DOOR	DOOR	STD	STANDARD	
DS	DOWN SPOUT	T&G	TONGUE & GROOVE	
DW	DISHWASHER	TBS	TO BE SELECTED	
DWG	DRAWING	TEL	TELEPHONE	
DRY	DRYER	TEMP	TEMPERED	
EA	EACH	TO	TOP OF	
EJ	EXPANSION JOINT	TOB	TOP OF BEAM	
ELV	ELEVATION	TOS	TOP OF SILL	
EQ	EQUAL	TPL	TOP PLATE	
EQUIP	EQUIPMENT	TYP	TYPICAL	
EXT	EXPOSED	UNO	UNLESS NOTED OTHERWISE	
FD	FLOOR DRAIN	VB	VAPOR BARRIER	
FF	FINISH FLOOR	VENT	VENTILATION	
FIN	FINISH	VERT	VERTICAL	
FLR	FLOOR (OR FLOORING)	W	WITH	
FND	FOUNDATION	W/O	WITHOUT	
FO	FACE OF	WASH	WASHER	
FOC	FACE OF CONCRETE	WD	WOOD	
FOF	FACE OF FRAMING	WIC	WALK-IN CLOSET	
FTG	FOOTING	WIND	WINDOW	
GWB	GYPSON	WP	WATER PROOFING	
HDR	HEADER	WR	WATER RESISTANT	
HGT	HEIGHT			
HR	HANDRAIL			
HVAC	HEATING / VENTILATING / AIR CONDITIONING			
INSUL	HOT WATER INSULATION			
INT	INTERIOR			
JST	JOIST			
JT	JOINT			
LAV	LAVATORY			
LVL	LAMINATED VENEER LUMBER			

NOTE:
IF AN ABBREVIATION IS FOUND IN THE SET OF PLANS, IS NOT LISTED ABOVE, AND THERE IS ANY QUESTIONS AS TO ITS INTENDED MEANING, NOTIFY NVISIONTEK, LLC IMMEDIATELY.

PROJECT INFORMATION

PROJECT NAME:
3206 DELAWARE AVE

PROJECT DESCRIPTION:
3-STORY 3-BEDROOM, 2-1/2 BATH, NEW CONSTRUCTION 2-FAMILY ATTACHED (DUPLEX) RESIDENCE

OWNER / CLIENT:
KYLE HOFFER
3912 SEMINARY AVE
RICHMOND, VA 23237
T: 804.486.0386
E: KYLE@WATCHTOWERHOMES.COM

PROJECT ADDRESS:
3206 DELAWARE AVE
RICHMOND, VA 23222

DRAWN BY:
NVISIONTEK, LLC
CONTACT: DUSTIN HETRICK
NORTH CHESTERFIELD, VA 23236
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ARCHITECT:
N/A

GENERAL CONTRACTOR / DEVELOPER:
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E: KYLE@WATCHTOWERHOMES.COM

BUILDING AREA:
OVERALL CONSTRUCTION SQUARE FOOTAGE MEASURED TO OUTSIDE SURFACE OF EXTERIOR WALLS, DECKS, PORCHES, OR PATIO SLAB

REFER TO AREA PLANS FOR AREA CALCULATIONS

GENERAL NOTES

- ALL WORK SHALL CONFORM TO ALL BUILDING AND OCCUPATIONAL SAFETY CODES PERTAINING TO THIS PROJECT.
- PRIOR TO ANY SITE ACTIVITIES, THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES.
- PLANS AND SPECIFICATIONS IN SOME INSTANCES, DO NOT CONTAIN SPECIFIC INSTRUCTIONS FOR INSTALLATION OR PREPARATION METHODS. CONTRACTOR AND SUBS ARE RESPONSIBLE FOR FOLLOWING ASTM STANDARDS AND APPLICABLE CODES.
- INTERIOR WALLS TO BE 2x6 STUD FRAMING; ALL OTHER INTERIOR WALLS TO BE 2x4 STUD FRAMING, U.N.O., REFER TO WALL TAGS AND LEGEND.
- ALL EXTERIOR WALLS TO BE 2x4 STUDS WITH 7/16" OSB, R-15 (MIN.) INSULATION, HOUSE WRAP, AND EXTERIOR FINISH, U.N.O..
- EXTERIOR DOORS TO HAVE MIN. 3'-0" X 3'-0" LANDING IF MORE THAN (3) RISERS ARE NEEDED TO REACH FINISHED GRADE, U.N.O..
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL EXTERIOR FRAMING DIMENSIONS ARE SHOWN TO FACE OF STUDS. ALL INTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUDS, U.N.O. WALL FINISHES ARE EXCLUDED UNLESS NOTED AS "FIN". REFER TO WALL LEGEND, IF SHOWN, FOR ADDITIONAL WALL INFORMATION.
- ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER LINE, AS-BUILT ONLY PLANS SHOW ALL WINDOW AND DOOR DIMENSIONS TO OPENING WIDTHS. ALL STRUCTURAL MEMBERS (FLOOR AND CEILING JOIST, RAFTERS, HEADERS, BEAMS) MUST NOT BE CHANGED WITHOUT VERIFICATION & APPROVAL, UNLESS TO MEET ENGINEERING REQUIREMENTS.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL INTERIOR OPENINGS 48" AND LARGER REQUIRE DOUBLE JACK STUDS. ALL HEADERS AT INTERIOR AND EXTERIOR LOAD-BEARING WALLS TO BE MIN. (2)2x6, U.N.O.; ALL HEADERS AT INTERIOR DOORS TO BE (2)2x6, U.N.O., REFERENCE R602.7 AND/OR VERIFY w/LICENSED STRUCTURAL ENGINEER.
- ALL LUMBER TO BE S.P.F. #2 OR BETTER U.N.O..
- INCREASE ENTRY DOOR ROUGH OPENING HEIGHT +3/4" WHEN THE FINISHED FLOOR IS 3/4" HARDWOOD OR TILE.
- DOUBLE UP ALL FLOOR JOISTS OR PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS BELOW ALL BEARING WALLS, TUBS, AND APPLIANCES.
- ALL DECORATIVE ELEMENTS AND FINISHES ARE TO BE SELECTED BY OWNER. CONTRACTOR TO VERIFY WITH OWNER PRIOR TO ORDERING AND INSTALLATION, TYP. FOR ENTIRE PROJECT.
- HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
- INSULATE ALL ACCESS DOORS / HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE, U.N.O. ON PLANS.
- REFER TO STRUCTURAL DRAWINGS (IF APPLICABLE) FOR ANY STRUCTURAL INFORMATION NOT INDICATED. VERIFY ALL STRUCTURAL ITEMS SHOWN THROUGHOUT DRAWINGS WITH LICENSED STRUCTURAL ENGINEER.

VICINITY MAP LOCATION

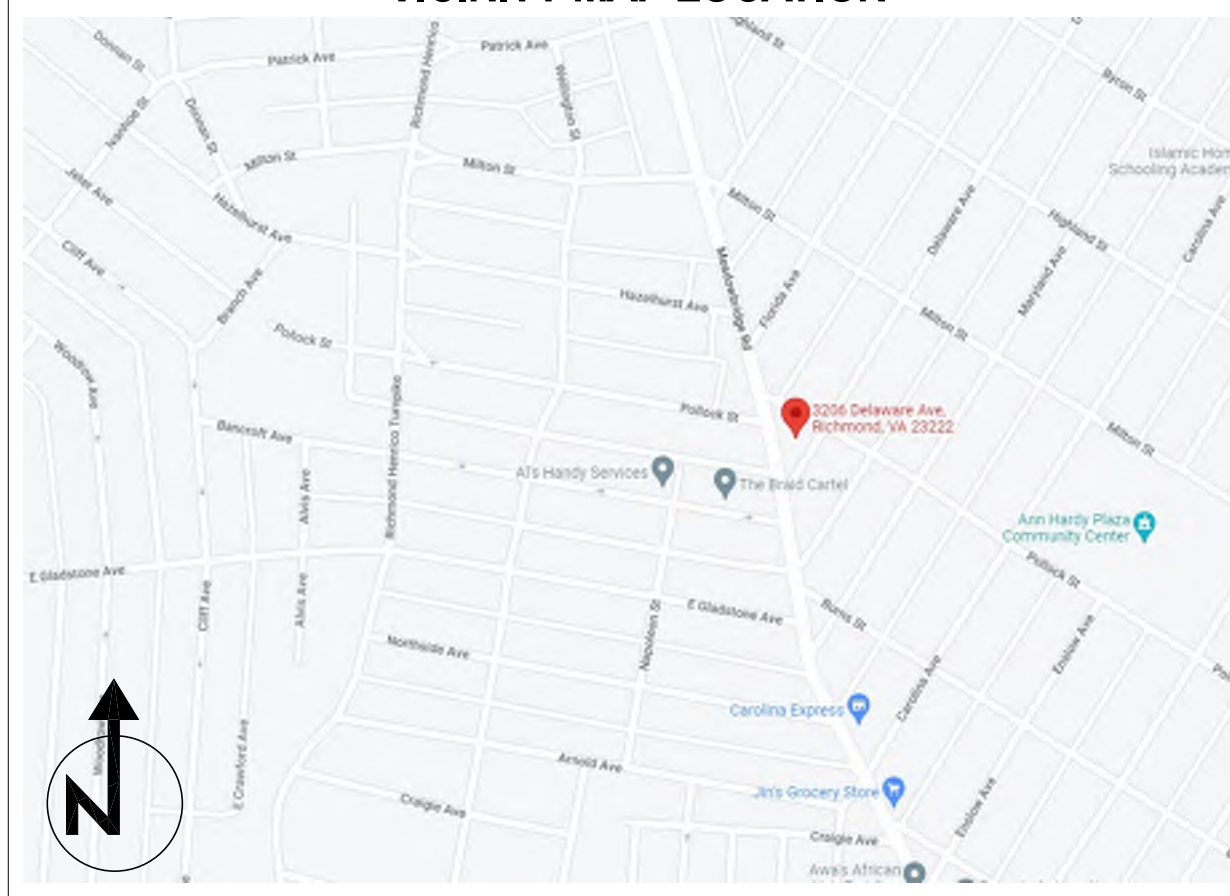


IMAGE OF EXISTING LOT



DRAWING SYMBOL LEGEND

PLAN # ON SHEET	VIEW TITLE	SECTION/ELEVATION/DETAIL #	VIEW TITLE
1	SCALE: 1/4" IN = 1 FT	E1	SCALE: 1/4" IN = 1 FT
DETAIL #	REFERENCING SHEET #	2x10 P.T. JOISTS @ 16" O.C.	FRAMING SPAN DIRECTION INDICATOR
DETAIL #	REFERENCING SHEET #	5" 12" SLOPED 1/4" / 1'-0"	PITCH / SLOPE INDICATOR
DETAIL #	REFERENCING SHEET #	BREAK LINE	CENTER LINE
DETAIL CALLOUT MARKER WITH AREA BOUNDARY		CONSTRUCTION LINE	
INTERIOR ELEVATION MARKER		PLAN NORTH	WOOD FRAMING (SECTION)
ROOM NAME X'-X" x X'-X"	ROOM NAME, ASSOCIATED w/ROOM SCHEDULE	BATT / CELLULOSE INSULATION	WOOD BLOCKING (SECTION)
DOOR NUMBER, ASSOCIATED w/DOOR SCHEDULE		RIGID INSULATION, U.N.O.	GRAVEL FILL, U.N.O.
WINDOW NUMBER, ASSOCIATED w/WINDOW SCHEDULE		CLOSED-CELL FOAM INSULATION, U.N.O.	EARTH OR COMPACTED FILL, U.N.O.
NOTE, ASSOCIATED w/ CORRESPONDING SCHEDULE		CMU BLOCKS, U.N.O.	TILE FLOOR (GENERIC), U.N.O.
LEVEL NAME	ELEVATION MARKER w/HEIGHT	BRICKS, U.N.O.	DROPPED CEILING OR SOFFIT, U.N.O.
		CONCRETE, U.N.O.	ASPHALT SHINGLE ROOFING, U.N.O.
			DECK/PORCH PLANKING OR SIDING, U.N.O.

