INTRODUCED: October 10, 2022

AN ORDINANCE No. 2022-294

To authorize the special use of the property known as 207 Avon Road for the purpose of a dwelling unit within an accessory building to a single-family dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality by the City Attorney

PUBLIC HEARING: NOV 14 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 207 Avon Road, which is situated in a R-1 Single-Family Residential District, desires to use such property for the purpose of a dwelling unit within an accessory building to a single-family dwelling, which use, among other things, is not currently allowed by section 30-402.2, concerning permitted accessory uses and structures, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES:	9	NOES:	0	ABSTAIN:	
		_			
ADOPTED:	NOV 14 2022	REJECTED:		STRICKEN:	

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

- (a) Subject to the terms and conditions set forth in this ordinance, the property known as 207 Avon Road and identified as Tax Parcel No. W022-0264/014 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled "Topographic and Improvements Survey on Lot 14, Block 41, Windsor Farms, City of Richmond, Virginia," prepared by Balzer & Associates, and dated April 29, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as "the Property," is hereby permitted to be used for the purpose of a dwelling unit within an accessory building to a single-family dwelling, hereinafter referred to as "the Special Use," substantially as shown on the plans entitled "Howren Residence, 207 Avon Road, Richmond, VA 23221," prepared by Menlo Architecture, and dated December 6, 2021, hereinafter referred to as "the Plans," copies of which are attached to and made a part of this ordinance.
- (b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as "the Owner." The conditions contained in this ordinance shall be binding on the Owner.
- § 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:
- (a) The Special Use of the Property shall be as a dwelling unit within an accessory building to a single-family dwelling, substantially as shown on the Plans.
- (b) No less than two off-street parking spaces shall be provided for the Special Use, substantially as shown on the Plans.

- (c) All building materials, elevations, setbacks, and site improvements shall be substantially as shown on the Plans.
- (d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.
- § 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:
- (a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.
- (b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.
- (c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.
- (d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.
- (e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.
- § 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

- (a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.
- (b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.
- (c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.
- (d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.
- (e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.
- (f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or

otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

City Clerk



2022-220



City of Richmond

900 East Broad Street 2nd Floor of City Hall Richmond, VA 23219 www.rva.gov

Item Request

File Number: PRE.2022.0296

O & R Request

DATE: August 29, 2022 **EDITION:**1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (by Request)

(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and

Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 207 Avon Road for the purpose of a

dwelling unit within an accessory building to a single-family dwelling, upon certain terms

and conditions.

ORD. OR RES. No.

PURPOSE: To authorize the special use of the property known as 207 Avon Road for the purpose of a dwelling unit within an accessory building to a single-family dwelling, upon certain terms and conditions.

REASON: The property is located in the R-1 Single-Family Residential District. Accessory dwelling units are not permitted uses in this zoning district. Therefore a special use permit is requested in order to authorize this use.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its October 17, 2022, meeting.

BACKGROUND: The .63 acre subject property is located midblock on the southern side of Avon Road between Sulgrave Road and West Oxford Circle in the Windsor Farms neighborhood. The property is improved with a 2,799 square foot single-family detached dwelling.

File Number: PRE.2022.0296

The City's Richmond 300 Master Plan designates a future land use for the subject property as Residential Uses. This designation is defined as a "neighborhood consisting primarily of single-family houses on large or medium-sized lots more homogenous in nature. Accessory dwelling units are considered a primary use in this area.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$1,800 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: September 26, 2022

CITY COUNCIL PUBLIC HEARING DATE: November 14, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission

October 17, 2022

AFFECTED AGENCIES: Office of Chief Administrative Officer

Law Department (for review of draft ordinance

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application, Applicant's Report, Property, Plans, Map

STAFF: David Watson, Senior Planner, Land Use Administration (Room 511) 804-646-1036



photocopied signatures will not be accepted.

Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
http://www.richmondgov.com/

Application is hereby submitted for: (check one)	
☑ special use permit, new ☑ special use permit, plan amendment	
☐ special use permit, text only amendment	
in special use permit, text only amendment	
Project Name/Location	
Property Address: 207 Avon Rd	Date: April 11, 2022
Tax Map #: W0220264014 Fee: \$300.00	Date. April 11, 2022
Total area of affected site in acres: 0.63	
(See page 6 for fee schedule, please make check payable to	the "City of Richmond")
Zoning	
Current Zoning: R-1	
Existing Use: Single family detached residential	
Proposed Use	
(Please include a detailed description of the proposed use in Dwelling unit in an accessory building	the required applicant's report)
Existing Use: Single family detached residential	
Is this property subject to any provious level uses	2
Is this property subject to any previous land use Yes No	Cases?
If Yes, please list the Ordinance Nu	Imhor:
Tres, piedse list the Ordinance No.	annoer
Applicant/Contact Person: Lory Markham	
Company: Markham Planning	
Mailing Address: 208 E Grace St	
City: Richmond	State: VA Zip Code: 23219
Telephone: _(804) 248-2561 Email: lory@markhamplanning.com	Fax: _()
Property Owner: HOWREN, JENNIFER RUBIN AND JAMES	S HUDGINS JR
If Business Entity, name and title of authorized si	auee.
, s or addition 200 or	
(The person or persons executing or attesting the execution	of this Application on behalf of the Company certifies that he or
she has or have been duly authorized and empowered to so	execute or attest.)
NA TELL CONTROL OF THE TEL	
Mailing Address: 323 Clovelly Road	
City: Richmond	State: VA Zip Code: 23221
Telephone:(804) 432-1514 & (804) 350-0252	Fax: _()
Email: jay@howren.com	
Property Owner Signature:	= County
rioperty owner signature:	- Provo
The names, addresses, telephone numbers and signatures of	all owners of the property are required. Please attach additional
sheets as needed. If a legal representative signs for a proper	ty owner, please attach an executed power of attorney. Faxed or

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



April 19, 2022

Kevin Vonck, Director Department of Planning & Development Review 900 East Broad Street, Suite 511 Richmond, VA 23219

Re: 207 Avon Road Special Use Permit

Dear Mr. Vonck,

Please accept this letter as the Applicant's Report along with the Special Use Permit application for the property located at 207 Avon Road. With this application the property owners are petitioning the City Council for a SUP to authorize the construction of a dwelling unit on the second level of a new detached garage.

Currently, the property is improved with a single-family detached dwelling in the R-1 Single-Family Residential District. The residence is a two-story dwelling containing 2,799 square feet of floor area constructed in 1951. The property owners are renovating the existing dwelling along with the rest of the property to include new landscaping, patio, swimming pool, driveway, and construction of a two-story detached garage.

