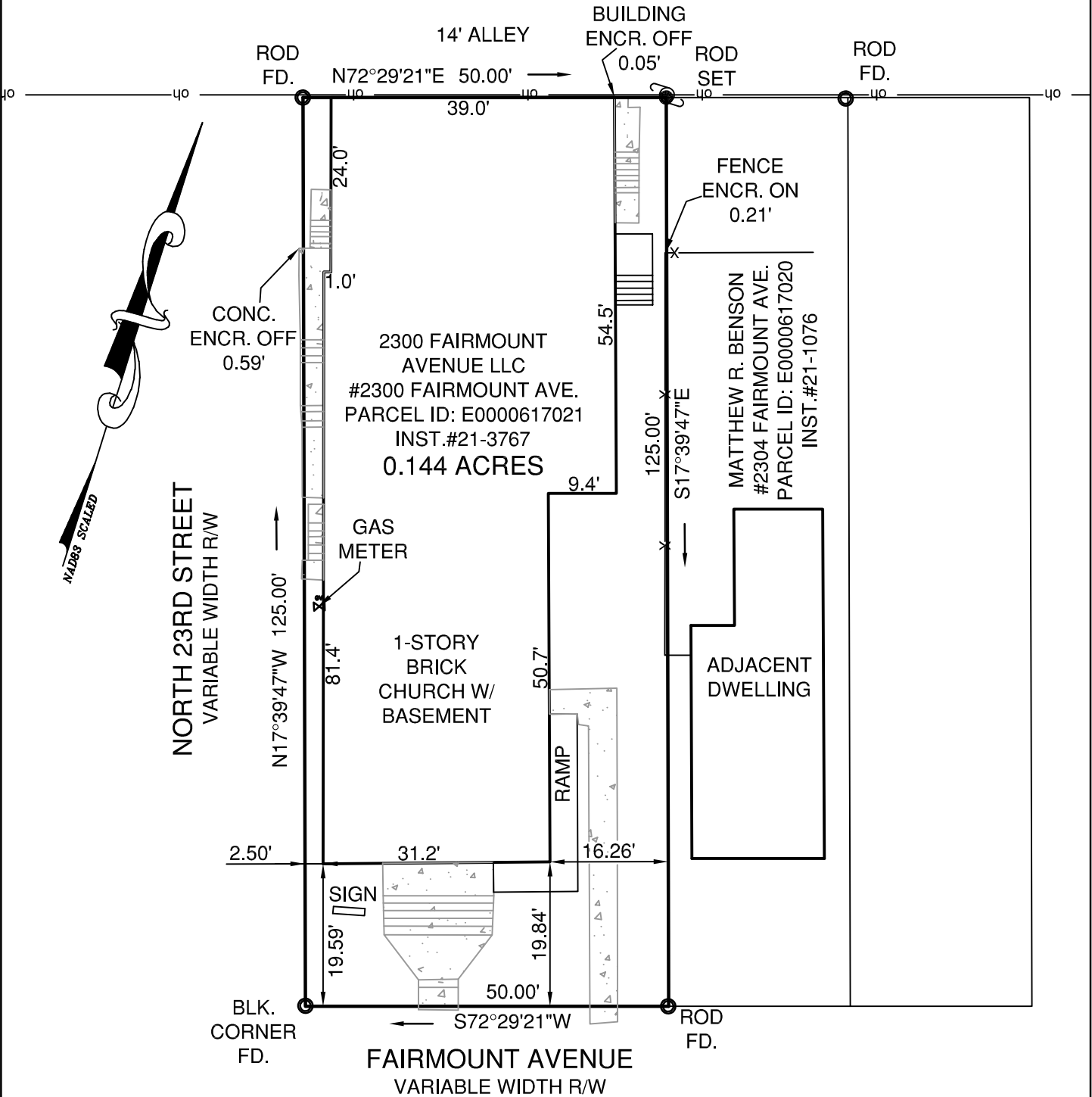


THIS PROPERTY IS LOCATED IN ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL #5101290041E, EFFECTIVE DATE JULY 16, 2014.

THIS SURVEY IS SUBJECT TO ANY EASEMENT OF RECORD OR OTHER PERTINENT FACTS THAT A CURRENT TITLE REPORT MIGHT IDENTIFY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

THIS SURVEY WAS MADE FOR THE PURPOSE OF IDENTIFYING LEGAL BOUNDARIES AND DOES NOT PURPORT TO IDENTIFY ENVIRONMENTAL FEATURES THAT AN ENVIRONMENTAL ASSESSMENT MIGHT IDENTIFY.

