



Commission for Architectural Review

Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-7550
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: 2712 E. Franklin St.

Historic District: St. John's Church

Applicant Information

☐ Billing Contact

Name: David Clinger

Email: clingerdesign@gmail.com

Phone: 804-683-5718

Company: Clinger Design & Planning

Mailing Address: 300 W. Franklin St., #1507W

Richmond, VA 23220

Applicant Type: ☐ Owner ☐ Agent ☐ Lessee

☒ Architect ☐ Contractor ☐ Other (specify):

Owner Information

☒ Billing Contact

☐ Same as Applicant

Name: Eugene Yemofio

Email: lionsheart.properties@gmail.com

Phone: 804-433-7338

Company: Lionsheart Properties

Mailing Address: 2017 Lindsey Gabriel Dr.
Henrico, VA 23231

****Owner must sign at the bottom of this page****

Project Information

Project Type: ☐ Alteration ☐ Demolition

☒ New Construction (Conceptual Review Required)

Description (attach additional sheets if needed):

(See "CAR Narrative" attachment)

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 5/26/2022

DAVID M. CLINGER, JR.

300 West Franklin Street, 1507W Richmond, Virginia 23220

804.683.5718

clingerdesign@gmail.com

27 May 2022

Project Description

Proposed Garage, 2712 E. Franklin Street

The property owner, Lionsheart Properties, LLC., seeks to construct a new detached garage at the rear of the property. The proposed garage would contain a partial second floor "loft" space which the owner hopes to use as non-commercial office space.

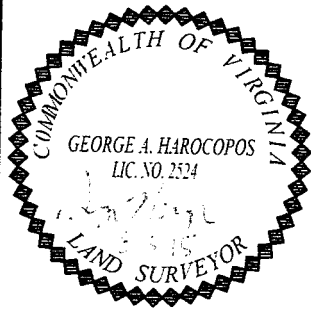
The proposed garage would be 20 feet wide by 25 feet deep. With approval from the neighbors at 2710 E. Franklin, the proposed garage will abut to the existing garage at 2710. On the alley side will be a 16 foot wide garage door. A pedestrian entrance will be located on the 25 foot east side. The "loft" level will contain two partial dormer windows facing the alley.

The intended exterior material shall be brick, proposed to be similar to the aforementioned adjacent garage. The garage door would also be similar to the adjacent garage. All windows shall be 36'X45" (or closest size based on manufacturer selected), wood-clad double hung with 6 over 6 grid pattern. Roofing is intended to be Dimensional style asphalt of CAR approved color.

This is to certify that on 6/5/15
I made an accurate field survey of the known premises
shown hereon; that all improvements known or visible
are shown hereon; that there are no encroachments by
improvements either from adjoining premises, or from
subject premises upon adjoining premises, other than
shown hereon.

