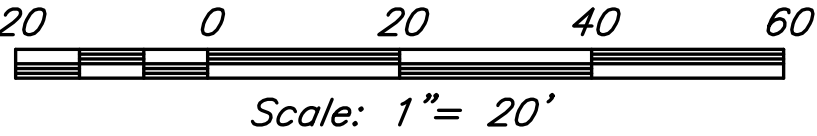


I hereby certify that this boundary survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors, and Certified Landscape Architects.

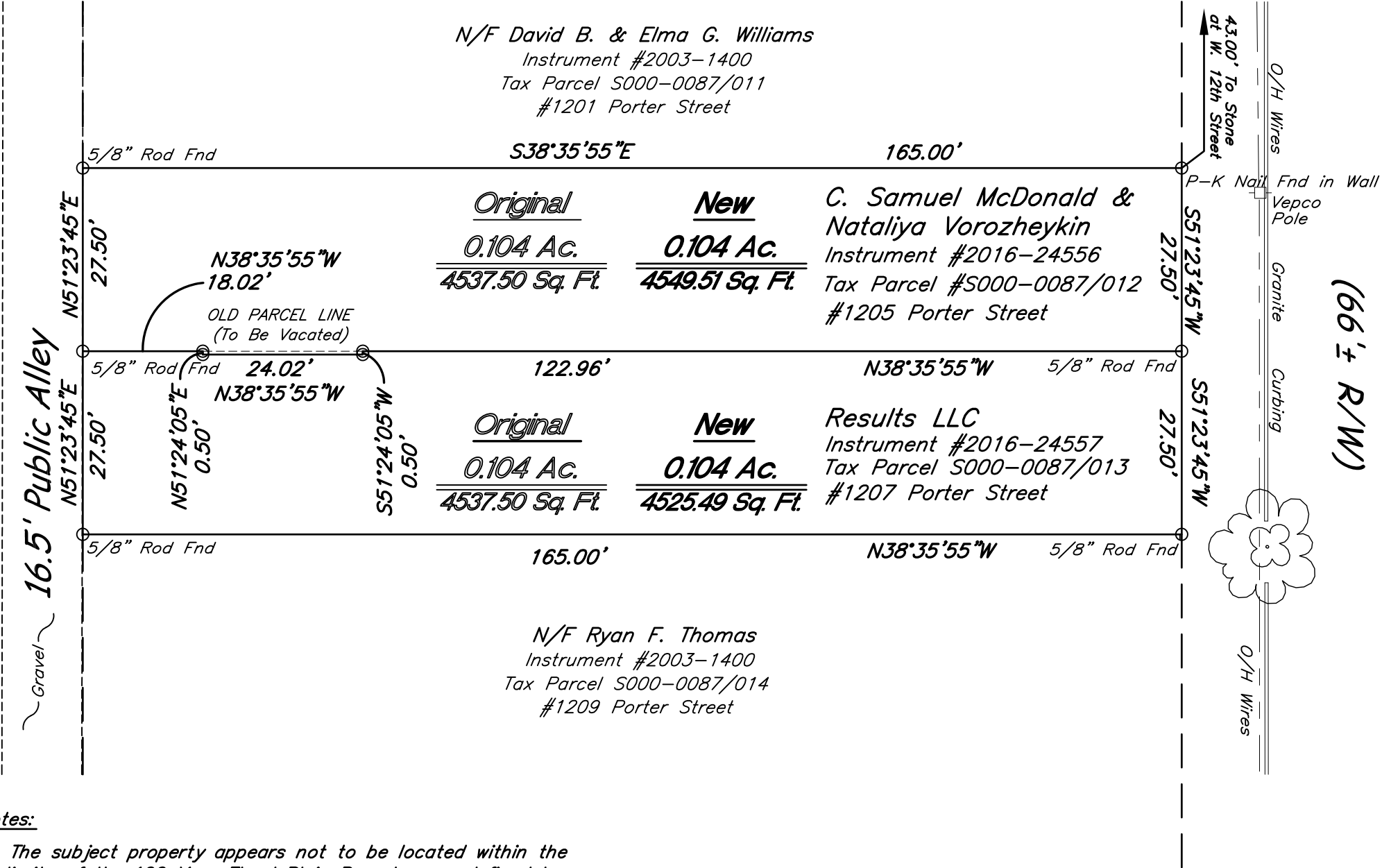


THE PURPOSE OF THIS PLAT IS TO
ADJUST THE BOUNDARY LINES OF
#1205 & #1207 PORTER STREET

BOUNDARY LINE ADJUSTMENT
BETWEEN #1205 &
#1207 PORTER STREET
CITY OF RICHMOND, VIRGINIA
DATE: JULY 31, 2017



Shadrach & Associates LLC
LAND SURVEYING
430 Southlake Blvd., Suite 10-B Richmond, Virginia 23236
Phone: (804)379-9300 Email: rod@shadrachsveys.com



- Notes:
1. The subject property appears not to be located within the limits of the 100 Year Flood Plain Boundary as defined by The Federal Insurance Administration Community-Panel #510129-0039-D, effective date: April 2, 2009 (Zone X).
 2. This survey plat represents a current and accurate field transit survey of the premises shown hereon.
Date of last physical survey: May 22, 2017.
 3. This survey was made without the benefit of a Title Report and therefore there may be encumbrances which are not reflected hereon.

OWNER

Sam McDonald
201 Hull Street, Suite A
Richmond, VA 23224

ARCHITECT

Ratio, PC
1406 Confederate Avenue
Richmond, VA 23227

MEP ENGINEER

To be Design-Build under the General Contractor's scope of work

DRAWING INDEX

CS1.01	Cover Sheet, Partition Types & Notes
CS1.02	Door Schedule & Details
AS.01	Architectural Site Plan
AI.00	Foundation Plan & Notes
AI.01	First Floor Plan & Notes
AI.02	Second Floor Plan & Notes
A3.01	Building Section
A4.01	Exterior Elevations
A4.02	Exterior Elevations
A7.01	Garage Floor Plans
A7.02	Garage Elevations and Section

GENERAL NOTES

1. The General Contractor and subcontractor(s) shall inspect premises prior to bid submittal and work commencement to verify existing and indicated conditions. Should a Contractor find conditions which he believes would impede his work, he shall report such conditions immediately to the Owner. Failure to so advise will constitute notice that the Contractor accepts the existing conditions and that he intends to perform his obligations with no allowance either in time or money for any impediments to his work.

2. Each Contractor shall verify all dimensions and conditions in field. The drawings reflect conditions reasonably interpreted from the existing visible conditions, or from drawings or information furnished by the Owner, but cannot be guaranteed by the Architect. If dimensional errors occur or conditions not covered in the drawings are encountered, the Contractor shall notify the Owner before commencing that portion of the work.

3. All work shall comply with the 2015 Virginia Residential Code.

4. All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with the manufacturers' written specifications of instructions.

5. The General Contractor shall supervise and direct the work, using his best skill and attention. He shall be solely responsible for all construction and/or installation means, methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract.

6. Dimensions take precedence over scale on construction documents. Drawings may be rough scaled for estimating and general reference. Field verify all conditions prior to construction and/or fabrication.

7. All dimensions are given Face of stud (or masonry) unless noted otherwise. Exterior dimensions include exterior sheathing.

8. All work shall be executed in a neat and workmanlike manner. Contractor shall keep the construction site free and clear of all debris and keep out all unauthorized persons. Upon completion of work, the entire construction area shall be completely cleaned to Owner's satisfaction.

9. When work not specifically called out is required to complete the project, the appropriate Contractor shall provide same and it shall be of the best materials and workmanship. If additional costs are required to complete the work, the Contractor shall notify the Owner prior to bid submittal and prior to starting the work, allowing a reasonable period of time for response and approval. No claims for extra compensation based on ignorance of visible or implied conditions or assumptions or disclaimers after the fact shall be considered.

10. The General Contractor and Sub-contractors shall guarantee in writing all workmanship and materials for a period of one year from the date of substantial completion and approval. Materials and/or equipment carrying a manufacturer's guarantee shall be covered by the maximum term offered by the manufacturer but in no case less than one year. All defects discovered during construction shall be repaired to the Owner's satisfaction, at the Contractor's and/ or Sub-contractor's expense, at no cost to the Owner.

11. Unless otherwise specifically noted, the General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, transportation, and other facilities and services necessary for proper execution and completion of the work.

12. The General Contractor shall obtain and pay fees for all required permits, schedule all required inspections, obtain all code approvals, etc. necessary for proper completion of the work.

13. Contractor shall coordinate all work procedures with local authorities, planning, civic commissions, neighborhood associations, or building management or Board of Directors' requirements.

14. Contractor shall be responsible for the protection of all existing and new conditions and materials within the proposed construction area. Any damage caused by or during the execution of the work is the responsibility of the Contractor and shall be repaired or replaced to the Owner's satisfaction at the expense of the Contractor or Sub-contractor.

15. All penetrations through floor slabs and/ or roof systems, such as piping, conduit, ducts, etc., shall be packed and sealed off with fire-rated material and sealed against water penetration as appropriate to the assembly being penetrated.

16. All MEP scope of work is to be performed on a Design-Build method. Owner & Contractor to coordinate. Notify Architect of any conflicts.

17. All interior finishes are to be installed per manufactures recommendations. Coordinate with Owner.

CODE INFORMATION

Designed under 2015 Virginia Residential Code

Building Use is: "R5" - Single Family
(Project is a new 2 story detached dwelling.)

A sprinkler system is not required or installed.

Table 503 Area Limitation for "R5" use
and 5B construction is **unlimited**

Area Calculations (Gross SF)
Actual Building Area:
First Floor = 1,230 Gross SF
Second Floor = 970 Gross SF + 260 Gross SF Roof Deck

Total Finished Area = 2,200 Gross SF
(One building per lot)

Building Occupancy = 13

Allowable Building height = 40' & 3 stories
Actual Building height = ±30'-0" & 2 stories

Number of exits	Required	Provided
First Floor	2	2
Second Floor	1	1

All bedroom windows to meet egress requirements.

Required Fire Ratings:

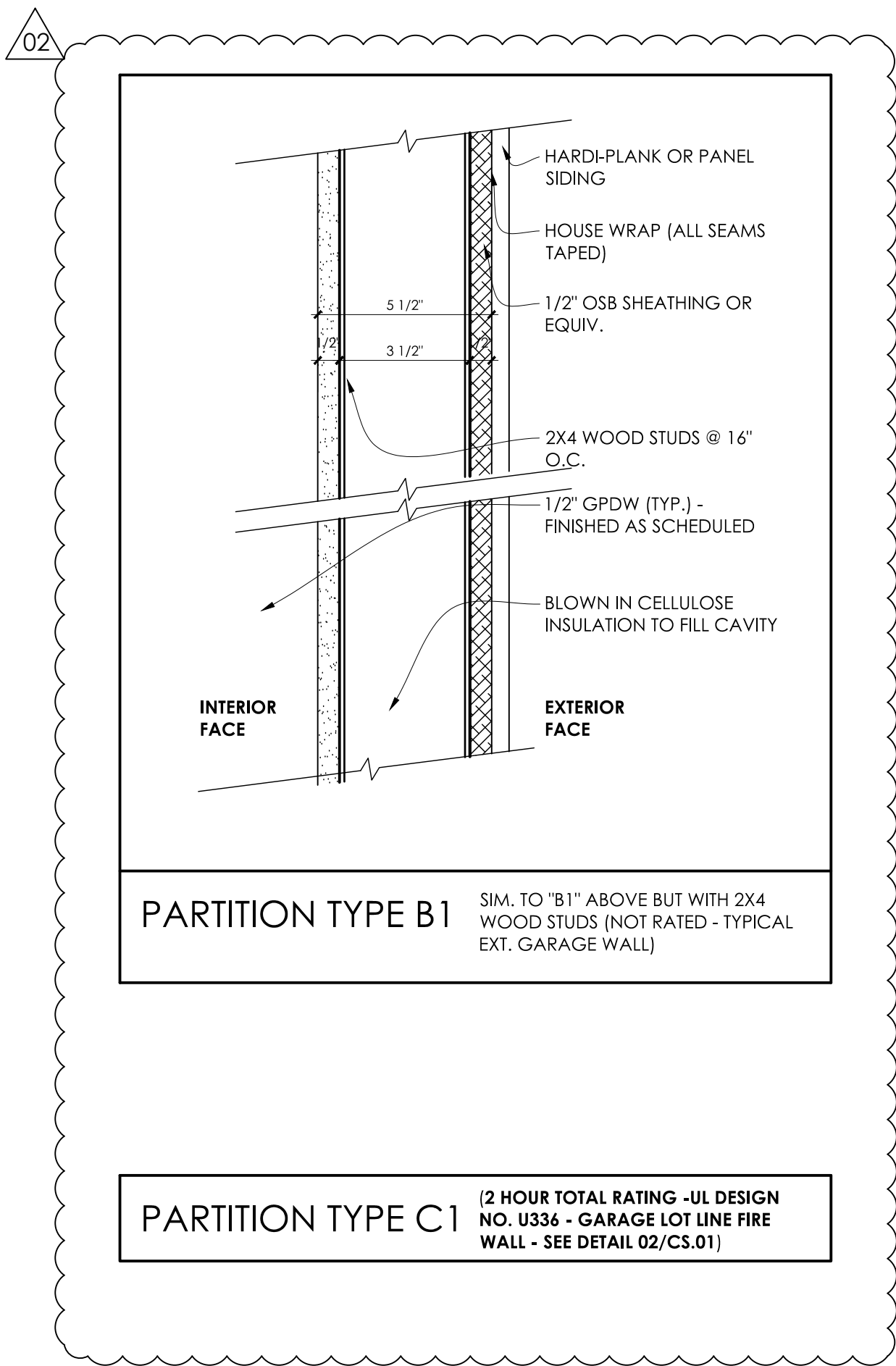
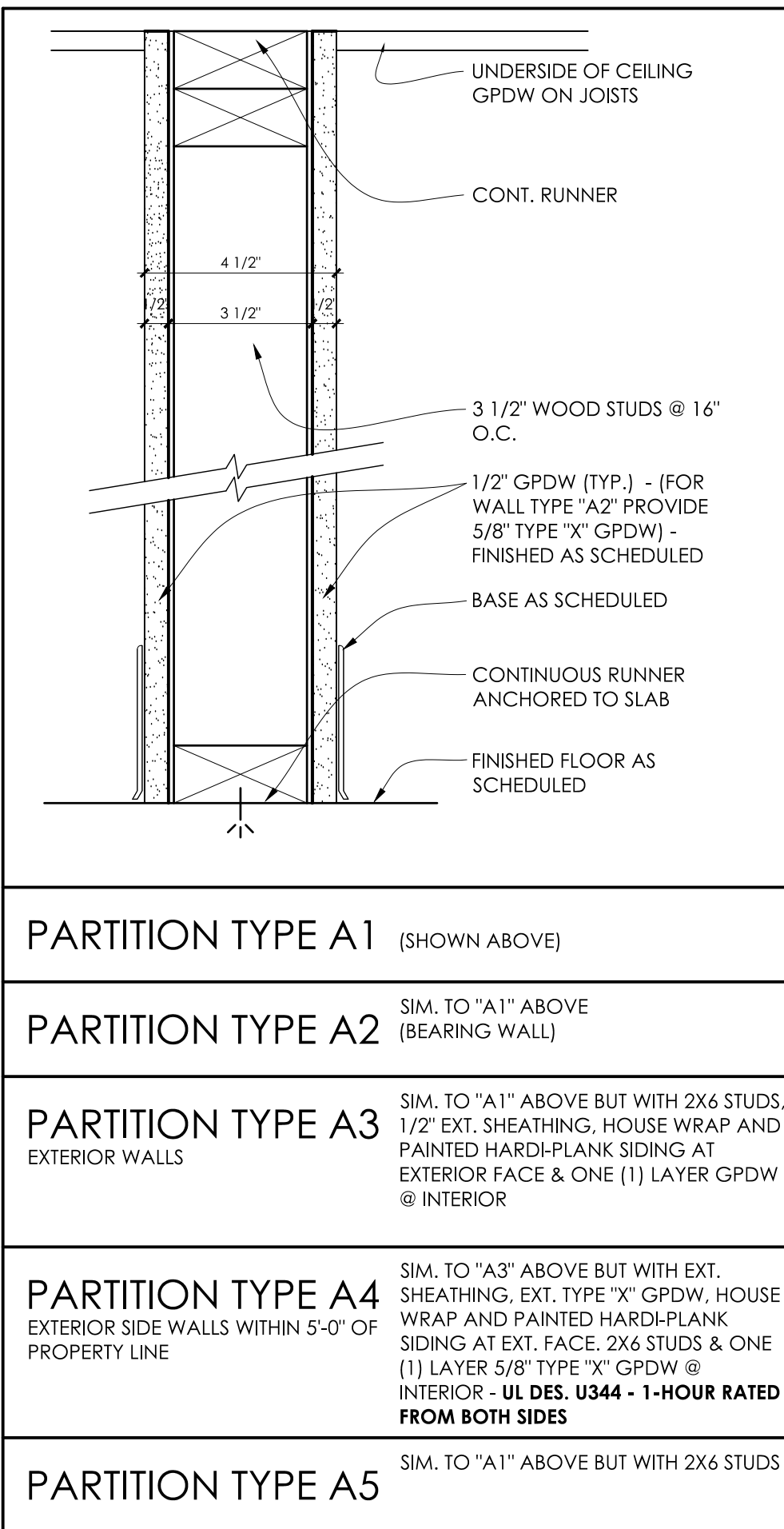
Exterior walls - load bearing: 0 hour
Exterior walls - nonloadbearing: 0 hour
Exit enclosures: 0 hour
Other shafts: 1 hour
(2- hour where connecting 4 stories)
(0- hour where fully inside R5 use)
Exit access corridors: 1 hour
(not applicable)
Tenant separations: 1 hour
(not applicable)
Dwelling Unit separation: 1 hour
(not applicable)
Fire Barrier Separation: 0 hour
(not applicable)
Fire & Party walls: 1 & 0 hour
(See separation distance below)
Smoke partitions: 1 hour
(not applicable)
Roof construction: 0 hour
Floor construction: 0 hour
Interior load bearing and supporting construction: 0 hour
(but not less than the required rating of the structure to be supported)

Exterior wall rating due to separation distance:

Main House Front & Back exterior walls are NOT rated and are over 15' from all property lines or adjacent structures.
Side walls are between 3' and 5' from property lines and therefore need to be 1 - Hour rated (from both sides)

Openings allowed in Exterior Walls:

25% allowable with 3' - 5' separation distance
Both walls are under the allowable percentage
(See elevations)



GENERAL PARTITION NOTES

- Alignment of door heads and other critical horizontal elements shall be maintained at a constant level relative to the ceiling plane, and shall not follow variations in floor plane.
- General contractor to notify Owner of date for partition layout. Layout to be approved by Owner before beginning construction.
- Partition types above door are to be same as the adjacent partitions UNO.
- All partitions joints shall be spackled, taped and sanded smooth with no visible joints.
- All outside corners of gypsum board shall have metal corner beads (screwed type), UNO.
- All dimensions are shown from face of stud, UNO. Exterior dimensions include exterior sheathing.
- Dimensions indicated to be "clear" or "clr" shall be maintained. Any discrepancies or variations in these dimensions shall be reviewed with the Owner before beginning construction.
- Walls are partition type A1 UNO.
- Any dimension noted "Verify" or "VIF" must be reviewed with the Owner before beginning construction.
- Provide and install wood blocking as required in partitions at door stops, wall hung shelving, cabinets, etc. Verify shop standard with millwork contractor and review with the Owner for acceptance prior to installation.
- All partitions and millwork abutting to existing walls shall align with finished face of finished wall surface UNO.
- Provide additional studs as required to achieve outlet groupings. Coordinate with Owner.
- Coordinate blocking requirements for millwork with plans and details.
- Contractor to identify existing areas to receive access panels. Coordinate exact locations and quantity with Owner. Access doors to be provided by Contractor and approved by Owner.

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COVER SHEET,
NOTES &
FOUNDATION PLAN