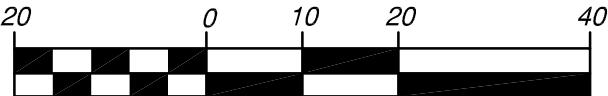
REFERENCE PLAT: PLAT SHOWING PHYSICAL IMPROVEMENTS ON #2306 FAIRMOUNT AVEUNE. DATED NOVEMBER 7, 2017 BY TOWNES PC.



THIS IS TO CERTIFY THAT I MADE AN ACCURATE FIELD SURVEY ON MARCH 2, 2021. ALL VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON AND THAT THERE ARE NO VISIBLE ENCROACHMENTS OTHER THAN SHOWN.



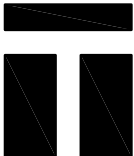
GRAPHIC SCALE



1 inch = 20 feet

PLAT SHOWING
PHYSICAL IMPROVEMENTS OF
2300 FAIRMOUNT AVENUE
FOR
GARRETT AUGUSTINE

CITY OF RICHMOND, VIRGINIA
DATE: MARCH 3, 2021 SCALE: 1"=20'



townes

consulting engineers, planners, and land surveyors

DRAWN BY: T.S.G.

CHECKED BY:

2463 boulevard
colonial heights, va 23834
telephone: 804.520.9015
facsimile: 804.520.9016
email: cctownes@townespc.com

ATTN: GARRETT AUGUSTINE



smbw

Urban Hope @ 2300 Fairmount Ave

Design Review / 01.21.22

OVER VIEW

- 01 Project Program
- 02 Code Summary
- 03 Space Planning
- 04 Addition Budiling Concepts

Planning Goals

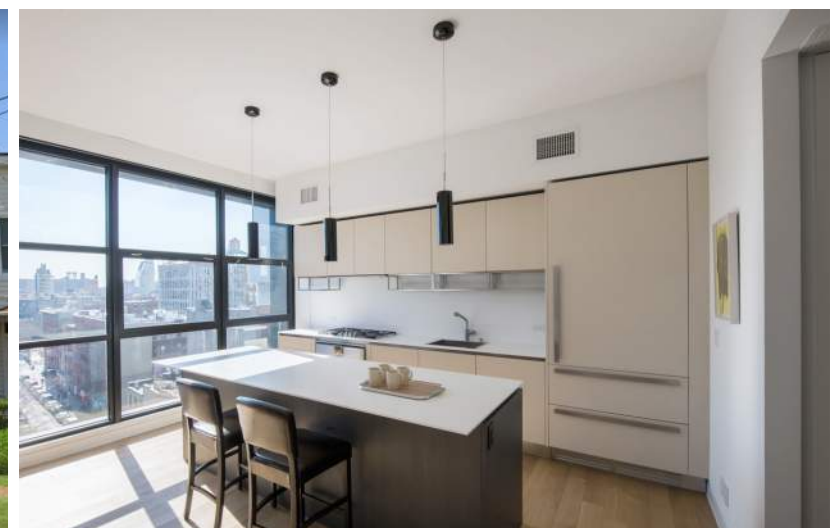
Project Program

Business:

- 01 Private offices + Open work stations
- 02 Open kitchen
- 03 Two (2) rentable offices
- 04 Two (2) bathrooms
- 05 ADA office building

Multi-family:

- 01 Two (2) 2B1B units with in-unit stack laundry
- 02 Two (2) studio units without laundry
- 03 Each unit has separate entry
- 04 Additional unit to match historic building context in neighborhood



Building Classification

Code Summary

B-Business & R-Residential

Historic District Credits with new addition?

Basement Units do not need gross window.