On the second level of the proposed garage, the property owners wish to construct a finished living area as an additional amenity space. This space will include a living room, lounge, half-bathroom, and kitchen. On the ground floor the owners propose a bathroom with a shower. With the inclusion of the kitchen and the shower, based on the definitions included in the Zoning Ordinance, the space is considered as a dwelling unit. In the R-1 District, this dwelling unit in the garage is not permitted. Therefore, the property owners are requesting a Special Use Permit.

Existing Site Conditions

The subject property is one parcel containing 0.63 acres of land area located on the south side of Avon Road between W Oxford Circle and Sulgrave Road. The parcel is irregularly-shaped with a lot width along Avon Road of 125 feet. The property is currently improved with a single-family dwelling constructed in 1951 with 2,799 square feet of finished living area.

Current Zoning

The property is currently zoned R-1 Single-Family Residential which permits single-family detached dwellings and compatible uses such as churches, libraries, and schools.

Accessory uses and structures are also permitted such as private garages and storage buildings. However, dwelling units are not permitted in accessory buildings.

City's Master Plan for Future Land Use

The Richmond 300 Master Plan recommends Residential land use for the property. This recommendation is for neighborhoods consisting primarily of single-family houses on large- or medium sized lots more homogeneous in nature.

Houses on medium-sized and large-sized lots in a largely auto-dependent environment. Homes are setback from the street. Future developments continue and/or introduce a gridded street pattern to increase connectivity. Future single-family housing, accessory dwelling units, duplexes, and small multifamily residential buildings are built to a scale and design that is consistent with existing buildings.

Neighborhood Outreach

The property owners have reached out to the Windsor Farms Home Owners Association and have received approval from the Association's Architectural Review Committee.

The property owners have also notified surrounding neighbors of their proposal.

City Charter Conditions

We trust that you will agree with us that this proposed Special Use Permits meets the City Charter criteria for the granting of SUPs as the project will not:

- (i) be detrimental to the safety, health, morals and general welfare of the community involved;
- (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved:
- (iii) create hazards from fire, panic or other dangers;
- (iv) tend to be overcrowding of land and cause an undue concentration of population;
- (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or
- (vi) interfere with adequate light and air.

Thank you for your consideration of this Special Use Permit. Please feel free to contact me at lory@markhamplanning.com or (804) 248-2561 if you have any questions or require additional materials to process the application.

Very Truly Yours,

Lory Markham

Enc: Application form, existing survey, conceptual plans

cc: Richard Saunders, Secretary to the City Planning Commission The Honorable Andreas D. Addison, 1st District Representative

NAME: BYRON KNOWLSON EMAIL: BYRON@MENLOARCHITECTURE.COM

PHONE: 804.305.9997

CONTRACTOR LIONHEAD LLC

CONTACT: NAME: DREW MILLER

EMAIL: DREW@LIONHEADLLC.COM PHONE: 804.814.0411

INTERIOR **HANOVER AVENUE**

CONTACT: NAME: LAUREN KNOWLSON

EMAIL: LAUREN@HANOVERAVENUE.COM PHONE: 804.514.6582

STRUCTURAL DUNBAR, MILBY, WILLIAMS PITTMAN VAUGHAN

NAME: DONNA ADAMS

EMAIL: DADAMS@DMWPV.COM PHONE: 804.323.0656

CODE INFORMATION

PROJECT ADDRESS

DESIGNER

ENGINEER

207 AVON ROAD RICHMOND VA 23221 PARCEL ID: W0220264014

ZONING ORDINANCE

CITY OF RICHMOND VIRGINIA

ZONE: R-1 RESIDENTIAL **HEIGHT LIMIT:**

> **ACCESSORY** * (NEW ADDITION ROOF HEIGHT IS BELOW OR EQUAL TO EXISTING ROOF)

SETBACKS:

SEIDACKS.				
		REQUIRED:	EXISTING	PROPOSED
MAIN	FRONT:	35' MIN	42.9'	NO CHANGE
	SIDE:	10' MIN	20.0' / 36.7'	10.5' / 36.7'
	REAR:	10' MIN	171.5'	140'
ACCESSOR	Y FRONT:	35' MIN	N/A	106.0'
	SIDE	10' MIN	N/A	10.25'
	REAR	10' MIN	N/A	10.0'
LOT COVERA	GE	MAXIMUM	EXISTING	PROPOSED
[EXISTING LO	T 27,544 SF]	20%	9.4%	18%

1,723 SF

ABBREVIATIONS

DOUBLE

EACH

ELEC EWC ELEV EMER ENCL

DOUBLE HUNG

DOWNSPOUT

DRINKING FOUNTAIN

EXPANSION JOINT ELECTRIC(AL)

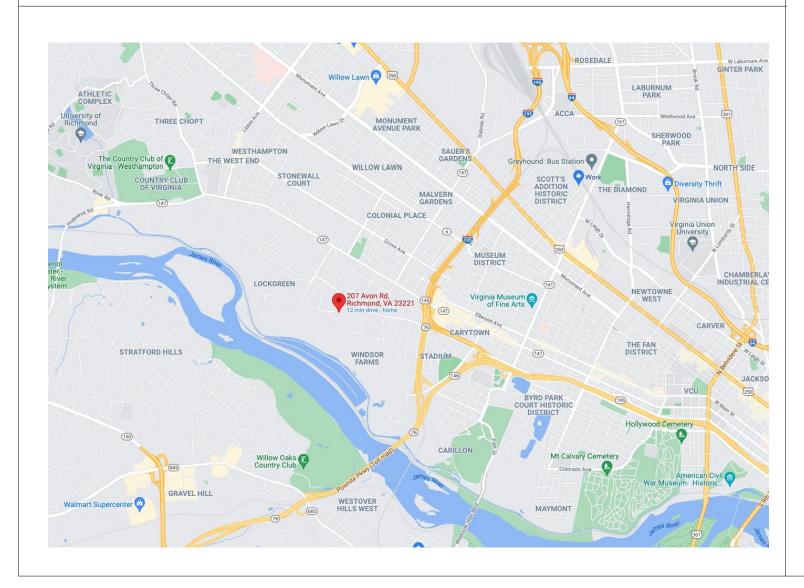
EMERGENCY ENCLOSE(SURE)

