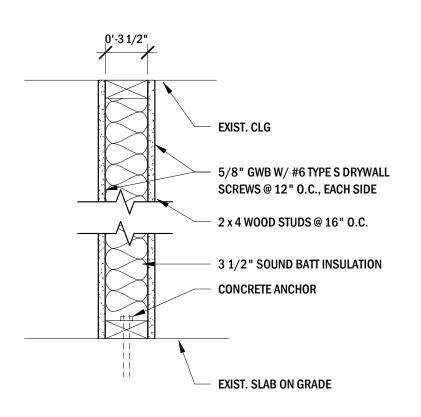
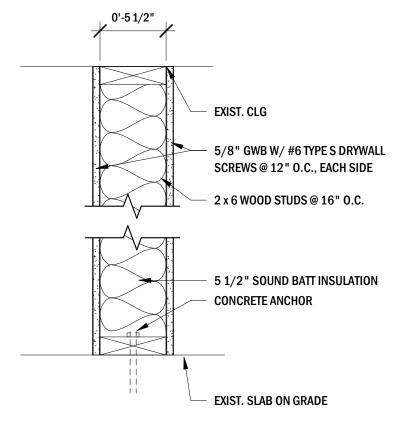
21-011 - RICHMOND ART GARAGE

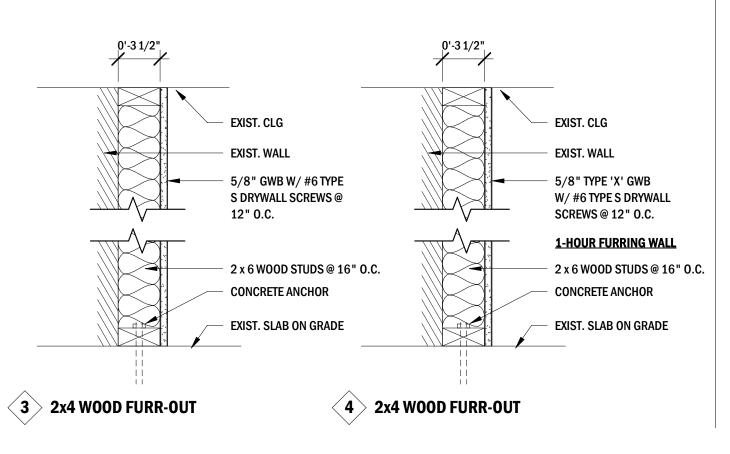
SUP APPLICATION PACKAGE - MAY 10, 2022



TYP. WOOD PARTITION WALL DETAIL W/ SOUND 1 BATT (FULL HT)



