INTRODUCED: April 25, 2022

AN ORDINANCE No. 2022-125

To authorize the special use of the property known as1308 North 26th Street for the purpose of two single-family attached dwellings, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality by the City Attorney

PUBLIC HEARING: MAY 23 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 1308 North 26th Street, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of two single-family attached dwellings, which use, among other things, is not currently allowed by section 30-710.1, concerning the number of spaces required for particular uses, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES:	8	NOES:	0	ABSTAIN:	_
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ADOPTED:	MAY 23 2022	REJECTED :		STRICKEN:	
-		- ·		• •	

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. Finding. Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1308 North 26th Street and identified as Tax Parcel No. E000-0620/012 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled "Plat Showing Improvements on Lot 12, Square 37, 'Heckler's Plan', in the City of Richmond, Virginia," prepared by McKnight & Associates, P.C., and dated July 30, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as "the Property," is hereby permitted to be used for the purpose of two single-family attached dwellings, hereinafter referred to as "the Special Use," substantially as shown on the plans entitled "Plot Plan Showing Proposed Improvements on No. 1308 and No. 1308 ½ N. 26th Street, Lot 12, Square 37, 'Heckler's Plan', in the City of Richmond, Virginia," prepared by McKnight & Associates, P.C., and dated October 4, 2021, and entitled "Union Hill at 1308 N 26th Street," prepared by nVisionTEK, and dated November 1, 2021, and hereinafter referred to, collectively, as "the Plans," copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as "the Owner." The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as two single-family attached dwellings, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed three stories, substantially as shown on the Plans.

(c) All building materials and elevations shall be substantially as shown on the Plans.Vinyl siding shall not be a permitted building material.

(d) No off-street parking spaces shall be required for the Special Use.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(f) Prior to the issuance of any certificate of occupancy for the Special Use, the division of the Property into two lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. General Terms and Conditions. This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as

amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. Effective Date. This ordinance shall be in force and effect upon adoption.

A TRUE COPY: TESTE: andin D. Ril

City Clerk



EDITION:1

RECEIVED By CAO Office at 1:48 pm, Mar 15, 2022

2022-055



City of Richmond

900 East Broad Street 2nd Floor of City Hall Richmond, VA 23219 www.rva.gov

Item Request File Number: PRE.2022.0087

O & R Request

DATE: March 14, 2022

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request) (This in no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review March Vance

RE: To authorize the special use of the property known as 1308 North 26th Street for the purpose of up to two single-family attached dwellings, upon certain terms and conditions.

ORD. OR RES. No.

PURPOSE: To authorize the special use of the property known as 1308 North 26th Street for the purpose of up to two single-family attached dwellings, upon certain terms and conditions.

REASON: The subject property is located in the R-6 Single-Family Attached Residential zoning district. Single-family attached dwellings are permitted uses in this district. However, not all of the lot feature requirements of the zoning district can be met. Therefore a Special Use Permit is requested in order to complete this project.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its May 2, 2022 meeting.

BACKGROUND: The subject property is located on the west side of North 26th Street near midblock between S and T Streets. It is a vacant lot measuring 140 feet deep and 35 feet wide, for a total of 4,900 square feet. There are a mix of single-family attached and detached dwellings in the block. Properties to the

east and south are generally developed with single- and two-family dwellings. To the west and north lie the N 25th Street and Nine Mile Road commercial corridors along with The Market at 25th. To the south of the Property along N 26th Street lie various commercial and residential uses along with several vacant properties.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: April 11, 2022

CITY COUNCIL PUBLIC HEARING DATE: May 9, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission May 2, 2022

AFFECTED AGENCIES: Office of Chief Administration Officer Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Repot, Plans, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036

Application for SPECIAL USE PERMIT



Department of Planning and Development Review Land Use Administration Division 900 E. Broad Street, Room 511 Richmond, Virginia 23219 (804) 646-6304 <u>http://www.richmondgov.com/</u>

Application is hereby submitted for: (check one)

- 🗹 special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address: 1308 N 26t	n Street	Date:
Tax Map #: E0000620012	Fee: \$300	
Total area of affected site i	n acres: 0.112	

(See *page 6* for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-6

Existing Use: Vacant

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report) Construction of two (2) single-family attached dwellings.

Existing Use: Vacant

Is this property subject to any previous land use cases?