ELECTRIC WATER COOLER

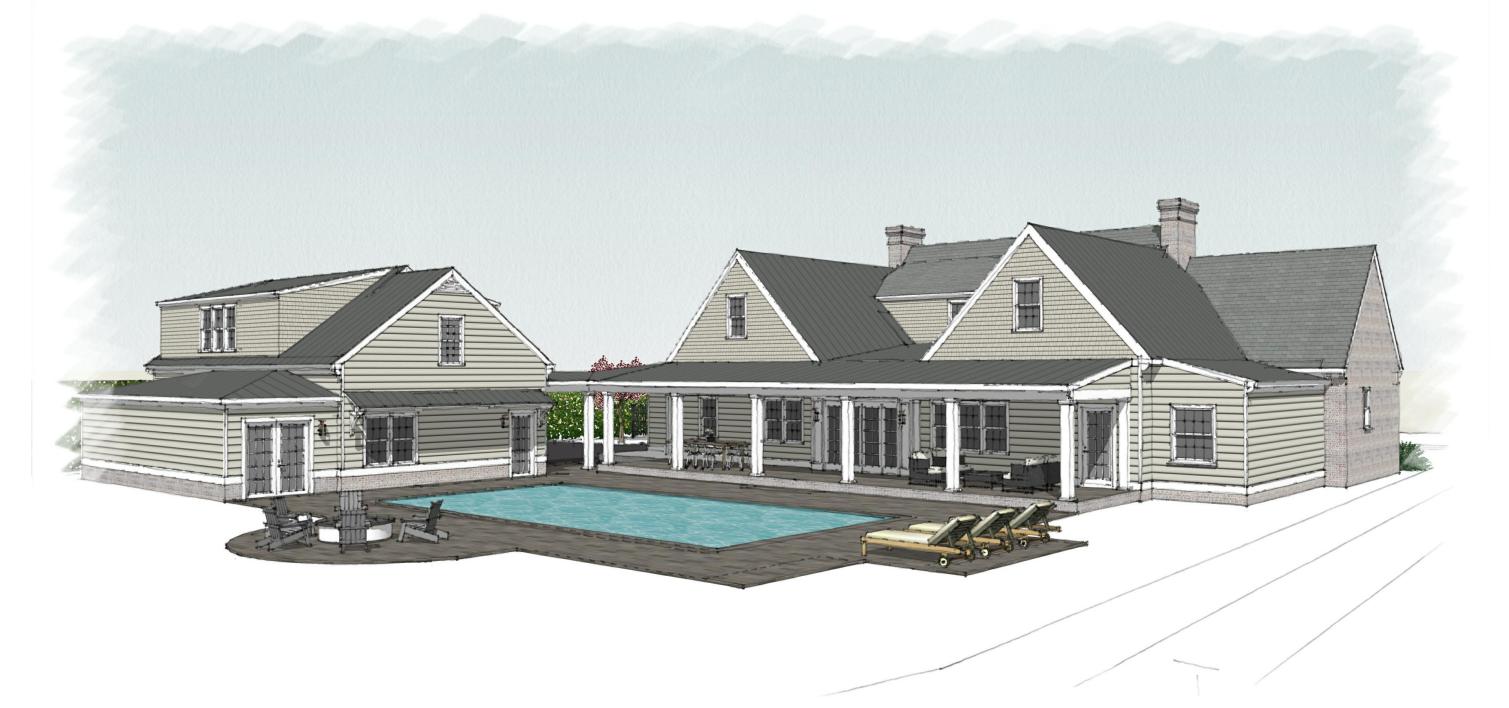
 2018 VIRGINIA UNIFORM STATE WIDE BUILDING CODE (VUSBC) 2018 VIRGINIA RESIDENTIAL CODE (VRC)

QUARE	FOOTAGES		ENERGY DESIGN CRITERIA	
<u>-</u> -	EXISTING FIRST FLOOR EXISTING SECOND FLOOR EXISTING TOTAL (FINISHED) DEMOLISHED SUN PORCH	1,723 SF 1,076 SF 2,799 SF (203) SF	REFERENCE PART IV-ENERGY CON SECTION N1101 OF THE 2018 VIF RESIDENTIAL CODE	
	DEMOCIONED CONT ONON	(200) 01	CEILING R-VALUE:	49
_	ADDED FIRST FLOOR	2,078 SF	WOOD FRAME WALL R-VALUE	20
_	ADDED SECOND FLOOR	0 SF	MASS WALL R-VALUE	8/13
_	TOTAL ADDED SQUARE FOOTAGE [HOUSE]	2,078 SF	FLOOR R-VALUE	19
_	NEW HOUSE CONDITIONED SQFT	4,674 SF	BASEMENT WALL R-VALUE	10/13
_	GARAGE UNCONDITIONED FIRST FLOOR	751 SF	SLAB R-VALUE, DEPTH CRAWL SPACE WALL R-VALUE	10, 2 FEE 10/13
_	GARAGE CONDITIONED FIRST FLOOR	609 SF	FENESTRATION U-FACTOR	.32
_	GARAGE CONDITIONED SECOND FLOOR	795 SF	SKYLIGHT U-FACTOR	.55
_	GARAGE TOTAL SQUARE FOOTAGE	2,155 SF	GLAZED FENESTRATION SHGC	.40
_			GLAZED I ENESTRATION STIGO	.40
_	COVERED PORCHES	934 SF		
_	TOTAL CONDITIONED	6,078 SF		

VICINITY MAP



HOWREN RESIDENCE



GENERAL NOTES

SYMBOLS

- 1. ALL WORK SHALL CONFORM WITH ALL GOVERNING LAWS, CODES & ORDINANCES INCLUDING, BUT NOT LIMITED TO, THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VAUSBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC). IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR SHALL NOT PROCEED WITH THE EFFECTED WORK AND SHALL NOTIFY
- 2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. THIS SHALL SPECIFICALLY INCLUDE ON-SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, IT SHALL SPECIFICALLY INCLUDE THE PROTECTION OF ANY EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT.
- 3. THE CONTRACTOR SHALL NOTIFY THE DESIGNER ARCHITECT OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN ANY AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED.
- 4. THE CONTRACTOR SHALL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR SHALL ALSO PROVIDE A PROFESSIONAL CLEANING AT PROJECT COMPLETION. SEE SPECIFICATIONS FOR REQUIREMENTS.
- 5. WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR USING NECESSARY PRECAUTIONS DURING WORK AND / OR DISPOSAL. IF UNFORESEEN SUSPECT MATERIALS ARE UNCOVERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL STOP WORK IN THE AREA IMMEDIATELY AND NOTIFY THE ARCHITECT.
- 6. ALL MECHANICAL, PLUMBING, AND ELECTRICAL WORK, AS REQUIRED, TO BE COMPLETED BY LICENSED CONTRACTOR IN THEIR RESPECTIVE TRADES FACH SUB-CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE PERMITS AS

THEIR RESPECTIVE TRADES. EACH SUB-CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE PE	:RMI
NECESSARY FROM THE MUNICIPALITY HAVING JURISDICTION	

DRAWING NAME DRAWING SCALE	ROOM NAME, NUMBER & FINISH	LIVING ROOM 100 FL WD
	WINDOW TAG	255-W1
ELEVATION KEY 1	DOOR TAG	255-D1
	CENTER LINE	Ę
SECTION KEY	STEP ELEVATION (PLAN)	0'-6"
INTERIOR ELEVATION KEY 1/A5.0	WALL TYPE	#
+0'-0" (+1250.50) ELEVATION TAG EINISHED ELOOP		
FINISHED FLOOR	REVISION BURBLE TAG	/ # \