BUILDING CODE & ZONING

PROJECT SHALL CONFORM TO THE 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND 2015 VIRGINIA INTERNATIONAL RESIDENTIAL CODE, RICHMOND COUNTY ZONING, LOT ZONED R-3 CONSTRUCTION TYPE V-B

STRUCTURAL REQUIREMENTS (VERIFY w/LICENSED ENGINEER):
• FROST DEPTH: 18" OR PER SOIL REPORT AND/OR ENGINEER
• ULTIMATE DESIGN WIND SPEED: 115 MPH, EXPOSURE B
• SNOW LOAD: 20 PSF
• SEISMIC DESIGN CATEGORY: B
• MAXIMUM BUILDING HEIGHT: 35'-0"
• FOUNDATION: SEE GEOTECHNICAL REPORT BY OTHERS
• EXTERIOR WALL BRACING PER IRC R602.10

MINIMUM INSULATION REQUIREMENTS

REFER TO TABLE R1102.1.2 (R402.1.2)
• CLIMATE ZONE: 4
• PENETRATION U-FACTOR: 0.35
• SKYLIGHT U-FACTOR: 0.55
• GLAZED FENESTRATION SHGC: 0.40
• CEILING R-VALUE: 38
• WOOD FRAME WALL R-VALUE: 13
• MASS WALL R-VALUE: 8 (CONTINUOUS) / 13 (CAVITY)
• FLOOR R-VALUE: 19
• BASEMENT WALL R-VALUE: 10 (CONTINUOUS) / 13 (CAVITY)
• UNHEATED SLAB R-VALUE & DEPTH: NOT REQUIRED
• HEATED SLAB R-VALUE: R-5
• CRAWL SPACE WALL R-VALUE: 10 (CONTINUOUS) / 13 (CAVITY)

DOOR SCHEDULE - ALL LEVELS / BOTH UNITS									
NUMBER	LABEL	QTY	WIDTH	HEIGHT	DESCRIPTION	MANUFACTURER	SHGC	U-FACTOR	COMMENTS
D01	2814 L EX	1	32"	16"	CRAWLSPACE ACCESS		0	0	PAINTED PLYWOOD DOOR
D02	3068 R EX	1	36"	80"	HINGED EXTERIOR HALF-LITE ENTRY	THERMA TRU DOORS	0.4	0.35	
D03	2868 L EX	1	32"	80"	HINGED EXTERIOR FULL-LITE DOOR	THERMA TRU	0.4	0.35	REAR ENTRY DOOR
D05	2068 R IN	2	24"	80"	HINGED INTERIOR DOOR		0	0	
D06	2068 L IN	1	24"	80"	HINGED INTERIOR DOOR		0	0	
D07	2068 L IN	2	24"	80"	HINGED INTERIOR DOOR		0	0	
D08	4068 UR TBD	4	48"	80"	DOUBLE HINGED INTERIOR DOOR		0	0	
D09	2668 L IN	6	30"	80"	HINGED INTERIOR DOOR		0	0	
D10	2668 L IN	1	30"	80"	INT. HINGED DOOR		0	0	
D11	2668 R IN	6	30"	80"	HINGED INTERIOR DOOR		0	0	
D12	2468 R IN	2	28"	80"	HINGED INTERIOR DOOR		0	0	
D13	2468 L IN	2	28"	80"	HINGED INTERIOR DOOR		0	0	
D14	2814 R EX	1	32"	16"	CRAWLSPACE ACCESS		0	0	PAINTED PLYWOOD DOOR
D15	2068 R IN	1	24"	80"	HINGED INTERIOR DOOR		0	0	
D16	2868 R EX	1	32"	80"	HINGED EXTERIOR FULL-LITE DOOR	THERMA TRU	0.4	0.35	REAR ENTRY DOOR
D17	3068 L EX	1	36"	80"	HINGED EXTERIOR HALF-LITE ENTRY	THERMA TRU DOORS	0.4	0.35	
D18	2668 R IN	1	30"	80"	INT. HINGED DOOR		0	0	
D19	5068 L EX	2	60"	80"	SLIDER EXTERIOR DOOR	PLY GEM	0.4	0.35	

WINDOW SCHEDULE - ALL LEVELS / BOTH UNITS															
NUMBER	LABEL	QTY	FLOOR	WIDTH	HEIGHT	TOP	BOTTOM	DESCRIPTION	EGRESS	TEMPERED	DIVIDED LITES	MANUFACTURER	SHGC	U-FACTOR	COMMENTS
W01	3014TR	2	1	36"	16"	97"	81"	FIXED GLASS TRANSCOM			2X1	THERMA TRU DOORS	0.4	0.35	OVER FRONT ENTRY DOOR
W02	2828FX	4	3	32"	32"	92"	60"	1100 SERIES VINYL SERIES FIXED GLASS	YES		2X1	PLY GEM	0.4	0.35	
W03	2834SC	2	1	32"	40"	92"	52"	1100 SERIES VINYL SERIES SINGLE CASEMENT-HR			2X1	PLY GEM	0.4	0.35	
W04	2860SH	10	1	32"	72"	92"	20"	1100 SERIES VINYL SERIES SINGLE HUNG			2X1 / 2X1	PLY GEM	0.4	0.35	
W05	2860SH	4	2	32"	72"	92"	20"	1100 SERIES VINYL SERIES SINGLE HUNG	YES		2X1 / 2X1	PLY GEM	0.4	0.35	
W06	2830FX	8	2	32"	36"	92"	56"	1100 SERIES VINYL SERIES FIXED GLASS			2X1	PLY GEM	0.4	0.35	
W07	2040SH	2	2	24"	48"	92"	44"	1100 SERIES VINYL SERIES SINGLE HUNG		YES	2X1 / 2X1	PLY GEM	0.4	0.35	
W08	2856SH	6	2	32"	66"	92"	26"	1100 SERIES VINYL SERIES SINGLE HUNG	YES		2X1 / 2X1	PLY GEM	0.4	0.35	
W09	2856SH	6	3	32"	66"	92"	26"	1100 SERIES VINYL SERIES SINGLE HUNG	YES		2X1 / 2X1	PLY GEM	0.4	0.35	
W10	2856SH	2	3	32"	66"	92"	26"	1100 SERIES VINYL SERIES SINGLE HUNG	YES	YES	2X1 / 2X1	PLY GEM	0.4	0.35	

ROOM FINISH SCHEDULE - ALL LEVELS									
NUMBER	ROOM NAME	FLOOR	AREA, INTERIOR (SQ FT)	DIMENSIONS	CEILING ROUGH HEIGHT	CEILING FINISH HEIGHT	FLOOR FINISH	CEILING FINISH	WALL MATERIAL
R01	CRAWL SPACE	0	557	13'-1" X 42'-9"	N/A	N/A	6-MIL. VAPOR BARRIER		GREY BLOCKS RUNNING BOND
R02	CLOSET	1	8	2'-4" X 3'-7"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
R03	DINING ROOM	1	129	9'-9" X 13'-4"	109 1/4", 119 1/4"	108", 118"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R04	COVERED PORCH	1	63	12'-0" X 5'-3"	113 1/4"	113"	5/4X8 P.T. PINE DECKING	1/4" BEADBOARD CEILING, STYLE & COLOR TBD	HORIZONTAL LAP SIDING, COLOR TBD
R05	KITCHEN	1	153	13'-4" X 14'-1"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R06	LIVING ROOM	1	212	13'-4" X 15'-11"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R07	UTILITY	1	20	3'-3" X 6'-3"	109 1/4", 119 1/4"	108", 118"	3/4" TILE FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
R08	STAIRS	1	21	3'-3" X 6'-7"	119 1/4"	118"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, FIR STUD 16" OC
R09	POWDER	1	20	3'-3" X 6'-3"	109 1/4"	108"	IVORY TILES, THINSET MORTAR, BACKERSBOARD 1/4"	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
R10	RAISED CONCRETE PATIO	1	81	10'-2" X 8'-0"	N/A	N/A		1/4" BEADBOARD CEILING, STYLE & COLOR TBD	HORIZONTAL LAP SIDING, COLOR TBD
R11	BATH	2	46	4'-11" X 9'-5"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R12	BEDROOM 1	2	115	9'-10" X 11'-8"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R13	BEDROOM 2	2	153	13'-4" X 11'-6"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R15	LAUNDRY	2	25	4'-11" X 5'-0"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R17	MECHANICAL	2	9	3'-1" X 2'-11"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
R18	OPEN BELOW	2	8	0'-9" X 11'-4"	228 1/2"	227 1/4"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
R19	STAIRWELL	2	19	4'-4" X 4'-5"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
R20	W.I.C.	2	21	4'-11" X 4'-4"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R21	W.I.C.	2	22	3'-1" X 7'-1"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, COLOR - NEUTRAL WHITE
R22	OPEN BELOW	2	36	3'-3" X 11'-4"	228 1/2", 238 1/2"	227 1/4", 237 1/4"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
R23	HALL	2	88	8'-1" X 3'-10"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
R24	OPEN BALCONY	3	153	13'-3" X 11'-7"	N/A	N/A	DURADECK EPDM MEMBRANE, PLYWOOD HORIZONTAL, FIR FRAMING 1"	1/4" BEADBOARD CEILING, STYLE & COLOR TBD	HORIZONTAL LAP SIDING, COLOR TBD
R25	CLOSET	3	12	5'-10" X 2'-0"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R26	OWNER BEDROOM	3	274	13'-4" X 31'-4"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R27	CLOSET	3	15	3'-3" X 4'-7"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
R28	OWNER BATH	3	60	5'-10" X 10'-9"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR TBD
R30	OPEN BELOW	3	34	3'-3" X 10'-7"	228 1/2"	227 1/4"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD
TOTALS:			4708						