Yes

If **Yes**, please list the Ordinance Number:

Applicant/Contact Person: Mark Baker

Company: Baker Development Resources				
Mailing Address: 530 East Main Street, Suite 730				
City: Richmond	State: VA Zip Code: 23219			
Telephone: _(804) 874-6275	Fax: _()			
Email: markbaker@bakerdevelopmentresources.com				

Property Owner: CCR3 HOLDINGS LLC

If Business Entity, name and title of authorized signee: Development Executive

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(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 11 S 12th Street, #115			
City: Richmond	State: VA	Zip Code: 23219	
Telephone: _(<u>804</u>) <u>999-4449</u>	Fax: _()	
Email: josh@centercreekhomes.com			

Property Owner Signature:

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

November 18, 2021

Special Use Permit Request 1308 N 26th Street, Richmond, Virginia Map Reference Number: E000-0620/012

Submitted to:	City of Richmond
	Department of Planning and Development Review
	Land Use Administration
	900 East Broad Street, Suite 511
	Richmond, Virginia 23219
Submitted by:	Baker Development Resources
	530 East Main Street, Suite 730
	Richmond, Virginia 23219

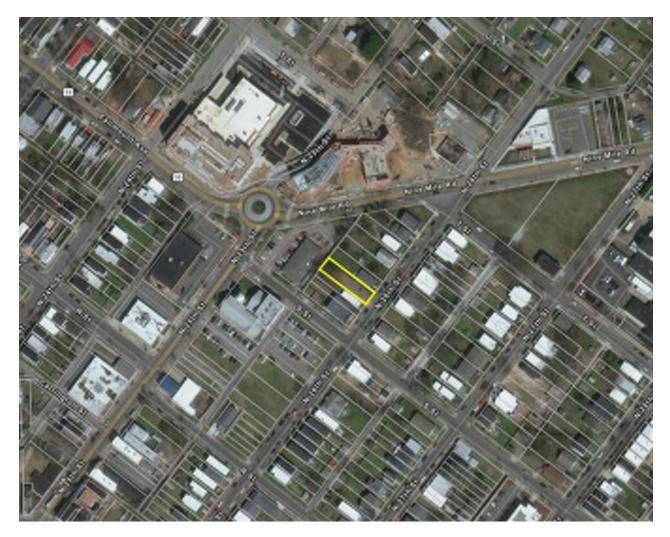
Introduction

The property owner is requesting a special use permit (the "SUP") for 1308 N 26th Street (the "Property"). The SUP would authorize the construction of two (2) single-family attached dwellings on the currently vacant Property. While the single-family attached dwelling use is permitted by the underlying R-6 Single Family Attached Residential zoning district, some of the applicable feature requirements cannot be met, and therefore, the SUP is required.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is located on the west side of N 26th Street between S and T Streets and consists of one parcel, which is referenced by the City Assessor as tax parcel E000-0620/012. The Property is 35 feet wide, 140 feet deep and contains approximately 4,900 square feet of lot area and is currently vacant.



There are a mix of single-family attached and detached dwellings in the block. Properties to the east and south are generally developed with single- and two-family dwellings. To the west and north lie the N 25th Street and Nine Mile Road commercial corridors along with The Market at 25th. To the south of the Property along N 26th Street lie various commercial and residential uses along with several vacant properties.

The Property, and those nearby, lie in the 25th and Nine Mile Neighborhood Node. The Richmond 300 Master Plan describes nodes as "places in Richmond where people and jobs are today and continue to grow into the future. Nodes are the places of convergence of many uses and include offices, shopping, housing, and/or public gathering places as well as access to multiple modes of transportation."

EXISTING ZONING

The Property is zoned R-6 Single-Family Attached Residential, which permits the proposed single-family attached dwelling use. The surrounding properties along the N 25th and Nine Mile corridors are zoned a mixture of B-2, B-5, and UB-2 Business Districts. Southeast of the property along N 28th Street lies a block of properties which are zoned a combination M-1 Light Industrial and R-63 Multifamily Urban Residential.