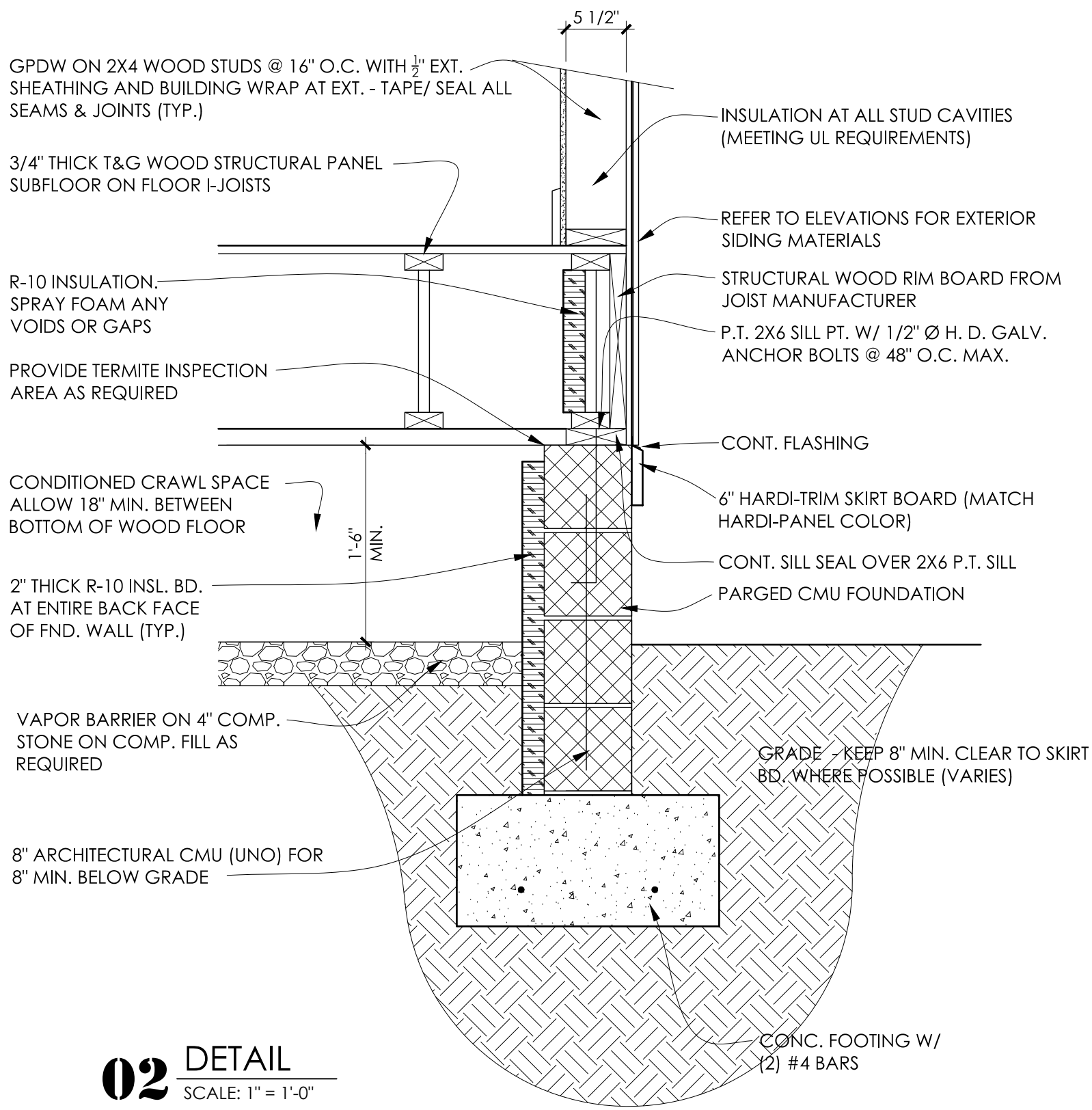
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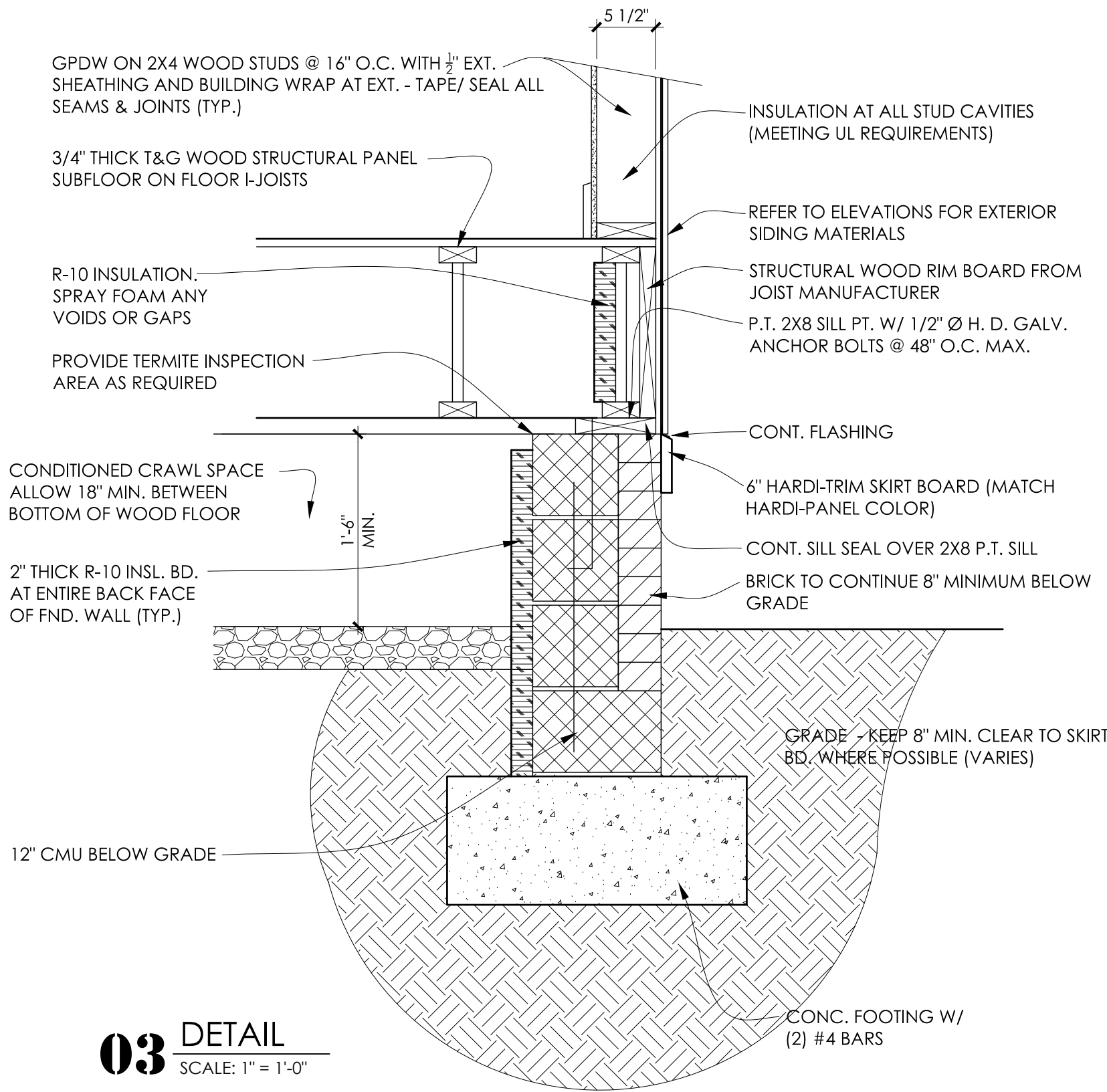
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Richmond, Virginia



02 DETAIL
SCALE: 1" = 1'-0"



03 DETAIL
SCALE: 1" = 1'-0"

HARDWARE SCHEDULE

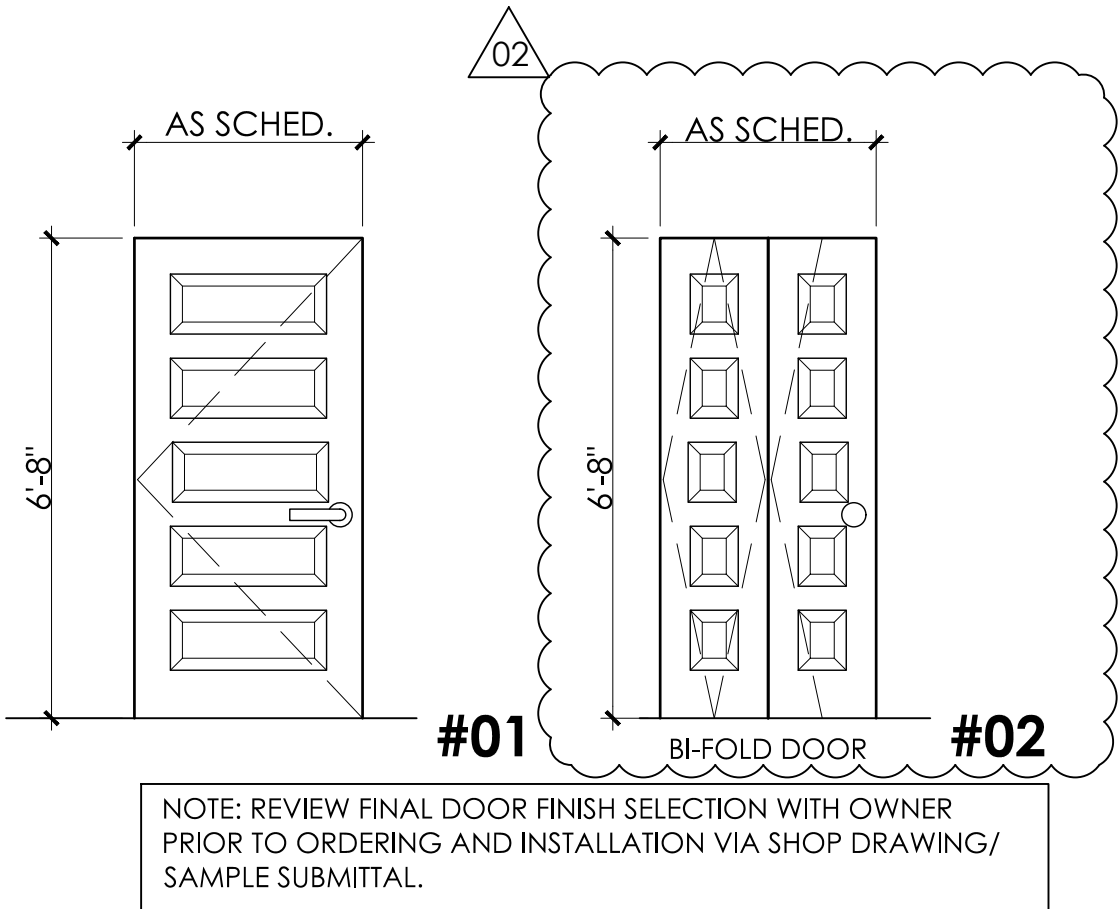
SET #	DESCRIPTION	MANUF.	STYLE	FINISH	HINGES	REMARKS
01	ENTRANCE TYPE			Brass (V.I.F.)	NOTE #01	NOTE #01, #02 & #03
02	PASSAGE TYPE			Brass (V.I.F.)	NOTE #01	NOTE #01 & #02
03	PRIVACY TYPE			Brass (V.I.F.)	NOTE #01	NOTE #01 & #02
04	CLOSET TYPE			Brass (V.I.F.)	NOTE #01	NOTE #01 & #02

HARDWARE NOTES:
01. Provide (3) hinges per door installed per manufacturer recommendations.
02. All doors are to receive wall stops. Coordinate final selection and locations with Owner. Where wall stops are not feasible, provide floor stops.
03. Coordinate exterior locksets to be keyed the same for each dwelling unit. Provide three (3) minimum keys to Owner. Locksets are to have changable cores for future replacement.

DOOR SCHEDULE

MARK	DESCRIPTION	ELEV.	WIDTH	HEIGHT	THK.	MATERIAL	FRAME	HDWR.	REMARKS
01	1/2 LITE ENTRANCE DOOR WITH TRANSOM	02/A4.01	3'-0"	6'-8"	1 3/4"	F.G. & GL.	WOOD	01	NOTE 01 & 02
02	1/2 LITE ENTRANCE DOOR WITH TRANSOM	02/A4.01	3'-0"	6'-8"	1 3/4"	F.G. & GL.	WOOD	01	NOTE 01 & 02
03	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	04	NOTE 01
04	INT. DOOR	01	2'-6"	6'-8"	1 3/8"	WOOD	WOOD	04	NOTE 01
05	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	04	NOTE 01
06	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
07	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
08	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	04	NOTE 01
09	INT. DOOR	01	2'-8"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
10	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
11	INT. DOOR		2'-4"	6'-8"					NOTE 04
12	1/2 LITE ENTRANCE DOOR	01/A4.01	3'-0"	6'-8"	1 3/4"	F.G. & GL.	WOOD	01	NOTE 01
10	POCKET DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01 & 02
21	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
22	INT. DOOR	(2)- 02	(2) 2'-6"	6'-8"	1 3/8"	WOOD	WOOD	04	NOTE 01 & 05
23	INT. DOOR	01	2'-6"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
24	INT. DOOR	01	2'-6"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
25	INT. DOOR	(2)- 01	(2) 2'-6"	6'-8"	1 3/8"	WOOD	WOOD	04	NOTE 01
26	INT. DOOR	01	2'-0"	6'-8"	1 3/8"	WOOD	WOOD	04	NOTE 01
27	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
28	INT. DOOR	01	2'-4"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
29	INT. DOOR	01	2'-6"	6'-8"	1 3/8"	WOOD	WOOD	03	NOTE 01
30	INT. DOOR	(2)- 01	(2) 2'-6"	6'-8"	1 3/8"	WOOD	WOOD	04	NOTE 01
31	1/2 LITE ENTRANCE DOOR	01/A4.01	3'-0"	6'-8"	1 3/4"	F.G. & GL.	WOOD	01	NOTE 01 & 07
41	GARAGE OH	02/A7.02	16'-0"	7'-0"	1 1/2"	MTL. OH	WD/MTL	-	PROVIDE GARAGE DOOR OPENER
42	1/2 LITE ENTRANCE DOOR	01/A7.02	3'-0"	6'-8"	1 3/8"	WOOD	WOOD	01	NOTE 01
43	1/2 LITE ENTRANCE DOOR	03/A7.02	3'-0"	6'-8"	1 3/8"	WOOD	WOOD	01	NOTE 01
44	BARN	-	3'-0"	6'-8"	1 3/8"	WOOD	WOOD	-	NOTE 06
45	BARN	-	3'-0"	6'-8"	1 3/8"	WOOD	WOOD	-	NOTE 06

DOOR NOTES:
01. CONFIRM ALL TRIM AND CASING PROFILES WITH OWNER.
02. PROVIDE FOR NEW GLASS TRANSOM ABOVE. VERIFY SIZE WITH MANUF. TO MATCH HEAD HEIGHT PER ELEVATION.
03. DOOR SHOULD BE LOUVERED FOR MECHANICAL EQUIPMENT OR APPLIANCES AS REQUIRED.
04. PROVIDE BARN DOOR AND ALL ASSOCIATED HARDWARE AS SELECTED BY OWNER.
05. BI-FOLD CLOSET DOORS.
06. COORDINATE BARN DOOR SELECTION WITH OWNER INCLUDING ALL ASSOCIATED HARDWARE.
07. RAISE DOOR SO THAT DOOR SILL IS 2" ABOVE FINISHED FLOOR.