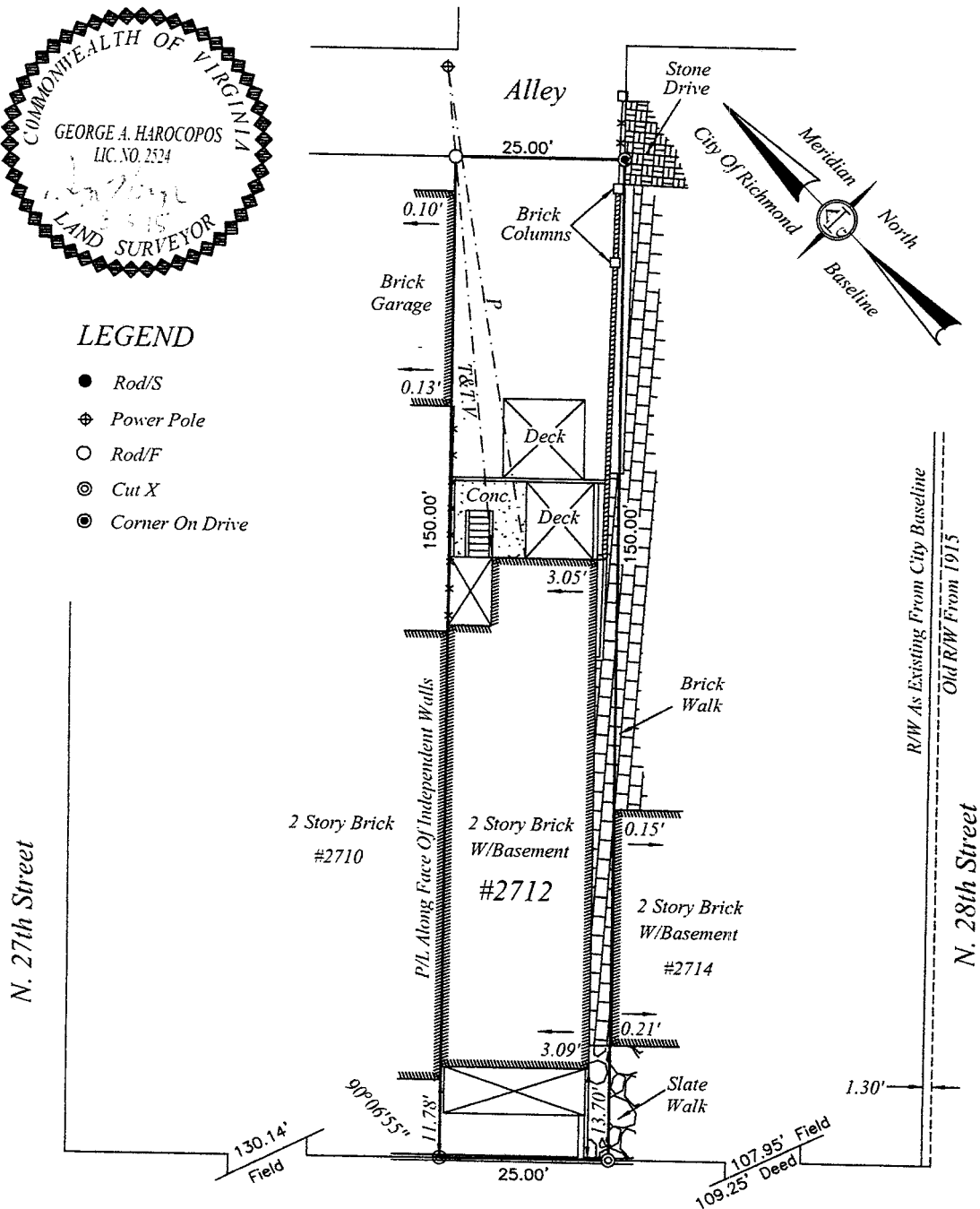
NOTE: THIS LOT APPEARS
TO BE IN FEMA FLOOD ZONE
X AS SHOWN ON HUD
COMMUNITY PANEL NUMBERS
5101290043E

NOTE:
This survey has been prepared without
the benefit of a title report and does
not therefore necessarily indicate all
encumbrances on the property.



