



Commission for Architectural Review

Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-6569
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: _____

Historic District: _____

Applicant Information

Billing Contact

Owner Information

Billing Contact

Name: _____

Same as Applicant

Email: _____

Name: _____

Phone: _____

Email: _____

Company: _____

Phone: _____

Mailing Address: _____

Company: _____

Mailing Address: _____

Applicant Type: Owner Agent Lessee

Architect Contractor

Other (specify): _____

****Owner must sign at the bottom of this page****

Project Information

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

Signature of Owner _____ Date 5/22/2022

Certificate of Appropriateness

Application Instructions

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review

Staff Contact: (804)-646-6569 | alex.dandrige@rva.gov | alyson.oliver@rva.gov

Submission Instructions

Certain exterior work can be administratively approved by Staff. Please contact staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner's signature required
- One (1) copy of supporting documentation, as indicated on appropriate checklist (PDF)
- Application fee, if required, will be invoiced via the City's Online Permit Portal. Payment of the fee must be received before the application will be scheduled. Please see fee schedule brochure available on the CAR website for additional information.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.
- A complete application includes a signed application form, related checklist, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in Sec. 30-930.6(b).
- The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Schedule and Application Due Dates

- The CAR meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- The hearing of applications starts at 4:00pm via Microsoft Teams. The owner and/or applicant is encouraged to attend the meeting.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Exception: Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.

Fees

- **Full Demolition:** \$1,500
- **New construction/addition to a building other than for a single- or two-family dwelling or accessory building, including multi-family or mixed-use developments:** \$500
- **New construction/addition to a single- or two-family dwelling, or accessory building:** \$250
- **Amendments to previous certificates of appropriateness (COAs) concerning non-structural alterations, changes to signage, and changes to plans:** \$150
- **Extension of a certificate of appropriateness (COA):** \$25



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 3404 E. Broad St. Richmond, VA 23223

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> other |
| <input type="checkbox"/> mixed use building | |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input checked="" type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- ☒ property description, current conditions and any prior alterations or additions
- ☒ proposed work: plans to change any exterior features, and/or addition description
- ☒ current building material conditions and originality of any materials proposed to be repaired or replaced
- ☒ proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- ☒ elevations of all sides
- ☒ detail photos of exterior elements subject to proposed work
- ☒ historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> current site plan | <input type="checkbox"/> list of current windows and doors | <input checked="" type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> proposed site plan | <input type="checkbox"/> list of proposed window and door | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> current floor plans | <input type="checkbox"/> current roof plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed floor plans | <input type="checkbox"/> proposed roof plan | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" | | |

SINGLE FAMILY RESIDENCE at

3404 E BROAD STREET

RICHMOND, VA 23223

BUILDING INFORMATION:

CONSTRUCTION CODE: VCC 2009, IRC 2009 - CONSTRUCTION TYPE: V-B
BUILDING AREA (INCLUDING THE EXTERIOR WALL): 1ST FLOOR: 1,300 SF
2ND FLOOR: 1,300 SF
TOTAL: 2,600 SF

STORIES ABOVE GRADE: 2 HEIGHT ABOVE GRADE: 28'+/-
USE GROUP: SINGLE-FAMILY SPRINKLER SYSTEM: NO
FIRE DETECTION: YES, HARD-WIRED SMOKE DETECTION SYSTEM
INSULATION VALUES: CEILINGS: R-38 BATT INSUL
WALLS: R-13 BATT INSUL
FLOORS: R-30 BATT INSUL

GENERAL STRUCTURAL NOTE: STRUCTURAL ITEMS ARE SHOWN FOR REFERENCE. ALL STRUCTURAL ELEMENTS ARE TO BE SPECIFIED/APPROVED BY A STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

General Conditions:

Contractor to carefully review the contract documents and existing conditions of the job site to achieve full comprehension of the project renovation requirements. Contractor to include cost for all work described and required to satisfy the intent of the contract documents and required by existing conditions. Architect to be notified of conflicts between existing conditions and new work conflicts or omissions in the drawings and any limitations related to the execution of the work. In the case of conflicts within the contract documents, the strictest condition or requirement is to be included in the cost and scope of work. Contractor shall not proceed with the work, involved in such errors, omissions, or discrepancies until written instructions are given by the Architect. The Contractor shall be responsible to correct all work erroneously installed prior to receiving said instructions.

All work shall be in accordance with the Virginia Statewide Uniform Building Code and International Residential Code, latest editions, to the satisfaction of authorities having jurisdiction. All manufactured products shall be used per manufacturer's written specifications. Contractor to apply for, pay for and obtain all permits, fees and inspections by authorities having jurisdiction over the work. Copies of all transactions shall be made available to the owner. Notify the architect of any variance with current codes. Contractor shall be responsible for compliance with public authorities regarding the performance of work.

Contractor to make available to the owner a construction schedule along with a schedule of values prior to commencement of work.

Contractor shall supply all labor, materials, equipment, tools, handling, transportation, debris removal, and all related costs and services necessary for the execution of the work.

Work is to be executed by the general contractor unless provisions are made otherwise. References to "contractor" are to include general contractor and subcontractors. The contractor shall be solely responsible for and have control over all construction means and methods required by the contract documents including coordination of work. The contractor is to be responsible for acts and omissions of the contractor's employees, subcontractors and their employees, and any other persons performing any of the work under contract with the contractor. The architect will not be responsible for errors, omissions or delays caused by the contractor.

Field Verifications: Verify all dimensions in the field before performing the work. The Contractor will be responsible to correct any work that is done in error because of failure to verify or clarify dimensions.

Substantial changes to the drawings or actual work are to be issued by the architect with the owner's approval.

Construction Coordination:

Contractor is to coordinate and protect all new and existing work in place when exposed to potential damage by work of multiple trades. The Contractor shall coordinate construction of all required mechanical, electrical and plumbing.

All work and improvements shall be in strict accordance with the current codes adopted by the local jurisdictions and approved by the local building inspection office. All work is to comply with applicable provisions of the the occupational safety and health act- OSHA.

The contractor is to keep the premises free from excessive accumulation of waste materials or rubbish caused by construction and will remove it from the site in a timely fashion or as directed by the owner. Upon completion of the project, the contractor shall remove all remaining materials, waste or otherwise, as well as all construction equipment. The work and support areas shall be left broom clean.

Product information and samples:

Shop-drawings and all other submittals are to be examined by the general contractor and checked for compliance with contract requirements.

Quality Control:

Complete all construction and install materials per manufacturer's specifications and instructions and in a manner consistent with industry standards of workmanship and the products selected.

Material Acquisition:

Protect products during all stages of handling to prevent damage. Comply with all requirements of specified product and manufacturer's instructions to ensure optimum condition of final installed product.

Work Conditions:

Create appropriate environmental conditions for installing or applying finishes to the products specified.

Prior to product installation, evaluate all existing surfaces to receive product per product manufacturer's recommendation. Installation shall imply acceptance of substrate and shall not be grounds for claims against improper performance of installed materials.

Keep exits, exit lighting, fire protection and life safety devices operational during construction. Keep means of egress clear of all tools, materials and debris.

Guarantee:

Warrant all materials, finishes and equipment supplied under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from defects and in compliance with the contract documents. For one year beginning at the date of substantial completion, contractor will promptly remedy work found not to be in compliance with the contract documents. Contractor shall assume all costs for corrections.

Transfer all manufacturer warranties, product literature, maintenance requirements and schedules to the owner at completion of the project.

Products:

Contractor to provide products specified in the following specifications or in the other contract documents. If no product is specified, contractor shall provide a match in quality and appearance to typical materials used in other similar buildings.

Construction execution:

Dimensions to be verified in the field. If dimensions can not be verified or the verification would cause a delay in the progress of work, contractor shall guarantee dimensions to the subcontractor for coordination. Drawings may be scaled for reference only.

Wall partitions, unless noted otherwise, shall be located as dimensioned and shown on the construction plans and details. Dimensions are to faces of finished partitions. Actual partition thicknesses are used. Contractor shall verify dimensions. All vertical dimensions are given from top of finished flooring unless otherwise noted.

Contractor shall prepare concrete floors, if applicable, to be a smooth uniform surface. All floor anchors and penetrations shall be coordinated by contractor as part of the floor preparation.

Clean all surfaces and equipment 24 hours prior to occupancy. Vacuum or mop, as required, all floors and clean windows and glazing.

The date when the project is available for owner occupancy will be known as substantial completion. Additional touch-up or minor installation work may be incomplete.

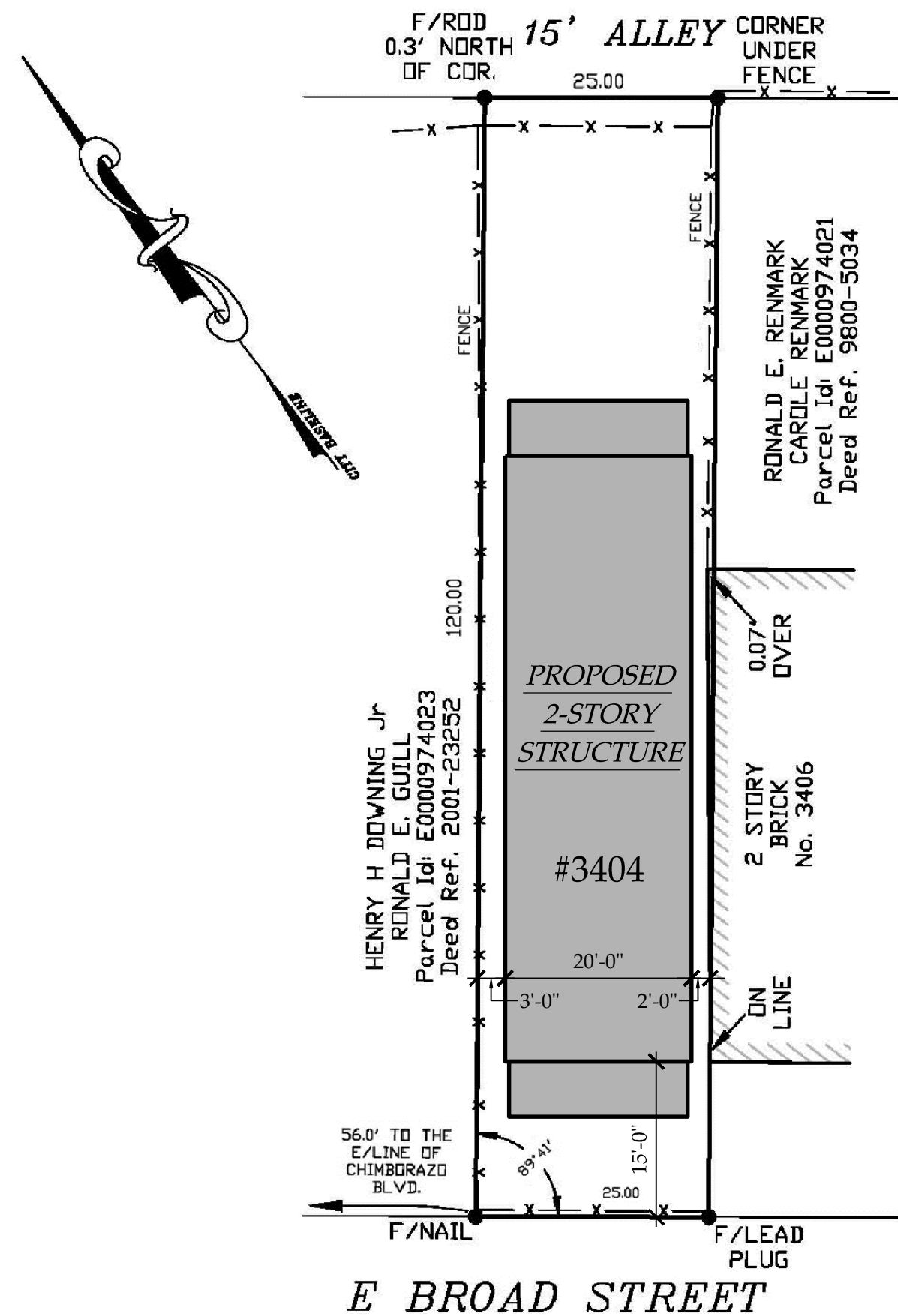
Construct all items in strict adherence to the approved shop drawings and the referenced product standards. Connections of all parts being accurately and neatly fitted and securely fastened together.