	DR	A۷

ROUND

SCHEDULE

SEALANT SECTION

SIMILAR

SOUTH

SPLIT FACE CMU

SOLID CORE SMOKE DETECTOR

SCHED SFCMU SLNT SECT SHT

RAIN LEADER ROUGH OPENING SELF ADHERED FLASHING

BEREVIAII	UNS						
ABV	ABOVE	EP	EPOXY PAINT	MATL	MATERIAL	SPEC	SPECIFICATION
AFF	ABOVE FINISH FLOOR	EQUIP	EQUIPMENT	M	METER	SQ	SQUARE
ACT	ACOUSTICAL TILE	EST	ESTIMATE	MM	MILLIMETER	STD	STANDARD
ACC	ACOUSTIC(AL)	EXH	EXHAUST	MIN	MINIMUM	STC	SOUND TRANSMISSION
ADJ	ADJACENT	EXT'G	EXISTING	MIR	MIRROR	STG	STORAGE
AHU	AIR HANDLING UNIT	(E)	EXISTING DIMENSIONS	MISC	MISCELLANEOUS	STL	STEEL
ALUM	ALUMINUM	EXP	EXPOSED	MOD	MODULAR	STRUCT	STRUCTURAL
AB	ANCHOR BOLT	EXT	EXTERIOR	MTD	MOUNTED	SYM	SYMMETRICAL
APPROX	APPROXIMATE	EIFS	EXTERIOR INSULATION FINISH SYSTEM	NAT	NATURAL	SUSP	SUSPENDED
AD	AREA DRAIN	FOC	FACE OF CONCRETE	NRC	NOISE REDUCTION COEFFICIENT	SYS	SYSTEM
	ARCHITECTURAL PRECAST CONC.	FOM		NOM	NOMINAL	SS	STAINLESS STEEL
APC BRG			FACE OF MASONRY	NOW N	NORTH	TEL	TELEPHONE
	BEARING BELOW	FOS	FACE OF STUDS	NIC	NOT IN CONTRACT		
BLW	BELOW	FFE	FINISH FLOOR ELEVATION			TV	TELEVISION
BLDG	BUILDING	FIN	FINISH(ED)	NTS	NOT TO SCALE	TEMP	TEMPERATURE
BLK	BLOCK	FIXT	FIXTURE	NO	NUMBER	T.S.	TUBE STEEL
BLKG	BLOCKING	FCU	FAN COIL UNIT	0/	OVER	THK	THICK
BD	BOARD	FE	FIRE EXTINGUISHER	OC .	ON CENTER	THR	THRESHOLD
ВМ	BEAM	FEC	FIRE EXTINGUISHER CABINET	OFF	OFFICE	T&G	TONGUE & GROOVE
ВО	BOTTOM OF	FA	FIRE ALARM	OPNG	OPENING	TOC	TABLE OF CURB
BRK	BRICK	FLR	FLOOR(ING)	OPP	OPPOSITE	TP	TOP OF PAVEMENT
BTW	BETWEEN	FD	FLOOR DRAIN	OWSJ	OPEN WEB STEEL JOIST	T	TREAD
BUR	BUILT UP ROOFING	FLUOR	FLUORESCENT	OPPH	OPPOSITE HAND	TOW	TOP OF WALL
BOW	BOTTOM OF WALL	FT	FOOT OR FEET	OD	OUTSIDE DIAMETER	TJI	TRUSJOIST
CPT	CARPET	FTG	FOOTING	OA	OVERALL	TWF	THROUGH WALL FLASHING
CI	CAST IRON	FND	FOUNDATION	ОН	OVERHEAD	TYP	TYPICAL
CIP	CAST IN PLACE	GA	GAUGE	O.F.C.I.	OWNER FURNISHED, GC INSTALLED	UC	UNDER COUNTER
СВ	CEMENT BOARD	GALV	GALVANIZED	O.F.O.I.	OWNER FURNISHED, GC INSTALLED	UNF	UNFINISHED
CLG	CEILING	GC	GENERAL CONTRACT(OR)	PT	PRESSURE TREATED	UNO	UNLESS NOTED OTHERWIS
CTR	CENTER	GL	GLASS/GLAZING	PNT	PAINT(ED)	UR	URINAL
CT	CERAMIC TILE	GLB	GLASS BLOCK	PVMT	PAVEMENT	VB	VAPOR BARRIER
CIR	CIRCLE	GCMU	GLAZED CMU	PR	PAIR	VERT	VERTICAL
CLR	CLEAR(ANCE)	GR	GRADE	PERIM	PERIMETER	VEST	VESTIBULE
CLOS	CLOSET	GRNT	GRANITE	PLAS	PLASTIC	VCT	VINYL COMPOSITE TILE
CO	CLEAN OUT	GFCMU	GROUND FACE CMU	PLAM	PLASTIC LAMINATE	VSG	VINYL SHEET GOOD
COL	COLUMN	GFCI	GROUND FAULT CIRCUIT	PL	PLATE	VP VP	VENEER PLASTER
COMP	COMPOSITION	GPDW	GYPSUM DRYWALL	PWD	PLYWOOD	WA	WASHER
CONC	CONCRETE	HDW	HARDWARE	PVC	POLYVINYL CHLORIDE	WC	WALL CLOSET
CMU	CONCRETE MASONRY UNIT	HTG	HEATING	PCF	POUNDS PER CUBIC FOOT	W.F.	WALL CLOSET WIDE FLANGE
				PFL	POUNDS PER COBIC POOT POUNDS PER LINEAR FOOT	w.r. WP	
CONST	CONSTRUCTION	HVAC	HEATING VENTING AIR	PSF	POUNDS PER SQUARE FOOT		WATERPROOFING
CONT	CONTINUOUS OR CONTINUE	HGT	HEIGHT		POUNDS PER SQUARE INCH	WWF	WELDED WIRE FABRIC
CLL	CONTRACT LIMIT LINE	HM	HOLLOW METAL	PSI		W	WEST
C1	CONTROL JOINT	HORZ	HORIZONTAL	PC	PRECAST	WT	WEIGHT
CG	CORNER GUARD	HB	HOSE BIB	QT	QUARRY TILE	WN	WINDOW
CORR	CORRIDOR	HR	HOUR	R	RUBBER	W/	WITH
CH	COUNTER HEIGHT	INCL	INCLUDE	RA	RETURN AIR	W/0	WITHOUT
CRS	COURSE(S)	ID	INSIDE DIAMETER	RAD	RADIUS	WD	WOOD
CF	CUBIC FEET	INSUL	INSULATION	RD	ROOF DRAIN		
CY	CUBIC YARD	INT	INTERIOR	RCP	REFLECTED CEILING PLAN		
DEPT	DEPARTMENT	JAN	JANITOR CLOSET	REF	REFERENCE(REFER)		
DTL	DETAIL	JT	JOINT	RECEP	RECEPTACLE		
DIA	DIAMETER	J	JOIST	RFL	REFLECT(ED)		
DIM	DIMENSION	KIT	KITCHEN	REFR	REFRIGERATOR		
DISP	DISPENSER	LBL	LABEL	REINF	REINFORCED		
DIV	DIVISION	LAM	LAMINATE	REQ	REQUIRED		
DR	DOOR	LAV	LAVATORY	RESIL	RESILIENT		
DRY	DRYER	LH	LEFT HAND	RH	RIGHT HAND		
DBI	DOUBLE	i	STEEL ANGLE	RND	ROUND		

