



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** \_\_\_\_\_

### BUILDING TYPE

- |  |  |
|--|--|
| <input type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence  | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building     | <input type="checkbox"/> other               |
| <input type="checkbox"/> mixed use building      |  |
| <input type="checkbox"/> institutional building  |  |

### ALTERATION TYPE

- |  |   |
|--|---|
| <input type="checkbox"/> addition                | <input type="checkbox"/> roof             |
| <input type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

### WRITTEN DESCRIPTION

- ☐ property description, current conditions and any prior alterations or additions
- ☐ proposed work: plans to change any exterior features, and/or addition description
- ☐ current building material conditions and originality of any materials proposed to be repaired or replaced
- ☐ proposed new material description: attach specification sheets if necessary

**PHOTOGRAPHS** place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- ☐ elevations of all sides
- ☐ detail photos of exterior elements subject to proposed work
- ☐ historical photos as evidence for restoration work

**DRAWINGS** (refer to required drawing guidelines)

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> current site plan      | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides)   |
| <input type="checkbox"/> proposed site plan     | <input type="checkbox"/> list of proposed window and door  | <input type="checkbox"/> proposed elevations (all sides)  |
| <input type="checkbox"/> current floor plans    | <input type="checkbox"/> current roof plan                 | <input type="checkbox"/> demolition plan                  |
| <input type="checkbox"/> proposed floor plans   | <input type="checkbox"/> proposed roof plan                | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" |  |   |



## Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510  
Richmond, VA 23219 | (804)-646-6569  
[www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review)



### Property (location of work)

Address: 2519 East Grace Street

Historic District: St. John's Church Historic District

### Applicant Information ☒ Billing Contact

Name: Gibson Worsham

Email: gworsham@glaveandholmes.com

Phone: 804 898-5852

Company: Glave and Holmes Architects

Mailing Address: 2101 East Main Street

Richmond VA 23223

Applicant Type: ☐ Owner ☐ Agent ☐ Lessee

☒ Architect ☐ Contractor

Other (specify): \_\_\_\_\_

### Owner Information ☒ Billing Contact

☐ Same as Applicant

Name: Dan Leonard

Email: dan.simon.leonard@gmail.com

Phone: 919 637-1600

Company: Harris Williams

Mailing Address: 1001 Haxall Pt. 9th Floor

Richmond, VA 23219

**\*\*Owner must sign at the bottom of this page\*\***

### Project Information

Project Type: ☒ Alteration ☐ Demolition ☐ New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):

Work consists of the enclosure of a porch on the rear and addition of a new gate (see additional pages).

### Acknowledgement of Responsibility

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

Signature of Owner

Date 5/26/2022

Additional Sheets

Application for Certificate of Appropriateness

2519 East Grace Street

Project Description (Continued):

The two-story brick side-passage house at 2519 East Grace Street was built in about 1860. It features Italianate details including a bracketed cornice on the front and a stepped parapet on the side walls, cast iron window heads, and a shallow standing-seam metal gable roof. An original, semi-detached, two-story, brick service ell extends to the rear. The rear yard is surrounded by a mid-to-late twentieth-century brick wall.

The three-story porch at the rear of the house was previously altered with modern box posts and 2x6 railing. The railing was replaced one year ago as part of an incremental scheme to provide improved safety with the intention of eventually enclosing the porch. The porch is located below the main roof, which includes an original cornice and entablature. A ghost on the rear brick wall shows the width of former pilasters that supported the roof above.

Using simplified detail, the porch enclosure includes a square corner column and engaged pilasters against the walls. Since the upper floor contains a bedroom, panels alternate with windows. On the lower floor the wall will be filled with fixed and casement windows. A glass-panel door to the exterior will be provided at the left side of the south face of the porch. The stairway to the porch from the ground will be replaced with a new painted wood stair.

The rear yard is enclosed with a brick wall. The gate in the side wall of the rear yard is too narrow to accommodate equipment needed to serve the house and garden. The applicant wishes to add a new 8'-4" wide gateway on the alley at the rear for increased site access. The gate would consist of a rolling painted metal batten-type gate with painted metal jambs placed against the ends of the brick wall. The surface of the gates visible from the exterior will consist of vertical tongue-and-groove boards. The enlarged opening in the brick would be neatly made to suit the existing brick coursing. Details and approximate dimensions are shown in the attached drawings.





Front elevation from the northeast before the most recent alterations, 2021





East side elevation from east before the most recent alterations, 2021



South elevation from the south before the most recent alterations, 2021.