LIVING AREA SCHEDULE (EACH UNIT)				
DESCRIPTION	AREA (SQ FT)	PERIMETER	AREA TYPE	LEVEL
1ST LEVEL LIVING AREA	616.0	1392"	LIVING AREA	1
2ND LEVEL LIVING AREA	616.0	1392"	LIVING AREA	2
3RD LEVEL LIVING AREA	448.0	1104"	LIVING AREA	3
TOTALS:	1680.0	3888"		

NON-LIVING AREA SCHEDULE (EACH UNIT)				
DESCRIPTION	AREA (SQ FT)	PERIMETER	AREA TYPE	LEVEL
COVERED PORCH AREA	64.0	416"	NON-LIVING AREA	1
OPEN BALCONY AREA	168.0	624"	NON-LIVING AREA	3
RAISED PATIO AREA	80.0	432"	NON-LIVING AREA	1
TOTALS:	456.0	2307"		

GENERAL WINDOW & DOOR NOTES

- BEDROOM WINDOW SILL FINISHED HEIGHT MUST BE NO MORE THAN 44" A.F.F AND MUST PROVIDE MINIMUM EGRESS OPENINGS OF 5.7 SF WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20". REFERENCE R310.1-4;R310.4.
- VERIFY WINDOW ROUGH OPENINGS WITH MANUFACTURER.
- OWNER AND/OR CONTRACTOR TO SELECT EXACT CLADDING AND INTERIOR CASING STYLE AND FINISHES, AND HARDWARE.
- DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" THICK TIGHT FITTING SOLID CORE WITH A 60-MINUTE MIN. FIRE RATING. DOOR SHALL BE SELF-CLOSING.
- EXTERIOR EXIT DOORS SHALL BE 36" MIN., NET CLEAR OPENING SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE.
- MAXIMUM FENESTRATION U-FACTOR OF 0.35 (DOORS & WINDOWS) WITH ONE DOOR & WINDOW EXCEPTION. MAXIMUM FENESTRATION U-FACTOR OF 0.60 FOR SKYLIGHTS.
- ALL GLAZING WITHIN 18" OF THE FLOOR AND/OR WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING.
- ALL TUB AND SHOWER ENCLOSURES & GARAGE DOOR GLAZING ARE TO BE GLAZED WITH SAFETY GLAZING.
- DOOR AND WINDOW SIZES AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR AND DOOR/WINDOW SALES REPRESENTATIVE PRIOR TO ORDERING AND INSTALLING.
- THE "LABEL" COLUMN OF THE WINDOW SCHEDULE INDICATES THE SIZE AND TYPE IN THE FOLLOWING FORMAT: "WIDTHxHEIGHT(TYPE)" = FEET-INCH WIDTH/FEET-INCH HEIGHT/WINDOW TYPE. FOR EXAMPLE, A WINDOW LABEL OF 2840DH IS A 2'-8" WIDE x 4'-0" TALL DOUBLE HUNG WINDOW.
- THE FOLLOWING WINDOW TYPES INDICATE THE FOLLOWING: "AW" = SINGLE-AWNING, "FA" = DOUBLE-AWNING, "TA" = TRIPLE-AWNING, "SH" = SINGLE-HUNG, "DH" = DOUBLE-HUNG, "SC" = SINGLE-CASEMENT, "DC" = DOUBLE-CASEMENT, "TC" = TRIPLE CASEMENT, "FX" = FIXED, "LS" = LEFT SLIDING, "RS" = RIGHT SLIDING, "TS" = TRIPLE SLIDING, "HO" = SINGLE-HOPPER, "RH" = DOUBLE-HOPPER, "TH" = TRIPLE HOPPER, "LV" = SINGLE-LOUVER, "GL" = GLASS LOUVER, "PT" = PASS-THROUGH.
- THE "LABEL" COLUMN OF THE DOOR SCHEDULE INDICATES THE FOLLOWING: "WIDTHxHEIGHTxHINGE SIDE/INTERIOR OR EXTERIOR" = FEET-INCH WIDTH/FEET-INCH HEIGHT, "L" = LEFT SWING, "R" = RIGHT SWING, "IN" = INTERIOR DOOR, "EX" = EXTERIOR DOOR. FOR EXAMPLE, A DOOR SIZE OF 2868 IS 2'-8" WIDE AND 6'-8" TALL.

GENERAL SITE PLAN & GRADING NOTES

- SITE SURVEY TO BE COMPLETED TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION.
- CALL BEFORE YOU DIG: 811 OR 1-800-522-7001. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- SITE PLAN SHOWN IS BASED ON SITE SURVEY CONDUCTED BY OTHERS. PURPOSE IS TO SHOW HOUSE LOCATION RELATIVE TO THE PROPERTY. REFER TO SITE SURVEY (BY OTHERS) TO VERIFY INFORMATION SHOWN IS ACCURATE.
- PROPERTY LINES, IF SHOWN, ARE DUPLICATED FROM SITE SURVEY, BUT MAY VARY SLIGHTLY.
- ELEVATION GRADE MARKERS ARE RELATIVELY ACCURATE, BUT MAY VARY SLIGHTLY FROM TRUE EXISTING OR PROPOSED CONDITIONS.

GENERAL EROSION CONTROL NOTES

- INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
- ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
- HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURER'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.
- DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

KEYNOTE LEGEND - SITE PLAN



REVISIONS

#	DATE	DESCRIPTION
1	5/27/2022	3RD LEVEL DESIGN CHANGES

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TITLE

AREA PLANS, SITE
PLAN, & SCHEDULES

DOCUMENT PHASE:
PRELIMINARY SET

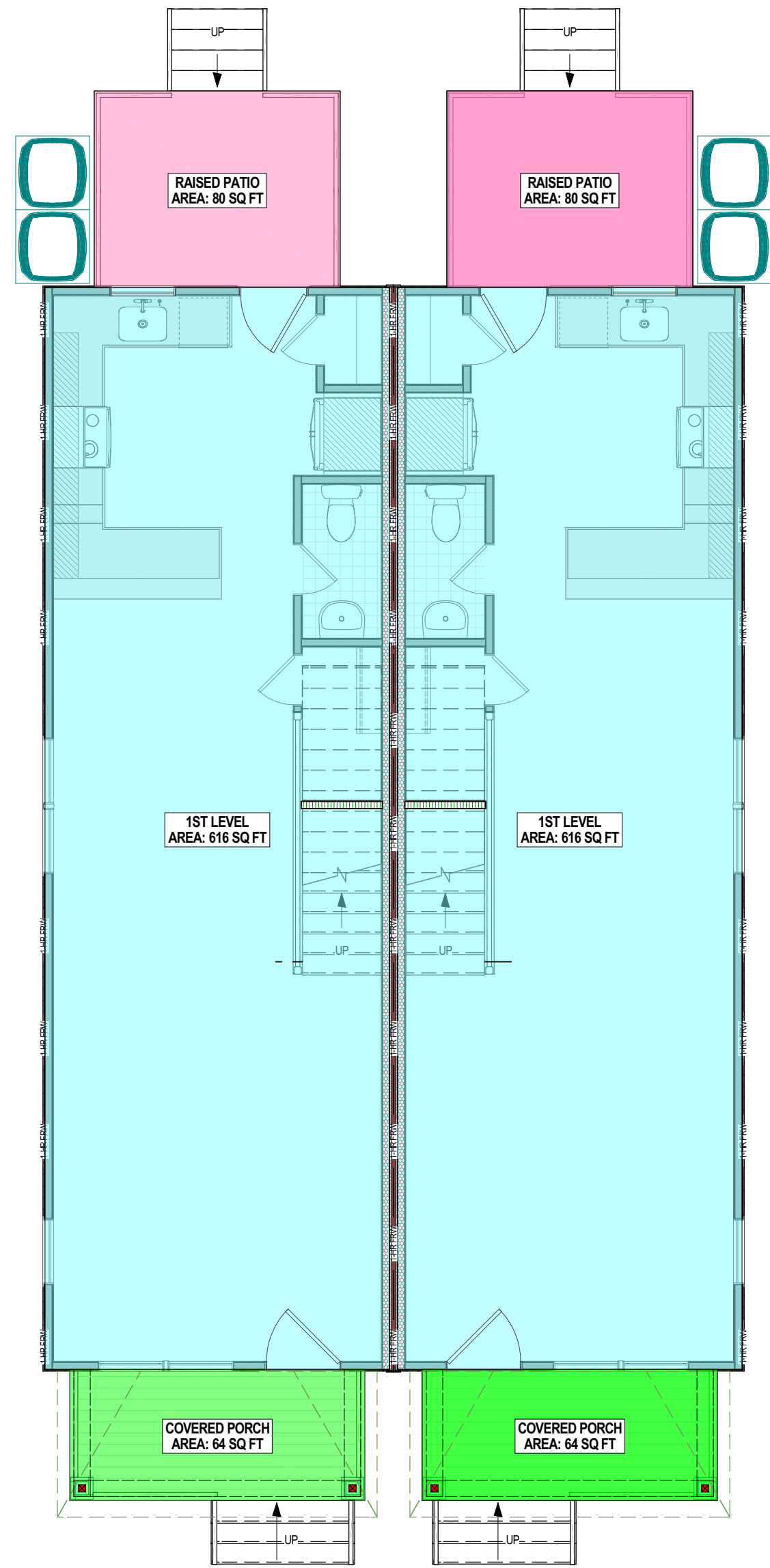
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DUSTIN HETRICK