01 DOOR ELEVATIONS
SCALE: 3/8" = 1'-0"



DOOR SCHEDULE
& PARTITION TYPES

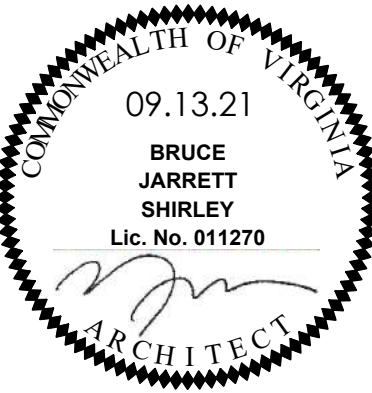
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Revisions:
01: 01.29.21
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03: 07.12.21
04: 09.13.21



ARCHITECTURAL
SITE PLAN

AS 01

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Richmond, Virginia

A. 8" CMU FOUNDATION WALL, PARGED, ON 24" X 12" CONT. CONC. FOOTING W/ (2) #4 BARS. SEE 02/CS1.02. FOUNDATION WALLS ARE ASSUMED TO BE NO MORE THAN 4'-0" IN HEIGHT. IF GRADES WILL CAUSE WALLS TO BE TALLER, COORDINATE WITH ARCHITECT POSSIBLE ADDITIONAL VERTICAL REINFORCING

B. CONDITIONED CRAWL SPACE. ALLOW 18" MIN. BETWEEN BOTTOM OF WOOD FLOOR.

C. 12 X 12 MASONRY PIER ON 24" X 12" CONTINUOUS CONC. FOOTING WITH (3) #4 BARS.

D. FRONT PORCH. PROVIDE WOOD DECKING WITH RAILING AS SELECTED BY OWNER.

E. 2X12 LEDGER BOARD BOLTED TO STRUCTURAL RIM BOARD SUPPLIED BY JOIST MANUFACTURER. INSTALL ANCHOR BOLTS PER MANUFACTURER STANDARD DETAILS.

F. 6X6 P.T. WOOD POST ON CONCRETE FOOTING. CONCRETE FOOTING TO BE 24" X 24" X 12" WITH (3) #4 BARS EACH WAY.

G. PORCH COLUMNS ON MASONRY PIER. FOOTING PIERS TO BE 16" SQUARE WITH BRICK TO 8" BELOW GRADE. CONCRETE FOOTING TO BE 32" X 32" X 12" WITH (3) #4 BARS EACH WAY.

H. COORDINATE BRACED WALL LOCATIONS AND REQUIREMENTS WITH STRUCTURAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS.

I. PROVIDE WOOD DECKING AND RAILING AT DECK. COORDINATE DECK SIZE AND LOCATION WITH OWNER IN THE FIELD.

J. COORDINATE ALL FINISHES WITH OWNER IN FIELD.

K. THIS EXTERIOR WALL TO BE ONE HOUR RATED FROM BOTH SIDES WHEN LESS THAN 5'-0" TO SIDE PROPERTY LINE. WALL TO BE TYPICAL EXTERIOR WALL WITH HARDI-PLANK SIDING, EXTERIOR SHEATHING AND $\frac{5}{8}$ " EXTERIOR TYPE "X" GPDW TO THE EXTERIOR AND 5/8" GPDW TYPE "X" GPDW TO THE INTERIOR. COORDINATE ANY DISCREPANCIES WITH OWNER. $\frac{1}{2}$ " GPDW WHERE NOT RATED.

L. PROVIDE CANTILEVERED BAR TOP COUNTER. COORDINATE HEIGHT AND FINISHES WITH OWNER.

M. DOUBLE BOWL STAINLESS DROP IN KITCHEN SINK WITH DISPOSAL.

N. DISHWASHER.

O. REFRIGERATOR.

P. OVEN/ RANGE WITH MICROWAVE/ HOOD ABOVE. OWNER'S OPTION TO VENT TO EXTERIOR.

Q. PROVIDE CONCRETE PAD AS REQUIRED FOR STAIRS ABOVE. COORDINATE NUMBERS OF RISERS WITH GRADES IN THE FIELD.

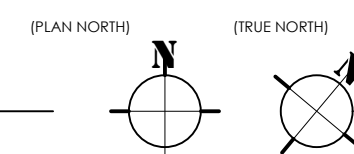
R. COORDINATE FINAL HVAC CONDENSER LOCATION WITH OWNER IN FIELD.

INTERIOR NEW WALLS ARE PARTITION TYPE A1 U.N.O.
(SEE PARTITION TYPES ON SHEET C5.01)

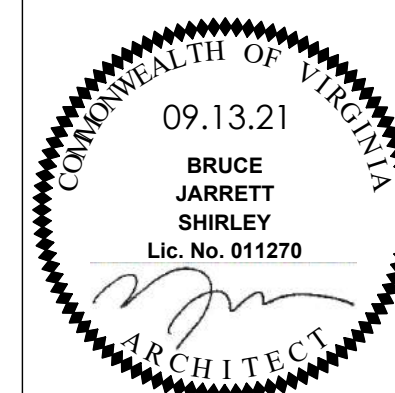
ROOF	(20 PSF)
ROOF / WALKABLE	(100 PSF)
FLOORS	(40 PSF)
WALLS	(20 PSF)



01 FOUNDATION PLAN



Revisions:
01: 01.29.21
02: 06.07.21
03: 07.12.21
04: 09.13.21



A1	00
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Richmond, Virginia

NEW CONSTRUCTION KEYED NOTES

- A. 8" CMU FOUNDATION WALL, PARGED, ON 24" X 12" CONT. CONC. FOOTING W/ (2) #4 BARS. SEE 02/CS1.02. FOUNDATION WALLS ARE ASSUMED TO BE NO MORE THAN 4'-0" IN HEIGHT. IF GRADES WILL CAUSE WALLS TO BE TALLER, COORDINATE WITH ARCHITECT POSSIBLE ADDITIONAL VERTICAL REINFORCING
- B. CONDITIONED CRAWL SPACE. ALLOW 18" MIN. BETWEEN BOTTOM OF WOOD FLOOR.
- C. 12 X 12 MASONRY PIER ON 24" X 12" CONTINUOUS CONC. FOOTING WITH (3) #4 BARS.
- D. FRONT PORCH. PROVIDE WOOD DECKING WITH RAILING AS SELECTED BY OWNER.
- E. 2X12 LEDGER BOARD BOLTED TO STRUCTURAL RIM BOARD SUPPLIED BY JOIST MANUFACTURER. INSTALL ANCHOR BOLTS PER MANUFACTURER STANDARD DETAILS.
- F. 6X6 P.T. WOOD POST ON CONCRETE FOOTING. CONCRETE FOOTING TO BE 24" X 24" X 12" WITH (3) #4 BARS EACH WAY.
- G. PORCH COLUMNS ON MASONRY PIER. FOOTING PIERS TO BE 16" SQUARE WITH BRICK TO 8" BELOW GRADE. CONCRETE FOOTING TO BE 32" X 32" X 12" WITH (3) #4 BARS EACH WAY.
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- I. PROVIDE WOOD DECKING AND RAILING AT DECK. COORDINATE DECK SIZE AND LOCATION WITH OWNER IN THE FIELD.
- J. COORDINATE ALL FINISHES WITH OWNER IN FIELD.
- K. THIS EXTERIOR WALL TO BE ONE HOUR RATED FROM BOTH SIDES WHEN LESS THAN 5'-0" TO SIDE PROPERTY LINE. WALL TO BE TYPICAL EXTERIOR WALL WITH HARDI-PLANK SIDING, EXTERIOR SHEATHING AND 5/8" EXTERIOR TYPE "X" GPDW TO THE EXTERIOR AND 5/8" GPDW TYPE "X" GPDW TO THE INTERIOR. COORDINATE ANY DISCREPANCIES WITH OWNER. 1/2" GPDW WHERE NOT RATED.
- L. PROVIDE CANTILEVERED BAR TOP COUNTER. COORDINATE HEIGHT AND FINISHES WITH OWNER.
- M. DOUBLE BOWL STAINLESS DROP IN KITCHEN SINK WITH DISPOSAL.
- N. DISHWASHER.
- O. REFRIGERATOR.
- P. OVEN/ RANGE WITH MICROWAVE/ HOOD ABOVE. OWNER'S OPTION TO VENT TO EXTERIOR.
- Q. PROVIDE CONCRETE PAD AS REQUIRED FOR STAIRS ABOVE. COORDINATE NUMBERS OF RISERS WITH GRADES IN THE FIELD.
- R. COORDINATE FINAL HVAC CONDENSER LOCATION WITH OWNER IN FIELD.
- S. PROVIDE COATED WIRE SHELVING SYSTEM IN CLOSETS (TYP).
- T. COORDINATE WITH OWNER FINAL LOCATION OF HVAC UNIT AND LOW BOY HWH. HVAC PROPOSED TO BE LOCATED IN CRAWLSPACE WITH LOW BOY HWH PROPOSED UNDER STAIRS. COORDINATE REQUIRED CLEARANCES AND DUCT LOCATIONS WITH OWNER IN FIELD.
- U. SIDE BY SIDE WASHER AND DRYER. PROVIDE 30" DEEP COUNTER AND 18" UPPER CABINETS. COORDINATE FINAL SELECTIONS WITH OWNER.
- V. PROVIDE CERAMIC TILE FLOOR, BASE AND TUB SURROUND IN BATHROOMS. TOILET TO BE ELONGATED BOWL TYPICAL RESIDENTIAL TOILET. TUB AND VANITY(S) TO BE SELECTED BY OWNER. COORDINATE ALL FINAL FINISHED WITH OWNER.
- W. NOT USED.
- X. NOT USED.
- Y. PROVIDE CERAMIC TILE FLOOR AND BASE IN BATHROOM. TOILET TO BE ELONGATED BOWL TYPICAL RESIDENTIAL TOILET. VANITY TO BE SELECTED BY OWNER. COORDINATE ALL FINAL FINISHED WITH OWNER.
- Z. ROOF PAYER DECK OVER SINGLE PLY MEMBRANE ROOFING ON EXTERIOR SHEATHING - SLOPED TO SCUPPER. COORDINATE DETAILING WITH ARCHITECT AND OWNER.
- AA. NOT USED.
- BB. DECORATIVE STAINED WOOD STAIR, RAIL & PICKETS PER PLAN.
- CC. PROVIDE 5 EQUALLY SPACED PAINTED WOOD SHELVES IN LINEN CLOSET.
- DD. 2'-8" X 5'-6" VINYL WINDOW. SEE ELEVATIONS FOR HEAD HEIGHT INFORMATION.
- EE. 3'-0" X 5'-6" VINYL WINDOW. SEE ELEVATIONS FOR HEAD HEIGHT INFORMATION.
- FF. 3'-0" X 1'-6" VINYL WINDOW. SEE ELEVATIONS FOR HEAD HEIGHT INFORMATION.
- GG. NOT USED.
- HH. PROVIDE 2'-0" X 4'-0" PULL DOWN ATTIC ACCESS PROVIDE HEADER JOISTS AS REQUIRED FOR ATTIC ACCESS. PROVIDE PLYWOOD FLOORING IN ATTIC AREA
- II. ELECTRICAL METER LOCATION TO BE COORDINATED WITH OWNER. VERIFY WITH INTERIOR PANEL LOCATION FOR UNITS PANEL LOCATIONS COORDINATE ANY DISCREPANCIES WITH ARCHITECT.
- JJ. PROVIDE ROOF CRICKETS AS REQUIRED TO SLOPE WATER TOWARD GUTTERS AND THRU-WALL SCUPPERS.
- KK. PROVIDE CRAWL SPACE ACCESS AS REQUIRED (24X36" MIN.)
- LL. PREFINISHED WHITE ALUM. DOWN SPOUTS, COLLECTION BOXES, SCUPPERS AND GUTTERS AS REQUIRED. COORDINATE LOCATIONS WITH OWNER AND ARCHITECT IN FIELD.
- MM. FREEZE PROOF HOSE BIB.
- NN. PROVIDE 40" MINIMUM HEIGHT PARAPET WALL FROM HIGH SIDE OF ROOF. PARAPET WALL TO ACT AS GUARDRAIL AT ROOF DECK.
- OO. 8" CMU FOUNDATION WALL WITH 4" BRICK ON 28" X 12" CONT. CONC. FOOTING W/ (2) #4 BARS. BRICK TO CONTINUE 8" BELOW GRADE MINIMU WITH 12" CMU BELOW GRADE. SEE CS1.02. FOUNDATION WALLS ARE ASSUMED TO BE NO MORE THAN 4'-0" IN HEIGHT. IF GRADES WILL CAUSE WALLS TO BE TALLER, COORDINATE WITH ARCHITECT POSSIBLE ADDITIONAL VERTICAL REINFORCING. BRICK OCCURS AT FRONT ELEVATION.
- PP. FUTURE LIBRARY WITH BOOKCASES AND STORAGE SHELVES. COORDINATE REQUIREMENTS WITH OWNER.
- QQ. INSET TUB AS SELECTED BY OWNER.
- RR. NEW FOUNDATION TO MATCH EXISTING ADJACENT FOUNDATION. DOWEL NEW FOOTING INTO EXISTING FOOTING.
- SS. SLOPE CONCRETE GARAGE FLOOR TO OPENING. PROVIDE PAINTED GPDW AT ALL WALLS AND CEILING.
- TT. PROVIDE MINI SPLIT HVAC SYSTEM. COORDINATE EQUIPMENT LOCATIONS WITH OWNER IN THE FIELD.
- UU. EXTERIOR WALL ABOVE.
- VV. PROVIDE BUILT IN DESK AND ENTERTAINMENT CENTER AS DIRECTED BY OWNER.
- WW. 2'-8" X 4'-2" VINYL WINDOW. SEE ELEVATIONS FOR HEAD HEIGHT INFORMATION.
- YY. 2'-8" X 2'-3" VINYL WINDOW. SEE ELEVATIONS FOR HEAD HEIGHT INFORMATION.
- ZZ. 2'-8" X 4'-0" VINYL WINDOW. SEE ELEVATIONS FOR HEAD HEIGHT INFORMATION.