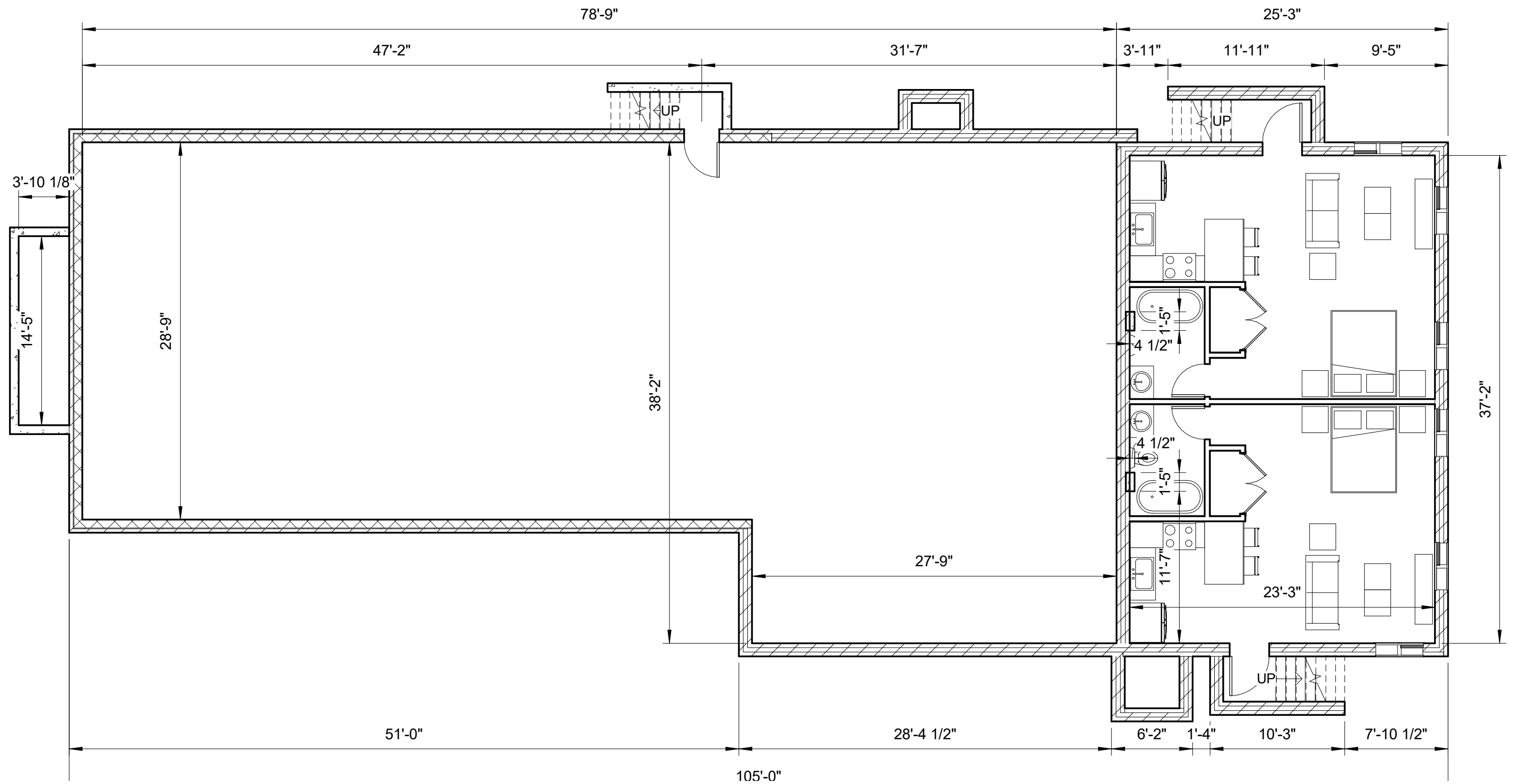
New staircase for additional unit, 36" wide minimum.