TRANSPORTATION

Located 0.2 miles from the Property, less than a five-minute walk, is the 25th and S Street bus stop which serves the 7 and 12 bus lines. These lines run every 30 minutes and connect with the Pulse BRT, thereby providing connectivity throughout the City. The Property is also located a half mile from the Mosby and Fairmount bus stop which serves the 5 bus line. This line is described as a "high-frequency line" that runs every fifteen minutes.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the "Master Plan") suggests "Neighborhood Mixed-Use" for the Property. This land use category is described as "existing or new highly-walkable urban neighborhoods that are predominantly residential." The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. Single-family dwellings are a primary use in the Neighborhood Mixed-Use designations which also encourages that developments reinforce a gridded street pattern to increase connectivity. Single-family dwellings are the contemplated primary use in the Residential future land use designation (p. 54). The Property is also located within the 25th and Nine Mile Neighborhood Node which is described as a local crossroads typically within or next to larger residential areas that offers goods and services to nearby residents, employees, and visitors.

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request, including:

• Equitable Transportation, Objective 6.1, which is to "increase the number of residents...along enhanced transit corridors" as Richmond Highway is shown as being an enhanced transit corridor, and is within close proximity to the Property (Figure 28, p. 119).

- High-Quality Places, Objective 1.4, to "maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards"
- High Quality Places, Objective 4.1, to "create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City," as the request introduces thoughtfully-designed new construction in a manner not otherwise assured by-right.
- Inclusive Housing chapter, Objective 14.5, to "encourage more housing types throughout the City and greater density...at nodes...", as the request is a more efficient use of the Property than could be achieved by-right in the R-6 zoning district.

Proposal

PROJECT SUMMARY

The proposed development includes the construction of two (2) new, single-family attached dwellings on the vacant Property consistent with the historical use of the Property.

PURPOSE OF REQUEST

The Property is 35 feet in width which is equal to, or larger than, the other properties within the block. Historic Sanborn maps show two attached dwellings previously located on the Property. Therefore, the applicant would now like to construct two, new single-family attached dwellings, consistent with the historical use of the Property. While this request is consistent with both the lot pattern and historic development pattern in the vicinity, some of the underlying feature requirements, including unit width and off-street parking cannot be met and therefore, a SUP is required.

The proposed lot width and area are compatible with other lots in the vicinity, which are all characteristically smaller urban lots. In the subject block, a majority of the lots are developed with dwellings that do not comply with the current R-6 requirements. Based on this historic lot pattern, the majority of lots in the vicinity are nonconforming with regard to lot area. Furthermore, all properties located on the western portion of the block of N 26th Street bound by S and T Streets do not have rear alley access and therefore cannot provide off-street parking.

In exchange for the SUP, the intent of this request is to ensure a high-quality infill development that is consistent with the objectives of the Master Plan. The overall project would be appropriately efficient and would be compatible with the existing development in the vicinity. The quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.

PROJECT DETAILS

The two new single-family attached dwellings would each be approximately 14 feet in width and three stories in height and are consistent with historic development pattern found throughout the neighborhood. The third floors would be set back and the building design would utilize a false mansard roof at the second story in order to achieve the appearance of a two-story building from the street. This design has been utilized elsewhere in the vicinity.

Each dwelling would contain three bedrooms and two-and-one-half bathrooms and approximately 2,207 square feet of floor area. An optional third-floor bathroom would allow future homeowners to meet the needs of their individual families. The dwelling floor plans are spacious and modern with open living areas and kitchens along with a primary bedroom which contains an en suite bathroom and walk in closet.

The new dwellings would be clad in cementitious lap siding in order to ensure quality and consistency in appearance with many other dwellings in the vicinity. A full-width front porch and rear facing balcony on the third-floor allow for additional outdoor living space and, potentially, views of the City of Richmond.

Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

• Be detrimental to the safety, health, morals and general welfare of the community involved.

The proposed special use permit for high-quality infill construction will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

• Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The negligible traffic generation and one off-street parking spaces for each of the six dwelling units will create no congestion on streets, roads, alleys or any other public right of way.

• Create hazards from fire, panic or other dangers.

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

• Tend to overcrowding of land and cause an undue concentration of population.

The proposed special use permit will not tend to over crowd the land or create an undue concentration of population.

• Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.