LEGEND:

NEW WALL (SEE BELOW)	
PARTITION TYPE (SEE BELOW)	
KEYED NOTE	
ALIGN WALLS AS SHOWN	
ROOM NAME	
DOOR KEY (SEE CS.02)	
ELECT. RECEPTACLE	
INTERCONNECTED SMOKE DETECTOR	
INTERIOR NEW WALLS ARE PARTITION TYPE A1 U.N.O. (SEE PARTITION TYPES ON SHEET CS.01)	

NOTE:

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GIRDER TRUSS LOCATION AND LOADING AS NOTED ON PLANS. TRUSS DESIGNER TO CONFIRM AND COORDINATE WITH ARCH. AND DISCREPANCIES.

LVL BEAMS SHOWN ON PLANS ARE PER TRUSS-JOIST MANUFACTURER (E=1.9 TYP. - BEAM SIZES ON PLANS)

ALL CONVENTIONAL FRAMING TO BE SYP #2 OR BETTER - SIZES AS NOTED ON PLANS.

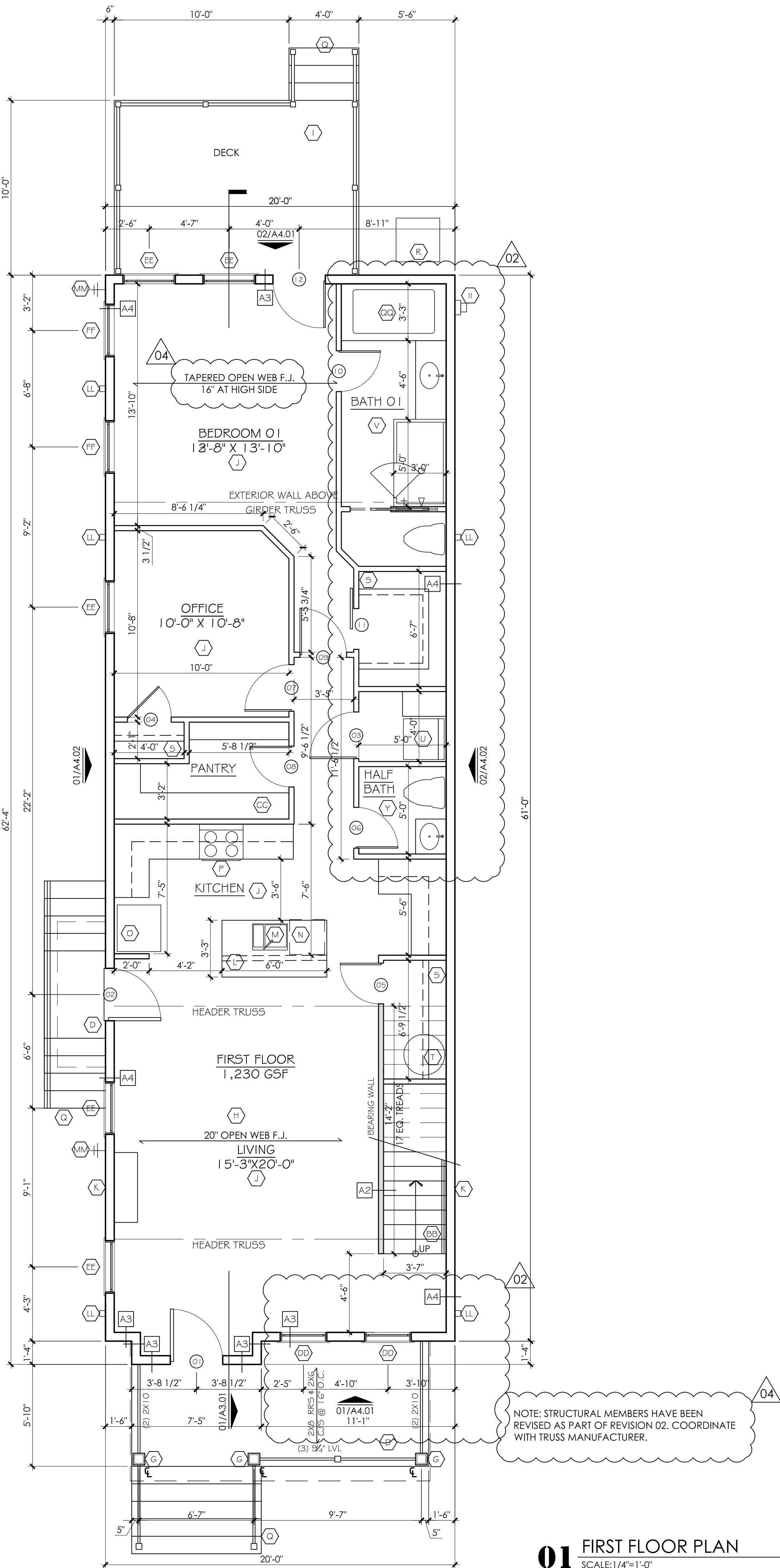
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POST LOADS NOTED ARE FROM TRUSS DESIGNER AND ARE DIRECTLY RELATED TO THEIR RESPECTIVE DRAWINGS.

SEE A.01 FOR GENERAL NOTES AND A.02 FOR PARTITION NOTES.

LOADS:

ROOF	(20 PSF)
ROOF / WALKABLE	(100 PSF)
FLOORS	(40 PSF)
WALLS	(20 PSF)