2300 Fairmount Ave



Space Planning

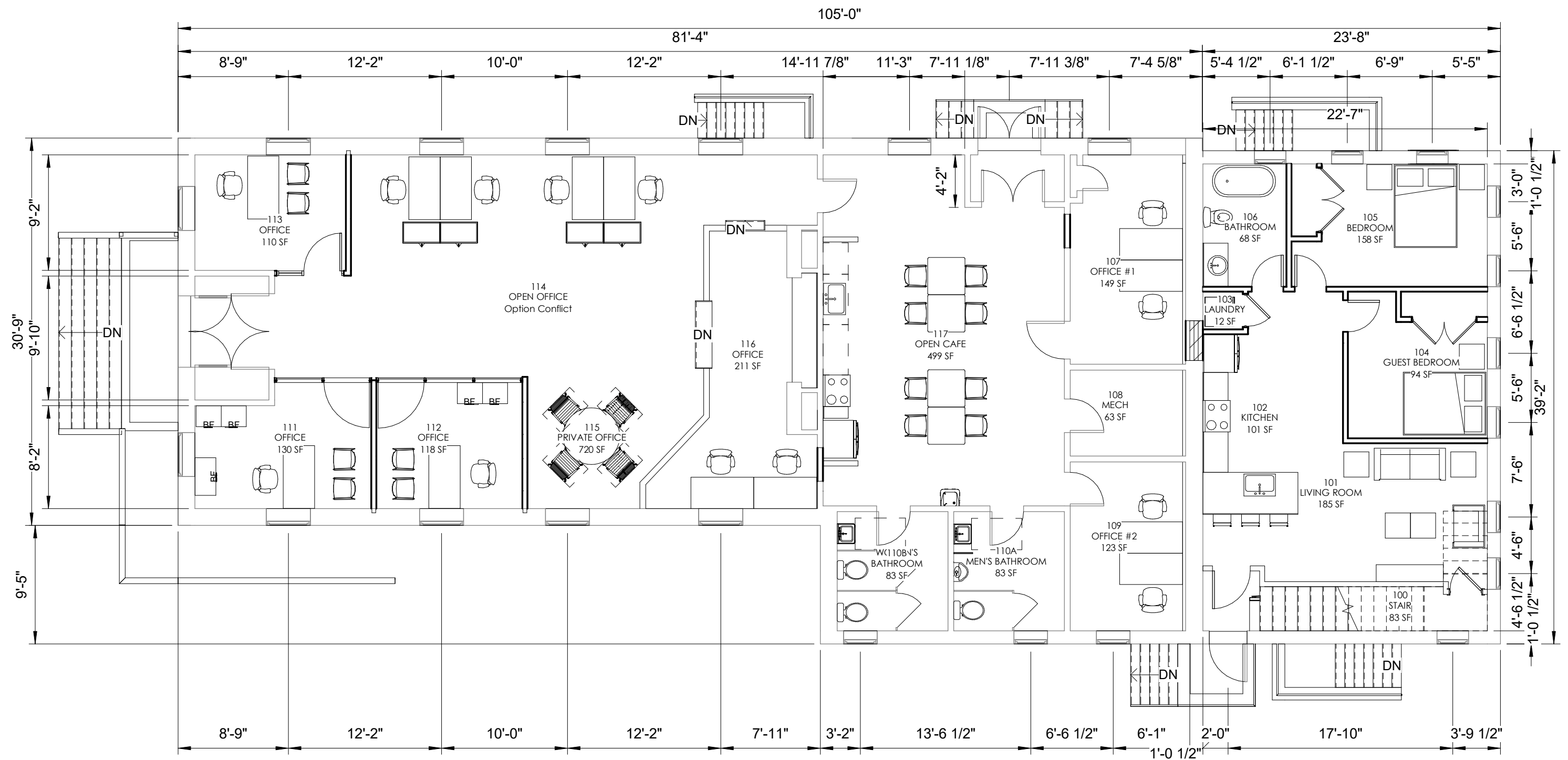
Basement Interior Layout



*Drawings are not to scale.