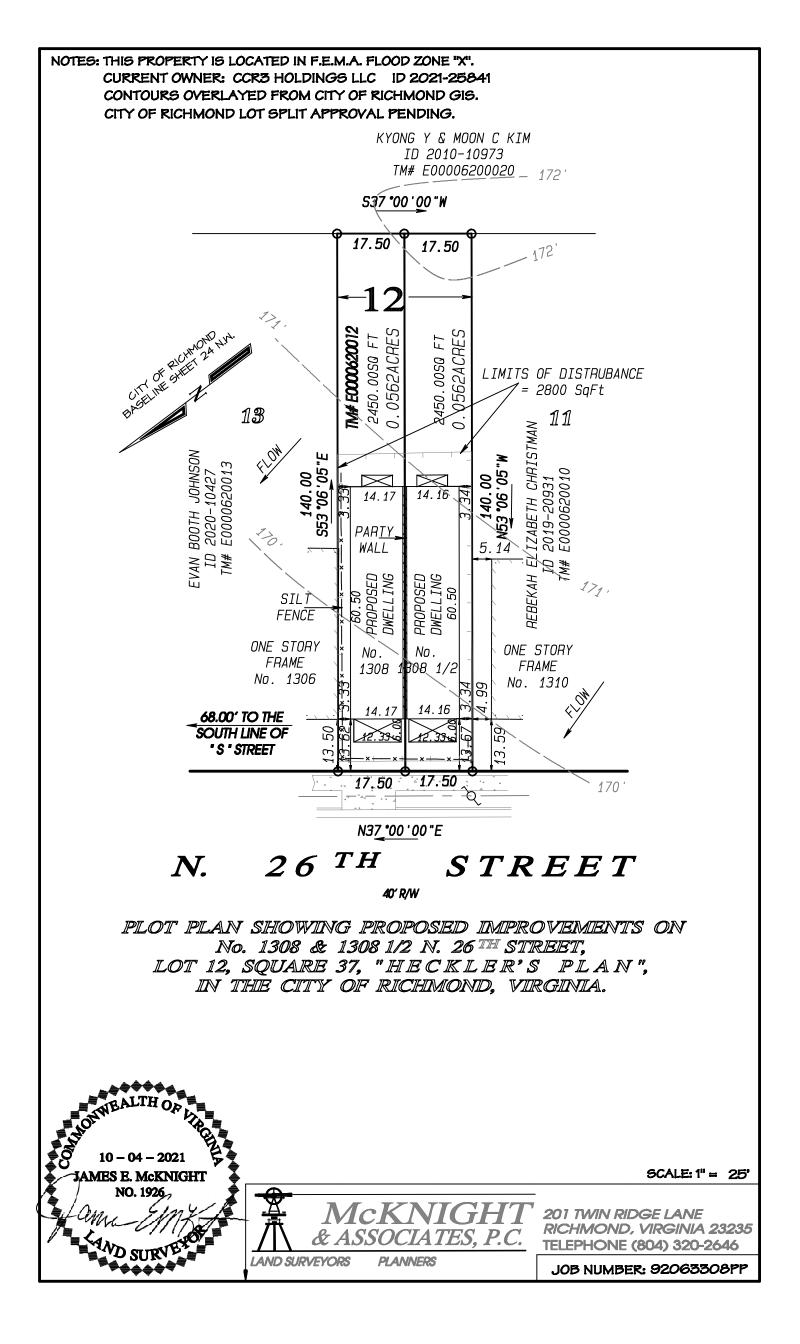
The special use permit would not adversely affect the above referenced City services.

• Interfere with adequate light and air.

The light and air available to the subject and adjacent properties will not be affected. The proposed dwellings are of compatible massing and spacing to the existing dwellings throughout the neighborhood. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.

Summary

In summary we are enthusiastically seeking approval for the construction of two single-family attached dwellings on the Property. The SUP represents an ideal, small-scale urban infill development for this location that is historically appropriate and would contribute to the vibrancy of the block with street-oriented full width front porches. These dwellings provide new housing opportunities for the neighborhood which are consistent with the goals of the new Richmond 300 Master Plan. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.



UNION HILL AT 1308 N 26TH STREET PROJECT ADDRESS: 1308 N 26TH STREET, RICHMOND, VA 23223 3-STORY 3-BEDROOM, 3-1/2 BATH, NEW CONSTRUCTION 2-FAMILY ATTACHED RESIDENCE WITH OPEN