Rear porch today from the southeast (left) and detail showing ghost of pilaster (right)

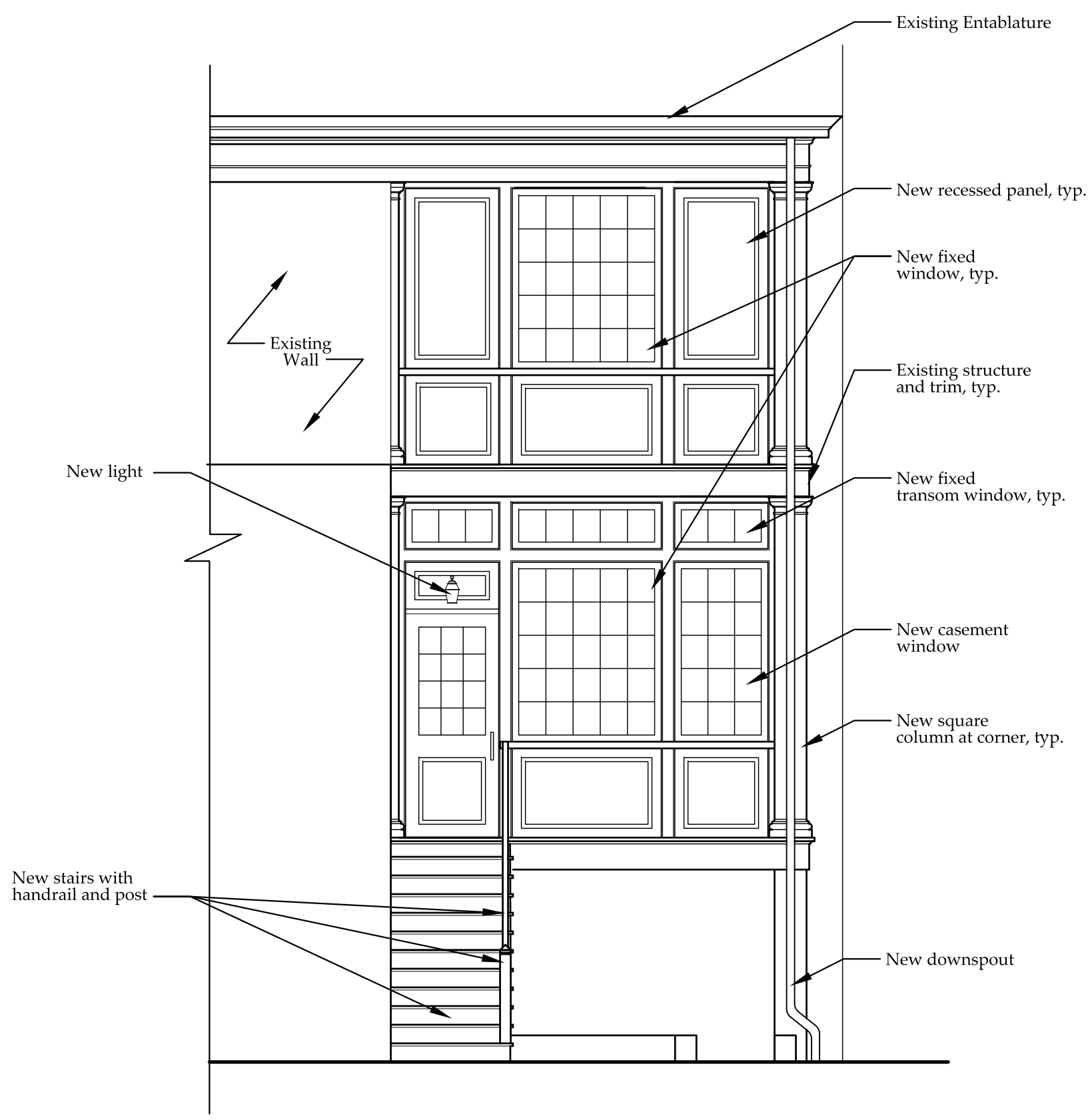


Existing gate in the east side wall from the southeast to remain.