Space Planning

1st Floor Interior Layout

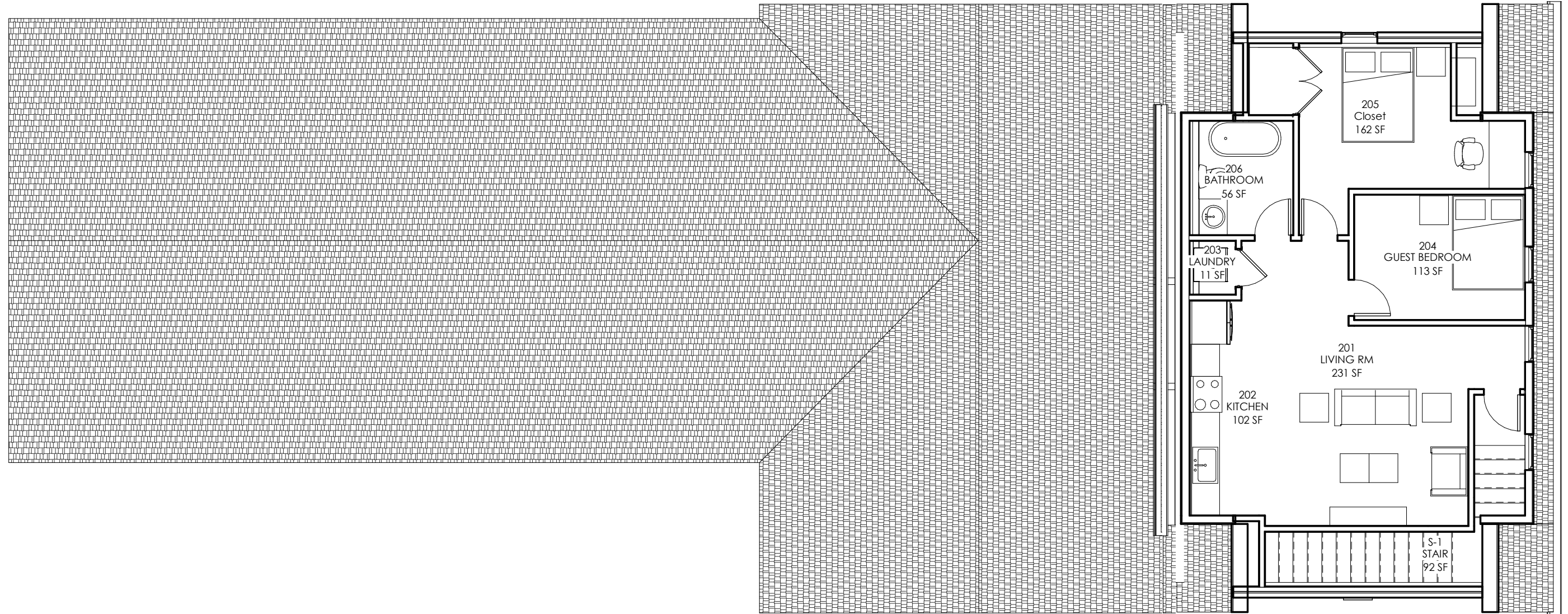


1 FIRST FLOOR PLAN - OPTION 01
1/8" = 1'-0"

*Drawings are not to scale.

Space Planning

2nd Floor Interior Layout



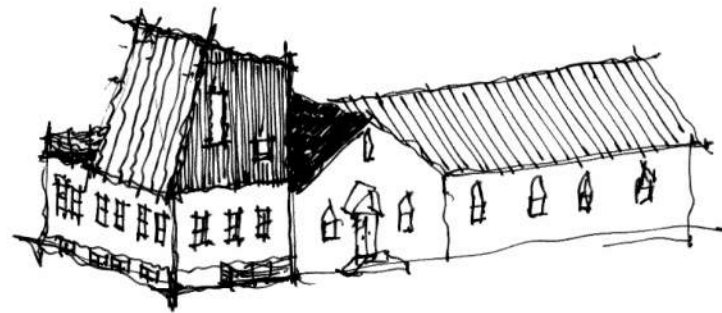
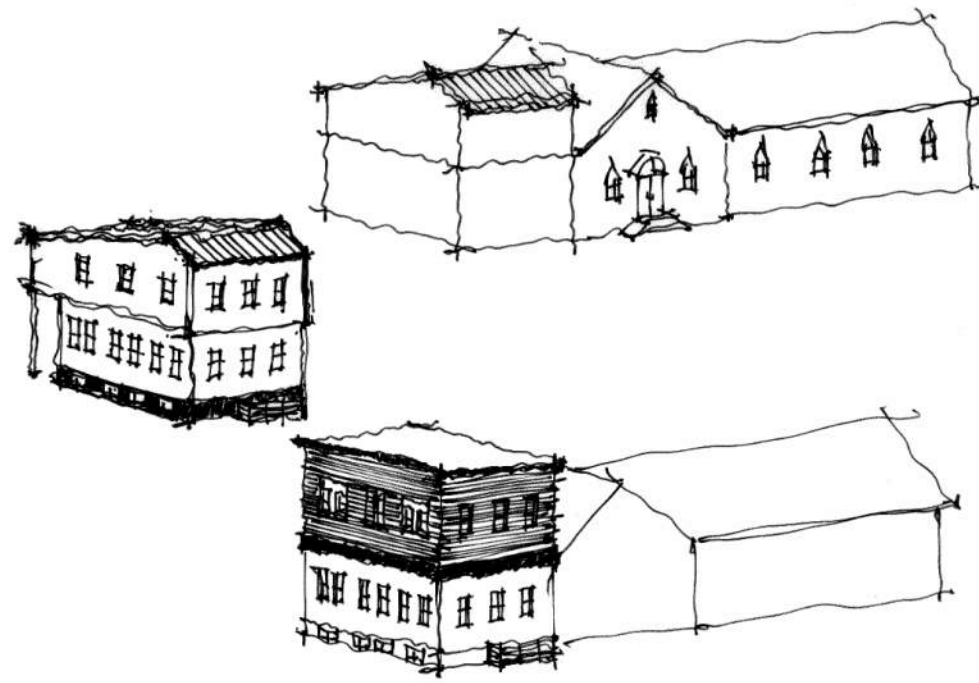
*Drawings are not to scale.