ABBREVIATIONS LEGEND

AB	ANCHOR BOLT
ABV	ABOVE
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
APPROX	APPROXIMATE
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BO	BOTTOM OF
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS OR CONTINUE
CPT	CARPET
СТ	CERAMIC TILE
CW	COLD WATER
DBL	DOUBLE
DIA	DIAMETER
DIM	DIMENSION
DR	DOOR
DS	DOWN SPOUT
DW	DISHWASHER
DWG	DRAWING
DRY	DRYER
EA	EACH
EJ	EXPANSION JOINT
ELV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXP	EXPOSED
EXT	EXTERIOR
FD	FLOOR DRAIN
FF	FINISH FLOOR
FIN	FINISH
FLR	FLOOR (OR FLOORING)
FND	FOUNDATION
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FRAMING
FTG	FOOTING
GWB	GYPSUM
HB	HOSE BIB
HDR	HEADER
HGT	HEIGHT
HR	HANDRAIL
HVAC	HEATING / VENTILATING / AIR CONDITIONING
HW	HOT WATER
INSUL	INSULATION
INT	INTERIOR
JST	JOIST
JT	JOINT
LAV	LAVATORY
LVL	LAMINATED VENEER LUMBER

EGE	:ND
λX	MAXIMUM
ECH	MECHANICAL
R	MANUFACTURER
N	MINIMUM
DG	MOLDING
)	MASONRY OPENING
S	NOT TO SCALE
0	ON
2	ON CENTER
4	OVERHEAD
SB	ORIENTED STRAND BOARD
RF	PERFORATED
SM	PLATE GLASS MIRROR
	PROPERTY LINE
Y	PLYWOOD
5	POUNDS PER SQUARE INCH
•	PRESSURE TREATED
VD RM	POWDER ROOM
Ϋ́	QUANTITY
F	REFRIGERATOR
INF	REINFORCED
Q'D	REQUIRED
Λ	ROOM
)	ROUGH OPENING
)	SMOKE DETECTOR
	SQUARE FEET
ITG	SHEATHING
M	SIMILAR
D	STANDARD
G	TONGUE & GROOVE
S	TO BE SELECTED
L	TELEPHONE
MP	TEMPERED
)	TOP OF
B	TOP OF BEAM
S	TOP OF SILL
Ľ	TOP PLATE
Έ	TYPICAL
10	UNLESS NOTED OTHERWISE
}	VAPOR BARRIER
NT	VENTILATION
RT	VERTICAL
	WITH
0	WITHOUT
ASH	WASHER
0	WOOD
С	WALK-IN-CLOSET
ND	WINDOW
2	WATER PROOFING
२	WATER RESISTANT

NOTE: IF AN ABBREVIATION IS FOUND IN THE SET OF PLANS, IS NOT LISTED ABOVE, AND THERE IS ANY QUESTIONS AS TO IT'S INTENDED MEANING, NOTIFY NVISIONTEK, LLC IMMEDIATELY.

PROJECT INFORMATION PROJECT NAME: UNION HILL AT 1308 N 26TH STREET

NEW CONSTRUCTION 2-STORY 2-BEDROOM, 1-1/2 BATH, SINGLE-FAMILY RESIDENCE

OWNER / CLIENT: CENTER CREEK HOMES 11 S 12TH STREET, SUITE 115 RICHMOND, VA 23219 T: 804.999.4449 E: JOSH@CENTERCREEKHOMES.COM

PROJECT ADDRESS: 1308 N 26TH STREET, RICHMOND, VA 23223

DRAWN BY: NVISIONTEK, LLC CONTACT: DUSTIN HETRICK NORTH CHESTERFIELD, VA 23236 T: 804.372.0991 E: DHETRICK@NVISIONTEKBIM.COM

ARCHITECT: CHRIS WOLF ARCHITECTURE, PLLC CONTACT: CHRIS WOLF ARCHITECTURE, PLLC 11 S 12TH STREET, SUITE 115 RICHMOND, VA, 23219 T: 804.514.7644 E: CHRIS@CENTERCREEKHOMES.COM

GENERAL CONTRACTOR / DEVELOPER: CENTER CREEK HOMES CONTACT: JOSH BOSLER 11 S 12TH STREET, SUITE 115 RICHMOND, VA 23219 T: 804.999.4449 E: JOSH@CENTERCREEKHOMES.COM

BUILDING AREA: OVERALL CONSTRUCTION SQUARE FOOTAGE MEASURED TO OUTSIDE SURFACE OF EXTERIOR WALLS, DECKS, PORCHES, OR PATIO SLAB **REFER TO AREA PLANS FOR AREA CALCULATIONS**

- PROJECT.

- EXTERIOR FINISH, U.N.O..
- FINISHED GRADE, U.N.O.

- OR TILE.
- BOTTOM PLATE.
- BEARING WALLS, TUBS, AND APPLIANCES.