LEGEND

- Rod/S
- ⊕ Power Pole
- Rod/F
- ⊙ Cut X
- ⊙ Corner On Drive

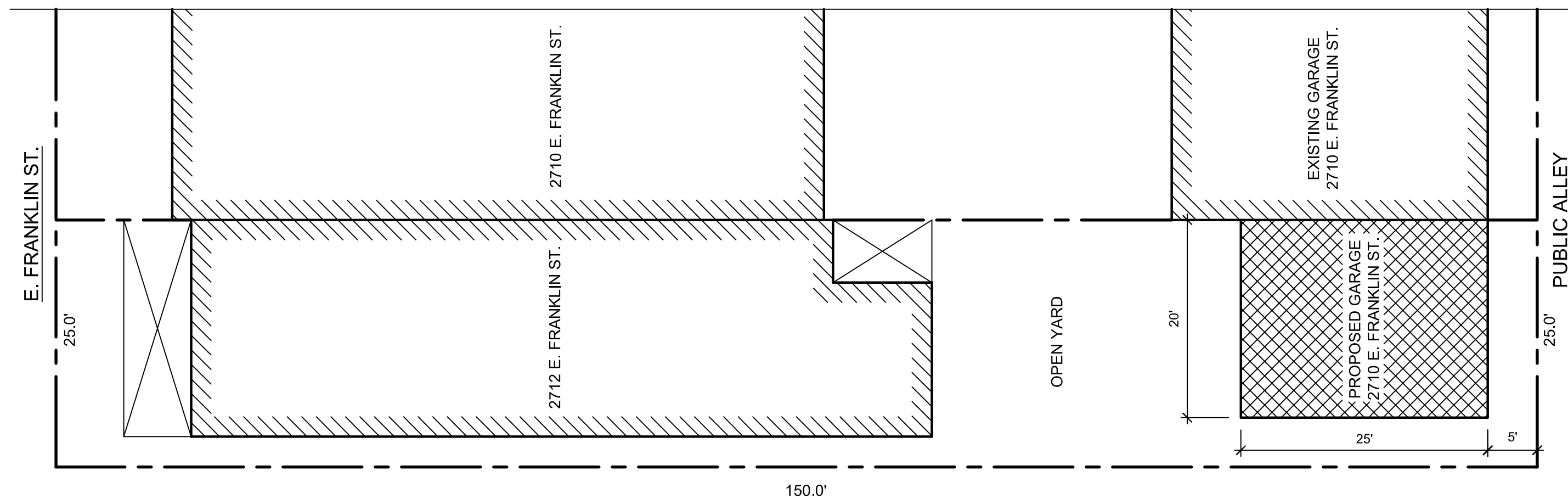


E. FRANKLIN STREET

SURVEY OF
LOT AND IMPROVEMENTS THEREON LOCATED AT
2712 E. FRANKLIN STREET
RICHMOND, VIRGINIA

NOTE: PLAT PREPARED FOR THE EXCLUSIVE
USE OF THE CONVEYANCE TO
M.H. Libby LLC

JN 44645
A. G. HAROCOPOS & ASSOCIATES, P.C.
CERTIFIED LAND SURVEYOR AND CONSULTANT
4920 E. MILLRIDGE PKWY, SUITE 200 MIDLOTHIAN VA. 23112
Office 804 744 2630 FAX 804 744 2632
E-MAIL AGHAROCOPOS@VERIZON.NET
Scale 1"=20' Date 6/5/15 Drawn by GAH



PLAT PLAN

NOTE: INFORMATION SHOWN ON THIS PLAT AND USED TO PREPARE THIS PLAT WAS TAKEN FROM SURVEY PLAT PREPARED BY A.G. HAROCOPOS & ASSOCIATES, P.C. DATED 6/5/15.

3/32" = 1'-0"