SCALE: SEE PLAN

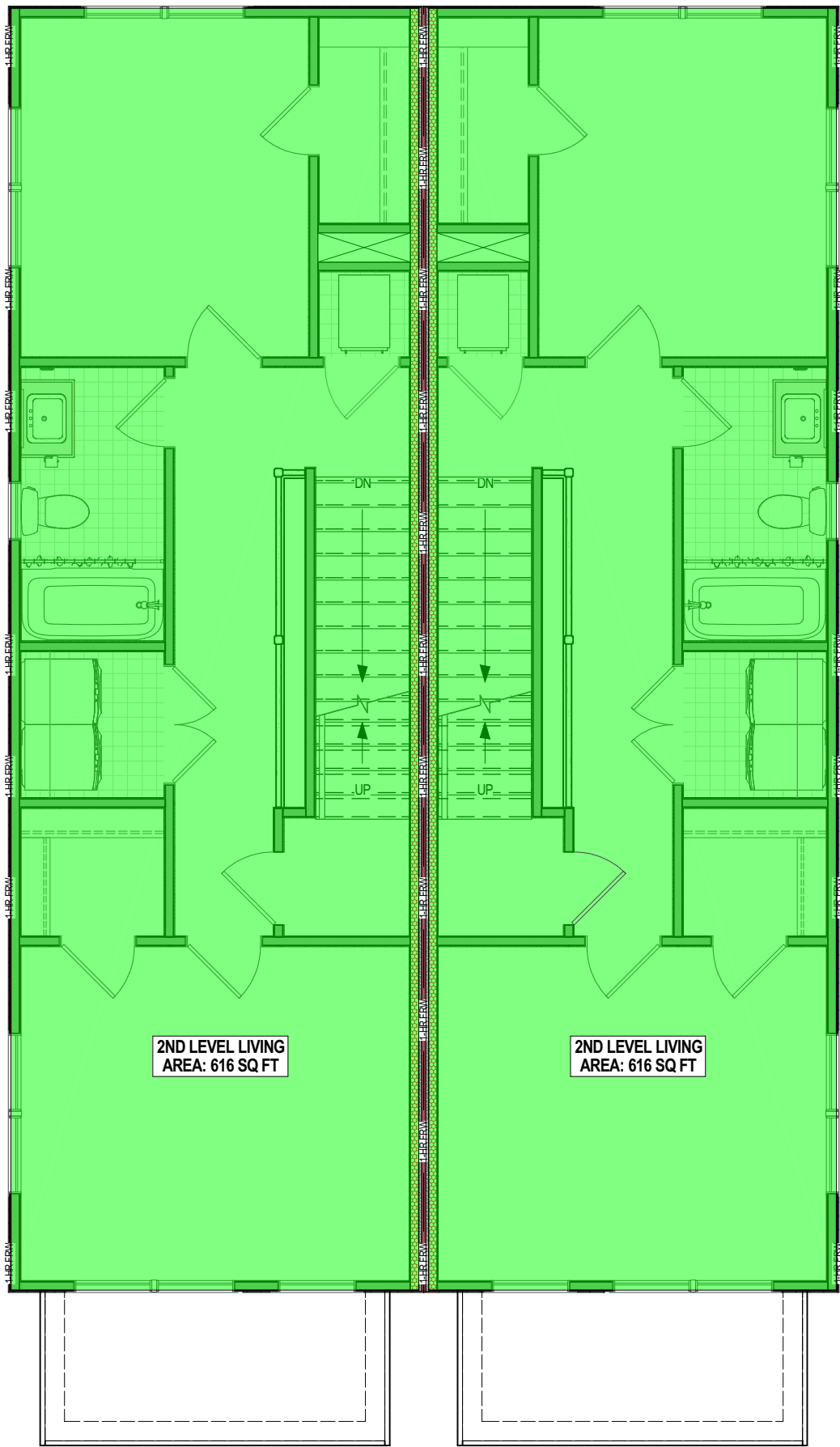
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2 OF 12



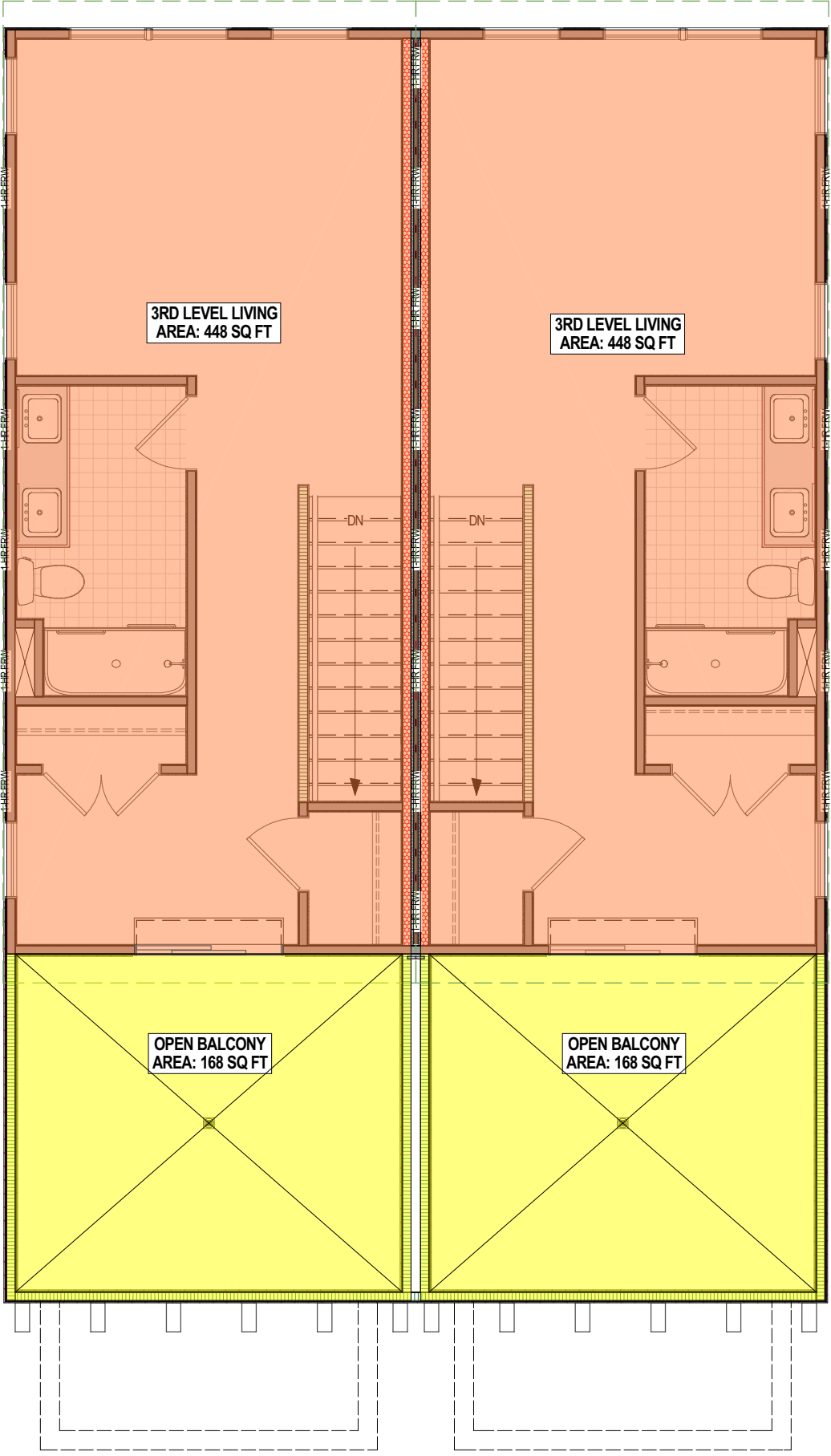
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SCALE: 3/16 IN = 1 FT



2 2ND LEVEL AREA PLAN

SCALE: 3/16 IN = 1 FT



3 3RD LEVEL AREA PLAN

SCALE: 3/16 IN = 1 FT

PENDING
SURVEYOR
DRAWING

4 SITE PLAN

SCALE: AS NOTED ON PLAN

REVISIONS

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TITLE

FOUNDATION & ROOF PLANS

DOCUMENT PHASE:
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3 OF 12

KEYNOTE LEGEND - FOUNDATION PLAN

KEYNOTE LEGEND - ROOF PLAN

GENERAL ROOF VENT CALCULATIONS

TWO METHODS OF NET FREE VENT AREA (NFVA) CALCULATION

- 1:150 (1 SF OF VENTILATION FOR EVERY 150 SF OF ATTIC FLOOR SPACE)
- 1:300 (1 SF OF VENTILATION FOR EVERY 300 SF OF ATTIC FLOOR SPACE)

THE US FHA REQUIRES A MIN. OF 1:300 NFVA, HOWEVER 1:150 IS RECOMMENDED FOR OPTIMAL PERFORMANCE, AND MAY BE REQUIRED DEPENDING ON LOCAL BUILDING CODES.

BOTH OF THESE CALCULATIONS ARE BASED ON AN IDEALLY BALANCED SYSTEM (50% INTAKE, 50% EXHAUST).

ROOF SQUARE FOOTAGE:
MAIN ROOF SQUARE FOOTAGE = XXX SF +/- AT 1:150 = XXX SQ. IN. OF NET FREE VENT AREA (NFVA)

50% INTAKE (EAVE VENT) = XX LF +/- SF AT EAVES
50% EXHAUST VENT (RIDGE VENT) = 19.2 +/- SF AT RIDGES

EAVE PERIMETER AVAILABILITY = XX'X" LF +/-
AVAILABLE RIDGE LENGTH = XX'X" LF +/-

GENERAL ROOF PLAN NOTES

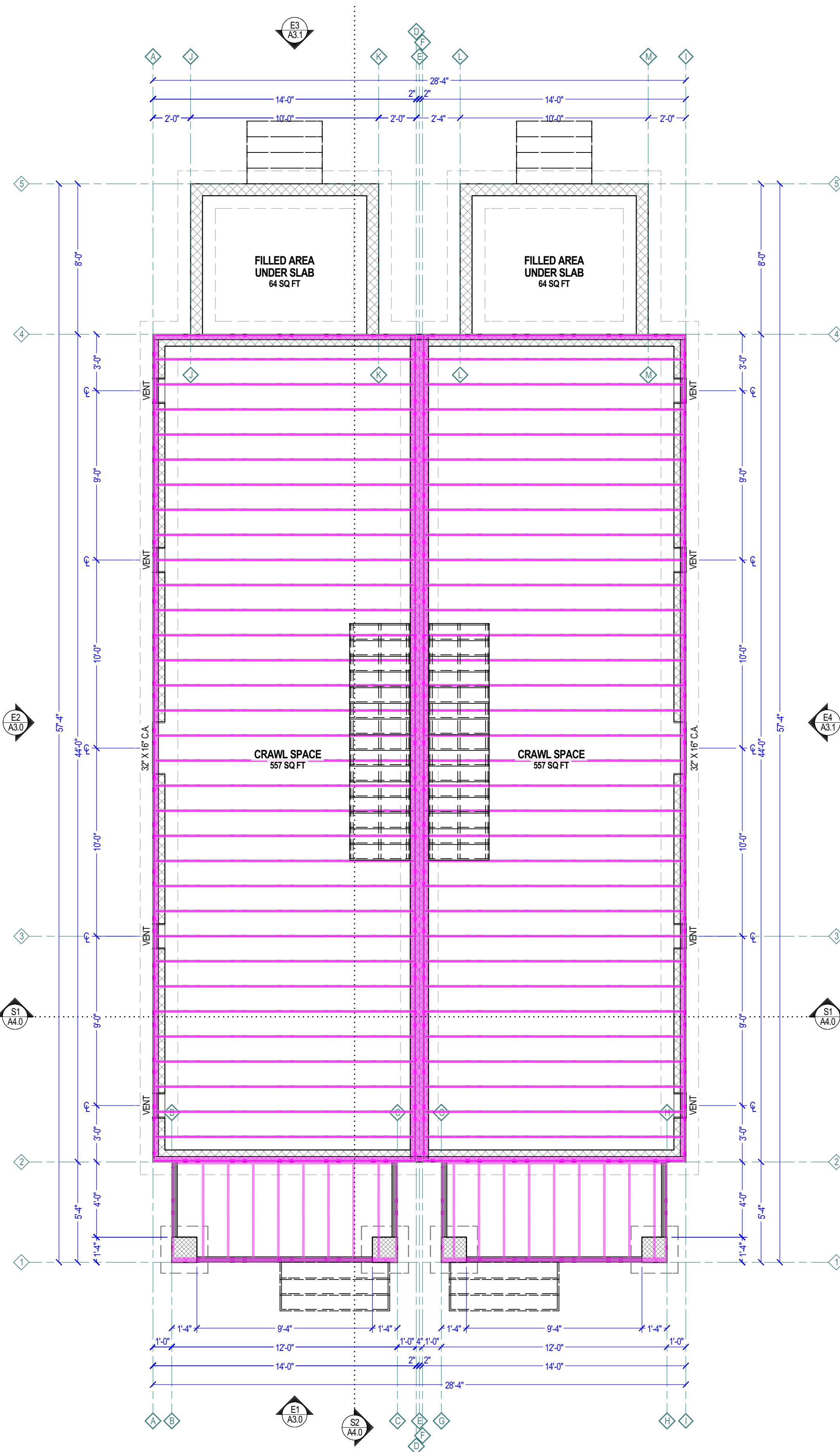
1. ROOF SLOPE ARROWS POINT IN THE DIRECTION IN WHICH WATER WILL FLOW.
2. INSTALL ROOF COVERINGS, FLASHING, CRICKETS, AND ROOF DRAINAGE IN ACCORDANCE WITH CODE REQUIREMENTS.
3. ANY TRUSSES SHOWN ARE FOR ILLUSTRATION ONLY. REFERENCE TRUSS LAYOUT DRAWINGS BY OTHERS, IF TRUSSES ARE NOTED (IN LIEU OF RAFTERS).
4. RIDGE VENT AS READ FOR ADEQUATE VENTILATION, UNLESS PLANS INDICATE SEALED AND CONDITIONED ATTIC SPACE.
5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
6. PLACE ROOF PENETRATIONS (EXHAUSTS, VENT STACKS, ETC.) IN LEAST VISIBLE AREAS PRACTICAL.
7. PROVIDE ICE & WATER SHIELD 3' UP FROM ROOF EDGES & IN ALL VALLEY.
8. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