- STRUCTURAL ENGINEER.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO ALL BUILDING AND OCCUPATIONAL SAFETY CODES PERTAINING TO THIS

2. PRIOR TO ANY SITE ACTIVITIES, THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES.

3. PLANS AND SPECIFICATIONS IN SOME INSTANCES, DO NOT CONTAIN SPECIFIC INSTRUCTIONS FOR INSTALLATION OR PREPREPATION METHODS. CONTRACTOR AND SUBS ARE RESPONSIBLE FOR FOLLOWING ASTM STANDARDS AND APPLICABLE CODES.

4. INTERIOR WALLS AT POCKET DOORS TO BE 2x6 STUD FRAMING. ALL OTHER INTERIOR WALLS TO BE 2x4 STUD FRAMING, U.N.O.. REFER TO WALL TAGS AND LEGEND.

5. ALL EXTERIOR WALLS TO BE 2x4 STUDS WITH 7/16" OSB, R-15 (MIN.) INSULATION, HOUSE WRAP, AND

6. EXTERIOR DOORS TO HAVE MIN. 3'-0" X 3'-0" LANDING IF MORE THAN (3) RISERS ARE NEEDED TO REACH 7. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

8. ALL EXTERIOR FRAMING DIMENSIONS ARE SHOWN TO FACE OF STUDS. ALL INTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUDS, U.N.O. WALL FINISHES ARE EXCLUDED UNLESS NOTED AS "FIN.". REFER TO WALL LEGEND, IF SHOWN, FOR ADDITIONAL WALL INFORMATION.

9. ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER LINE. AS-BUILT ONLY PLANS SHOW ALL WINDOW AND DOOR DIMENSIONS TO OPENING WIDTHS. ALL STRUCTURAL MEMBERS (FLOOR AND CEILING JOIST, RAFTERS, HEADERS, BEAMS) MUST NOT BE CHANGED WITHOUT VERIFICATION & APPROVAL, UNLESS TO MEET ENGINEERING REQUIREMENTS.

10. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

11. ALL INTERIOR OPENINGS 48" AND LARGER REQUIRE DOUBLE JACK STUDS. ALL HEADERS AT INTERIOR AND EXTERIOR LOAD-BEARING WALLS TO BE MIN. (2)2x8, U.N.O.. ALL HEADERS AT INTERIOR DOORS TO BE (2)2x6, U.N.O.. REFERENCE R602.7 AND/OR VERIFY w/LICENSED STRUCTURAL ENGINEER.

12. ALL LUMBER TO BE S.P.F. #2 OR BETTER U.N.O..

13. INCREASE ENTRY DOOR ROUGH OPENING HEIGHT +3/4" WHEN THE FINISHED FLOOR IS 3/4" HARDWOOD

14. ALL INTERIOR WALLS TO BE FRAMED AT 16" O.C. WITH WALLS PERPENDICULAR TO FLOOR JOISTS TO HAVE STUDS STACKED OVER JOISTS. ALL FRAMED WALLS TO HAVE DOUBLE TOP PLATES AND SINGLE

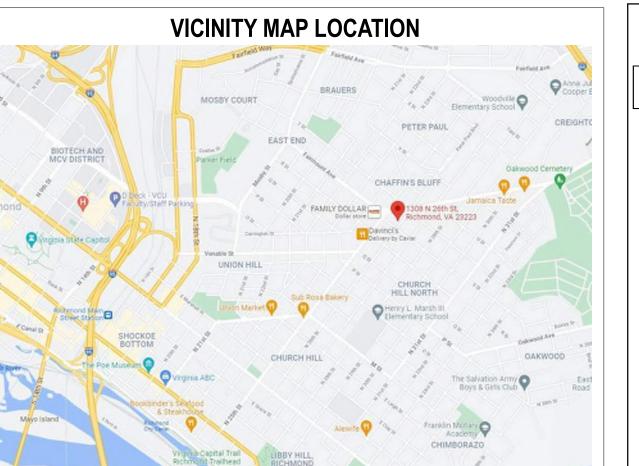
15. DOUBLE UP ALL FLOOR JOISTS OR PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS BELOW ALL

16. ALL DECORATIVE ELEMENTS AND FINISHES ARE TO BE SELECTED BY OWNER. CONTRACTOR TO VERIFY WITH OWNER PRIOR TO ORDERING AND INSTALLATION, TYP. FOR ENTIRE PROJECT.