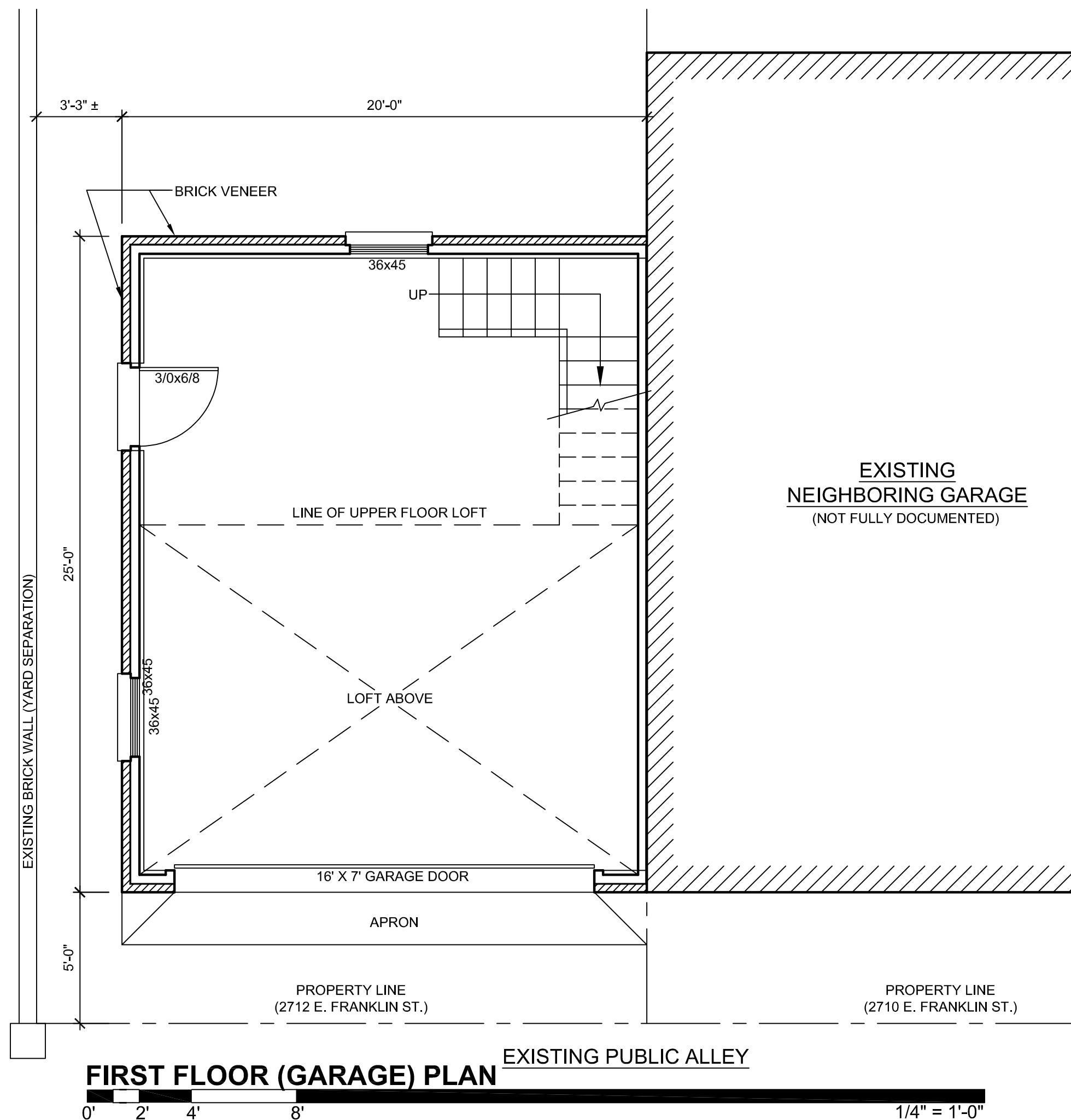


Proposed Garage at
2712 E. FRANKLIN ST.
Richmond, Virginia 23223
OWNER: Lionsheart Properties, LLC