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03: 07.12.21
04: 09.13.21



FIRST FLOOR PLAN
& NOTES

A1 01

ratio

1207 Porter Street
Manchester
Richmond, Virginia

NEW CONSTRUCTION KEYED NOTES

- A. 8" CMU FOUNDATION WALL, PARGED, ON 24" X 12" CONT. CONC. FOOTING W/ (2) #4 BARS. SEE 02/CS1.02. FOUNDATION WALLS ARE ASSUMED TO BE NO MORE THAN 4'-0" IN HEIGHT. IF GRADES WILL CAUSE WALLS TO BE TALLER, COORDINATE WITH ARCHITECT POSSIBLE ADDITIONAL VERTICAL REINFORCING
- B. CONDITIONED CRAWL SPACE. ALLOW 18" MIN. BETWEEN BOTTOM OF WOOD FLOOR.
- C. 12 X 12 MASONRY PIER ON 24" X 12" CONTINUOUS CONC. FOOTING WITH (3) #4 BARS.
- D. FRONT PORCH. PROVIDE WOOD DECKING WITH RAILING AS SELECTED BY OWNER.
- E. 2X12 LEDGER BOARD BOLTED TO STRUCTURAL RIM BOARD SUPPLIED BY JOIST MANUFACTURER. INSTALL ANCHOR BOLTS PER MANUFACTURER STANDARD DETAILS.
- F. 6X6 P.T. WOOD POST ON CONCRETE FOOTING. CONCRETE FOOTING TO BE 24" X 24" X 12" WITH (3) #4 BARS EACH WAY.
- G. PORCH COLUMNS ON MASONRY PIER. FOOTING PIERS TO BE 16" SQUARE WITH BRICK TO 8" BELOW GRADE. CONCRETE FOOTING TO BE 32" X 32" X 12" WITH (3) #4 BARS EACH WAY.
- H. COORDINATE BRACED WALL LOCATIONS AND REQUIREMENTS WITH STRUCTURAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS.
- I. PROVIDE WOOD DECKING AND RAILING AT DECK. COORDINATE DECK SIZE AND LOCATION WITH OWNER IN THE FIELD.
- J. COORDINATE ALL FINISHES WITH OWNER IN FIELD.
- K. THIS EXTERIOR WALL TO BE ONE HOUR RATED FROM BOTH SIDES WHEN LESS THAN 5'-0" TO SIDE PROPERTY LINE. WALL TO BE TYPICAL EXTERIOR WALL WITH HARDI-PLANK SIDING, EXTERIOR SHEATHING AND 3/8" EXTERIOR TYPE "X" GPDW TO THE EXTERIOR AND 5/8" GPDW TYPE "X" GPDW TO THE INTERIOR. COORDINATE ANY DISCREPANCIES WITH OWNER. 1/2" GPDW WHERE NOT RATED.
- L. PROVIDE CANTILEVERED BAR TOP COUNTER. COORDINATE HEIGHT AND FINISHES WITH OWNER.
- M. DOUBLE BOWL STAINLESS DROP IN KITCHEN SINK WITH DISPOSAL.
- N. DISHWASHER.
- O. REFRIGERATOR.
- P. OVEN/ RANGE WITH MICROWAVE/ HOOD ABOVE. OWNER'S OPTION TO VENT TO EXTERIOR.
- Q. PROVIDE CONCRETE PAD AS REQUIRED FOR STAIRS ABOVE. COORDINATE NUMBERS OF RISERS WITH GRADES IN THE FIELD.
- R. COORDINATE FINAL HVAC CONDENSER LOCATION WITH OWNER IN FIELD.
- S. PROVIDE COATED WIRE SHELVING SYSTEM IN CLOSETS (TYP).
- T. COORDINATE WITH OWNER FINAL LOCATION OF HVAC UNIT AND LOW BOY HWH. HVAC PROPOSED TO BE LOCATED IN CRAWLSPACE WITH LOW BOY HWH PROPOSED UNDER STAIRS. COORDINATE REQUIRED CLEARANCES AND DUCT LOCATIONS WITH OWNER IN FIELD.
- U. SIDE BY SIDE WASHER AND DRYER. PROVIDE 30" DEEP COUNTER AND 18" UPPER CABINETS. COORDINATE FINAL SELECTIONS WITH OWNER.
- V. PROVIDE CERAMIC TILE FLOOR, BASE AND TUB SURROUND IN BATHROOMS. TOILET TO BE ELONGATED BOWL TYPICAL RESIDENTIAL TOILET. TUB AND VANITY(S) TO BE SELECTED BY OWNER. COORDINATE ALL FINAL FINISHED WITH OWNER.
- W. NOT USED.
- X. NOT USED.
- Y. PROVIDE CERAMIC TILE FLOOR AND BASE IN BATHROOM. TOILET TO BE ELONGATED BOWL TYPICAL RESIDENTIAL TOILET. VANITY TO BE SELECTED BY OWNER. COORDINATE ALL FINAL FINISHED WITH OWNER.
- Z. ROOF PAYER DECK OVER SINGLE PLY MEMBRANE ROOFING ON EXTERIOR SHEATHING - SLOPED TO SCUPPER. COORDINATE DETAILING WITH ARCHITECT AND OWNER.
- AA. NOT USED.
- BB. DECORATIVE STAINED WOOD STAIR, RAIL & PICKETS PER PLAN.
- CC. PROVIDE 5 EQUALLY SPACED PAINTED WOOD SHELVES IN LINEN CLOSET.
- DD. 2'-8" X 5'-6" VINYL WINDOW. SEE ELEVATIONS FOR HEAD HEIGHT INFORMATION.
- EE. 3'-0" X 5'-6" VINYL WINDOW. SEE ELEVATIONS FOR HEAD HEIGHT INFORMATION.
- FF. 3'-0" X 1'-6" VINYL WINDOW. SEE ELEVATIONS FOR HEAD HEIGHT INFORMATION.
- GG. NOT USED.
- HH. PROVIDE 2'-0" X 4'-0" PULL DOWN ATTIC ACCESS PROVIDE HEADER JOISTS AS REQUIRED FOR ATTIC ACCESS. PROVIDE PLYWOOD FLOORING IN ATTIC AREA
- II. ELECTRICAL METER LOCATION TO BE COORDINATED WITH OWNER. VERIFY WITH INTERIOR PANEL LOCATION FOR UNITS PANEL LOCATIONS COORDINATE ANY DISCREPANCIES WITH ARCHITECT.
- JJ. PROVIDE ROOF CRICKETS AS REQUIRED TO SLOPE WATER TOWARD GUTTERS AND THRU-WALL SCUPPERS.
- KK. PROVIDE CRAWL SPACE ACCESS AS REQUIRED (24X36" MIN.)
- LL. PREFINISHED WHITE ALUM. DOWN SPOUTS, COLLECTION BOXES, SCUPPERS AND GUTTERS AS REQUIRED. COORDINATE LOCATIONS WITH OWNER AND ARCHITECT IN FIELD.
- MM. FREEZE PROOF HOSE BIB.
- NN. PROVIDE 40" MINIMUM HEIGHT PARAPET WALL FROM HIGH SIDE OF ROOF. PARAPET WALL TO ACT AS GUARDRAIL AT ROOF DECK.
- OO. 8" CMU FOUNDATION WALL WITH 4" BRICK ON 28" X 12" CONT. CONC. FOOTING W/ (2) #4 BARS. BRICK TO CONTINUE 8" BELOW GRADE MINIMU WITH 12" CMU BELOW GRADE. SEE CS1.02. FOUNDATION WALLS ARE ASSUMED TO BE NO MORE THAN 4'-0" IN HEIGHT. IF GRADES WILL CAUSE WALLS TO BE TALLER, COORDINATE WITH ARCHITECT POSSIBLE ADDITIONAL VERTICAL REINFORCING. BRICK OCCURS AT FRONT ELEVATION.
- PP. FUTURE LIBRARY WITH BOOKCASES AND STORAGE SHELVES. COORDINATE REQUIREMENTS WITH OWNER.
- QQ. INSET TUB AS SELECTED BY OWNER.
- RR. NEW FOUNDATION TO MATCH EXISTING ADJACENT FOUNDATION. DOWEL NEW FOOTING INTO EXISTING FOOTING.
- SS. SLOPE CONCRETE GARAGE FLOOR TO OPENING. PROVIDE PAINTED GPDW AT ALL WALLS AND CEILING.
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LEGEND:

- NEW WALL (SEE BELOW) _____
- PARTITION TYPE (SEE BELOW) _____
- KEYED NOTE _____
- ALIGN WALLS AS SHOWN _____
- ROOM NAME _____
- DOOR KEY (SEE CS.02) _____
- ELECT. RECEPTACLE _____
- INTERCONNECTED SMOKE DETECTOR _____

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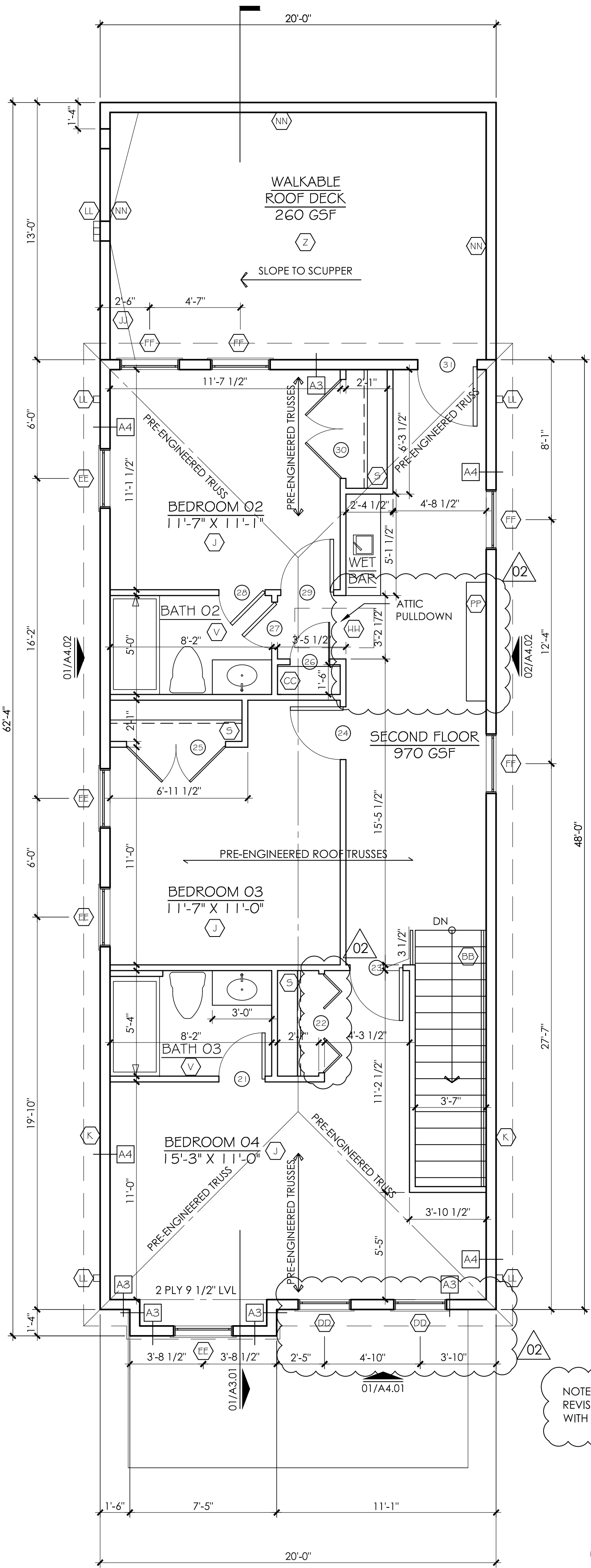
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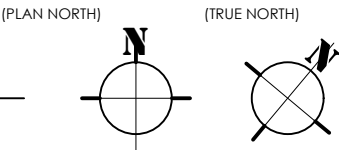
SEE A.01 FOR GENERAL NOTES AND A.02 FOR PARTITION NOTES.

LOADS:

ROOF (20 PSF)
ROOF / WALKABLE (100 PSF)
FLOORS (40 PSF)
WALLS (20 PSF)