TYP. PLUMBING PARTITION WALL DETAIL W/ 2 SOUND BATT

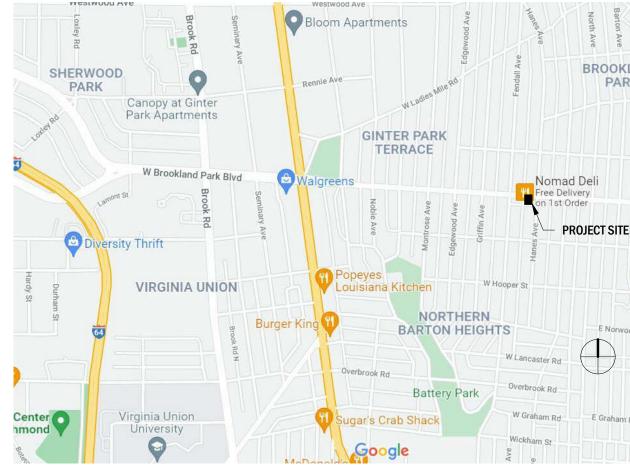


GENERAL NOTES

- These drawings are intended to set forth the Work in sufficient detail to meet the codes and requirements of the City of Richmond Planning and Building Departments. Under no circumstances have these drawings been prepared for executing the Work in any other jurisdiction other than the one stated above.
- All conditions and dimensions shall be verified by the various contractors employed by the Owner to inspect the site. Any inconsistencies found between these drawings and the site conditions shall be brought to the attention of the Architect prior to commencement of work. Inconsistencies which could affect the intended function of the various Contractors' performance of the Work shall be brought to the attention of the Owner and their representatives.
- Written dimensions and notes on drawings shall take priority over scale of drawings. Do not scale drawings to determine any dimensions. Drawings are in scale for purposes of design and intent only. All dimensions shown on plans are to face of concrete, face of existing, or face of framing unless shown or noted otherwise.
- All features of the Work not fully shown shall be of the same type and character of that shown for similar conditions. In the event that additional work is required to complete the Work as intended or required by governing codes, yet not fully shown or omitted in the drawings, Contractor(s) must still provide foundation, carpentry, mechanical, electrical and/or plumbing as required for certificate of occupancy. The Owner and Architect shall be notified in the event of special conditions, inconsistencies or discrepancies.
- The Work, as described by these drawings, shall be executed in accordance with all federal, state, and local building codes and safety regulations having jurisdiction at the place and time of construction. Contractor(s) shall meet the applicable requirements of all currently adopted model building codes. The Work to be performed as described in these documents has been prepared to conform to the 2015 Virginia Uniform Statewide Building Code and all local modifications.
- Any changes to the Work, as described by these drawings, shall be approved by the Owner or Architect prior to the commencement of constructing the change.
- Contractor(s) shall be solely responsible for the design and construction of all shoring and bracing required for construction of the Work. Contractor(s) shall not store construction materials or equipment, or operate construction equipment in a manner such that the design live loads of the structure are exceeded. No construction materials/equipment shall be stored on overhanging framing or structure.
- Owner(s) and/or Contractor(s) shall be responsible for the scheduling and cost of all required project inspections by either a building department official and/or a special inspector at the various stages of construction as set forth by the City of Richmond.
- Owner(s) and/or Contractor(s) shall be solely responsible for safety on the job site for the performance of the Work. Contractor(s) shall adhere to all federal, state and local O.S.H.A. safety regulations.
- Owner and/or Contractor(s) shall be responsible for the removal of all waste material and site clean up during the performance of and at the completion of the Work.



VICINITY MAP



OWNER	ZACHARY REID	CONTACT	ZRIED@RICHMONARDGARAGE.COM
ARCHITECT	FORM COALITION, LLC 906 N 24TH ST RICHMOND, VA 23223	CONTACT	JODI DUBYOSKI JODI@FORMCOALITION.COM 804-404-8551
LAND USE CONSULTANT	BAKER DEVELOPMENT RESOURCES	CONTACT	CHARLIE WILSON CHARLIE@BAKERDEVELOPMENT RESOURCES.COM
CONTRACTOR	TBD	CONTACT	
MECHANICAL ELECTRICAL PLUMBING	TBD	CONTACT	

SHEET LIST				
		SUP Application 2022		
A000	COVER			
ARCHITEC				
A100	SITE PLAN	•		
A102	FLOOR PLANS	•		

ELEVATIONS

A200

APPLICABLE CODES 2018 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VA-USBC) 2018 VIRGINIA CONSTRUCTION CODE (VCC) 2018 VIRGINIA REHABILITATION CODE (VRC) 2018 INTERNATIONAL FIRE PREVENTION CODE (VIRGINIA EDITION) 2018 INTERNATIONAL MECHANICAL CODE (VIRGINIA EDITION) 2017 NATIONAL ELECTRICAL CODE **SCOPE OF WORK** Two-story concrete masonry addition to existing art gallery. Addition contains ground floor gallery/classroom space, and upstairs private office space. Total square footage is approximately 1713 SF. **PROJECT DATA UB-PE7 (URBAN BUSINESS, PARKING EXEMPT)** ZONING PROPERTY ID # N0000887035 **EXISTING USE** ART GALLERY ART GALLERY, CLASSROOM, STUDIO/OFFICE SPACE PROPOSED USE **BUILDING TOTAL SF**