GENERAL FOUNDATION NOTES

1. FOUNDATION WALLS TO BE CONCRETE MASONRY UNITS (CMU) WITH PARGE COAT TO GRADE. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND FOR ASSEMBLY INFORMATION AND THICKNESSES.
2. FOOTINGS ARE POURED CONCRETE WITH A2.00A-PFSF MIN. SOIL BEARING REQUIREMENT. FOOTING SIZE, REINFORCEMENT, AND DEPTH BELOW GRADE (TYPICALLY 18" MIN.) ARE TO BE PER ENGINEER'S SOILS REPORT. STEPPED FOOTINGS MAY BE NECESSARY PER THE SITE TOPOGRAPHY, AND ARE INDICATED WITH "SF-SF" SYMBOLS. NEW FOOTINGS SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY ADJACENT EXISTING FOOTING THAT IS TO REMAIN. COMPRESSIVE STRENGTH OF FOOTINGS TO BE PER ENGINEER.
3. CONCRETE SLABS BE TO MIN. 3-1/2" THICK OVER 6 MIL VAPOR RETARDER ABOVE 4" MIN. CRUSHED STONE OVER COMPACTED EARTH. REINFORCEMENT TO BE 6X6 WIRE MESH, OR PER ENGINEER. COMPRESSIVE STRENGTH OF SLABS TO BE PER ENGINEER.
4. CRAWL ACCESS TO BE PROVIDED, 16" x 24" MIN. SIZE, IN PERIMETER WALL. PROVIDE CLEARANCE OPENING BELOW GRADE IF NECESSARY. REFERENCE IRC R408.4.
5. 6 MIL (MIN.) VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPE.
6. 16"x8" FOUNDATION VENTS TO BE PROVIDED FOR UNCONDITIONED CRAWL SPACES, MIN. OF 1 PER 150 SQ. FT. REFERENCE IRC R408.1 AND R408.2.
7. ALL DIMENSIONS ARE TO FACE OF FOUNDATION OR CENTER OF COLUMNS AND BEAMS, U.N.O.
8. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

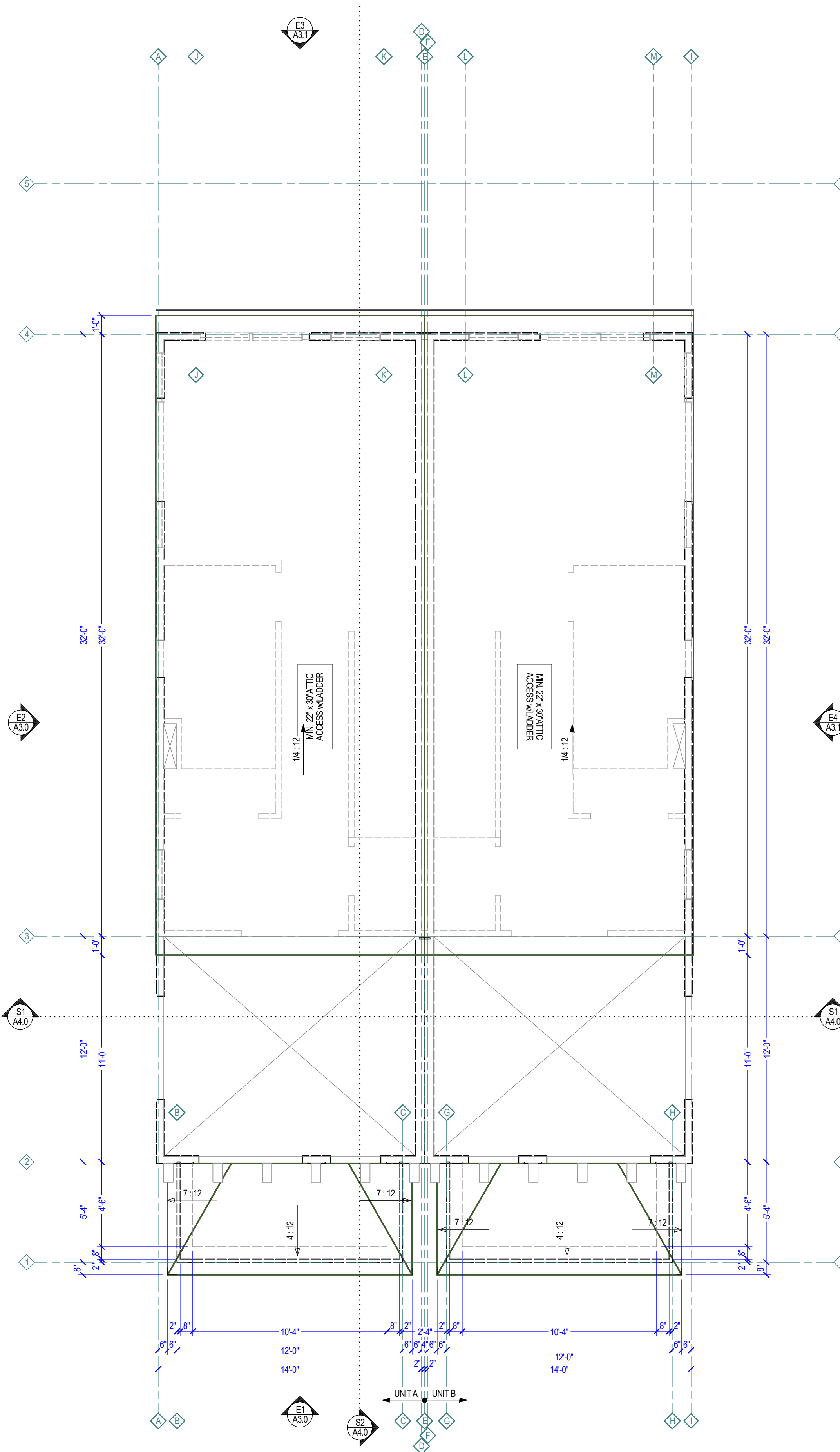
WALL TYPE LEGEND

	EXIST. WALL (ANY TYPE)
	EXIST. WALL DEMOLISHED (ANY TYPE)
	NEW 2X4 2-HR FIRE-RATED PARTY WALL
	NEW 2X6 2-HR FIRE-RATED PARTY WALL
	NEW 2X4 1-HOUR FIRE RATED WALL
	NEW 2X4 WALL
	NEW 2X4 PARTIAL HEIGHT WALL
	NEW 2X6 WALL
	NEW 2X6 PARTIAL HEIGHT WALL
	INTERIOR LOAD-BEARING WALL
	NEW GLASS PANEL
	NEW CONCRETE WALL
	NEW CMU WALL
	OPTIONAL/FUTURE PHASE WALL
	NEW LOAD BEARING POST