Addition Unit

Design Study



Addition Unit Design Study



Addition Unit
Before

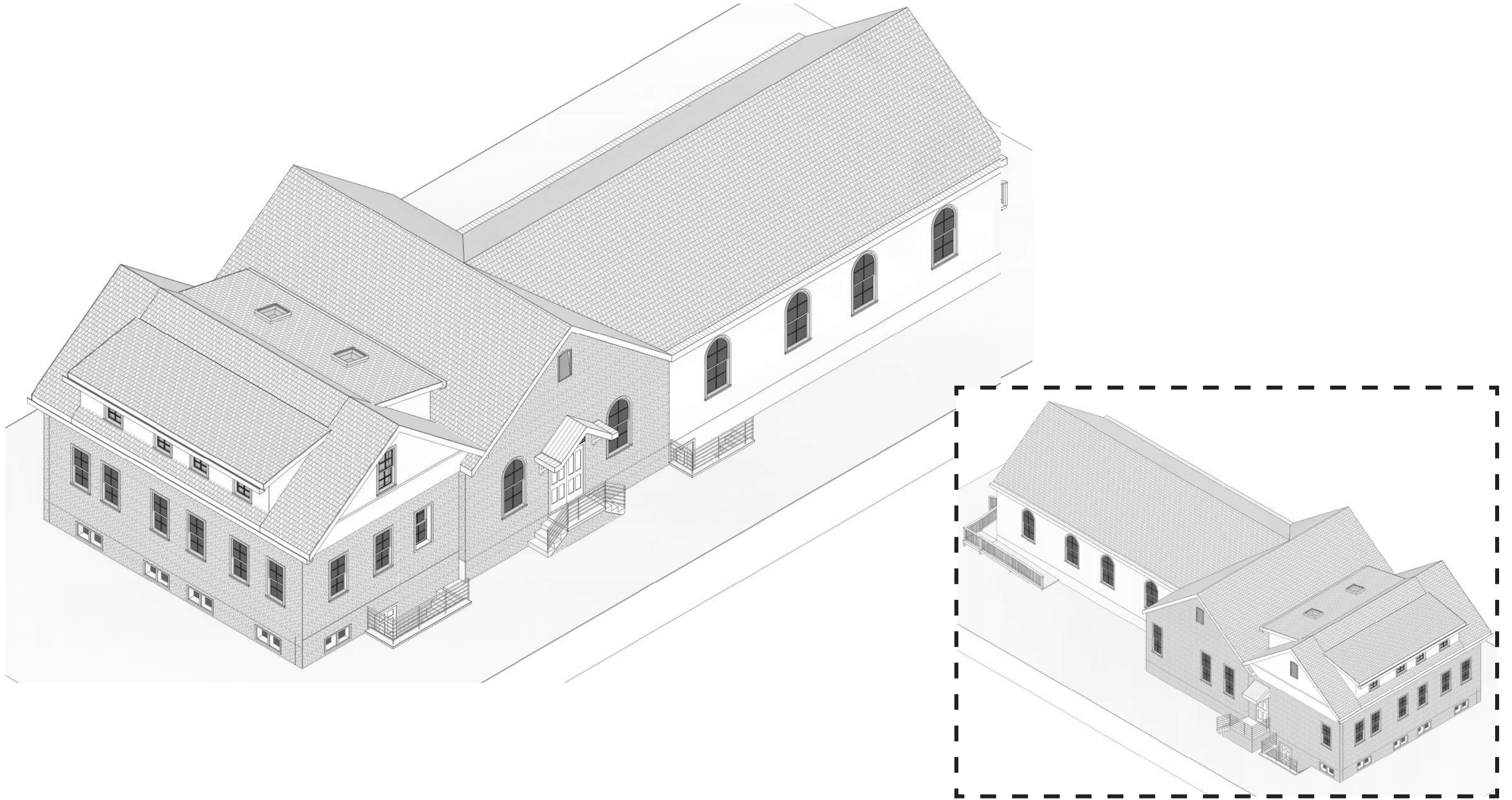


Addition Unit
Proposed



Addition Unit

Axon Drawing



Addition Unit Axon Drawing