FORM COALITION

FORM Coalition, LLC 906 N. 24th St. Richmond, VA 23223 www.formcoalition.com

RICHMOND ART GARAGE

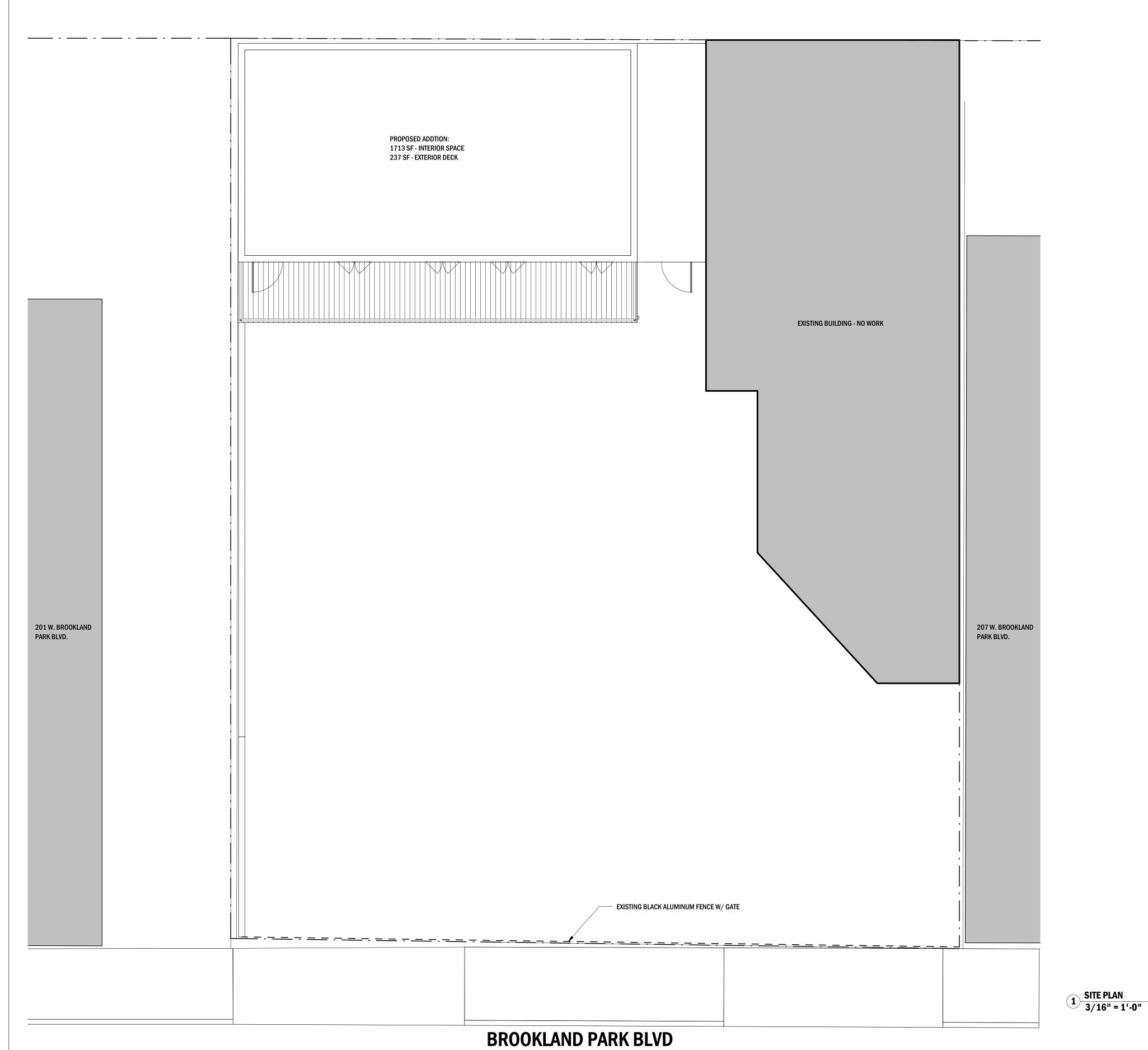
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No. Description Date

COVER

ALLEY



ZONING	INFORM	ATION		
ZONING	UB-PE7 (URBAN BUSINI	ESS, PARKING EXE	EMPT)	
REQUIRED SETBACKS				
LOT COVERAGE	NO REQUIREMENT			
HEIGHT	MAX	28	PROPOSED	24'-8" +/-
CITY OLD & HISTORIC	N/A	l	I	· · · · · · · · · · · · · · · · · · ·
ECONOMIC ZONE	ENTERPRISE ZONE III			
C.A.R.	N/A			
PARKING	,			
ZONING 3005	216 0 0 0 0 214	PROJI SITE	3004 3000	3007
0	15 213 211 209 23	207	201	127 125 123 O
2921		R-6	2918	2923 2921 2917
LEGEND)		T	
	CONCRETE			PROPERTY LINE
	GRASS			BUILDING FOOTPRINT