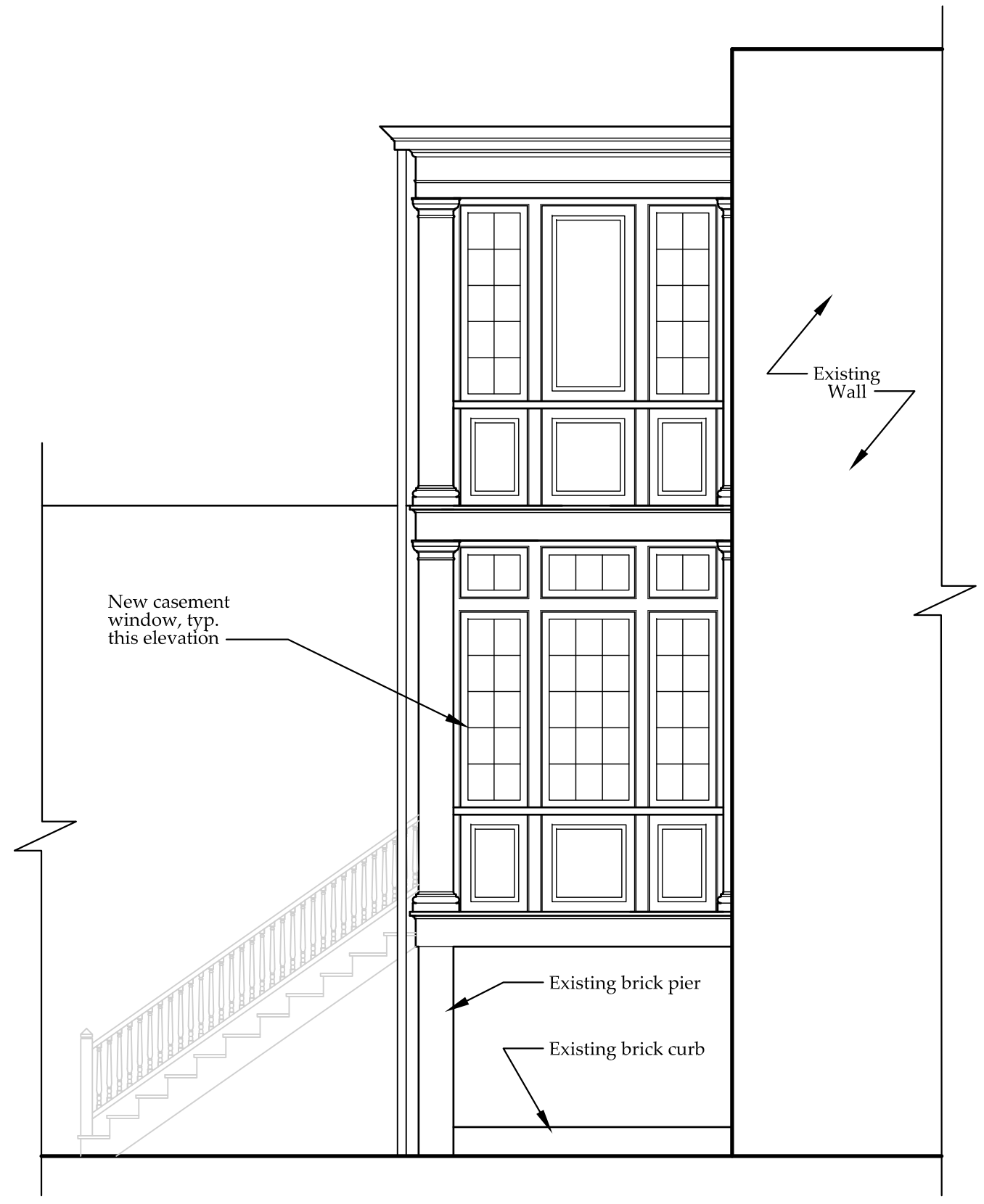




South face of brick wall at rear of property from the southwest.