DRAWING INDEX:

T-1 TITLE SHEET, SITE SURVEY & BUILDING INFO.
C-1 CONTEXT ELEVATIONS & PLANS
A-1 GENERAL CONSTRUCTION NOTES
A-2 BASEMENT PLAN, ROOF PLAN, FOUNDATION & PORCH DETAIL
A-3 1ST FLOOR PLAN & 2ND FLOOR PLAN
A-4 EXTERIOR ELEVATIONS
A-5 EXTERIOR ELEVATIONS
SD-1 SHOP DRAWINGS

PROPOSED SURVEY PLAN

This is to certify to the PURCHASER/OWNER shown hereon, and his TITLE INSURER and Lender, that on 3-17-14 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.

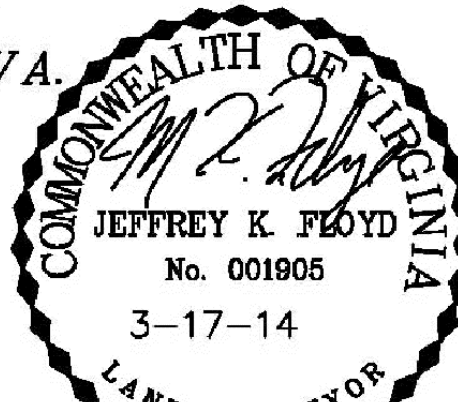


P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
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DATE: 3-17-14

CERTIFIED BY JEFFREY K. FLOYD

VIRGINIA CERTIFICATE NO. 001905



SCALE: 1"=20'

JOB NO. 14039960

409 E MAIN ST SUITE 100
RICHMOND, VA, 23219
(804) 562-2926



SINGLE FAMILY RESIDENCE

3404 E BROAD STREET

RICHMOND, VA 23223

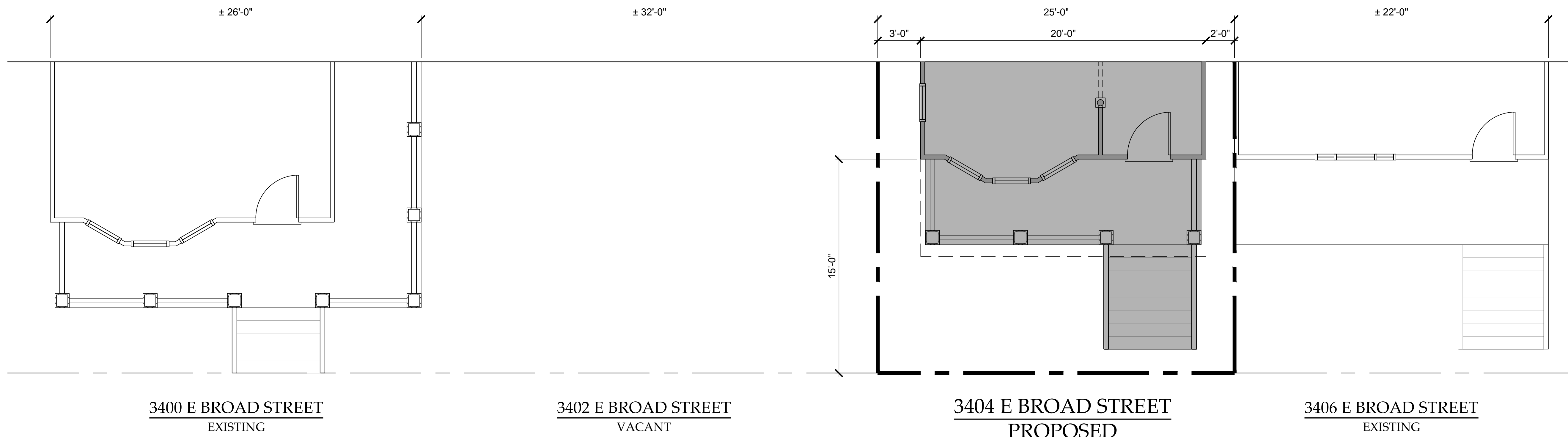
DATE: 02-20-15

T-1



CONTEXT ELEVATIONS

SCALE: 1/4"=1'-0"



CONTEXT SETBACK PLANS

SCALE: 1/4"=1'-0"

409 E MAIN ST SUITE 100
RICHMOND, VA, 23219
(804) 562-2926



SINGLE FAMILY RESIDENCE

3404 E BROAD STREET
RICHMOND, VA 23223

DATE: 02-20-15

C-1

GENERAL DESIGN & CODE INFORMATION

ALL DESIGNS AND CONSTRUCTION ARE BASED ON THE 2009 INTERNATIONAL RESIDENTIAL CODE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE "USBC" (2009 EDITION)

AMENDMENTS.
DESIGN LOADS ARE DEAD LOADS PLUS LIVE LOADS BELOW, UNLESS

- OTHERWISE NOTED:
A. ROOF – 20 P.S.F. LIVE, 10 P.S.F. DEAD
B. ATTIC CEILING OVER ROOF SLOPES > 3:12 – 20 P.S.F. LIVE, 10 P.S.F. DEAD
ATTIC CEILING UNDER ROOF SLOPES < 3:12 – 10 P.S.F. LIVE, 10 P.S.F. DEAD
C. FLOOR (NON – SLEEPING ROOMS) – 40 P.S.F. LIVE, 20 P.S.F. DEAD
D. FLOOR (SLEEPING ROOM AND UNFINISHED ATTIC WITH STAIRS) – 30 P.S.F. LIVE, 20 P.S.F. DEAD
E. SOIL BEARING (UNDISTURBED SOLID GROUND) – 1500 P.S.F. (ASSUMED) AS PER TABLE R401.4.1

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CAPACITY IN FIELD PRIOR TO CONSTRUCTION. ARCHITECT CAN NOT BE HELD LIABLE IF CONTRACTOR DOES NOT PROVIDE CAPACITY TO ARCHITECT PRIOR TO CONSTRUCTION.

- F. WIND SPEED IS 100 M.P.H. U.O.N.
(WIND LOAD GOVERNS OVER SEISMIC U.O.N.) AS PER TABLE R 301.2.1 AND FIGURE R 301.2.4
ALL WINDOWS AND EXTERIOR DOORS SHALL BE DESIGNED AS PER TABLES R301.2(2) AND R301.2(3)

- G. SEISMIC IS PER THE 2009 INTERNATIONAL RESIDENTIAL CODE
FOR ONE AND TWO FAMILY DWELLINGS WITH VIRGINIA AMENDMENTS

- H. WIND EXPOSURE CATEGORY – B

- I. GROUND SNOW LOAD – 10 P.S.F.

- J. WEATHERING AREA AS PER FIG. R301.2(3) – MODERATE

- K. FROST LINE DEPTH – SURFACE THE BOTTOM OF ALL FOOTINGS MUST BE A MIN. OF 12" BELOW FINAL GRADE.

- L. TERMITE AREA AS PER FIG. 301.2.(6) – MODERATE TO HEAVY

- M. DECAY AREA AS PER FIG. 301.2.(7) – SLIGHT TO MODERATE

- N. WINTER DESIGN TEMPERATURE – 22 DEGREES
O. ICE SHIELD UNDERLAYMENT REQUIRED – ON ALL ROOF SLOPES 4 ON 12 OR LESS ARE REQUIRED TO HAVE WATER & ICE SHIELD INSTALLED OVER ENTIRE ROOF SURFACE OR 2 LAYERS OF UNDERLAYMENT

FOOTING & FOUNDATION CONSTRUCTION

- ALL EXTERIOR WALL/PIER FOOTINGS ARE MIN. 8" X 24" CONT. OR AS SOIL REQUIRES REBAR TO BE INSTALLED ONLY IF REQUIRED BY CODE OR SOIL CONDITIONS. FOR SHRINK SWELL CONDITIONS, CONSULT A GEOTECHNICAL ENGINEER. SEE WALL SECTIONS & DETAILS FOR ADDITIONAL EXTERIOR WALL FOOTING AND FOUNDATION WALL REQUIREMENTS.
- FOOTINGS FOR 16" X 8" C.M.U. INTERIOR PIERS ARE MIN. 2'-0" X 2'-0" X 8" REBAR TO BE INSTALLED ONLY IF REQUIRED BY CODE OR AS SOIL REQUIRES. FOR SHRINK SWELL CONDITIONS, CONSULT A GEOTECHNICAL ENGINEER.
- ALL FOOTINGS SHALL BE DESIGNED IN ACCORDANCE WITH R403.1.1. FOOTING WIDTH, "W" SHALL BE BASED ON BEARING CAPACITY OF SOIL IN ACCORDANCE WITH TABLE R401.4.1. FOOTING PROJECTIONS, "P" SHALL BE 4" MIN. NOT TO EXCEED THICKNESS OF FOOTING. FOOTING DEPTH SHALL BE 12" MIN. R403.1.4.
- ALL PIERS ARE 16" X 8" C.M.U. TYPICAL. CAP ALL PIERS W/ 4" OF SOLID MASONRY ON 1 STORY STRUCTURES AND 8" OF SOLID MASONRY ON 1 1/2, 2 AND 3 STORY STRUCTURES. ALL PIERS OVER 32" HIGH MUST BE FILLED WITH TYPE "S" MORTAR. MAXIMUM UNSUPPORTED HEIGHT OF 16" X 8" C.M.U. FILLED PIER IS NOT TO EXCEED 10 TIMES THE LEAST DIMENSION OR 80". MAXIMUM UNSUPPORTED HEIGHT OF 16" X 8" C.M.U. UNFILLED HOLLOW PIER IS NOT TO EXCEED 4 TIMES THE LEAST DIMENSION OR 32". PIERS LARGER THAN 16" X 8" ARE NOTED ON PLANS. SEE DETAILS SHEET FOR ADDITIONAL REINFORCEMENT INFORMATION. PROVIDE PIER REINFORCING W/ 1/2" THREADED RODS AT NO MORE THAN 2'-0" FROM ALL CORNERS AND SPACING AT NO MORE THAN 6'-0" MAX.
- CONCRETE SHALL BE 3000 P.S.I. IN 28 DAYS UNLESS NOTED OTHERWISE. AND PLACED AS PER A.C.I. 318-83, ON STRUCTURAL FILL COMPACTED TO A MINIMUM DENSITY OF 95% OF IT'S MAXIMUM DRY DENSITY AS DETERMINED BY THE PROCEDURES OUTLINED IN A.S.T.M. D-698
- ALL REBAR LAP SPICES (IF REBAR SHOWN) SHALL BE A MINIMUM OF 3'-0" UNLESS NOTED OTHERWISE AND SHALL BE FABRICATED AS PER A.S.T.M. A-615, GRADE 60
- CHIMNEY FOOTINGS FOR MASONRY CHIMNEYS SHALL BE 12" LARGER THAN FOOTPRINT X 12" THICK (MIN.)
- WALLS BACKFILLED WITH DIRT:
 - FOR EARTH FILL UP TO 4' MAXIMUM HEIGHT – USE 8" C.M.U. OR 8" BRICK WITH MEMBRANE OR SPRAY ON WATERPROOFING ON EXTERIOR. FOOTING MIN. SIZE OF 12" X 24" OR AS NOTED PLAN FOR SHRINK SWELL CONDITIONS, 18" X 24" MIN., 3'-0" BELOW GRADE
 - FOR EARTH FILL 4' & HIGHER UP TO MAX. OF 9' USE 12" X 24" FOOTING WITH #4 @ 16" DOWELS HOOKED IN FOOTING. USE 12" C.M.U. WALLS WITH #4 @ 16" VERTICAL BARS LOCATED 4" FROM NON DIRT FILL FACE, LAP ALL SPICES 12" AND USE DUR-O-WALL HORIZONTAL REINFORCING EVERY 8" IN C.M.U. JOINTS. FILL ALL OPEN CELLS OF C.M.U. WITH EITHER TYPE M OR S MORTAR OR FILL WITH 3,000 P.S.I. CONCRETE. INSTALL MEMBRANE WATERPROOFING OR EQUAL AND ERECT ALL FRAMING BEFORE BACKFILLING FOR SHRINK SWELL CONDITIONS, 18" X 24" MIN., 3'-0" BELOW GRADE
- ALL UTILITIES WHICH CROSS FOOTINGS MUST PASS ABOVE FOOTINGS
- CONCRETE MASONRY UNITS SHALL BE IN ACCORDANCE WITH A.S.T.M. C-90 MORTAR TO CONFORM TO A.S.T.M. C-270. TYPE "S" BELOW GRADE, TYPE "N" ABOVE GRADE