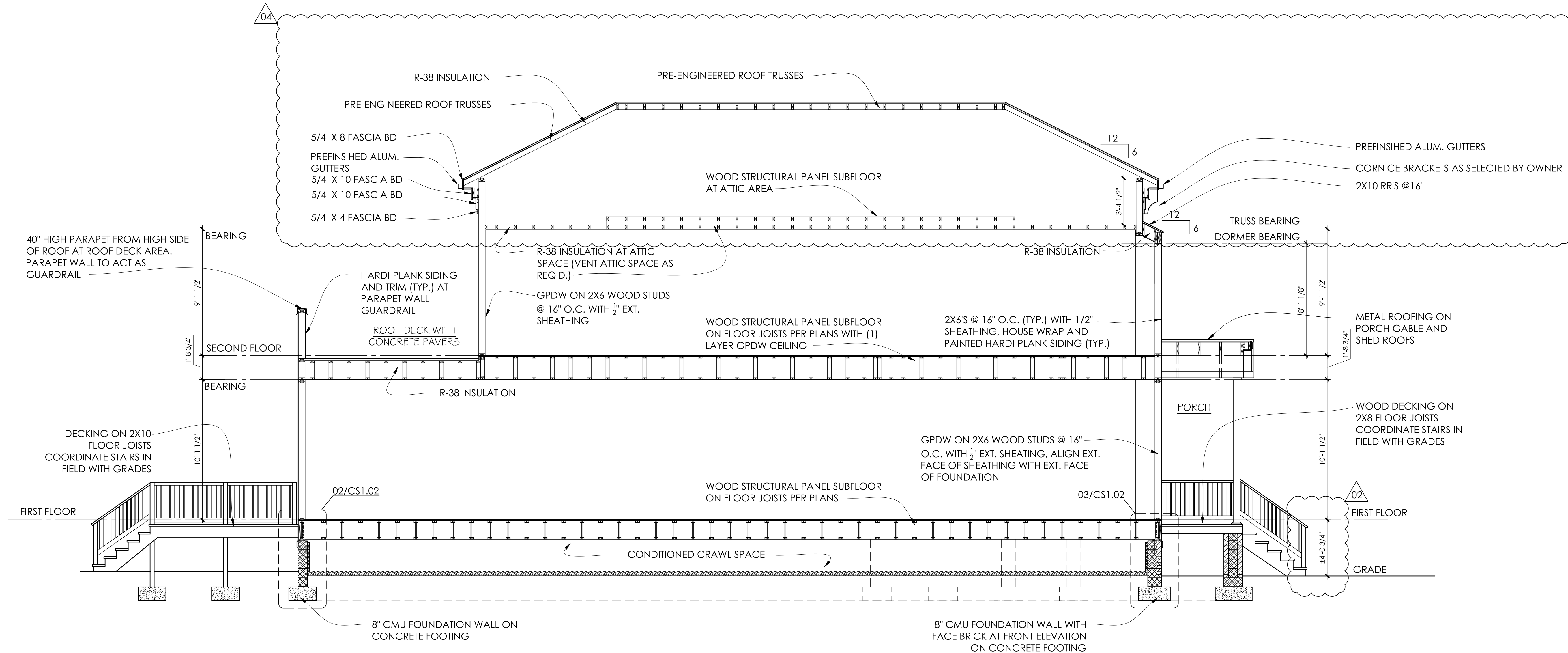


01 SECOND FLOOR PLAN
SCALE:1/4"=1'-0"



SECOND FLOOR PLAN
& NOTES

A1 02



01 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS

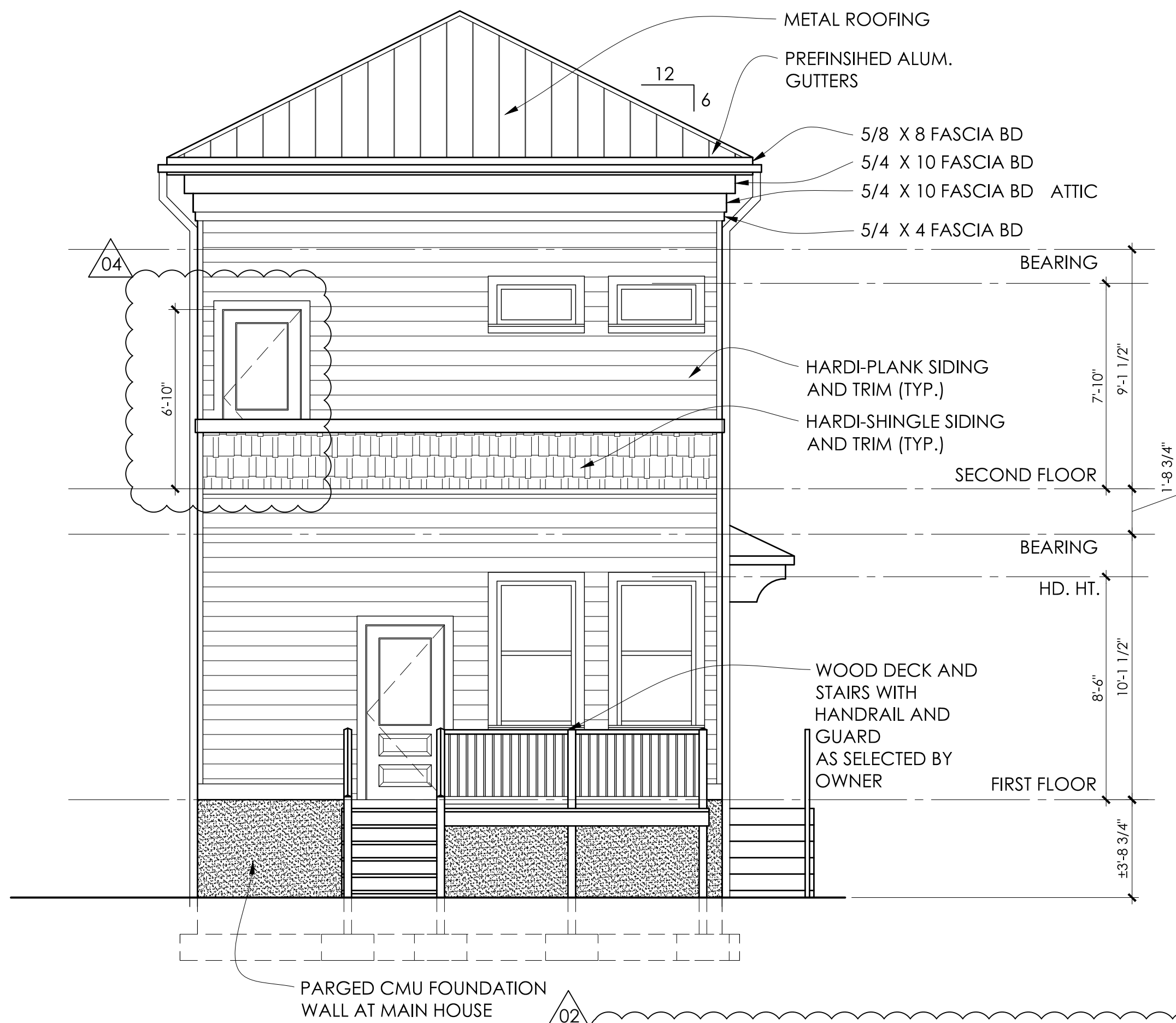
A3 01

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02 REAR ELEVATION
SCALE: 1/4"=1'-0"



01 FRONT ELEVATION
SCALE: 1/4"=1'-0"

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FRONT AND REAR
ELEVATIONS

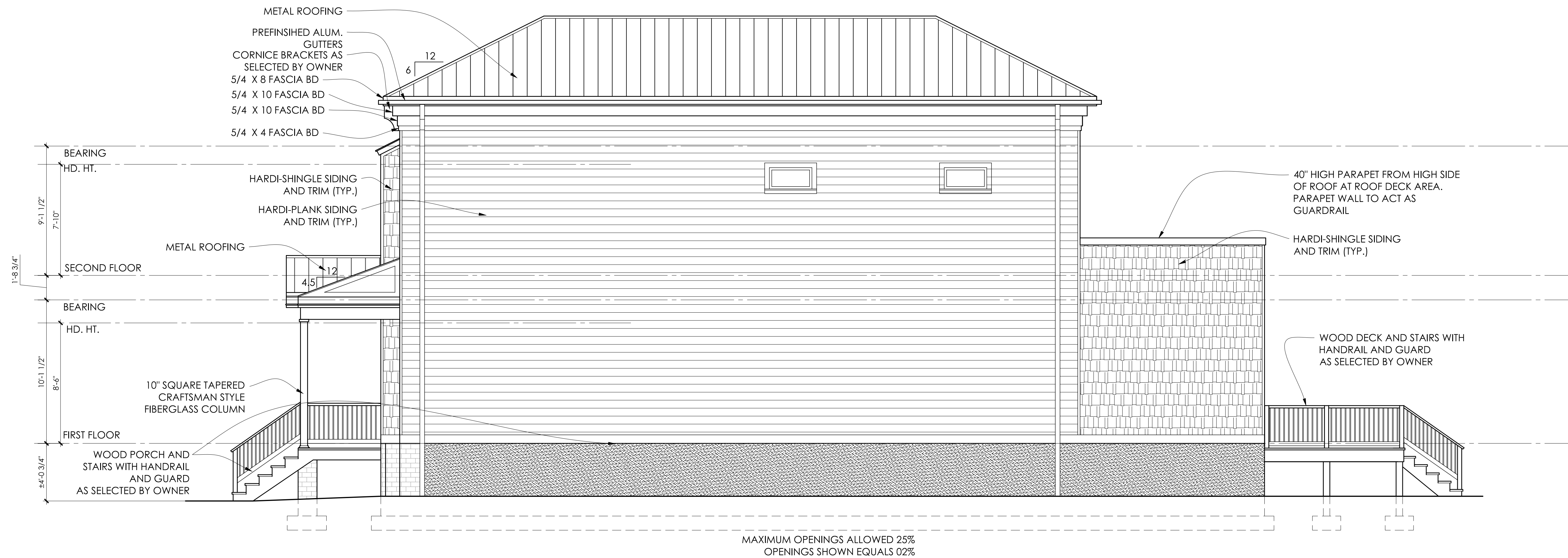
A4 01

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Richmond, Virginia



02 SIDE ELEVATION
SCALE: 1/4"=1'-0"

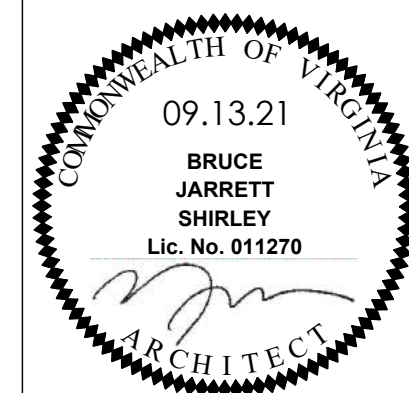


01 SIDE ELEVATION
SCALE: 1/4"=1'-0"

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SIDE ELEVATIONS

A4 02

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NEW CONSTRUCTION KEYED NOTES