DATE: 5/27/22

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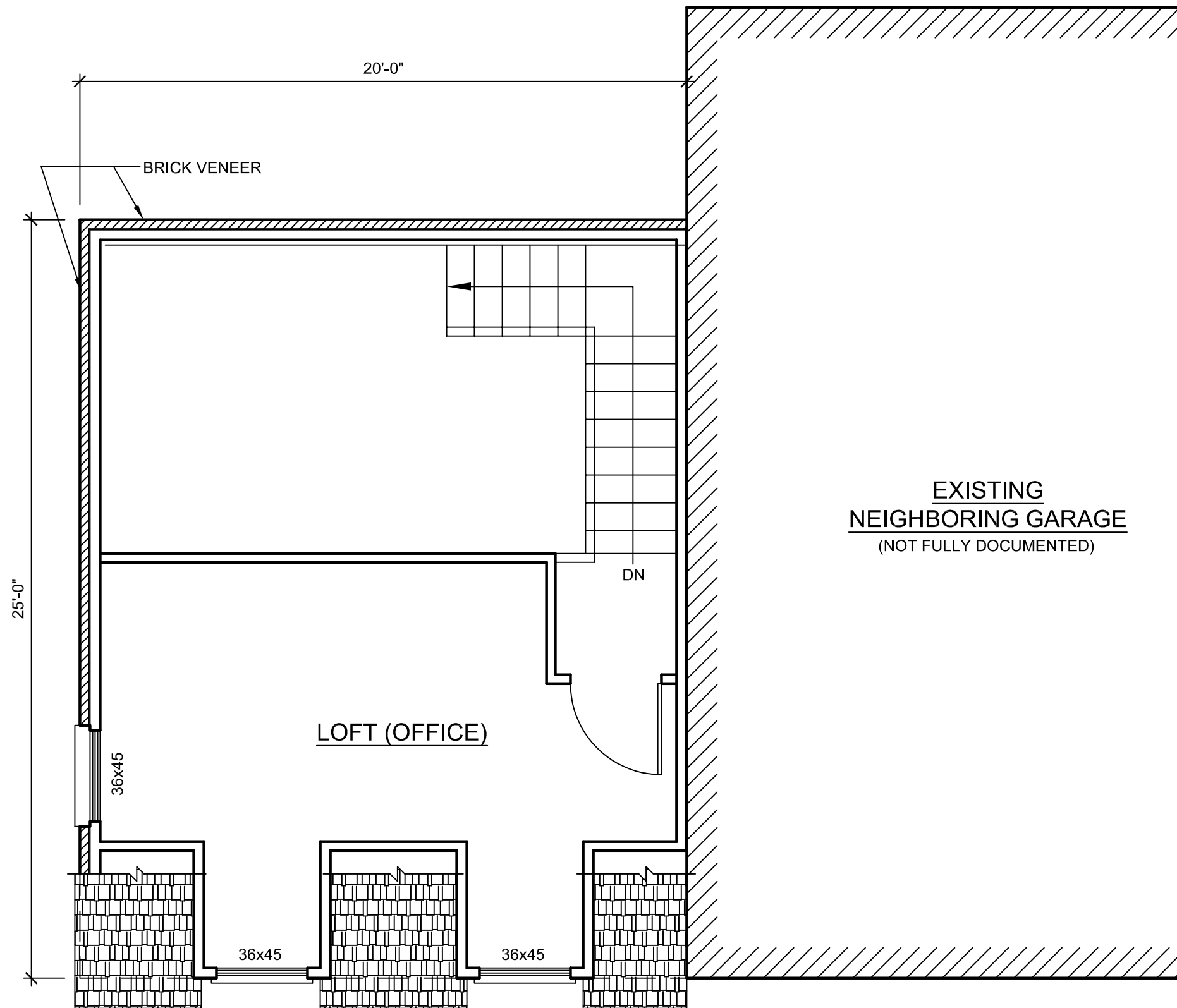
PLAT PLAN