FRAMING CONSTRUCTION – OTHER THAN ROOF

- CRAWL GIRDERS ARE TO BE (3) 2 x 10 PRESSURE TREATED LUMBER UNLESS NOTED OTHERWISE
- ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR BETTER FRAMING UNLESS NOTED OTHERWISE. UTILITY GRADE LUMBER IS UNACCEPTABLE.
- STEEL BEAMS MUST HAVE (4) 2 X 4 STUD JACKS UNDER EACH END SUPPORT UNLESS NOTED OTHERWISE.
- MICRO-LAM BEAMS MUST HAVE (3) 2 X 4 STUD JACKS UNDER EACH END SUPPORT UNLESS NOTED OTHERWISE
 - MASONRY LINTELS
 - FOR SPANS UP TO 6' USE 3-1/2" X3-1/2" X 1/4" STEEL ANGLES EXCEPT STANDARD PRESSED STEEL ANGLES 3-1/2" X 3-1/2" X 1/4" MAY BE USED FOR FIREPLACE OPENINGS AS FOLLOWS.-
 - 10" OF BRICK OR STONE MAX. SPAN 36"
 - 6" OF BRICK OR STONE MAX. SPAN 48"
 - 30" OF BRICK OR STONE MAX. SPAN 72"
 - FOR SPAN FROM 6' TO 8' USE 5" X 3-1/2" X 5/16" STEEL ANGLES

FRAMING CONSTRUCTION – OTHER THAN ROOF CONT.

- ALL BRICK OVER LOWER ROOFS MUST HAVE ANGLE SECURELY SUPPORTED FROM BELOW
- ALL WOOD I-JOISTS & OPEN JOISTS MUST BE BRACED IN ACCORDANCE W/ MANUF. DIRECTIONS PLUS DETAILS SHOWN ON PLANS
- ALL RAFTER BRACES MUST HAVE (2) STUDS FROM PLATE TO FOUNDATION OR BEAM BELOW THEM @ ALL FLOORS. BRACES ON CEILING PLATE TO TRANSFER TO VERTICAL STUDS TO FOUNDATION
- WHERE PARTITIONS FALL BETWEEN FLOOR TRUSSES 2 X 4 LADDERS @ 16" O.C. MUST BE PLACED PERPENDICULAR TO THE TRUSSES TO SUPPORT THE PLYWOOD DECKING
- ON ALL OPEN WEB FLOOR TRUSSES OVER A 10' SPAN A MINIMUM SINGLE LINE OF 2 X 4'S SHALL BE NAILED TO DIAGONAL MEMBERS OR VERTICAL MEMBERS IN THE APPROXIMATE MID-SPAN AS A LOAD DISTRIBUTION MEMBER.
- WHERE CEILING JOISTS ARE PARALLEL TO EXTERIOR WALLS AND RAFTERS BEAR ON STUD WALL TOP PLATES ADJACENT TO CEILING JOISTS, PROVIDE STUD JOISTS AS REQUIRED TO BRACE WALL TO CEILING JOISTS

- HEADERS ARE TO BE DESIGNED AS PER TABLE R502.5.(1) OF THE 2009 INTERNATIONAL RESIDENTIAL CODE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE "USBC" (2009 EDITION) AMENDMENTS. USE CHART BELOW FOR TYPICAL HEADER SPANS AND SIZES
WOOD HEADER & GIRDER SCHEDULE
AS PER TABLE R502.5(1) AND R502.5(2)

SIZE OF HEADER	BUILDING WIDTH	EXTERIOR BEARING WALLS				INTERIOR BEARING WALLS	
		ROOF & CEILING	ROOF, CLG. & ONE CENTER BEARING FLR	ROOF, CLG. & TWO CENTER BEARING FLRS	ROOF, CLG. & TWO CENTER BEARING FLRS	ONE FLOOR ONLY	TWO FLOORS
2 – 2 X 4	20'	3'-6"	3'-1"	2'-8"	2'-7"	3'-1"	2'-2"
	28'	3'-2"	2'-9"	2'-4"	2'-3"	2'-8"	1'-10"
	36'	2'-10"	2'-5"	2'-1"	2'-0"	2'-5"	1'-7"
2 – 2 X 6	20'	5'-5"	4'-6"	3'-11"	3'-9"	4'-6"	3'-2"
	28'	4'-8"	4'-0"	3'-5"	3'-3"	3'-11"	2'-9"
	36'	4'-2"	3'-7"	3'-0"	2'-11"	3'-6"	2'-5"
2 – 2 X 8	20'	6'-10"	5'-9"	5'-0"	4'-9"	5'-9"	4'-1"
	28'	5'-11"	5'-0"	4'-4"	4'-2"	5'-0"	3'-6"
	36'	5'-4"	4'-6"	3'-10"	3'-9"	4'-5"	3'-2"
2 – 2 X 10	20'	8'-5"	7'-0"	6'-1"	5'-9"	7'-0"	4'-11"
	28'	7'-3"	6'-2"	5'-3"	5'-1"	6'-1"	4'-3"
	36'	6'-6"	5'-6"	4'-8"	4'-7"	5'-5"	3'-10"
2 – 2 X 12	20'	9'-9"	8'-1"	7'-1"	6'-8"	8'-1"	5'-9"
	28'	8'-5"	7'-1"	6'-1"	5'-10"	7'-0"	5'-0"
	36'	7'-6"	6'-5"	5'-5"	5'-3"	6'-3"	4'-5"
3 – 2 X 8	20'	8'-4"	7'-2"	6'-3"	5'-11"	7'-2"	5'-1"
	28'	7'-5"	6'-3"	5'-5"	5'-2"	6'-3"	4'-5"
	36'	6'-8"	5'-8"	4'-10"	4'-8"	5'-7"	3'-11"
3 – 2 X 10	20'	10'-6"	8'-9"	7'-7"	7'-3"	8'-9"	6'-2"
	28'	9'-1"	7'-8"	6'-7"	6'-4"	7'-7"	5'-4"
	36'	8'-2"	6'-11"	5'-11"	5'-8"	6'-9"	4'-10"
3 – 2 X 12	20'	12'-2"	10'-2"	8'-10"	8'-5"	10'-2"	7'-2"
	28'	10'-7"	8'-11"	7'-8"	7'-4"	8'-10"	6'-3"
	36'	9'-5"	8'-0"	6'-10"	6'-7"	7'-10"	5'-7"

- ALL SHEATHING TO BE APA RATED WOOD STRUCTURAL PANELS (R602.10) AS FOLLOWS:

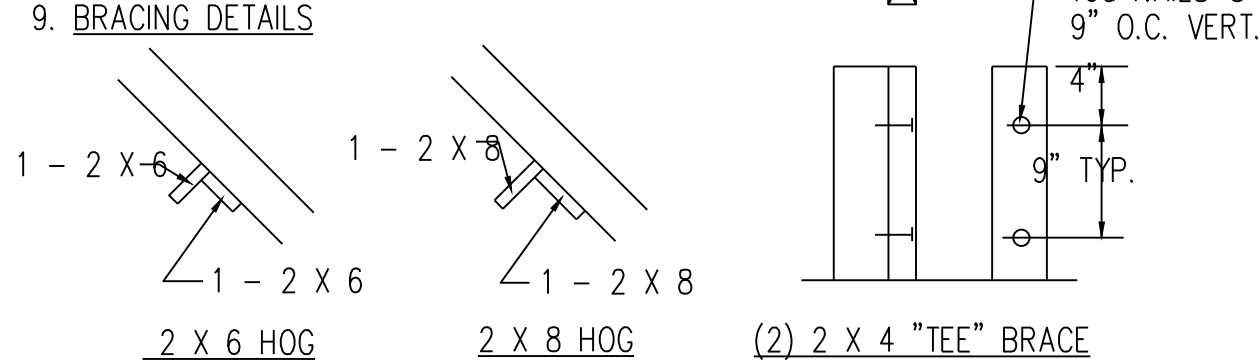
	GRADE	THICKNESS (NOMINAL)
ROOF:	O.S.B.	5/8"
WALL:	O.S.B.	1/2"
FLOOR:	O.S.B.	3/4"

INSTALL ALL SHEATHING IN ACCORDANCE W/ TABLE R602.10.5 AND R602.3(3)