STEEL ANGLE

LIGHT WEIGHT

LINEAR FOOT LIVE LOAD

MANUFACTURER

MASONRY OPENING

MANHOLE

MASONRY

MAXIMUM **MECHANICAL**

MEDIUM MEMBER

MFR MAS MO MTL MAX MECH MED MBR

AWING LIST

SHEET #	DRAWING TITLE	PROGRESS 09/15/21	PERMIT 12/06/21
A0.0	PROJECT INFORMATION	X	х
A0.1	SITE PLAN	X	X
D1.0	DEMOLITION PLANS	х	X
S1.0	BRACED WALL PANEL CALCS & GEN. STRUCT. NOTES		X
A1.0	FLOOR PLAN - HOUSE FOUNDATION	X	X
A1.1	FLOOR PLAN - HOUSE FIRST FLOOR	Х	Х
A1.2	FLOOR PLAN - HOUSE SECOND FLOOR	Х	Х
A1.3	FLOOR PLAN - HOUSE ROOF PLAN	Х	Х
A1.4	FLOOR PLAN - GARAGE FOUNDATION & FIRST FLOOR	Х	X
A1.5	FLOOR PLAN - GARAGE SECOND FLOOR & ROOF PLAN	Х	х
40.0	BUILDING ELEVATIONS HOUSE	V	V
A2.0	BUILDING ELEVATIONS - HOUSE	X	X
A2.1	BUILDING ELEVATIONS - HOUSE	X	X
A2.2	BUILDING ELEVATIONS - GARAGE	^	X
A3.0	BUILDING SECTIONS	Х	X
A3.1	BUILDING SECTIONS	Х	X
A3.2	BUILDING SECTIONS	X	Х
A4.0	WALL SECTIONS		
A4.1	WALL SECTIONS		
A4.2	WALL SECTIONS		
400	INTERIOR ELEVATIONE	V	V
A6.0 A6.1	INTERIOR ELEVATIONS INTERIOR ELEVATIONS	X	X
A6.2	INTERIOR ELEVATIONS INTERIOR ELEVATIONS	X	X
A6.3	INTERIOR ELEVATIONS INTERIOR ELEVATIONS	X	X
A6.4	INTERIOR ELEVATIONS	X	X
A6.5	INTERIOR ELEVATIONS	^	X
A6.6	INTERIOR ELEVATIONS		x
A9.0	SCHEDULES - DOORS & WINDOWS	X	X
A9.0	SCHEDULES - FINISHES, PLUMBING, APPLIANCES	X	X
E1.0	ELECTRICAL & LIGHTING PLAN - FIRST FLOOR HOUSE	X	X
E1.1	ELECTRICAL & LIGHTING PLAN - SECOND FLOOR HOUSE	Х	х
E1.2	ELECTRICAL & LIGHTING PLAN - GARAGE	х	Х