EXISTING
NEIGHBORING GARAGE
(NOT FULLY DOCUMENTED)

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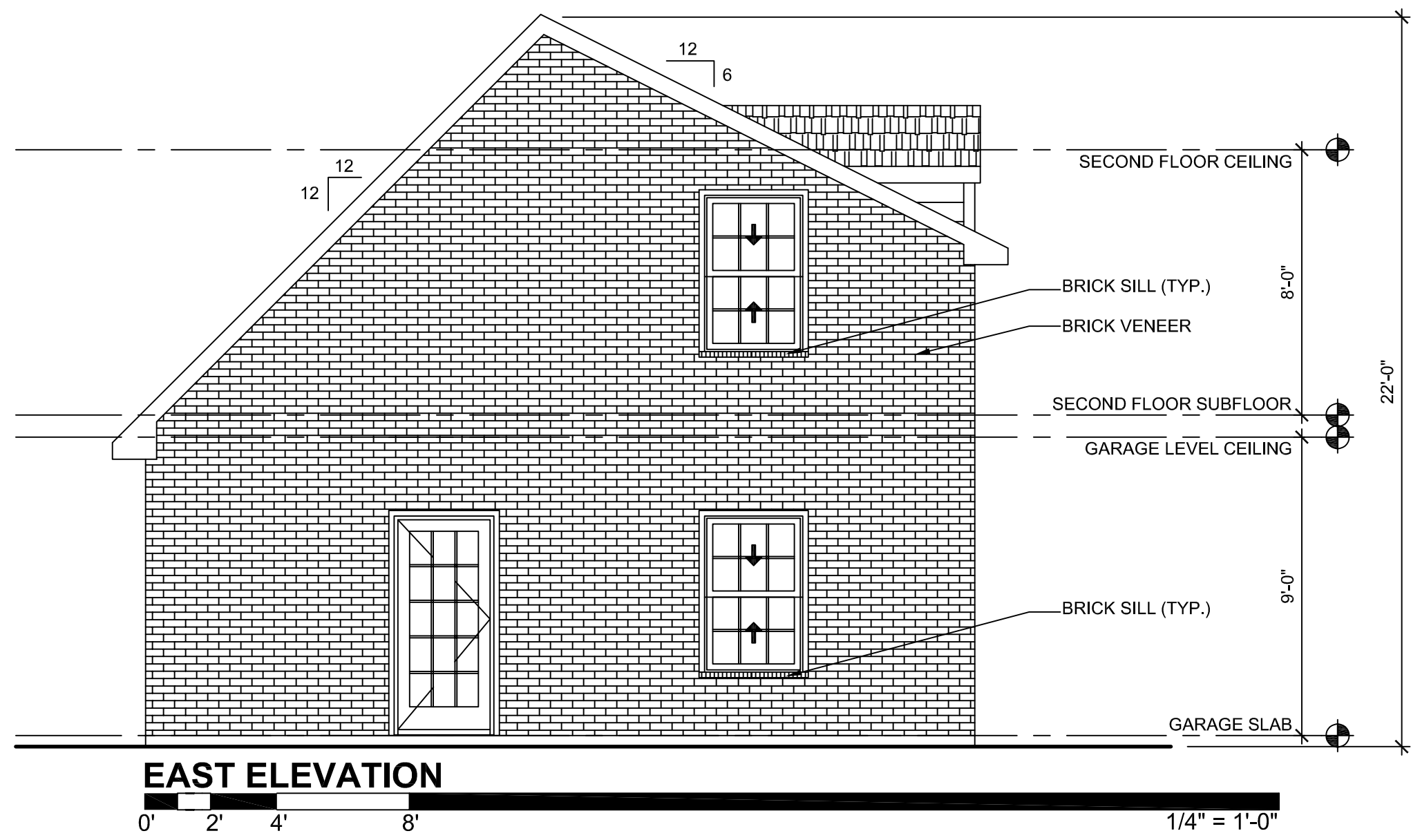