- FLOOR AND WALL FRAMING SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS IMPOSED AND TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING ELEMENTS DOWN TO THE FOUNDATION.
- PROVIDE 2X6 STUD FRAMING SPACED @ 16" O.C. @ ALL UNBRACED GABLE END WALLS.
- PER SECTION R602.3.1 THE SIZE, HEIGHT AND SPACING OF ALL STUD MEMBERS SHALL BE IN ACCORDANCE WITH TABLE R602.3(5).
BALLOON FRAMED WALLS ARE DESIGNED AND SEALED BY RDP AND NOT PRESCRIPTIVE.
- ALL INTERIOR BEARING WALLS SHALL BE CONSTRUCTED, FRAMED AND FIRE BLOCKED AS REQUIRED FOR EXTERIOR WALLS (R602.4).
- PROVIDE FIRE BLOCKING IN ALL AREAS AS MANDATED IN BUILDING CODE
PROVIDE DRAFTSTOPPING IN ALL ATTICS AND FLOORS AS PER R502.12
- ALL FASTENERS IN PRESSURE TREATED WOOD ARE TO BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER AS PER SECTION R319.3
- ALL FLOOR JOIST AND GIRDER SPANS SHALL BE IN ACCORDANCE WITH TABLES R502.3.1(1), R502.3.1(2), R502.3.3(1)-(2), R502.5(1), R502.5(2) AND SECTIONS R502.4 & R502.10
- PER SECTION R502.6 ALL JOIST, BEAM OR GIRDER ENDS SHALL BEAR NLT 1 1/2" ON WOOD OR METAL AND NLT 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" X 4" RIBBON STRIP AND NAILED TO ADJ. STUD OR APPROVED
- ALL FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH TABLES R602.3(1)-(2) JOIST HANGERS
- FIRE RATED SHEATHING – ALL FIRE RATED SHEATHING SPECIFIED IS TO BE BLAZEGUARD WOOD PANELS AS MANUFACTURED BY INTERNATIONAL BARRIER TECHNOLOGY

ROOF CONSTRUCTION

- ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR BETTER FRAMING UNLESS NOTED OTHERWISE. STUD OR UTILITY GRADE LUMBER IS UNACCEPTABLE.
- RAFTER – 2 X 8 @ 16" O.C. UNLESS NOTED OTHERWISE. THEY ARE CUT IN TO HIPS, RIDGES, ETC. UNLESS NOTED OTHERWISE
 - TILE, SLATE AND OTHER BEARING ROOF COVERINGS
SHALL USE 2 X 10 @ 16" RAFTERS UNLESS OTHERWISE NOTED
- COLLAR TIES – 2 X 4 @ 32" AT ALL RIDGES AND AS REQUIRED BY TABLE R 602.3.1
- (3) COLLAR TIES MIN. @ ALL RIDGES EVEN IF 2 TIES MUST BE PUT ON (1) SET OF RAFTERS
- ALL BRACES ARE (2) 2 X 4 NAILED W/ 16d NAILS @ 9" O.C. VERTICALLY FROM TOP TO BOTTOM – SEE DETAIL BELOW. BRACES 8'-0" AND LONGER MUST BE BRACED HORIZONTALLY @ 4'-0"
- ALL HIPS & RIDGES ARE TO BE SIZED SO THAT ALL RAFTERS BEAR FULLY ON THE RIDGE BOARD.
- ALL HOGS ON CEILING JOISTS OR RAFTERS ARE 2 X 6 OR 2 X 8 UNLESS NOTED OTHERWISE. IF REQUIRED BY APPLICABLE CODE
- MAXIMUM SPACING OF RAFTER BRACES – RAFTERS CAN BE SPLICED OVER HOGS
FOR 2 X 6 HOG – 6'-0" O.C.
FOR 2 X 8 HOG – 7'-6" O.C.



- ALL ROOF TRUSSES MUST BE BUILT IN ACCORDANCE W/ TRUSS MANUFACTURERS DIRECTIONS
- PROVIDE HURRICANE STRAPS AT ALL ROOF RAFTERS WHERE REQUIRED BY APPLICABLE CODES
- ROOF SHEATHING SHALL BE A MINIMUM OF 1/2" O.S.B. SHEATHING AND SHALL CONFORM TO TABLE R 803.2.1
- WITH NO ROOF PLAN:
 - ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR BETTER FRAMING, UNLESS SHOWN OTHERWISE.
 - USE 2 X 8 @ 16" RAFTERS, UNLESS SHOWN OTHERWISE.
 - MAX. ALLOWABLE SPANS AS PER APPLICABLE CODE,
 - USE (2) 2 X 6 HOGS AT RAFTER WITH (2) 2 X 4 BRACES AT 6'. MAX. SPACING. CARRY BRACES TO PARTITIONS/BEAMS OR MIN. OF (2) 2 X 6 HOGS ON CEILING JOISTS. CUT IN ALL RAFTERS USING RIDGES, VALLEYS, ETC., ONE SIZE LARGER THAN RAFTER SIZE. CEILING JOISTS.
 - ALL BRACED LOADS MUST GO TO FOUNDATION.
- PER SECTION R802.4 ALL CEILING JOIST SPANS SHALL BE IN ACCORDANCE WITH TABLES R802.4(1) AND R802.4(2).
- PER SECTION R802.5 ALL RAFTER SPANS SHALL BE IN ACCORDANCE WITH TABLES R802.5.1(1) THROUGH R802.5.1(8).
- ACCORDING TO SECTION R802.6 ALL RAFTER AND CEILING JOIST ENDS SHALL BEAR NLT 1 1/2" ON WOOD OR METAL AND NLT 3" ON MASONRY OR CONCRETE.

ADDITIONAL CODE INFORMATION

- CONTRACTOR TO NOTIFY APPLICABLE STATE UTILITY LOCATION SERVICES PRIOR TO EXCAVATION
- PER SECTION R312, GUARDRAILS ARE REQUIRED ON PORCHES, BALCONIES AND RAISED FLOOR SURFACES MORE THAN 30" ABOVE GRADE OR FLOOR BELOW. ALL INTERIOR AND EXTERIOR RAILINGS ARE TO BE MINIMUM 36" IN HEIGHT, BE ABLE TO WITHSTAND 200 LBS. OF FORCE AND NOT ALLOW A SPHERE GREATER THAN 3 7/8" IN DIAMETER TO PASS THROUGH. NO RAILING DESIGN W/ LADDER EFFECT IS ALLOWED. HANDRAIL GRIP SIZE AS PER SECTION R 311.7.7.3 IN THE IRC.
- PER SECTION R308.4 & CPSC 16-CFR PART 1201, ALL GLAZING IN HAZARDOUS AREAS SHALL BE SAFETY-TYPED. THEREFORE, ALL SIDELITES NEAR ENTRY DOORS OR ANY WINDOWS THAT ARE IMPACTED BY A DOOR SWING SHALL HAVE THEIR GLASS TEMPERED.
- PER N1102.2.3 ATTIC ACCESS TO BE INSULATED WITH AN R VALUE EQUAL TO THE DIAPHRAGM THAT THEY PENETRATE. ALL ACCESSES MUST BE GASKETED AND CONSTRUCTED TO CONTAIN INSULATION SPILL OVER.
- PER SECTION R310, EGRESS WINDOWS SHALL MEET THE FOLLOWING REQUIREMENTS:
MINIMUM OF (1) 5.7 SQ. FT. CLEAR OPENING PER BEDROOM IS REQUIRED AT THE SECOND LEVEL OR ABOVE.
MINIMUM OF (1) 5.0 SQ. FT. CLEAR OPENING PER BEDROOM IS REQUIRED FOR WINDOWS ON THE FIRST LEVEL.
- PER SECTION R314, SMOKE DETECTORS SHALL BE INTERCONNECTED, RECEIVE PRIMARY POWER FROM THE BUILDING WIRING AND HAVE A BATTERY BACKUP.
- ALL GLASS BATH TUB ENCLOSURES ARE TO BE TEMPERED.
- ALL WINDOWS AT STAIR LANDINGS LESS THAN 60" ABOVE THE FLOOR ARE REQUIRED TO HAVE SAFETY GLAZING.
- GARAGE TO LIVING SPACES ENTRY DOOR TO BE N.L.T. 1 5/8" WITH A FIRE RATING OF N.L.T. 20 MINUTES
- INTERIOR GARAGE WALL & CEILING FINISH TO HAVE N.L.T. 5/8" GYPSUM BOARD ADJACENT TO ALL LIVING AREAS
- ALL BATH VENTILATION FANS MUST DISCHARGE TO OUTSIDE SPACES
- ALL SMOKE DETECTORS MUST BE INTERCONNECTED AS DIRECTED BY CODE.
- ALL ELECTRICAL WORK SHALL BE ACCORDING TO THE APPLICABLE CODE(S).
- PER SECTION R703.8 CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT ALL VALLEYS AND ROOF WALL WALL INTERSECTIONS
- PER SECTION R308.4 PROVIDE SPECIALTY GLAZING AS REQUIRED AT "HAZARDOUS LOCATIONS"
- ALL BATH AND SHOWER WALLS WITH SHOWER HEADS SHALL HAVE NONABSORBENT SURFACES UP TO 6'-0" IN HEIGHT AS PER SECTION R307.2
- ALL STAIRWAYS SHALL BE ILLUMINATED AS PER SECTION R303.6 AND HAVE CONTROLS AS PER SECTION R303.6.1
- ENERGY EFFICIENCY CALCULATIONS SHALL BE IN ACCORDANCE WITH N1101.2.1 IF REQUIRED BY CITY OFFICIALS
- NOTE NOT USED
- ALL WALL COVERINGS SHALL BE SECURELY FASTENED IN ACCORDANCE WITH TABLE R703.4 PER SECTION R703.4
- PROVIDE MECHANICAL VENTILATION AT ALL TOILET ROOMS IN ACCORDANCE W/ SECTION M1507
- ALL OUTLETS IN WET LOCATIONS SHALL BE PROVIDED AS REQUIRED PER SECTIONS E3801.4, E3802.6, E3802.1, & E3802.3
- AS PER N1101.9 A PERMANENT ENERGY CODE CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL.
- AS PER N1102.1 FENESTRATION REQUIREMENTS FOR EXTERIOR WINDOWS AND DOORS SHALL BE U 0.35 OR LOWER, ONE OPAQUE DOOR IS EXEMPT FROM THE U FACTOR PER N1102.3.4. UP TO 15 SQUARE FEET OF WINDOW AREA IS ALSO EXEMPT FROM MEETING 0.35 U.
- WINDOW SILL HEIGHT FOR ALL SECOND FLOOR WINDOWS SHALL BE AS PER SECTION R612.2.
- PROVIDE CARBON MONOXIDE DETECTORS PER IRC R315.1 AND R315.3
- PROVIDE FIRE EXTINGUISHER IN KITCHEN PER R329
- PER R302.5.2 PROVIDE MINIMUM 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIALS AND NO OPENINGS INTO GARAGE
- PER M1602.2 OUTDOOR AND RETURN AIR FOR FORCED AIR-SYSTEMS PROHIBITED FROM GARAGE.
- PER N1102.4.3 ALL FIREPLACES, INCLUDING WOOD BURNING, MUST HAVE THEIR FIRE BOX OPENINGS SEALED AND GASKETED AND RECEIVE COMBUSTION AIR DIRECTLY FROM OUTSIDE.