ARCHITECTURE

CLASS A CONTRACTOR

PROJECT

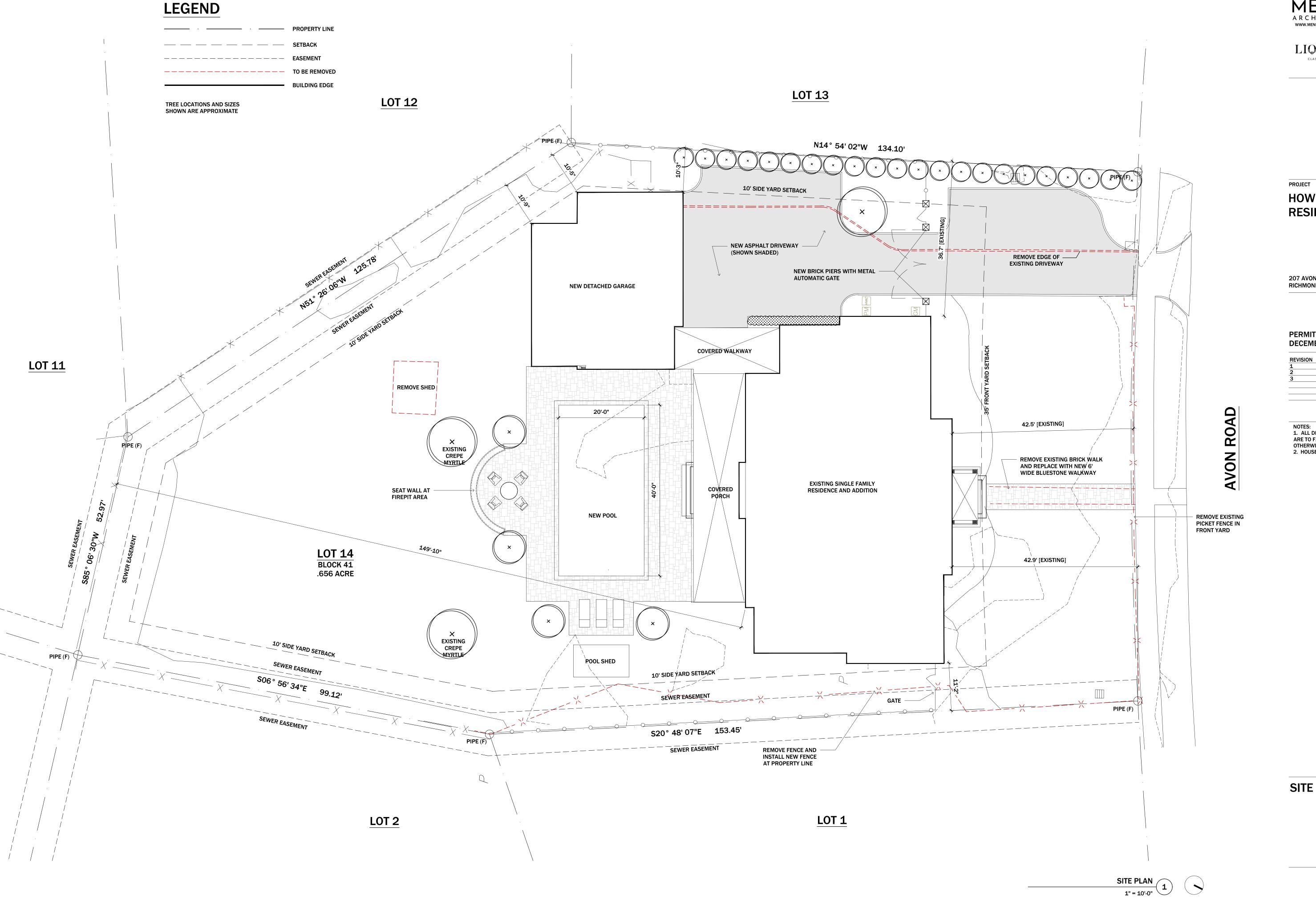
HOWREN RESIDENCE

207 AVON ROAD RICHMOND, VA 23221

PERMIT SET DECEMBER 06 2021

1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED. 2. HOUSE DATUM: X.X' = 0'-0"

PROJECT INFO



MENLO
ARCHITECTURE
WWW.MENLOARCHITECTURE.COM

LIQNHEAD (LC CLASS A CONTRACTOR

HOWREN RESIDENCE

207 AVON ROAD RICHMOND, VA 23221

PERMIT SET DECEMBER 06 2021

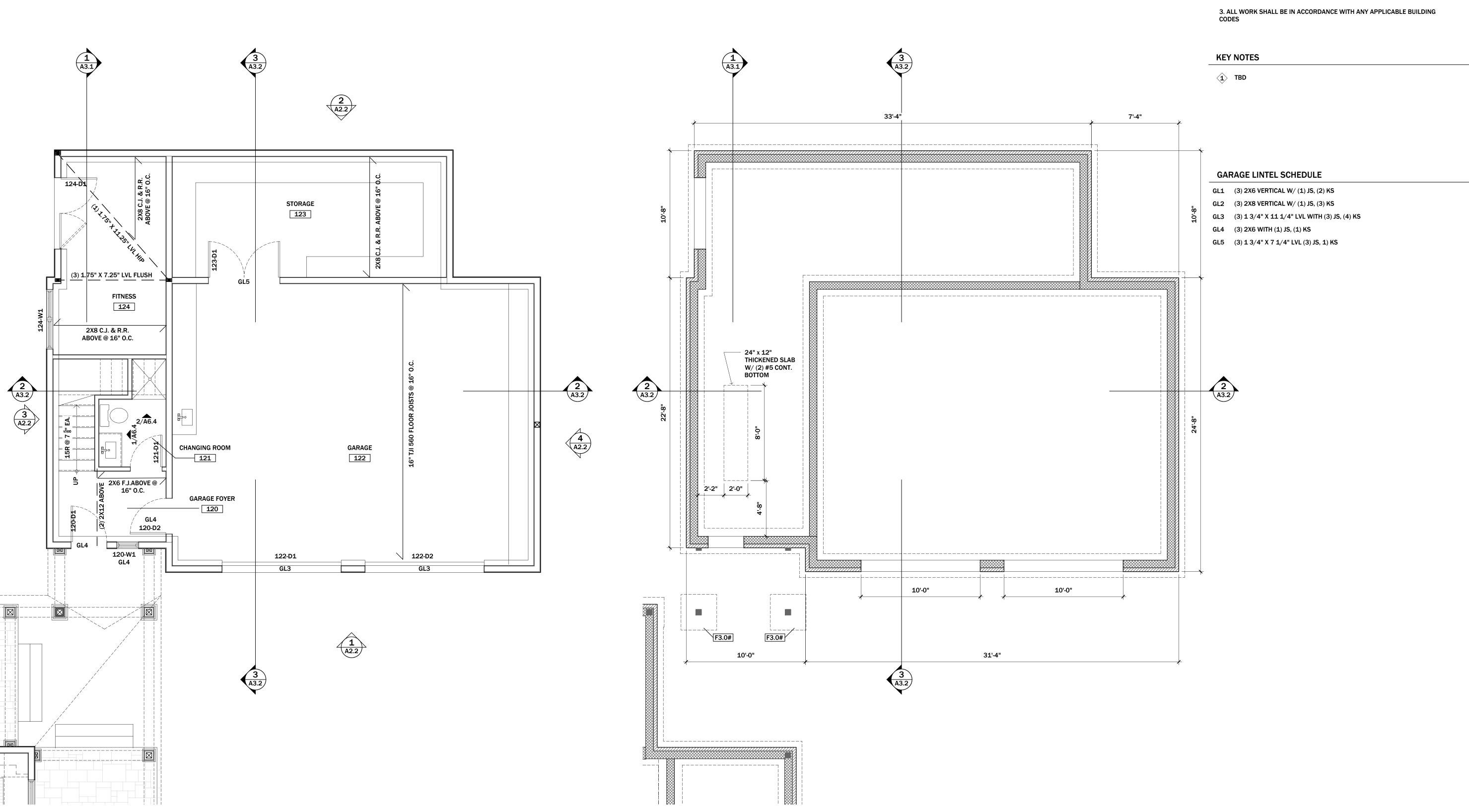
REVISION DATE

1
2
3

NOTES:
1. ALL DIMENSIONS SHOWN
ARE TO F.O. STUD UNLESS
OTHERWISE NOTED.
2. HOUSE DATUM: X.X' = 0'-0"

SITE PLAN

A0.1



GARAGE FIRST FLOOR

1/4" = 1'-0"

LEGEND

GARAGE FOUNDATION PLAN

1/4" = 1'-0"

1

EXISTING WALL TO REMAIN

NEW WALL

BRICK VENEER

GENERAL CONSTRUCTION NOTES

1. DIMENSIONS WHERE SHOWN ARE TO FACE OF CONCRETE, MASONRY OR STUD UNLESS NOTED OTHERWISE. VERIFY ALL DIMENSIONS OF EXISTING WALLS, NOTIFY ARCHITECT OF DISCREPANCIES, MAINTAIN ALL CLEAR DIMENSIONS.