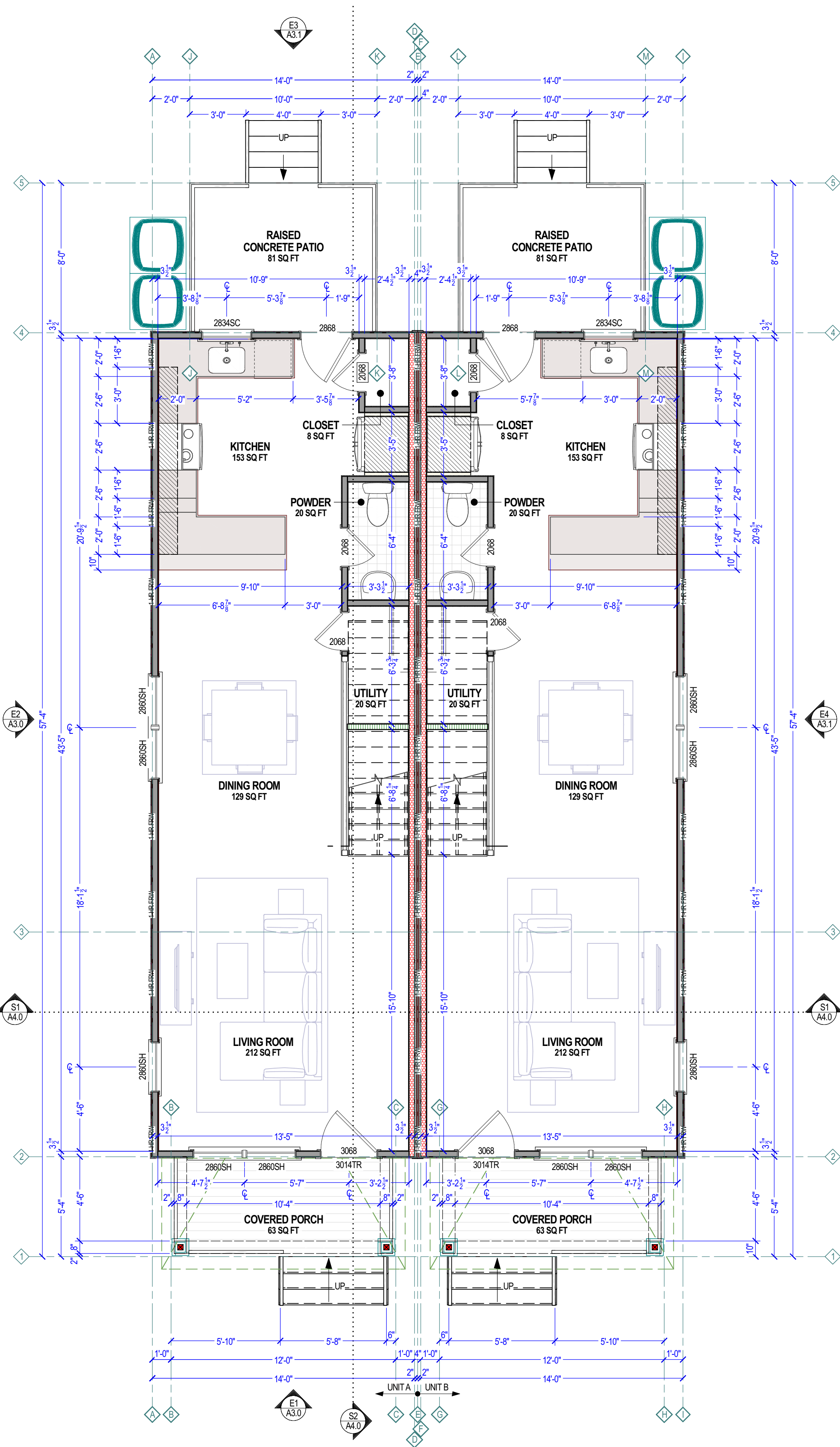
1 FOUNDATION PLAN

SCALE: 1/4 IN = 1 FT



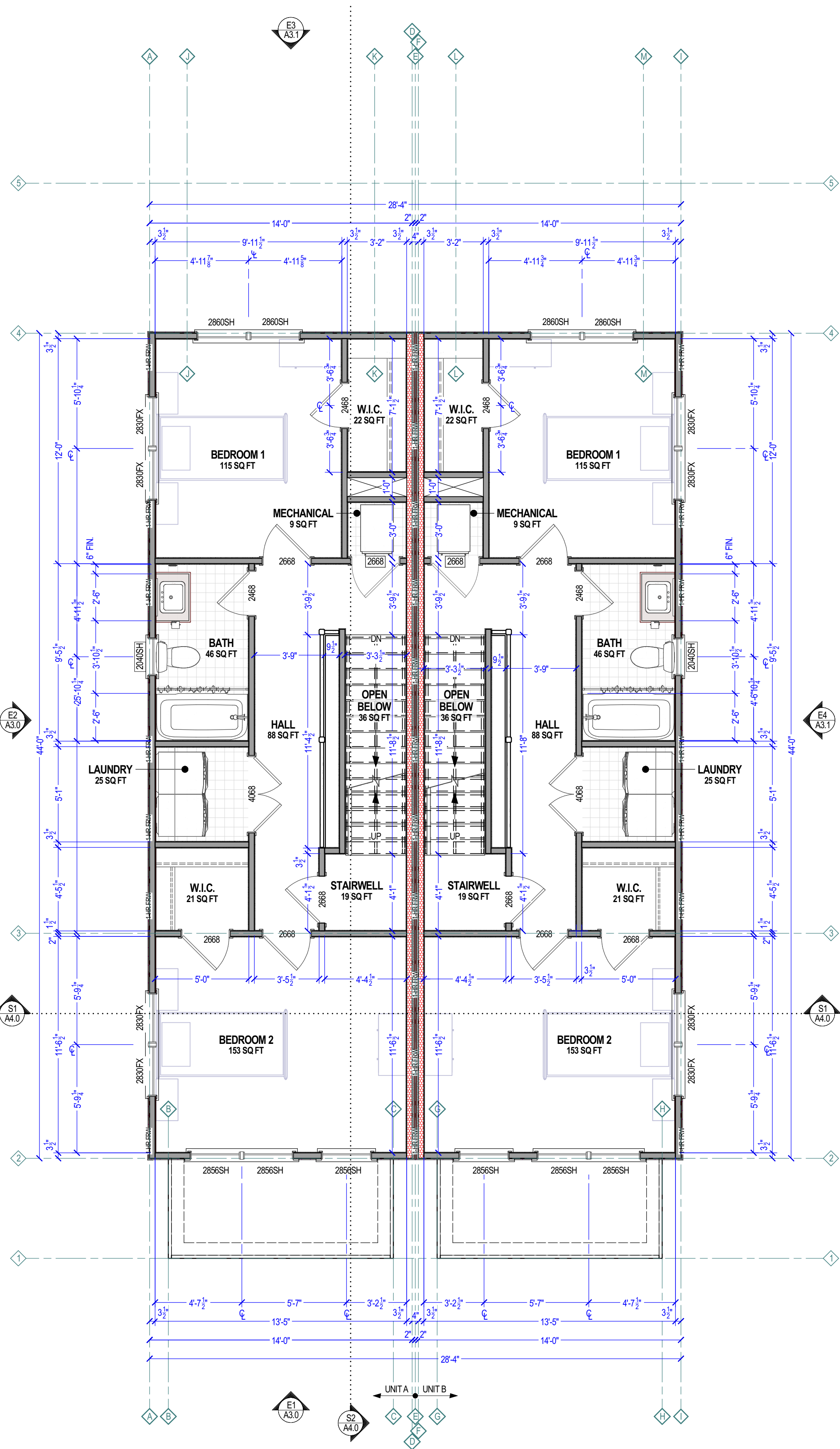
2 ROOF PLAN

SCALE: 1/4 IN = 1 FT



1 1ST LEVEL CONSTRUCTION PLAN

SCALE: 1/4 IN = 1 FT



2 2ND LEVEL CONSTRUCTION PLAN

SCALE: 1/4 IN = 1 FT

WALL TYPE LEGEND	
	EXIST. WALL (ANY TYPE)
	EXIST. WALL DEMOLISHED (ANY TYPE)
	NEW 2X4 2-HR FIRE-RATED PARTY WALL
	NEW 2X6 2-HR FIRE-RATED PARTY WALL
	NEW 2X4 1-HOUR FIRE RATED WALL
	NEW 2X4 WALL
	NEW 2X4 PARTIAL HEIGHT WALL
	NEW 2X6 WALL
	NEW 2X6 PARTIAL HEIGHT WALL
	INTERIOR LOAD-BEARING WALL
	NEW GLASS PANEL
	NEW CONCRETE WALL
	NEW CMU WALL
	OPTIONAL/FUTURE PHASE WALL
	NEW LOAD BEARING POST

GENERAL FLOOR PLAN NOTES

- ALL EXTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUD / FACE OF FOUNDATION. INTERIOR DIMENSIONS ARE TO FACE OF STUD, U.N.O. THICKNESS OF 2x6 WALLS = 5-1/2", AND 2x4 WALLS = 3-1/2".
- ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER OF ROUGH OPENING, U.N.O. REFER TO EXTERIOR ELEVATIONS FOR WINDOW TOP HEIGHTS. ALL WINDOWS AT BEDROOMS TO MEET EGRESS SIZE REQUIREMENTS. TEMPERED GLAZING SHALL BE USED AT ALL WINDOW AND DOOR LOCATIONS AS REQUIRED BY CODE. REFERENCE SECTIONS R308.
- ALL WINDOWS & ALL DOORS IN BEARING WALLS SHALL HAVE MIN. (2) JACK STUDS & (2) 2x6 HEADERS, U.N.O. BY ENGINEER REVIEW. REFERENCE WINDOW & DOOR TAGS TO WINDOW AND DOOR SCHEDULES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL WORK TO BE DONE SHALL COMPLY WITH ALL APPLICABLE CODES.
- ALL EXTERIOR WALL FRAMING TO BE 2x4 STUDS AT 16" O.C. WITH R-13 (MIN.) BATT INSULATION, AND 7/16" OSB SHEATHING, U.N.O. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND SHEATHING TO OVERLAP 1" BELOW ALL INTERIOR WALLS TO BE 2x4, U.N.O. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND AND SCHEDULE FOR ASSEMBLY INFORMATION AND THICKNESSES.
- HATCHED AREAS INDICATE DROPPED CEILINGS, SOFFITS, OR WALL CABINETS, U.N.O.
- DOORS TO BE CENTERED IN CLOSETS OR HALLWAYS, U.N.O.
- IF JOISTS OR FLOOR TRUSSES ARE SPECIFIED, REFER TO LAYOUT AND DETAILS PROVIDED BY MANUFACTURER. IF JOISTS OR FLOOR TRUSSES ARE SHOWN ON PLAN, THE LAYOUT IS "ASSUMED" U.N.O.
- PROVIDE BLOCKING FOR PLUMBING FIXTURES, CABINETS, SHELVING, MECHANICAL SYSTEMS, ECT. AS REQUIRED. G.C. TO COORDINATE.
- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

KEYNOTE LEGEND - CONSTRUCTION PLANS		
1	FLOOR PLAN NOTE	

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RICHMOND, VA 23222

TITLE

1ST & 2ND LEVEL
CONSTRUCTION
PLANS

DOCUMENT PHASE:
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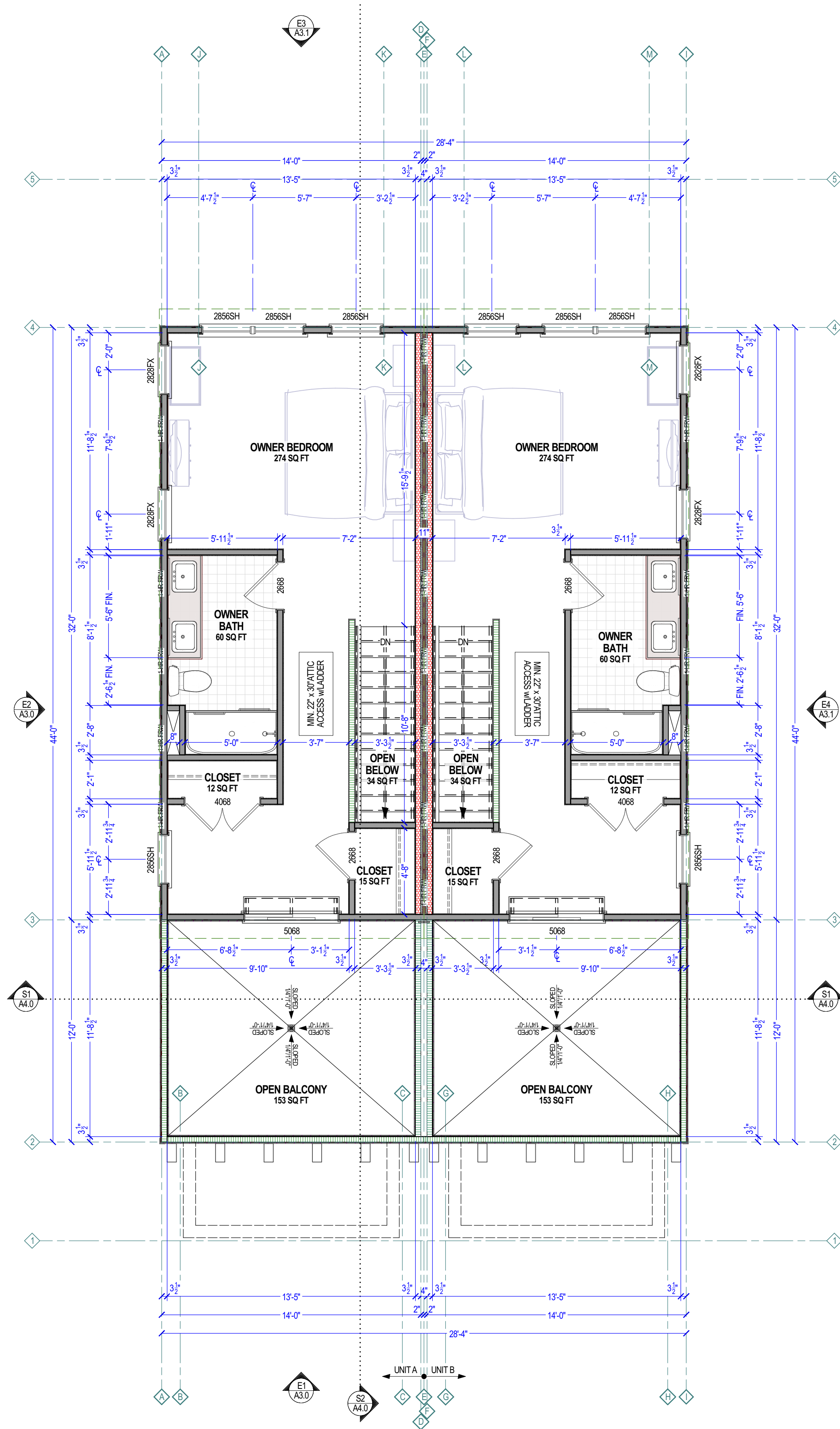
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4 OF 12