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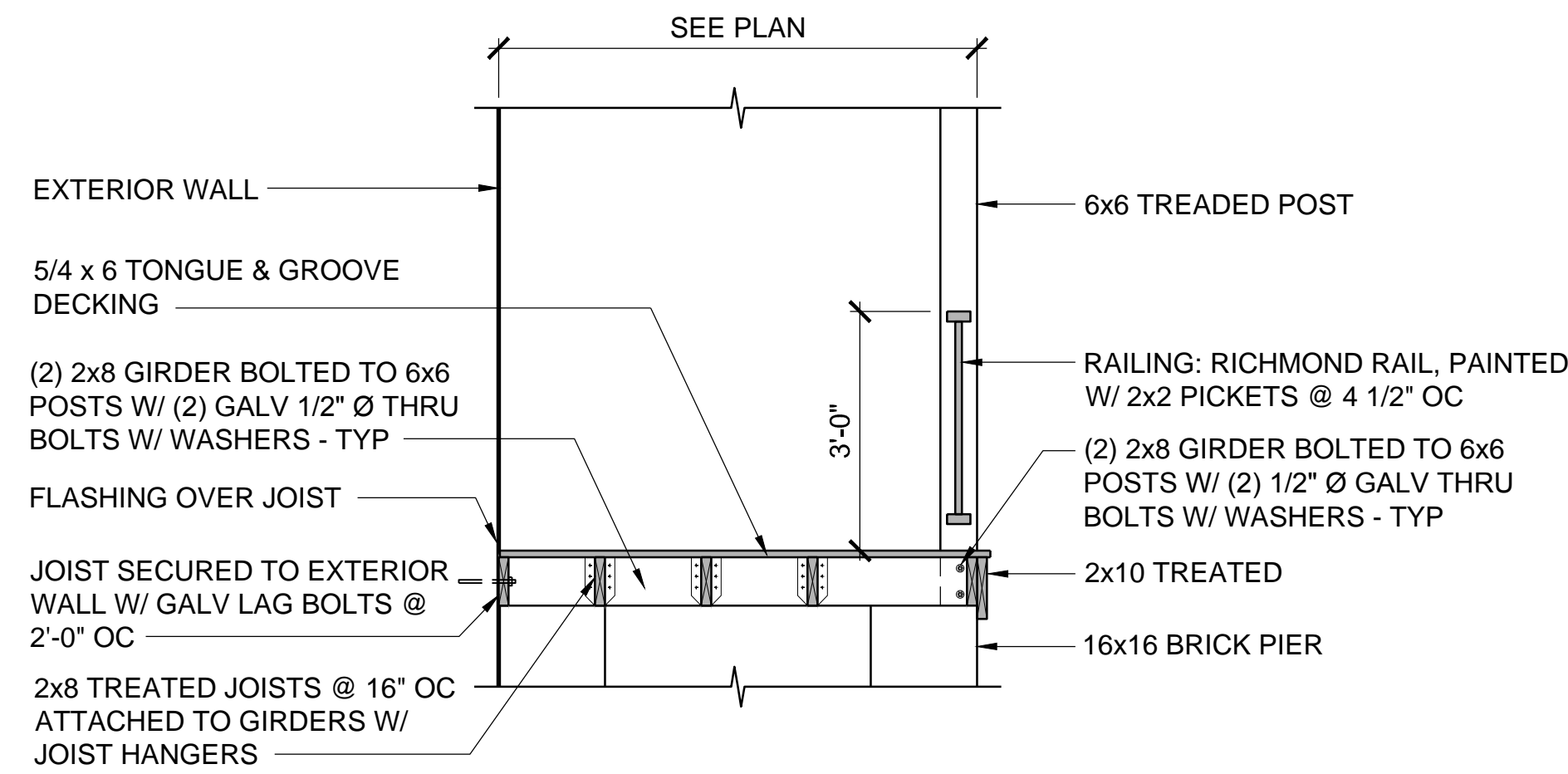
SINGLE FAMILY RESIDENCE

3404 E BROAD STREET

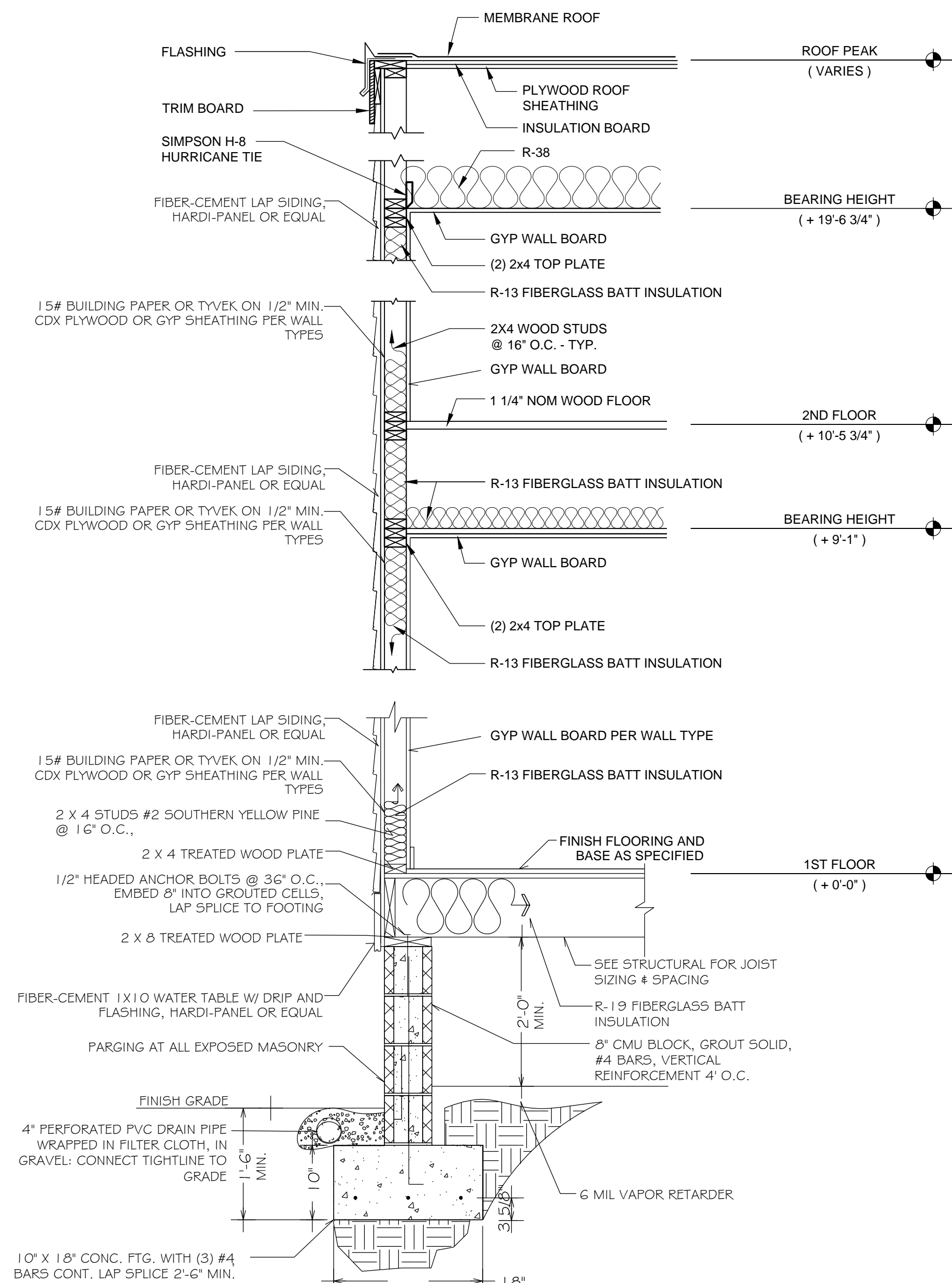
RICHMOND, VA 23223

DATE: 02-20-15

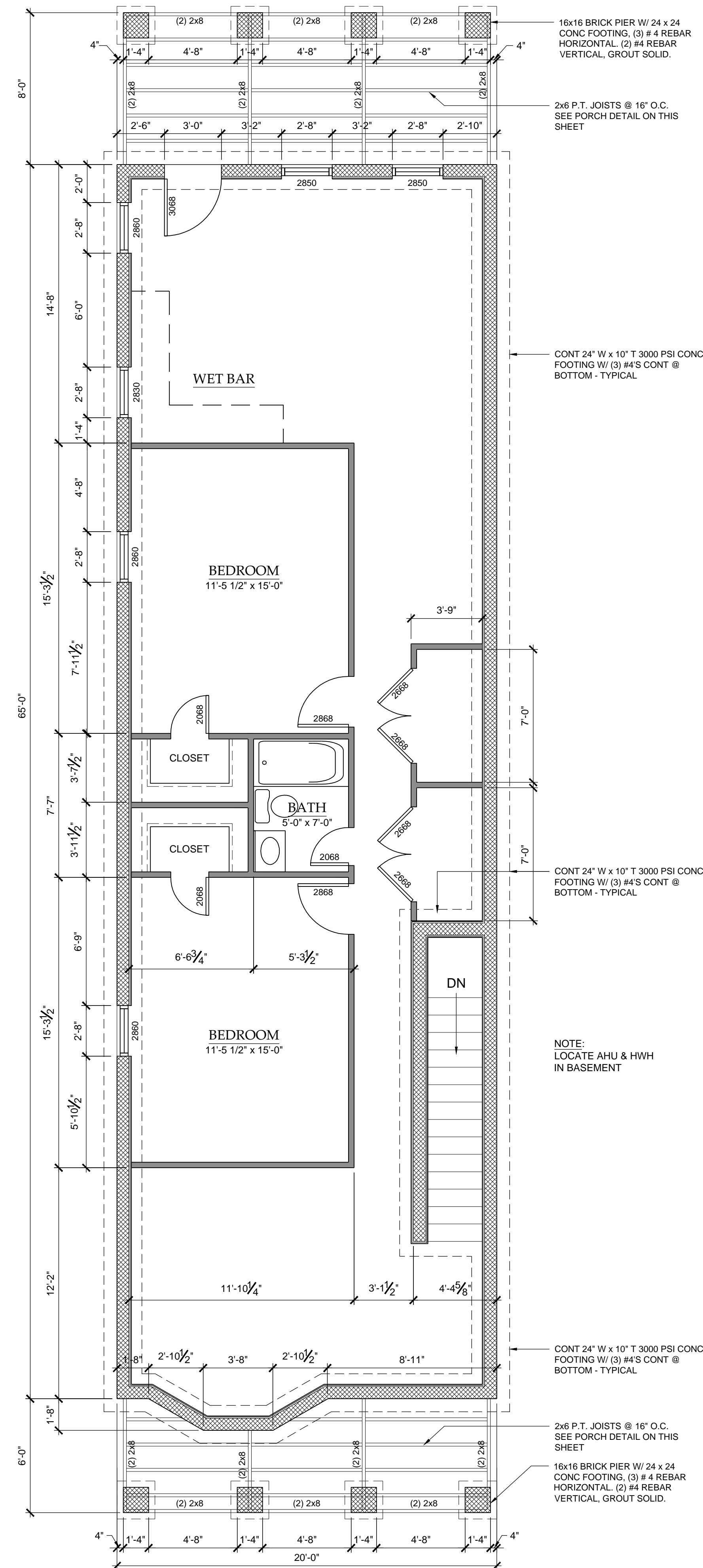
A-1



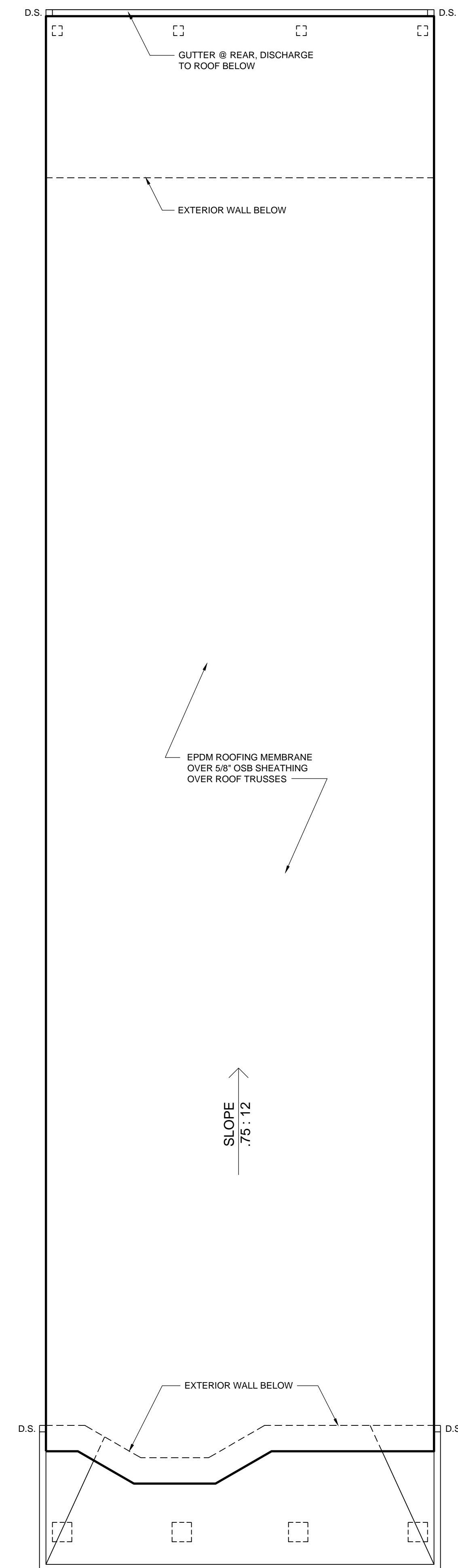
TYPICAL PORCH DETAIL
SCALE: 1/2" = 1'-0"



TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"

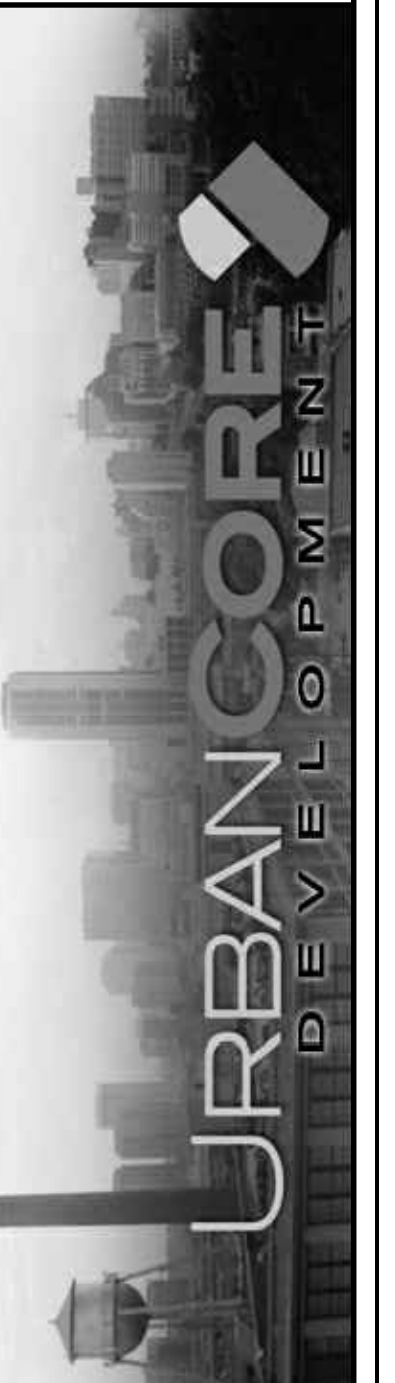


BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

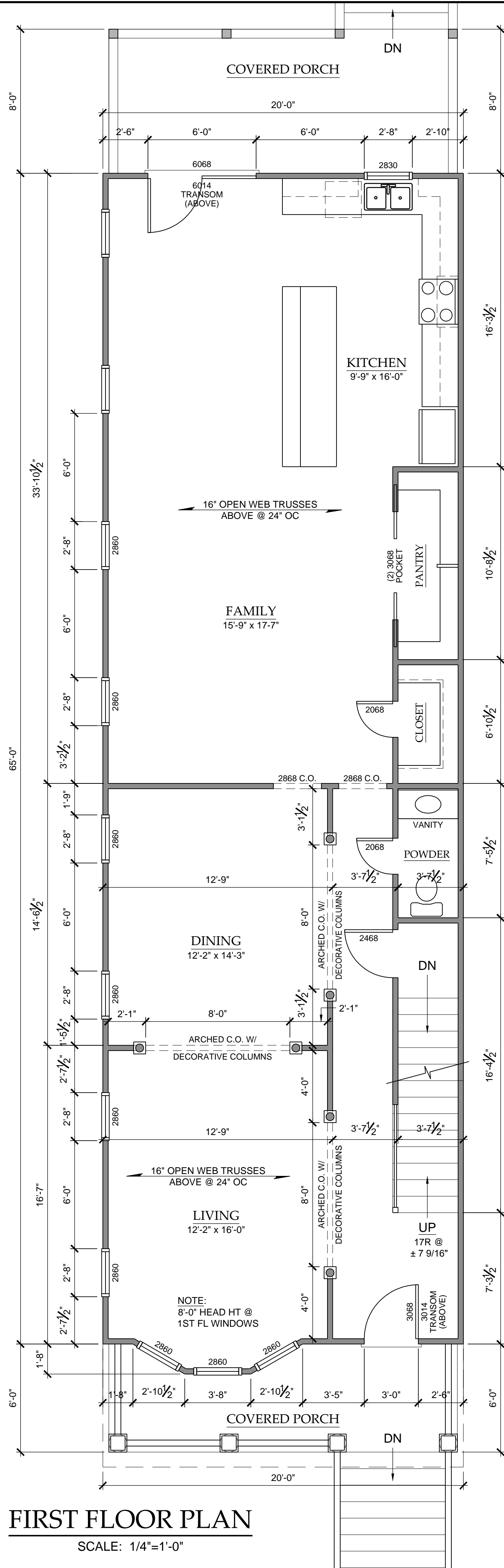
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DATE: 02-20-15

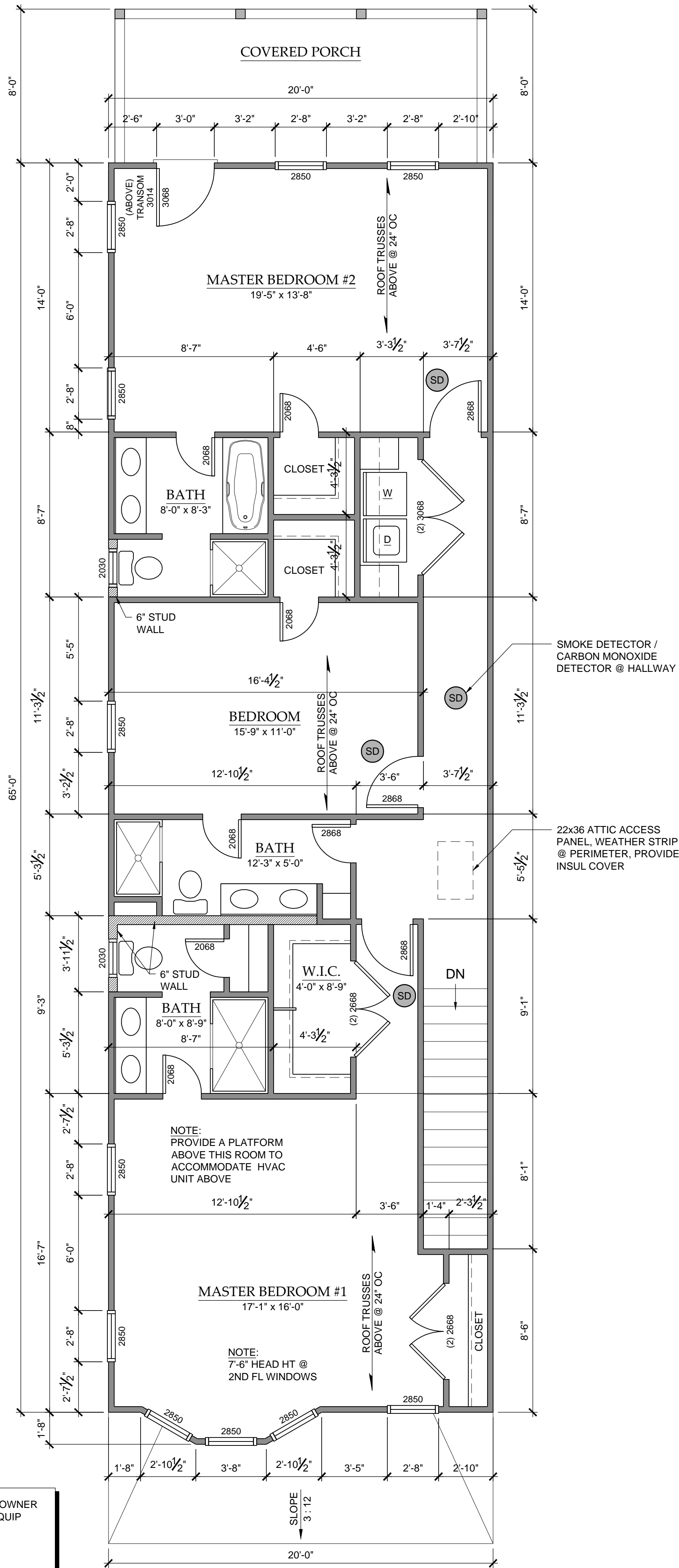
A-2



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTES:

1. COORDINATE ALL FINISHES W/ OWNER
2. COORDINATE ALL FIXTURE & EQUIP SELECTIONS W/ OWNER
3. COORDINATE ALL CABINETRY SELECTIONS W/ OWNER
4. BEDROOM WINDOWS TO BE DOUBLE-HUNG ALUMN CLAD WOOD
5. ALL OTHER WINDOWS TO BE SINGLE-HUNG ALUMN CLAD WOOD



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

SINGLE FAMILY RESIDENCE

3404 E BROAD STREET

RICHMOND, VA 23223

DATE: 02-20-15

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- ARCHITECTURAL KEY NOTES: 1
1. FOUNDATION: SUPERIOR WALL FOUNDATION

2. FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING

3. RAILING: RICHMOND RAIL, PAINTED

4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED, 4X4 INTERIOR POST

5. PORCH ROOFING: MEMBRANE, BLACK FINISH

6. WINDOWS: MW JEFFERSON 300 SERIES WINDOW

7. DOORS: SEE PLAN FOR SIZE

8. SIDING AND TRIM: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)

9. FASCIA BOARDS: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)

10. WOOD STEPS & RAILING: RICHMOND STYLE

11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD

12. UPPER ROOF: MEMBRANE ROOF OVER 5/8" OSB

13. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED, VERTICAL 6X6 POSTS

14. PORCH PIER: 16"x16" BRICK PIER, 24"x24"x12" CONCRETE FOOTING. (3) #4 REBAR HORIZONTAL, (2) #4 REBAR VERTICAL, GROUT SOLID.