2. ALL MATERIALS AND PRODUCTS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

GARAGE FOUNDATION AND FIRST FLOOR PLAN

MENLO ARCHITECTURE WWW.MENLOARCHITECTURE.COM

LIQNHEAD (LC CLASS A CONTRACTOR

PROJECT

HOWREN

207 AVON ROAD RICHMOND, VA 23221

PERMIT SET

DECEMBER 06 2021

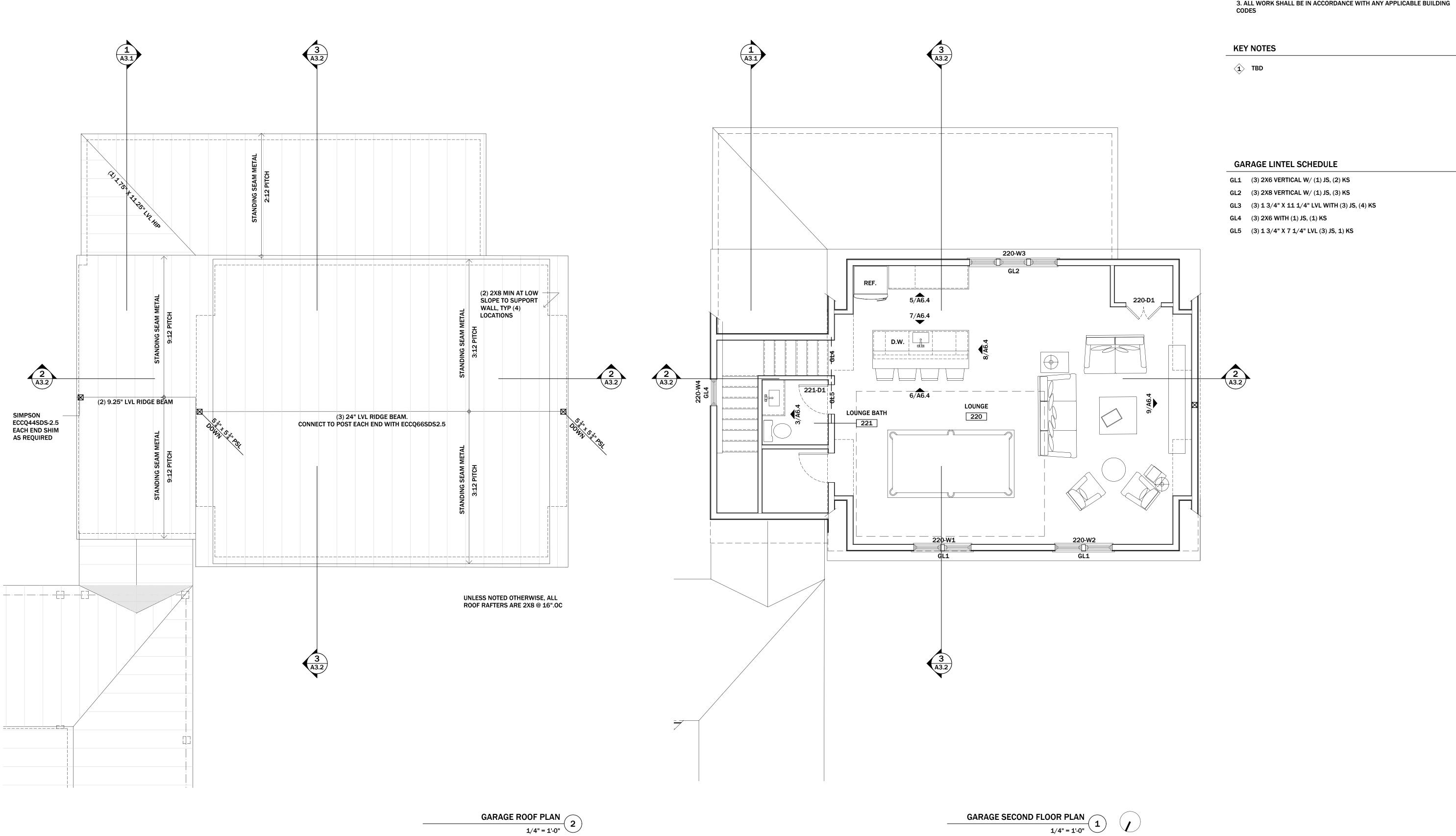
NOTES:

1. ALL DIMENSIONS SHOWN
ARE TO F.O. STUD UNLESS
OTHERWISE NOTED.

2. HOUSE DATUM: X.X' = 0'-0"

RESIDENCE

A1.4



LEGEND

EXISTING WALL TO REMAIN

NEW WALL

MENLO ARCHITECTURE WWW.MENLOARCHITECTURE.COM

LIQNHEAD... CLASS A CONTRACTOR

GENERAL CONSTRUCTION NOTES

1. DIMENSIONS WHERE SHOWN ARE TO FACE OF CONCRETE, MASONRY OR STUD UNLESS NOTED OTHERWISE. VERIFY ALL DIMENSIONS OF EXISTING WALLS, NOTIFY ARCHITECT OF DISCREPANCIES, MAINTAIN ALL CLEAR

2. ALL MATERIALS AND PRODUCTS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

3. ALL WORK SHALL BE IN ACCORDANCE WITH ANY APPLICABLE BUILDING

PROJECT

HOWREN RESIDENCE

207 AVON ROAD RICHMOND, VA 23221

PERMIT SET

DECEMBER 06 2021

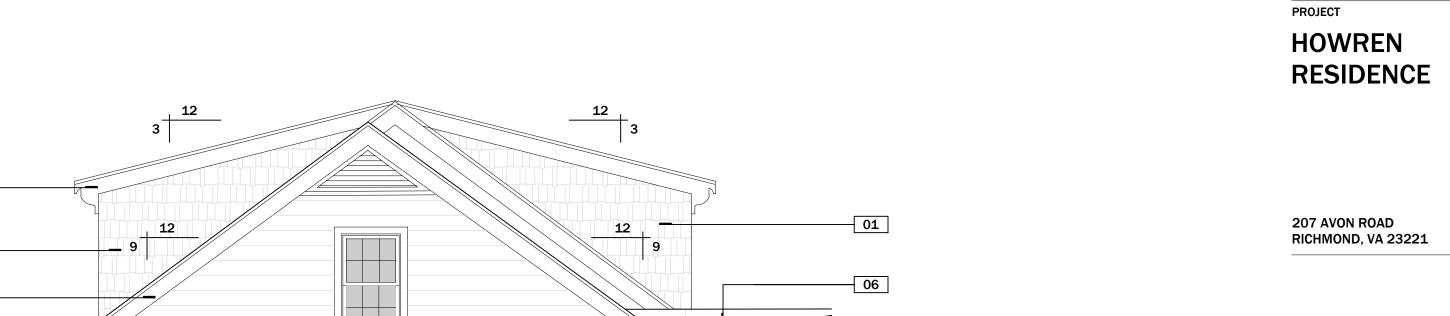
NOTES:

1. ALL DIMENSIONS SHOWN
ARE TO F.O. STUD UNLESS
OTHERWISE NOTED. 2. HOUSE DATUM: X.X' = 0'-0"

GARAGE SECOND FLOOR AND **ROOF PLAN**

EXTERIOR MATERIAL KEY

- 01 HARDIE SHINGLE (JAMES HARDIE)
- 02 HARDIE PLAN (JAMES HARDIE)
- 03 COMPOSITE SKIRT BOARD, PAINTED
- 04 BRICK (NEW TO MATCH EXISTING)
- 05 STANDING SEAM METAL ROOF (COLOR TBD)
- SLATE ROOF (TO MATCH EXISTING)
- 07 COMPOSITE TRIM (PAINTED)
- 08 COMPOSITE COLUMN WRAP (PAINTED)
- 09 COPPER GUTTER / DOWNSPOUT
- 10 EXISTING BRICK
- 11 STONE FLOORING 12 WOOD BRACKET



02

- 08

PERMIT SET DECEMBER 06 2021

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LIQNHEAD (LC CLASS A CONTRACTOR

NOTES:

1. ALL DIMENSIONS SHOWN
ARE TO F.O. STUD UNLESS
OTHERWISE NOTED.

2. HOUSE DATUM: X.X' = 0'-0"

NORTHEAST [SIDE] ELEVATION

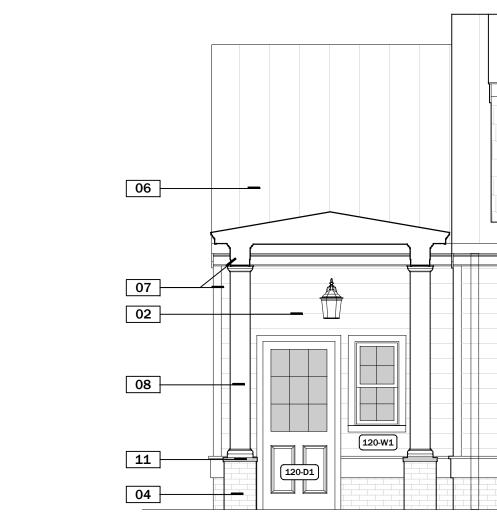
1/4" = 1'-0"



06

07

02



01

07

124-W1



NORTHWEST [FRONT] ELEVATION

1/4" = 1'-0"

EXTERIOR₀₈ ELEVATIONS -GARAGE

A2.2



______06

01

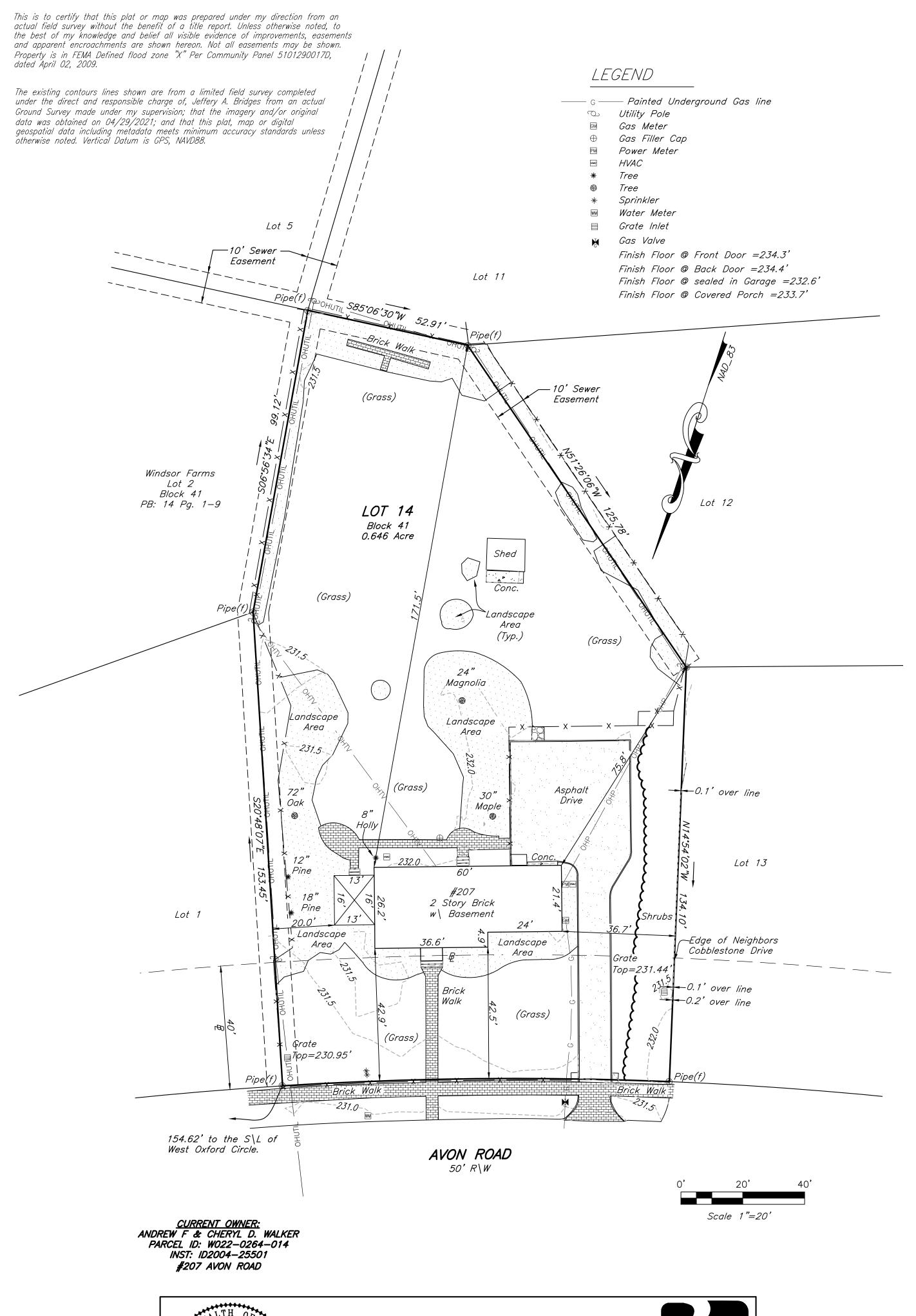
SOUTHEAST [REAR] ELEVATION

1/4" = 1'-0"

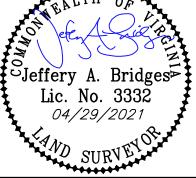
07

01

07



RE: Jay & Jenny Howren DATE: 04/29/2021 SCALE: 1"=20' JOB NO.: 55210154.MS DRAWN BY: DAD CHECKED BY: JAB



TOPOGRAPHIC AND IMPROVEMENTS SURVEY ON LOT 14, BLOCK 41, WINDSOR FARMS

CITY OF RICHMOND, VIRGINIA

PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS

ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG

15871 City View Drive, Suite 200 / Midlothian, Virginia 23113 / Phone (804) 794-0571 / www.balzer.cc