1 3RD LEVEL CONSTRUCTION PLAN

SCALE: 1/4\"/>

KEYNOTE LEGEND - CONSTRUCTION PLANS	
1	FLOOR PLAN NOTE

WALL TYPE LEGEND	
	EXIST. WALL (ANY TYPE)
	EXIST. WALL DEMOLISHED (ANY TYPE)
	NEW 2X4 2-HR FIRE-RATED PARTY WALL
	NEW 2X6 2-HR FIRE-RATED PARTY WALL
	NEW 2X4 1-HOUR FIRE RATED WALL
	NEW 2X4 WALL
	NEW 2X4 PARTIAL HEIGHT WALL
	NEW 2X6 WALL
	NEW 2X6 PARTIAL HEIGHT WALL
	INTERIOR LOAD-BEARING WALL
	NEW GLASS PANEL
	NEW CONCRETE WALL
	NEW CMU WALL
	OPTIONAL/FUTURE PHASE WALL
	NEW LOAD BEARING POST

- GENERAL FLOOR PLAN NOTES**
- ALL EXTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUD / FACE OF FOUNDATION. INTERIOR DIMENSIONS ARE TO FACE OF STUD, U.N.O. THICKNESS OF 2x6 WALLS = 5-1/2", AND 2x4 WALLS = 3-1/2".
 - ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER OF ROUGH OPENING, U.N.O. REFER TO EXTERIOR ELEVATIONS FOR WINDOW TOP HEIGHTS. ALL WINDOWS AT BEDROOMS TO MEET EGRESS SIZE REQUIREMENTS. TEMPERED GLAZING SHALL BE USED AT ALL WINDOW AND DOOR LOCATIONS AS REQUIRED BY CODE. REFERENCE SECTIONS R308.
 - ALL WINDOWS & ALL DOORS IN BEARING WALLS SHALL HAVE MIN. (2) JACK STUDS & (2)x6 HEADERS, U.N.O. BY ENGINEER REVIEW. REFERENCE WINDOW & DOOR TAGS TO WINDOW AND DOOR SCHEDULES.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL WORK TO BE DONE SHALL COMPLY WITH ALL APPLICABLE CODES.
 - ALL EXTERIOR WALL FRAMING TO BE 2x4 STUDS AT 16" O.C. WITH R-13 (MIN.) BATT INSULATION, AND 7/16" OSB SHEATHING, U.N.O. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND SHEATHING TO OVERLAP 1" BELOW ALL INTERIOR WALLS TO BE 2x4, U.N.O. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND AND SCHEDULE FOR ASSEMBLY INFORMATION AND THICKNESSES.
 - HATCHED AREAS INDICATE DROPPED CEILINGS, SOFFITS, OR WALL CABINETS, U.N.O.
 - DOORS TO BE CENTERED IN CLOSETS OR HALLWAYS, U.N.O.
 - IF JOISTS OR FLOOR TRUSSES ARE SPECIFIED, REFER TO LAYOUT AND DETAILS PROVIDED BY MANUFACTURER. IF JOISTS OR FLOOR TRUSSES ARE SHOWN ON PLAN, THE LAYOUT IS "ASSUMED" U.N.O..
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1	5/27/2022	3RD LEVEL DESIGN CHANGES

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PROJECT NAME

3206 DELAWARE AVE

CLIENT(S)

KYLE HOFFER
3912 SEMINARY AVE
RICHMOND, VA, 23237
T: 804.486.0386

PROJECT ADDRESS

3206 DELAWARE AVE
RICHMOND, VA 23222

TITLE

3RD LEVEL
CONSTRUCTION PLAN

DOCUMENT PHASE:
PRELIMINARY SET

PLOT DATE:
5/27/2022
3:09:49 PM

DRAWN BY:
DUSTIN HETRICK

SCALE: SEE PLAN

SHEET

A1.2

5 OF 12

REVISIONS

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TITLE

EXTERIOR
ELEVATIONS

DOCUMENT PHASE:
PRELIMINARY SET

PLOT DATE:
5/27/2022
3:09:49 PM

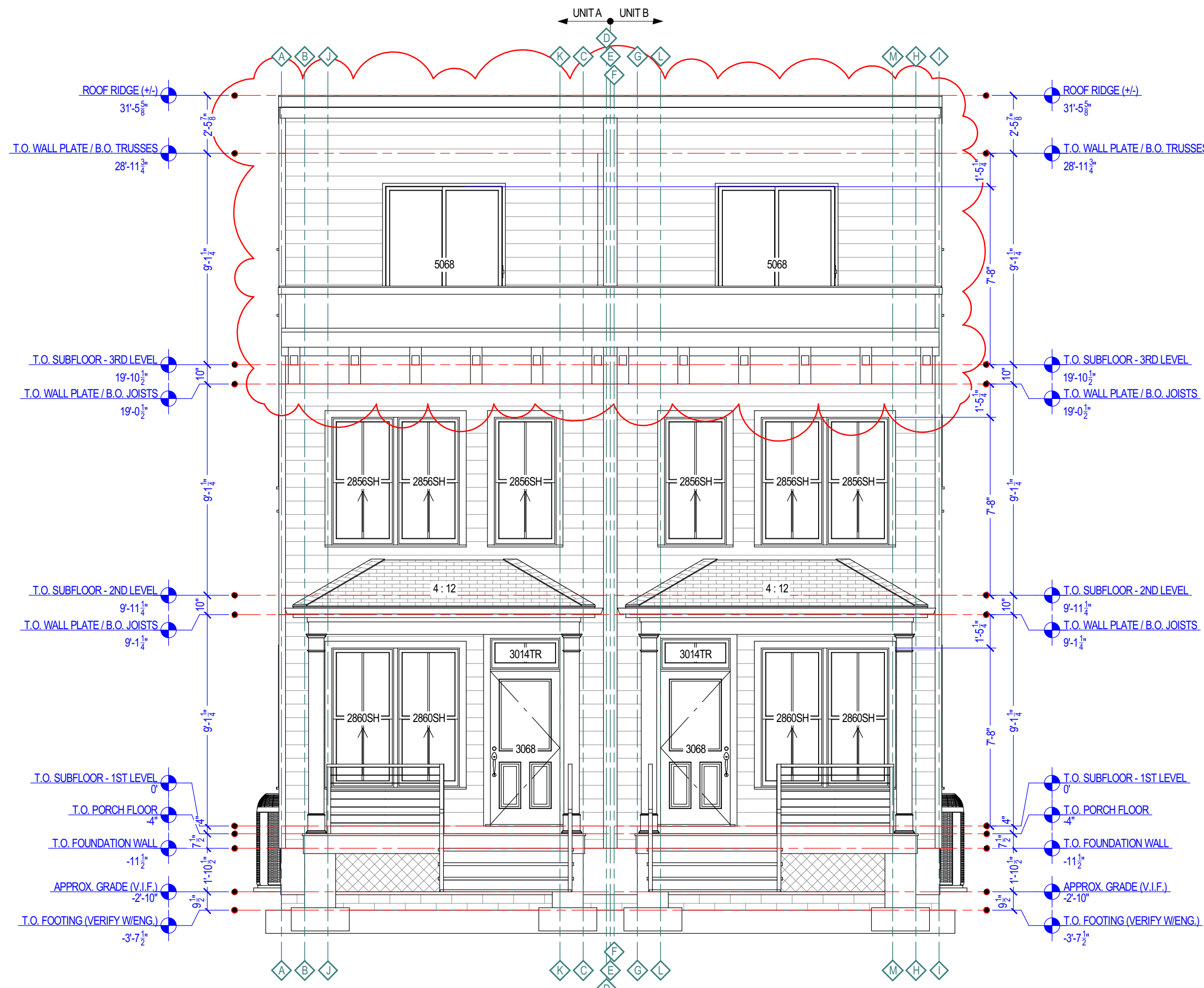
DRAWN BY:
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SCALE: SEE PLAN