15. WOOD LATTICE PANEL

16. NOT USED

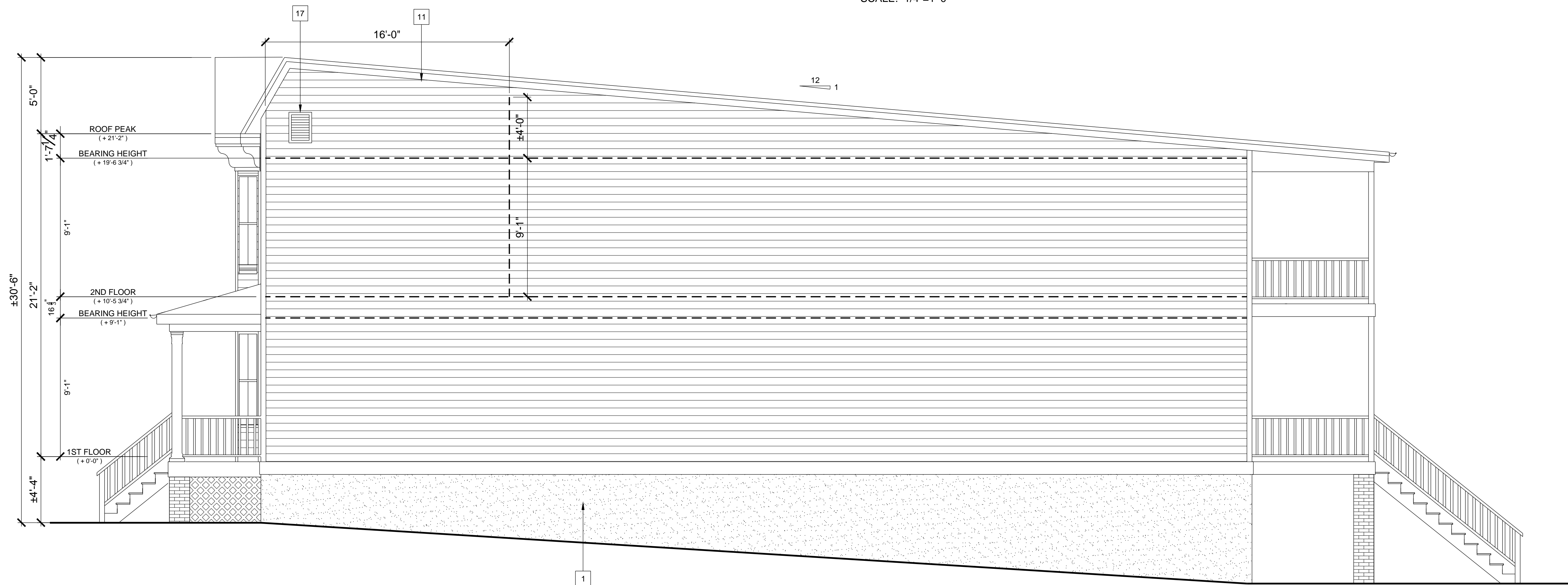
17. 18" x 24" ATTIC VENT

18. P.T. WOOD PORCH FRAMING, PAINTED

19. SYNTHETIC SLATE

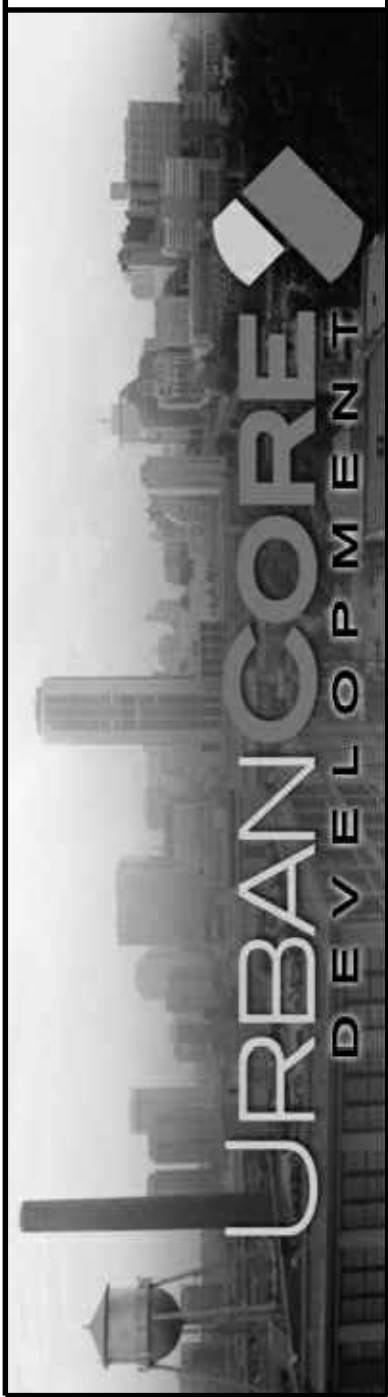


FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

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SINGLE FAMILY RESIDENCE
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RICHMOND, VA 23223

DATE: 02-20-15

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- ARCHITECTURAL KEY NOTES: 1
1. FOUNDATION: SUPERIOR WALL FOUNDATION
 2. FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING
 3. RAILING: RICHMOND RAIL, PAINTED
 4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED, 4X4 INTERIOR POST
 5. PORCH ROOFING: MEMBRANE, BLACK FINISH
 6. WINDOWS: MW JEFFERSON 300 SERIES WINDOW
 7. DOORS: SEE PLAN FOR SIZE
 8. SIDING AND TRIM: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)
 9. FASCIA BOARDS: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)
 10. WOOD STEPS & RAILING: RICHMOND STYLE
 11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
 12. UPPER ROOF: MEMBRANE ROOF OVER 5/8" OSB
 13. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED, VERTICAL 6X6 POSTS
 14. PORCH PIER: 16"X16" BRICK PIER. 24"X24"X12" CONCRETE FOOTING. (3) #4 REBAR HORIZONTAL. (2) #4 REBAR VERTICAL, GROUT SOLID.
 15. WOOD LATTICE PANEL
 16. NOT USED
 17. 18" x 24" ATTIC VENT
 18. P.T. WOOD PORCH FRAMING, PAINTED
 19. SYNTHETIC SLATE



REAR ELEVATION

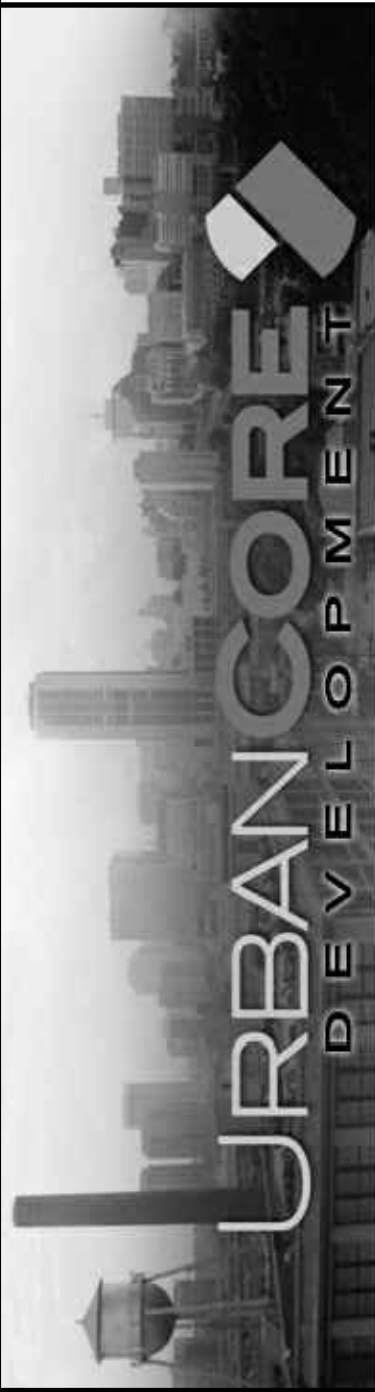
SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

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SHOP DRAWING GENERAL INFORMATION PAGE

CODES & STANDARDS

Building Code: 2009 IRC, 2009 VRC, 2006 IBC, 2006 IRC, 2003 IBC, 2003 IRC

ESR Report Number: ESR-1662, August 2010

3rd Party Inspection Agency: PFS Corporation, Madison WI

Quality Assurance Manual: Superior Walls of America 2005 Edition

Site Preparation Guide: Superior Walls Builder Guideline Booklet Rev. June 2010

Fire Test Standards: ASTM E84 ANSUL 1715

WALL MATERIALS

Concrete Compressive Strength: 5,000 PSI

Water/Cement Ratio: < 0.40

Reinforcing Steel: No. 4 and larger - 60,000 PSI

No. 3 and smaller - 40,000 PSI

Secondary Reinforcement: Polypropylene Fiber

Embedded Wood Blocking: Preservatively Pressure Treated

EPS Foam Insulation: Flame Spread: 20

Smoke Development: 240

XPS Foam Insulation: Flame Spread: 5

Smoke Development: 165

SITE/WALL CONDITIONS

Frost Depth: 18 + Inches

Assumed Soil Bearing Capacity: 1,500 PSF 2,000 PSF

Seismic Category: B

Basic Wind Speed: 100 mph

Wall Loading: 5,500 Pounds/LF (uniform) Maximum

Brickledge Loading: 2,900 Pounds/LF Maximum

Crushed Stone Footing Depth: 6 - 8 Inches thick minimum

Crushed Stone Size: 3/8 Inch and smaller (cleaned)

Backfill Material: 60 L.B/CF Equivalent Fluid Pressure Max (see Builder Guideline Booklet for more information)

Beam Pocket(s) & Point Load(s): 36,000 Pound Maximum - Data supplied by Customer/Builder (see plan for location and sizes)

GENERAL NOTES

1. Jobette shall be prepared by the builder in accordance with the Superior Walls of America Builder Guideline Booklet - Site Preparation and Framing Attachment Requirements (Rev. June 2010).

2. Auxiliary drain pipe must be four (4) inch diameter perforated, covered with filter fabric and directed to a sump pit or daylight.

3. Builder shall establish the elevation benchmark (if necessary).

4. Builder shall insure proper site access for trucks and crane.

DRAWING NOTES

1. All measurements for brick, stone or support ledges are from Top Of Wall (TOW).

2. Drawings are not to scale.

DAMP PROOFING

Superior Walls are recognized by the ICC-ES as an alternative method of providing foundation wall damp proofing. No additional damp proofing is required. (See ESR-1662 & ICC-ES Legacy Report 21-72)

PLEASE NOTE

To comply with building code requirements, the framing/decking connections at the top of the Superior Wall and floor slab at the bottom of the Superior Wall MUST be completed PRIOR to backfilling.

CUSTOMER RELEASE

The attached drawing was created from information and dimensions provided by the customer/builder. Superior Walls of Central Virginia, Inc. is not responsible for deviations from the Blue Print or information provided by the customer/builder.

I have reviewed the attached drawing & all of the dimensions and objects therein; I understand that the Superior Walls will be custom manufactured per this drawing specifically for my project. By signing below I am certifying that I have reviewed the attached drawing and all of its listed dimensions and I accept FULL RESPONSIBILITY for any and all measurements and information provided by me/my associates/my company.