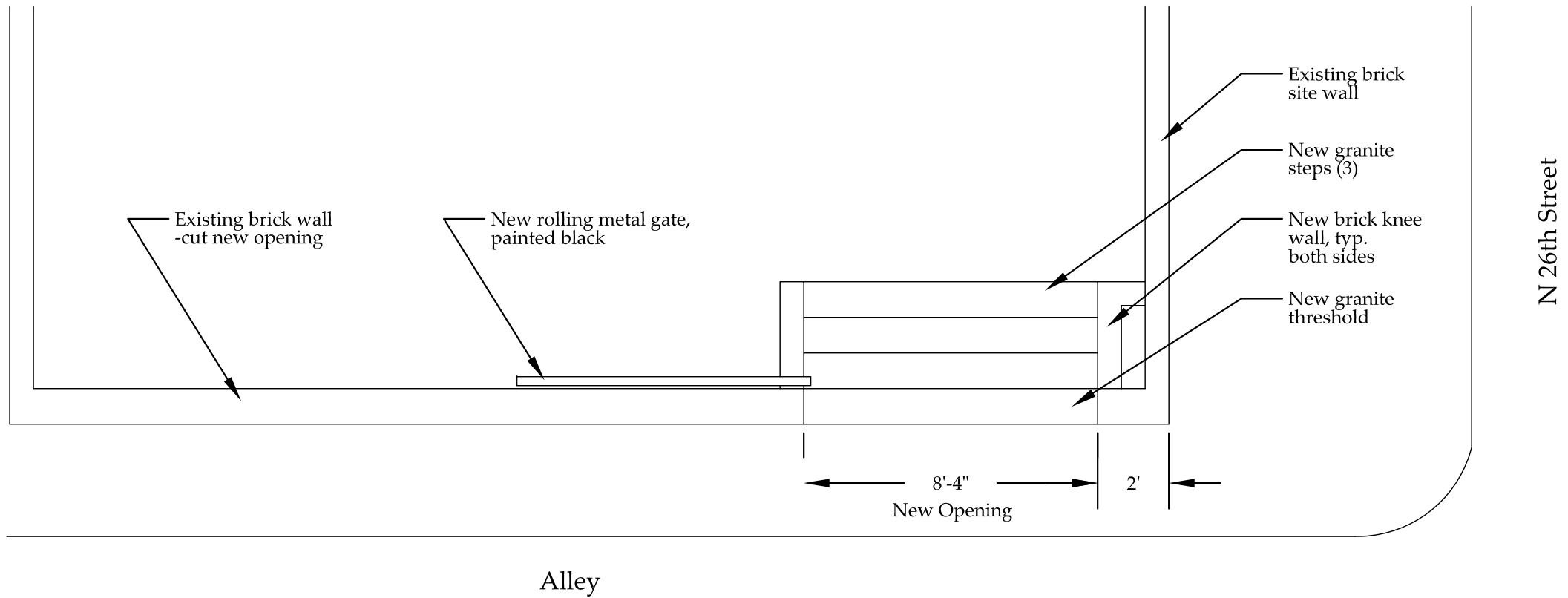


Rear Elevation of Proposed Porch Enclosure

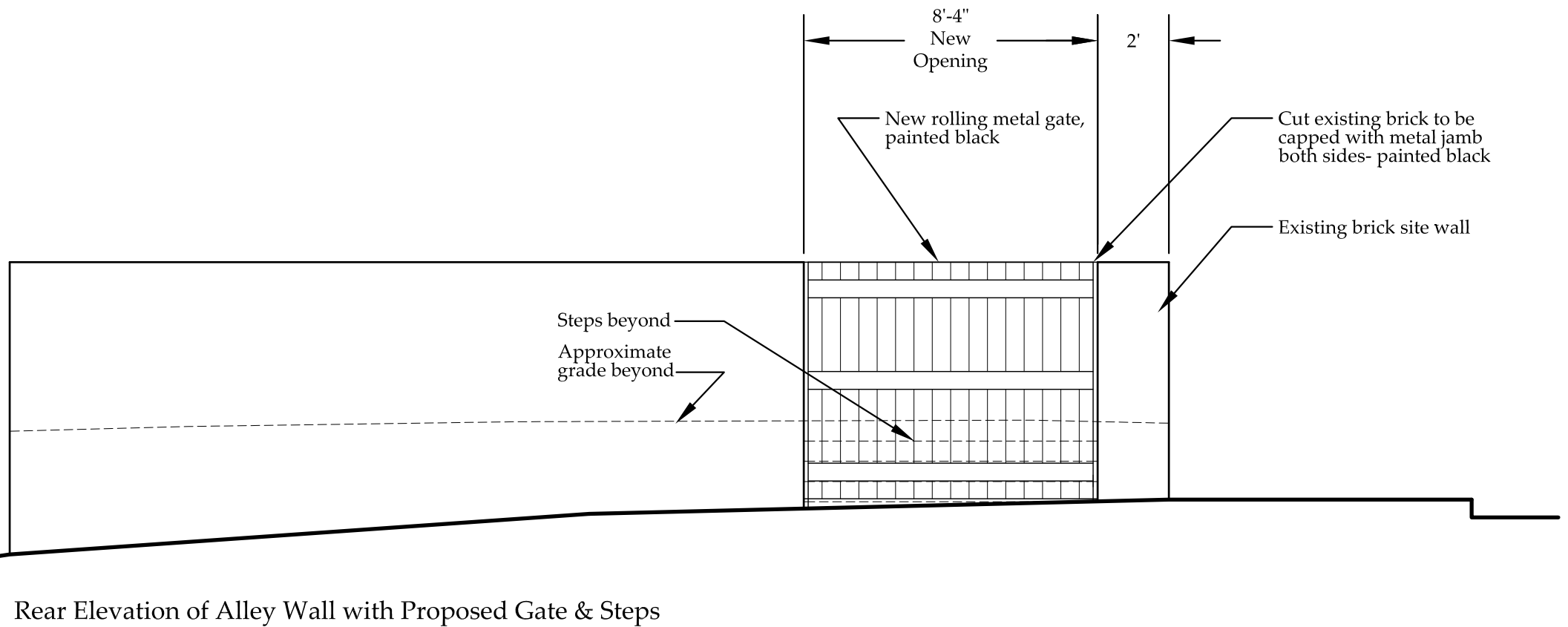


Side Elevation of Proposed Porch Enclosure





Site Plan of Alley Wall with Proposed Gate and Steps



Rear Elevation of Alley Wall with Proposed Gate & Steps