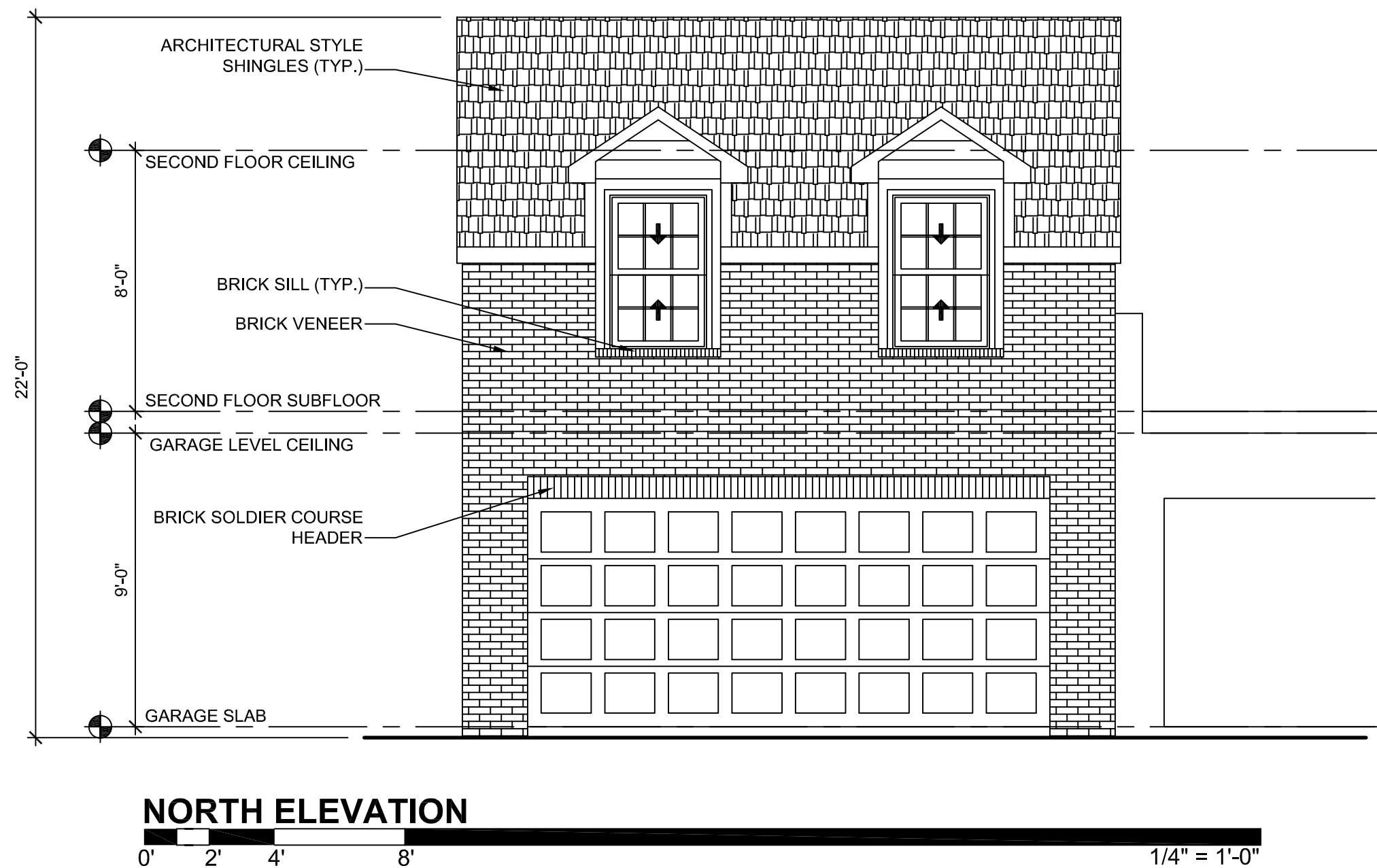
SECOND FLOOR (LOFT) PLAN



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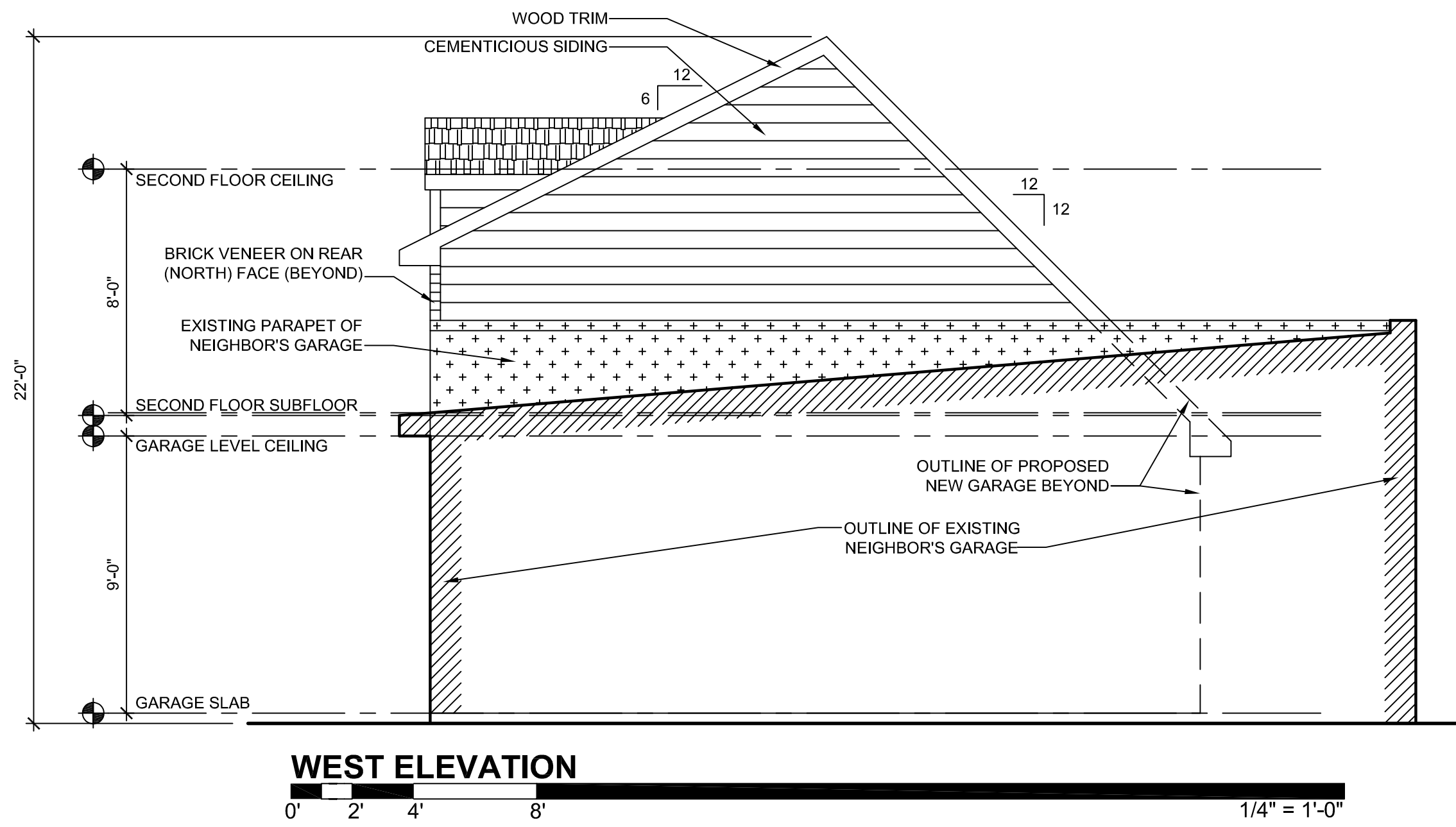
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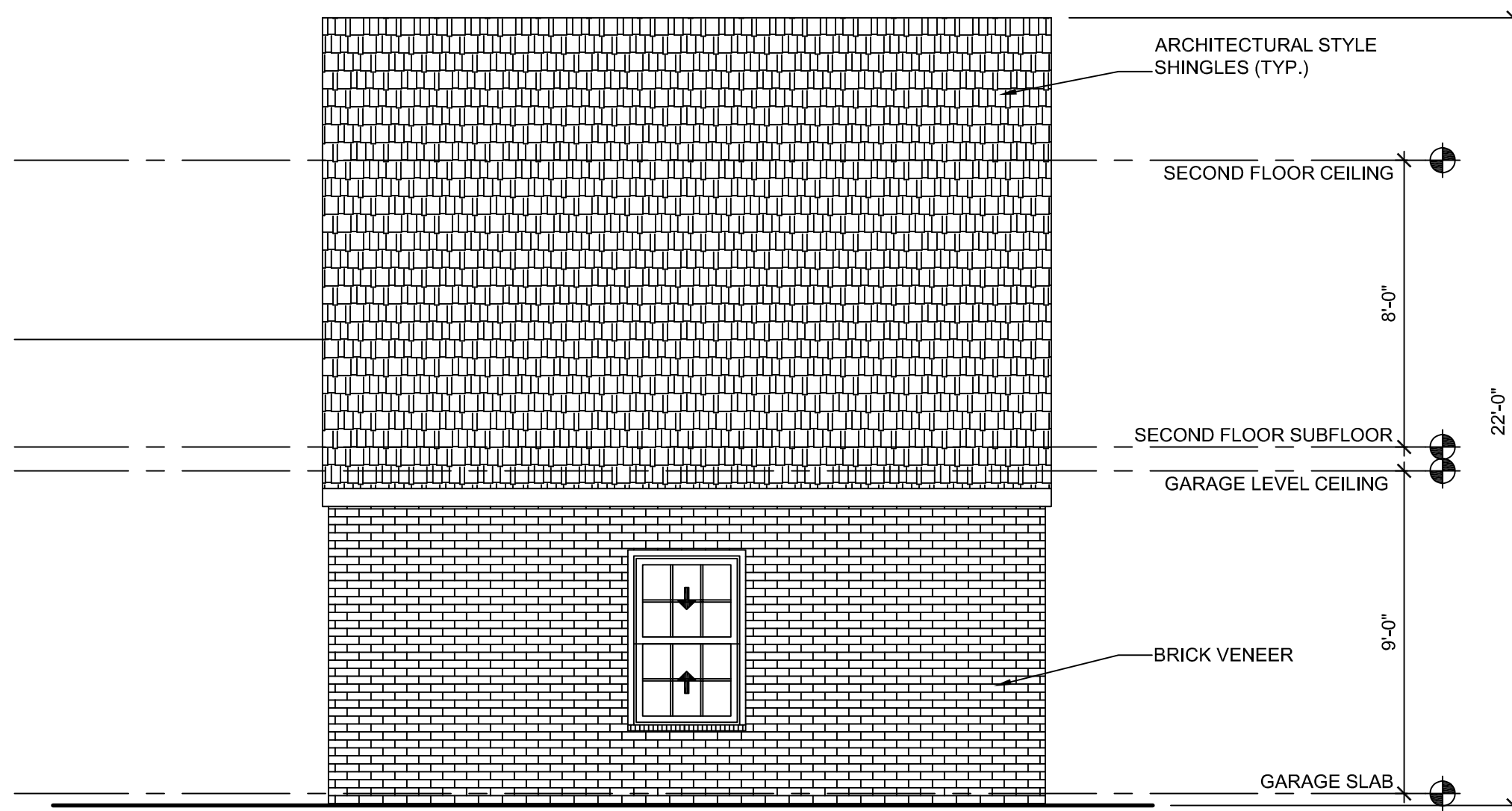
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ELEVATION



Proposed Garage at
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ELEVATION



SOUTH ELEVATION



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OWNER: Lionsheart Properties, LLC

DATE: 5/27/22

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ELEVATION