PROJECT:

Job Number: 14-3906

Job Name: 3404 EAST BROAD ST. JOB

BUILDER:

Company: URBANCORE DEVELOPMENT

Contact: ANDY BEACH

Phone: 804-212-6515

Cell:

MUNICIPALITY:

CITY OF RICHMOND County

Superior Walls
of Central Virginia

10101 Superior Way
Amelia, VA 23002
804-561-9255
804-561-5819 fax
www.superiorwallsva.com

DRAWING DATA:

Job Number: 14-3906

Sales Rep: DAVE PLEASANTS

Drawn By: C. LAYNE

Date Created: 10-17-14

Date Modified: 10-17-14

Revision: 8

Pages: 5

Foundation plan view showing wall layout, dimensions, and notes. The drawing includes a rectangular wall layout with various dimensions and annotations. Key notes include: "8\" XI WALLS", "Superior Walls Foundations By: Superior Walls of Central VA", "Project Name: 3404 EAST BROAD", "Owner: 3404 EAST BROAD", "Builder: URBANCORE DEVELOPMENT", "Salesman: D. PLEASANTS", "Drawn By: C.L.", "Created: 10/17/2014", "Last Modified: 10/17/2014", "Revision: 8", "Comments: REWIND TO SCALE", "File Name: 3404_east_broad3906", "Drawing Type: XI", "NOT TO SCALE", "These drawings are approved for final production as illustrated and not subject to change.", "Customer Signature", "Date".

APPROVED: DATE:

Drawing Summary Block - All-Layers

8/8 XI Walls/Panels

20 Slab Connectors

8/8 XI Walls/Panels Type: 9' Linear Feet: 170'-10_3/4'

Drawing Notes

SPECIAL STAIRWELL HEADER

- Object Details in Inches -

ID	#	Obj	Desc	Width	Height	Header	Door (D.O.W)
A	1	DR		38_1/2	82_1/2	21_1/2	4
B	2	WIN		34_1/2	62_1/2	21_1/2	
C	2	WIN		34_1/2	74_1/2	21_1/2	

PLEASE REFER TO THE
'SHOP DRAWING GENERAL INFORMATION PAGE'
PRIOR TO SIGNING YOUR APPROVAL OF THESE SHOP DRAWINGS.

3D perspective view of the foundation wall. The drawing shows a long, rectangular wall with a sloped top and a base. The wall is shown in a perspective view, highlighting its length and depth. The drawing includes a box with the following information: "Project Name: 3404 EAST BROAD", "Owner: 3404 EAST BROAD", "Builder: URBANCORE DEVELOPMENT", "Modified: 10/17/2014", "Revision: 8", "Type: XI", "NOT TO SCALE", "PLEASE REFER TO THE 'SHOP DRAWING GENERAL INFORMATION PAGE' PRIOR TO SIGNING YOUR APPROVAL OF THESE SHOP DRAWINGS.", "APPROVED: DATE:".

3D perspective view of the foundation wall. The drawing shows a long, rectangular wall with a sloped top and a base. The wall is shown in a perspective view, highlighting its length and depth. The drawing includes a box with the following information: "Project Name: 3404 EAST BROAD", "Owner: 3404 EAST BROAD", "Builder: URBANCORE DEVELOPMENT", "Modified: 10/17/2014", "Revision: 8", "Type: XI", "NOT TO SCALE", "PLEASE REFER TO THE 'SHOP DRAWING GENERAL INFORMATION PAGE' PRIOR TO SIGNING YOUR APPROVAL OF THESE SHOP DRAWINGS.", "APPROVED: DATE:".

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(804) 562-2926

URBANCORE DEVELOPMENT logo. The logo features a stylized city skyline with a large, bold, sans-serif font for the word "URBANCORE" and a smaller, bold, sans-serif font for the word "DEVELOPMENT".

SINGLE FAMILY RESIDENCE
3404 E BROAD STREET
RICHMOND, VA 23223

DATE: 02-20-15

SD-1



LEFT ELEVATION

SCALE: 1/4"=1'-0"

SINGLE FAMILY RESIDENCE

3404 E BROAD STREET

RICHMOND, VA 23223

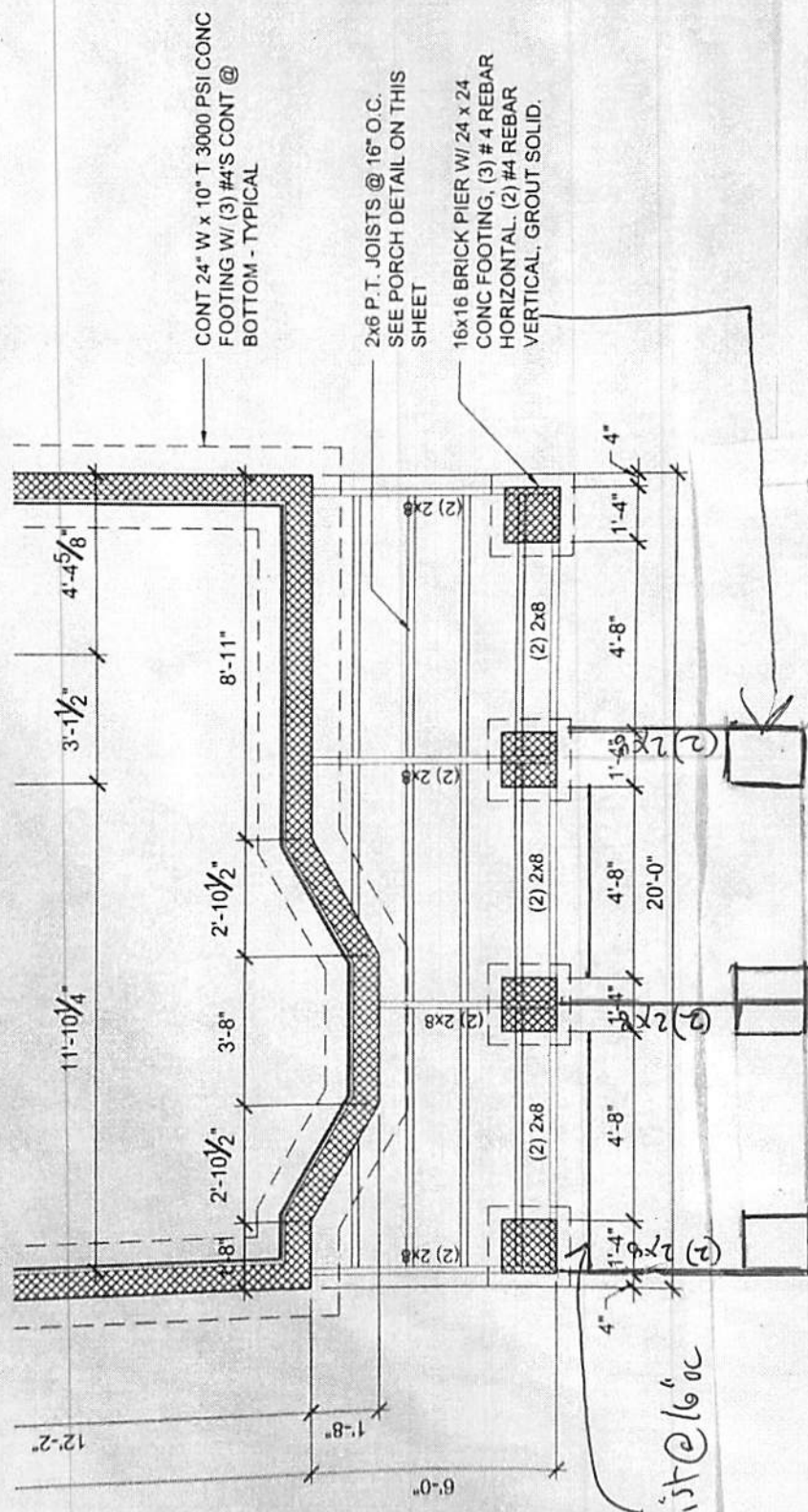
DATE: 02-20-15

A-5

Richmond
Rail

Brick Pier

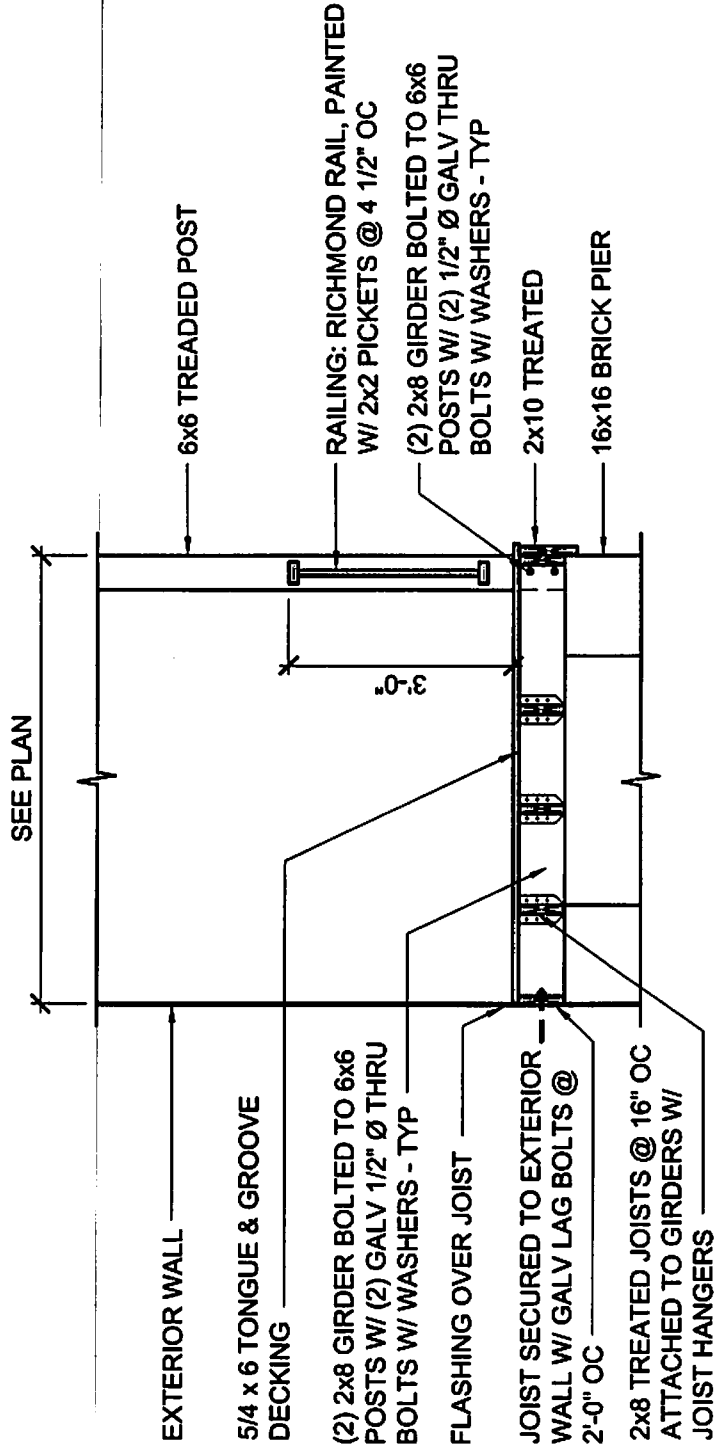
Lattice



CONT 24" W x 10" T 3000 PSI CONC
FOOTING W/ (3) #4'S CONT @
BOTTOM - TYPICAL

2x6 P.T. JOISTS @ 16" O.C.
SEE PORCH DETAIL ON THIS
SHEET

16x16 BRICK PIER W/ 24 x 24
CONC FOOTING, (3) # 4 REBAR
HORIZONTAL, (2) #4 REBAR
VERTICAL, GROUT SOLID.



TYPICAL PORCH DETAIL

SCALE: 1/2" = 1'-0"