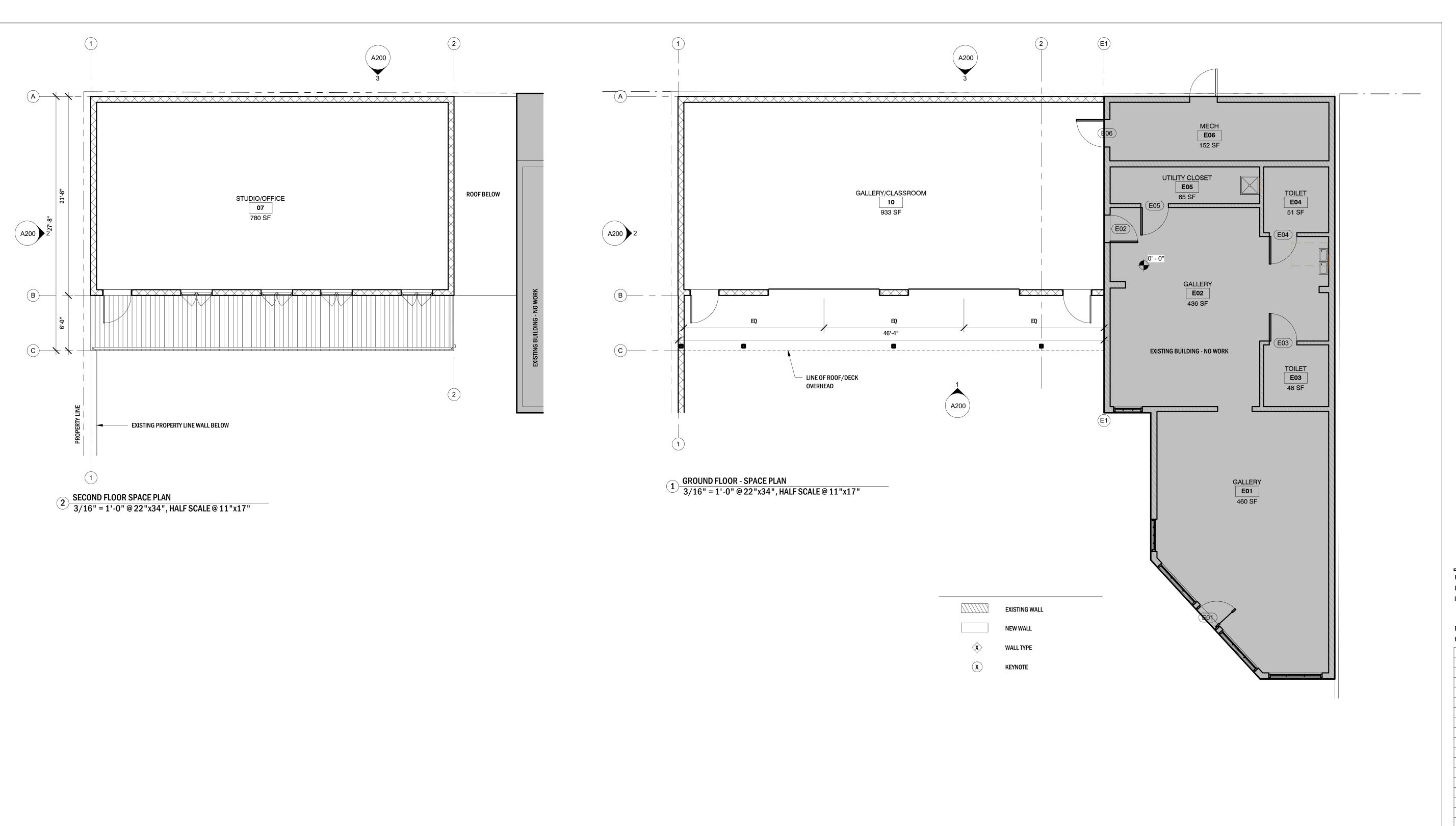


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ART GARAGE RICHMOND

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SITE PLAN



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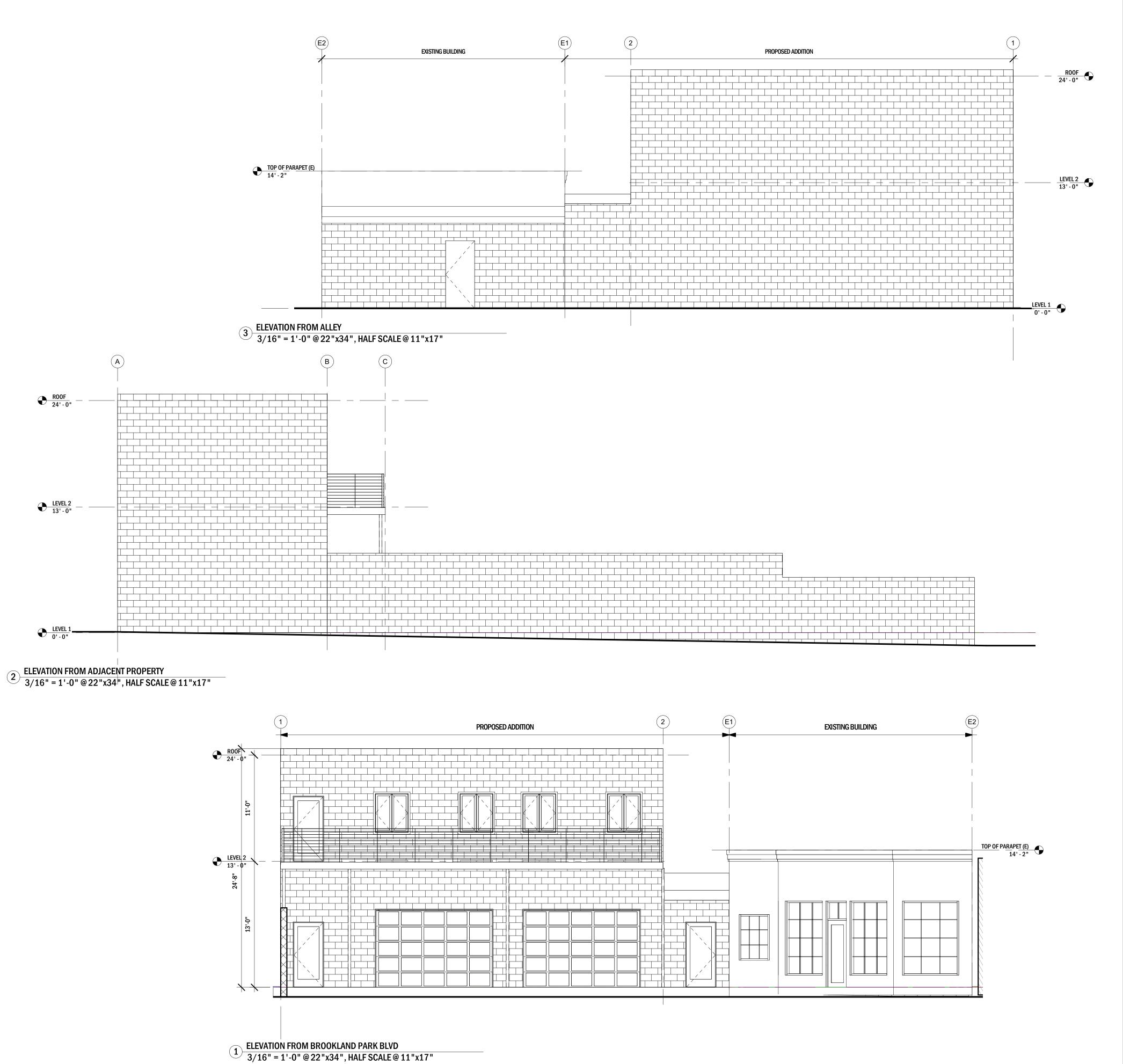
205 W. BROOK
RICHMOND, VA
RICHMOND, VA
ZACHARY REID
ZACHARY REID
2057

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No. Description Date

FLOOR PLANS





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RICHMOND ART GARAGE

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ELEVATIONS