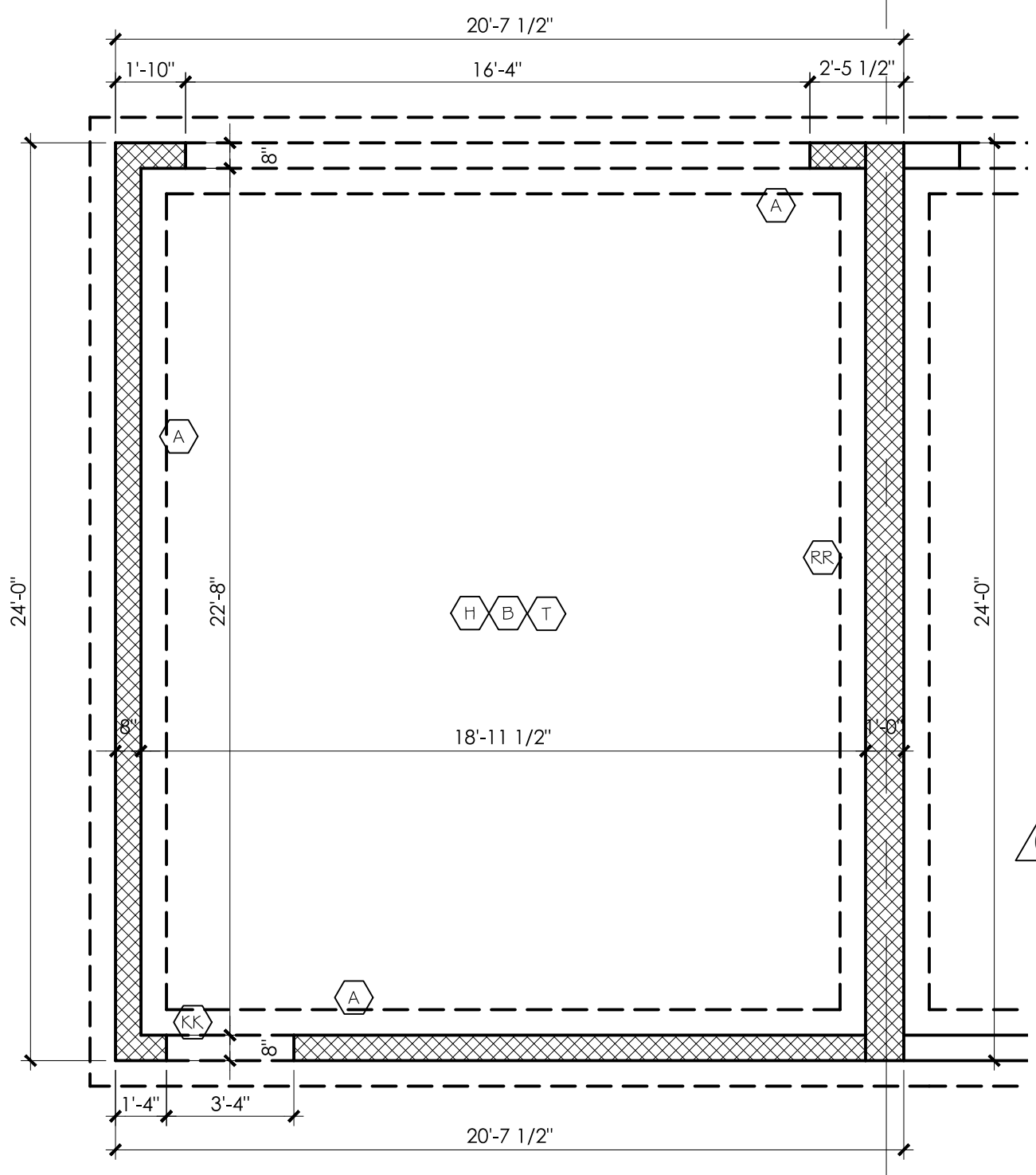
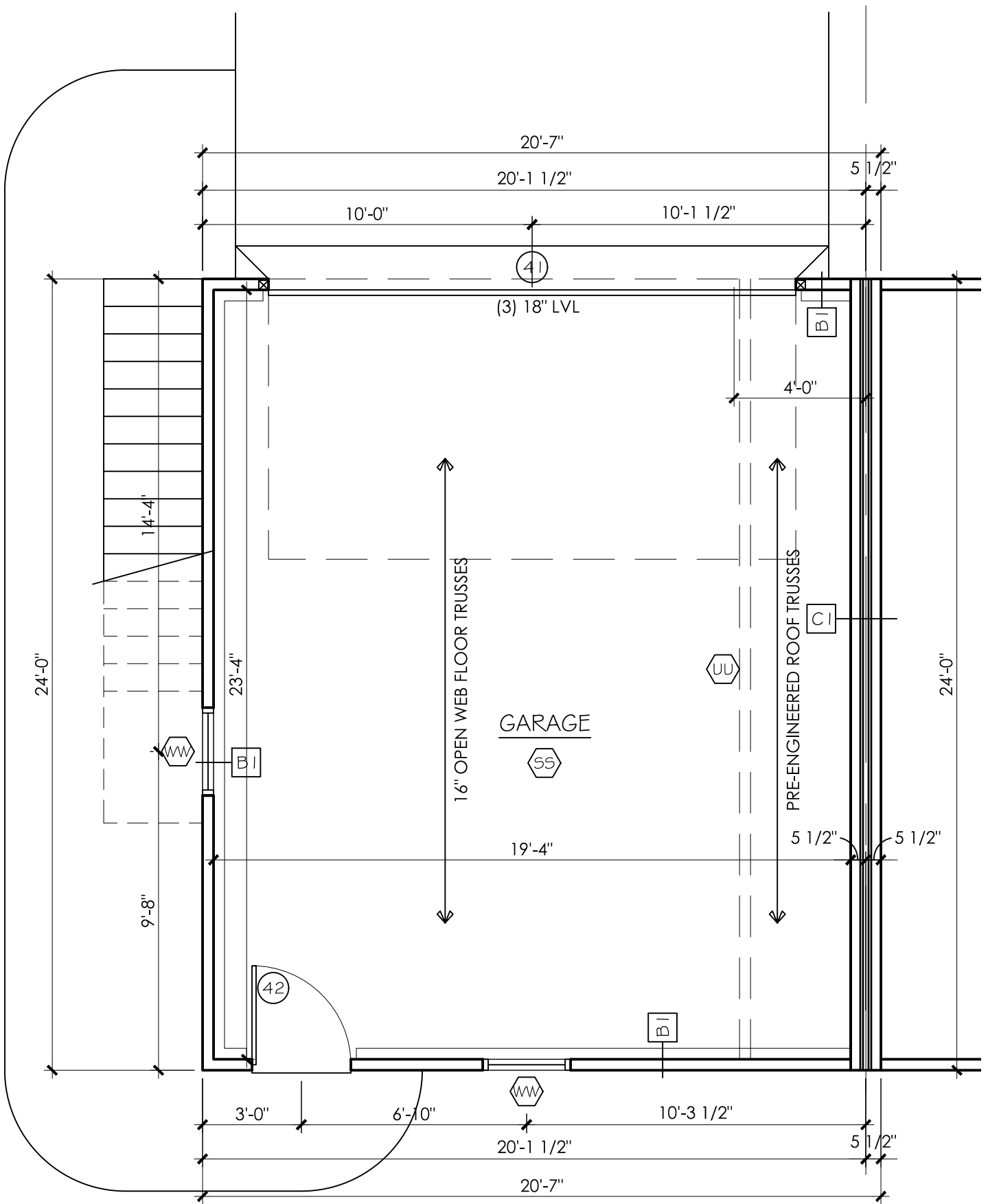
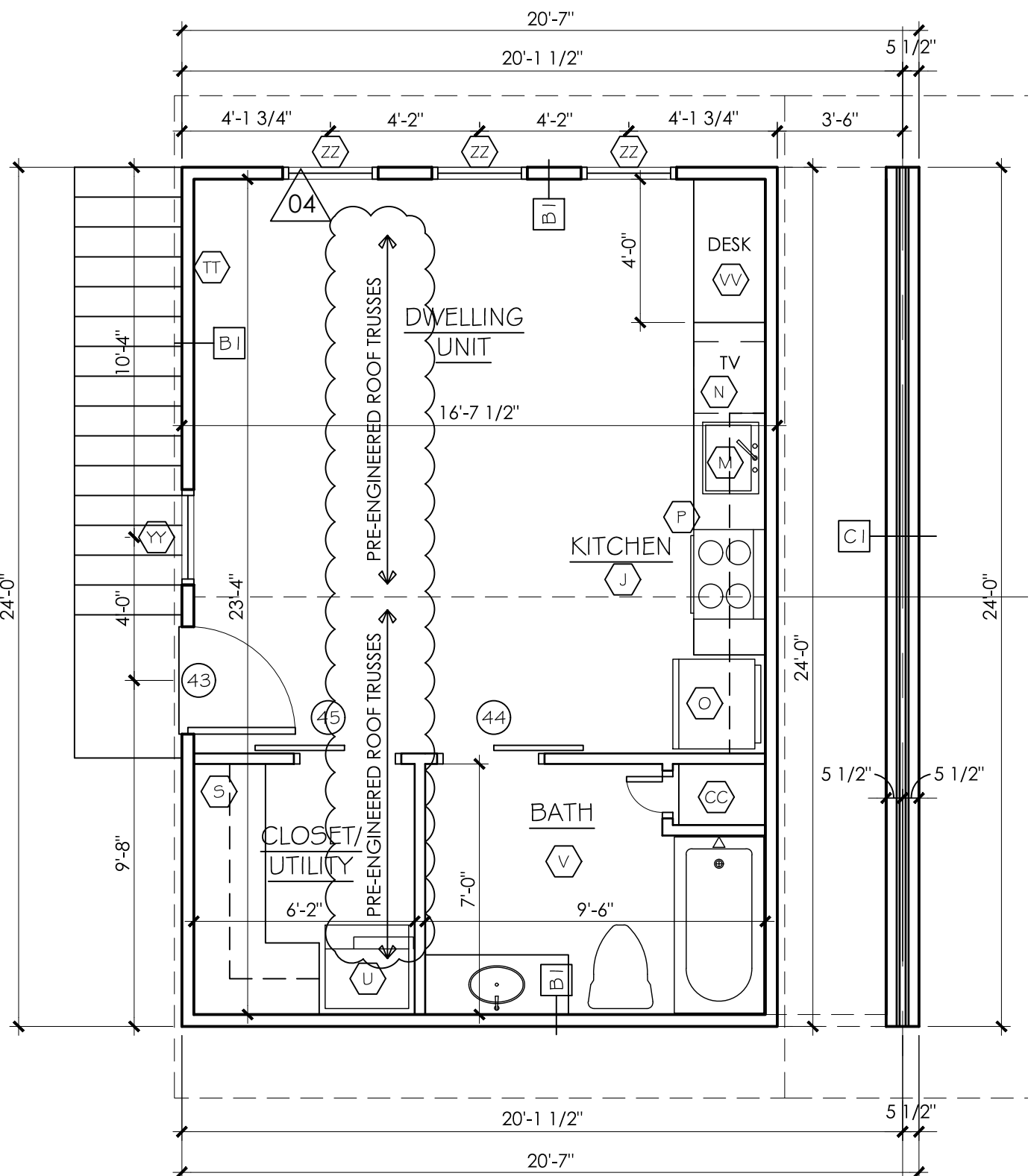
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LEGEND:

- NEW WALL (SEE BELOW) _____
- PARTITION TYPE (SEE BELOW) _____
- KEYED NOTE _____
- ALIGN WALLS AS SHOWN _____
- ROOM NAME _____
- DOOR KEY (SEE CS.02) _____
- ELECT. RECEPTACLE _____
- INTERCONNECTED SMOKE DETECTOR _____
- INTERIOR NEW WALLS ARE PARTITION TYPE A1 U.N.O. (SEE PARTITION TYPES ON SHEET CS.01)

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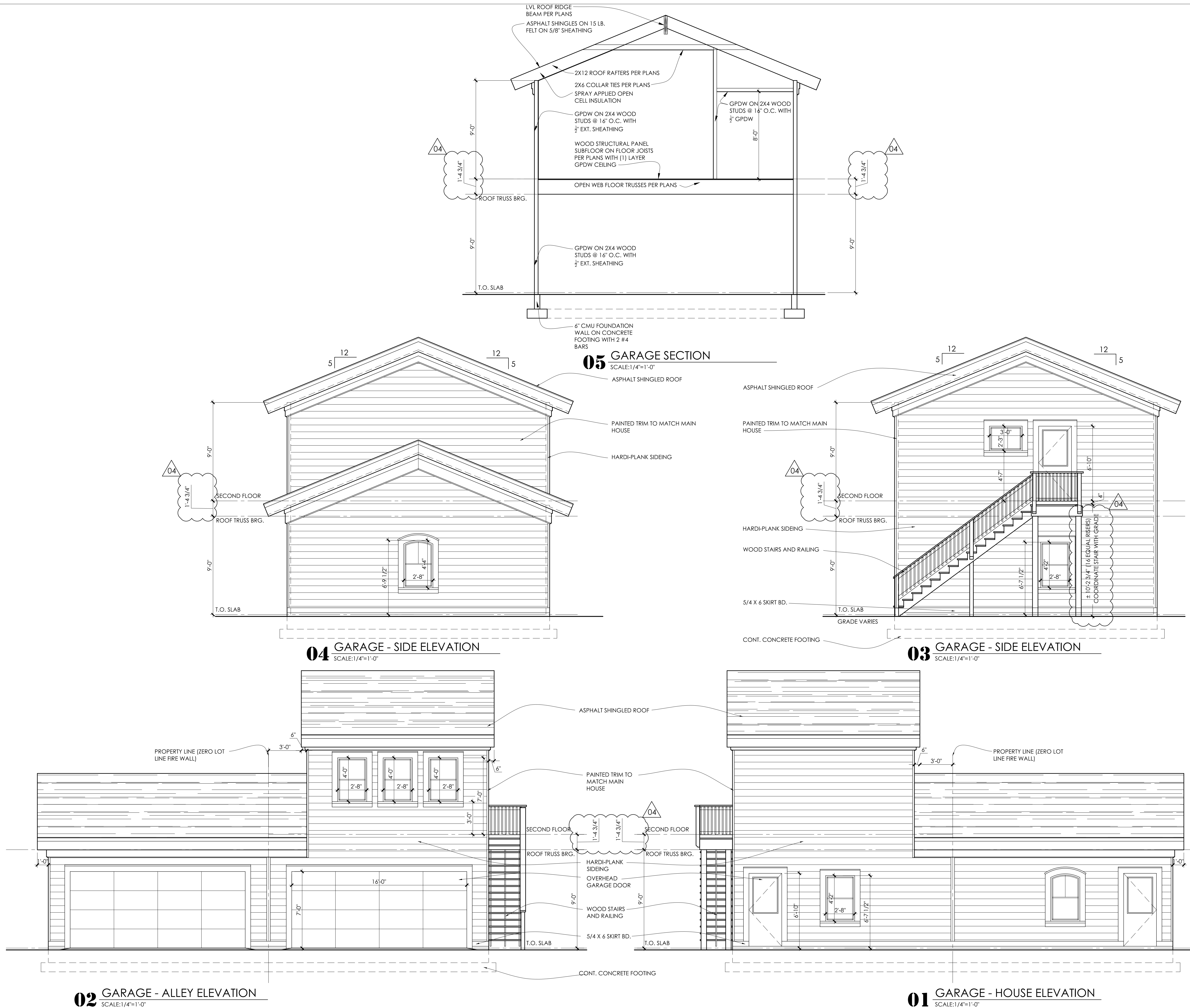
GARAGE FLOOR
PLANS & NOTES

A7 01

ratio

1207 Porter Street

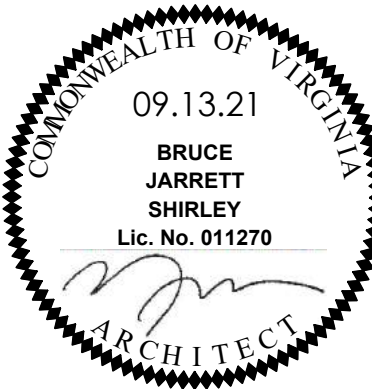
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GARAGE ELEVATIONS
AND SECTION

A7 02