SHEET

A3.0

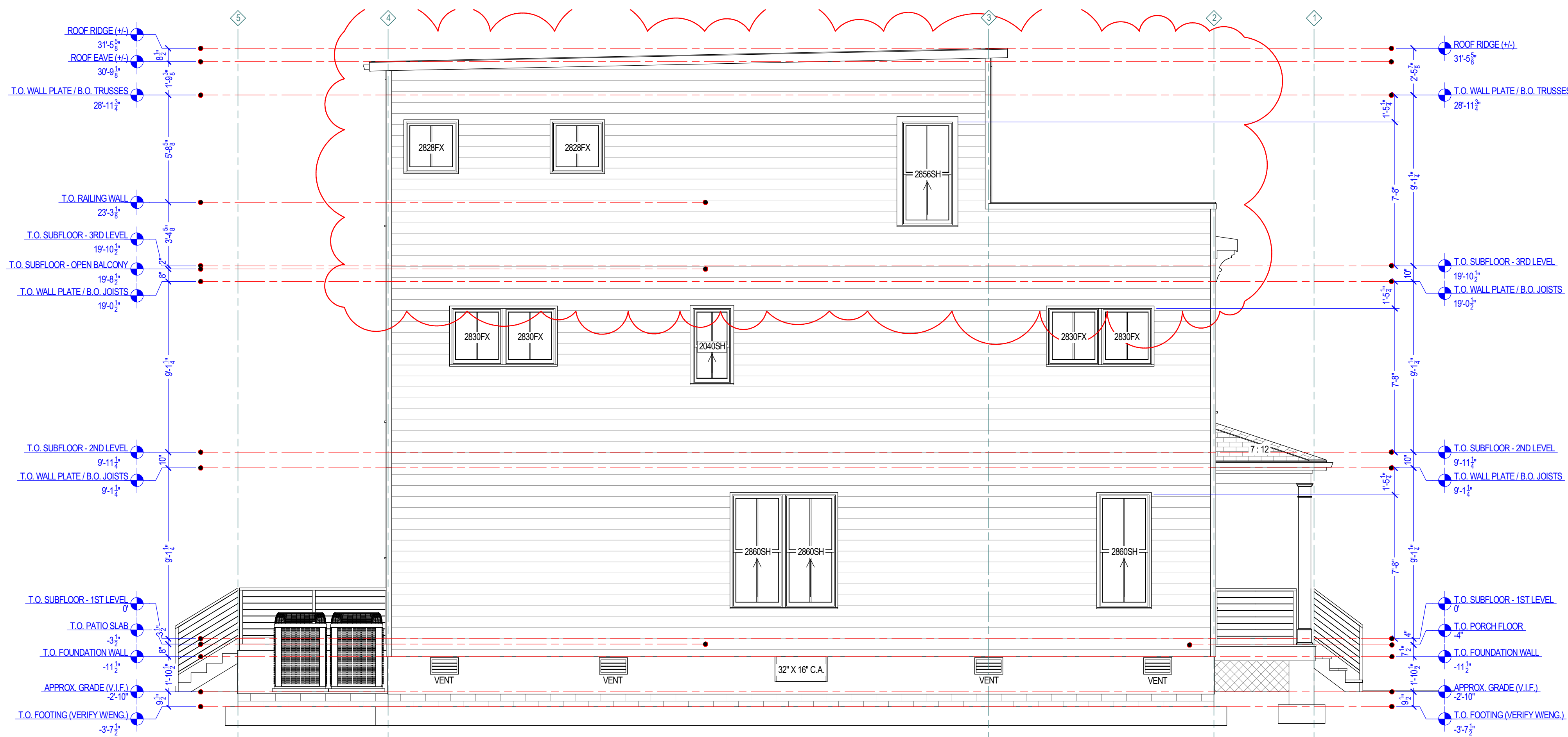
6 OF 12



**NOTE: HARDIPLANK
SIDING, TYP. U.N.O.**

E1 EXTERIOR ELEVATION AT FRONT

SCALE: 1/4 IN = 1 FT



E2 EXTERIOR ELEVATION AT LEFT

SCALE: 1/4 IN = 1 FT

GENERAL ELEVATION & 3D NOTES

- REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
- ANY FURNITURE SHOWN IS GENERIC AND IS FOR REFERENCE ONLY. CONSULT WITH INTERIOR DESIGNER (IF APPLICABLE) FOR SPACE PLANNING.
- ALL MATERIALS, PATTERNS, TRIM, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN DO NOT REPRESENT EXACT SELECTIONS. GENERIC STYLES SHOWN, UNLESS OTHERWISE INDICATED.
- TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO SURVEY PHOTOS OR SITE PLAN (BY OTHERS).
- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

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EXTERIOR
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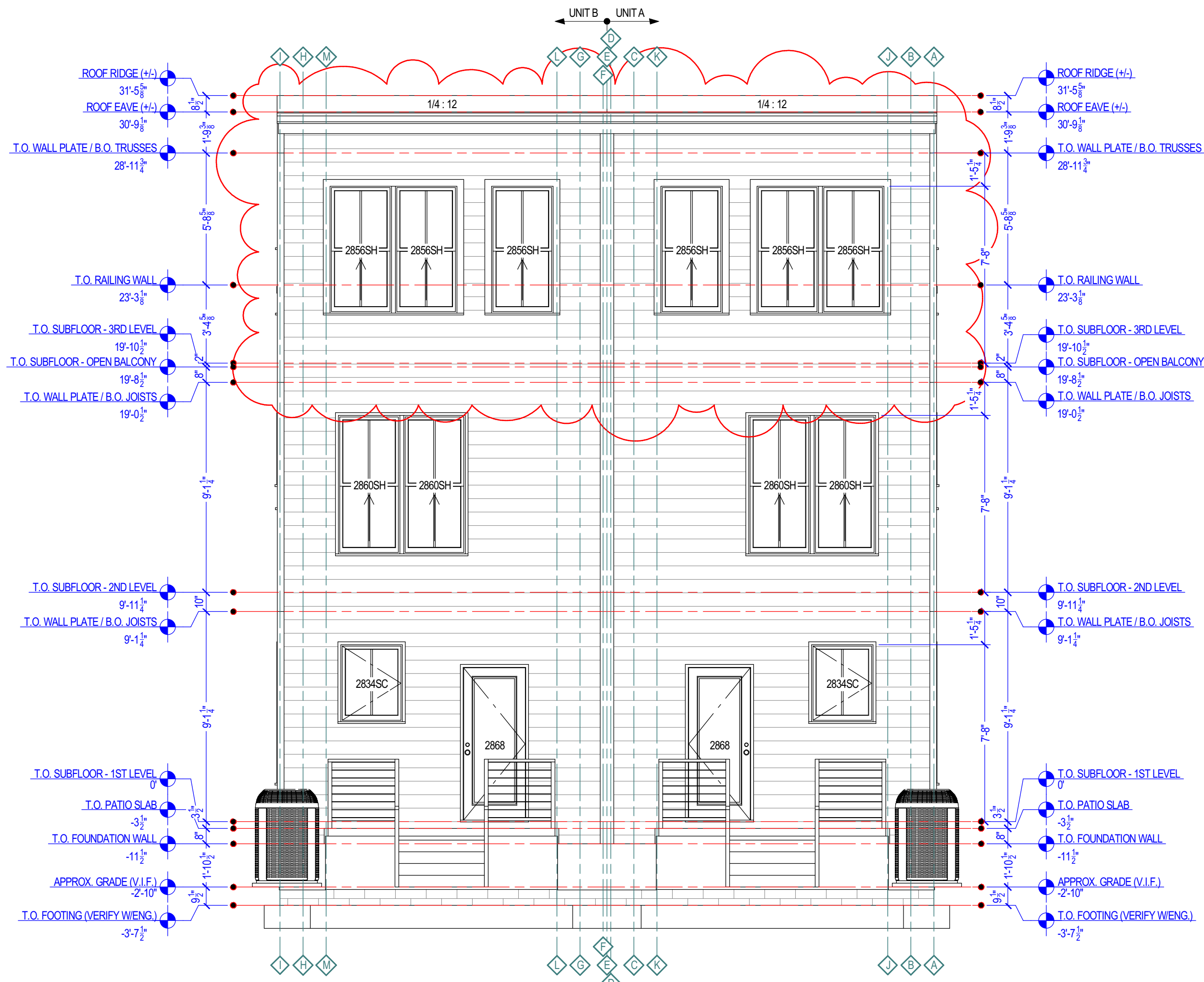
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5/27/2022
3:09:50 PM

DRAWN BY:
DUSTIN HETRICK

SCALE: SEE PLAN

SHEET

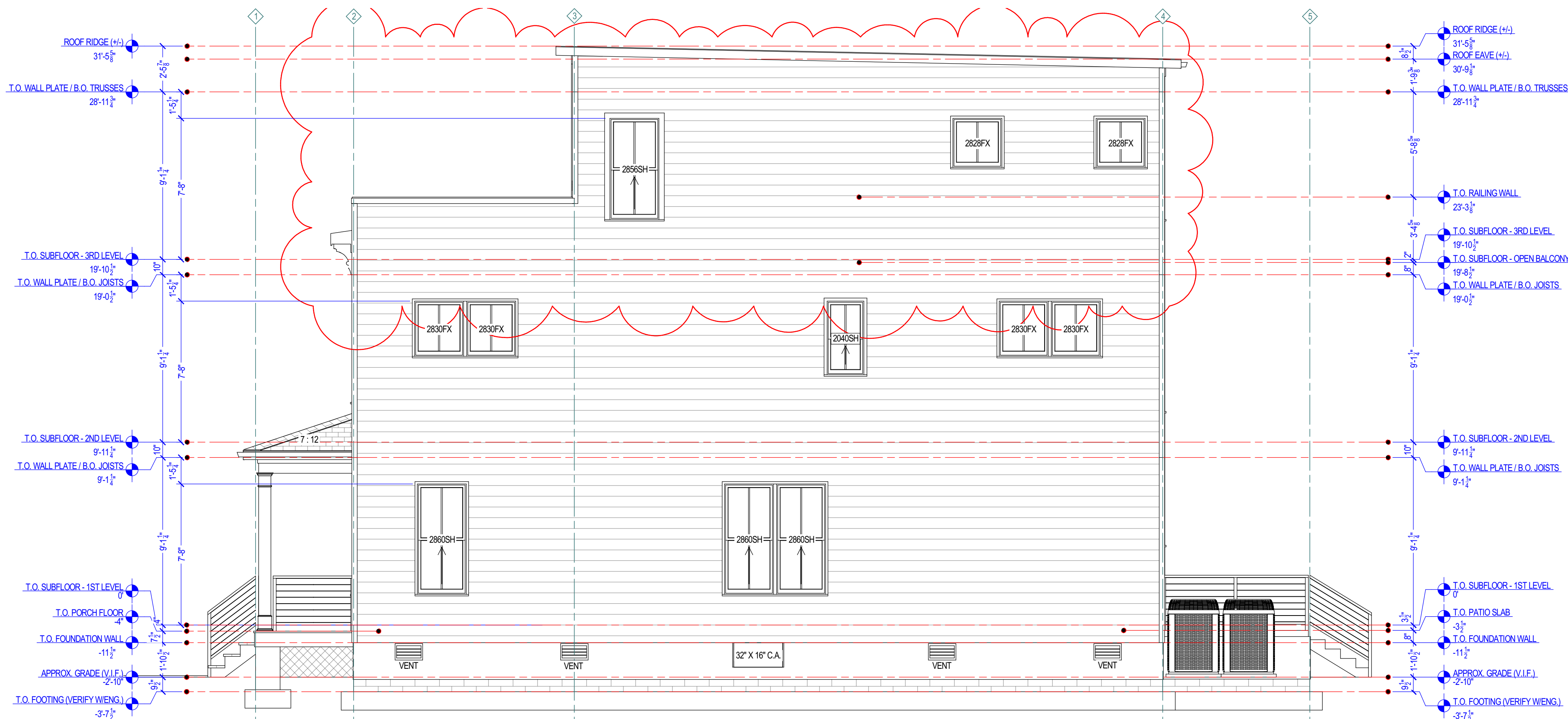
A3.1
7 OF 12



E3 EXTERIOR ELEVATION AT REAR

SCALE: 1/4" IN = 1' FT

**NOTE: HARDIPLANK
SIDING, TYP. U.N.O.**



E4 EXTERIOR ELEVATION AT RIGHT

SCALE: 1/4" IN = 1' FT

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