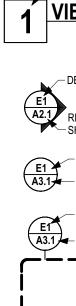
17. HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

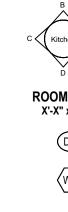
18. INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. U.N.O. ON PLANS.

19. REFER TO STRUCTURAL DRAWINGS (IF APPLICABLE) FOR ANY STRUCTURAL INFORMATION NOT INDICATED. VERIFY ALL STRUCTURAL ITEMS SHOWN THROUGHOUT DRAWINGS WITH LICENSED

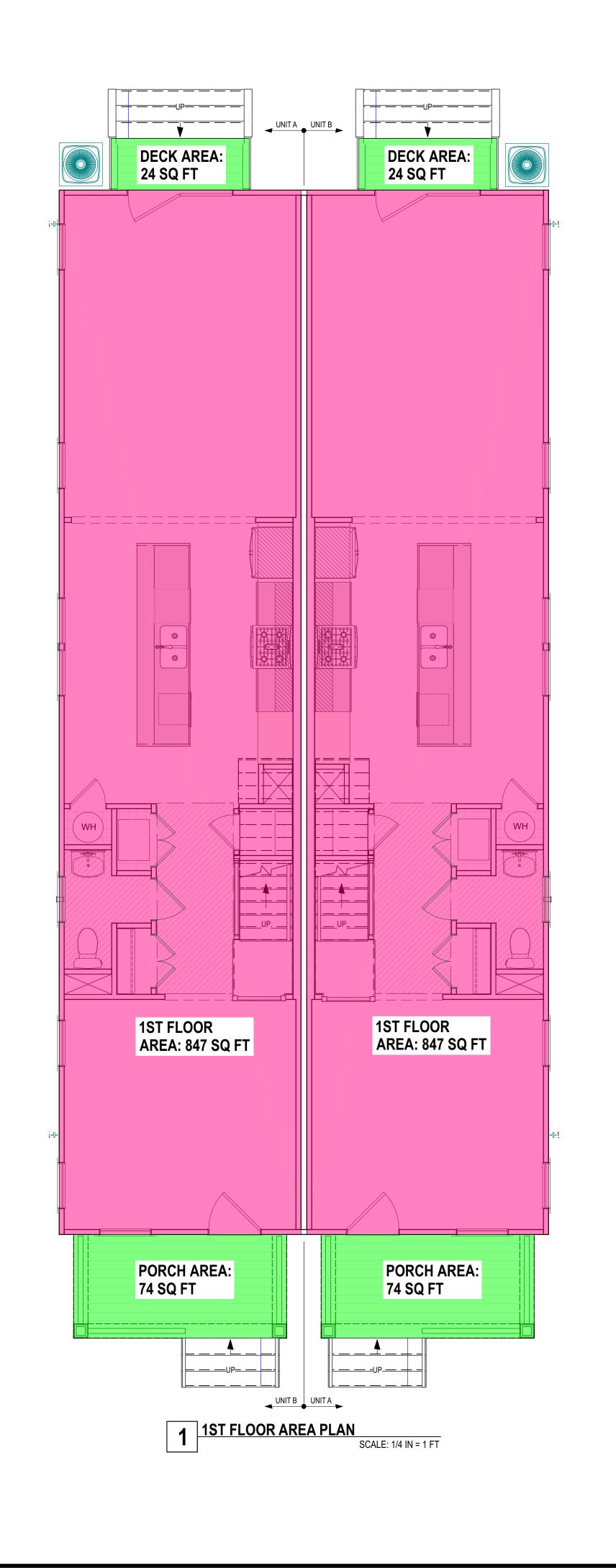


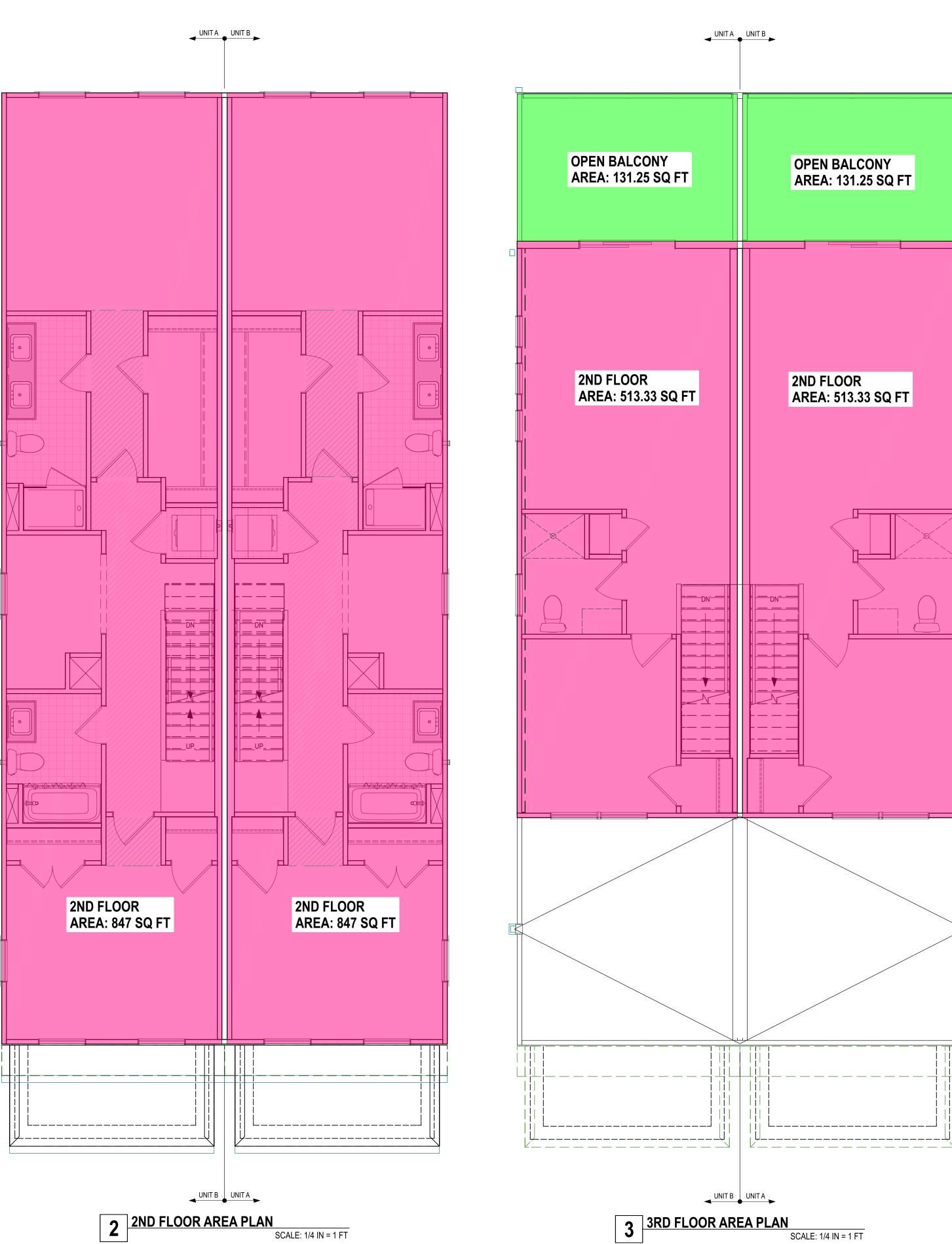






I			
PEN 3R	NVISIONTEKBIM.COM INFO@NVISIONTEKBIM.COM CELL: 804.372.0991 RICHMOND, VA 23236		
~			REVISIONS # DATE DESCRIPTION
			BUILDER NOTICE BUILDER NOTICE IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS.
		SHEET LISTPAGETITLE#A0.0COVER SHEETA0.1AREA PLANSA0.23D OVERVIEWSA1.0FOUNDATION & SITE PLANSA1.11ST FLOOR CONSTRUCTION PLANA1.22ND & 3RD FLOOR CONSTRUCTIONA1.2PLANSA2.02ND & 3RD FLOOR JOIST FRAMINGA2.1ROOF PLAN & ROOF FRAMING PLANA3.0EXTERIOR ELEVATIONS	ENGINEER*** IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER SHEET, PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING NVISIONTEK, LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM. PROJECT NAME
		A3.1 EXTERIOR ELEVATIONS A4.0 BUILDING SECTIONS A4.1 BUILDING SECTIONS A5.0 DETAILS A5.1 DETAILS A5.2 WINDOW, DOOR, & ROOM FINISH SCHEDULES PARTY WALL UL336 ASSEMBLY	UNION HILL AT 1308 N 26TH STREET
		E1.0 ELECTRICAL PLANS	CLIENT(S) CENTER CREEK HOMES 11 S 12TH STREET, SUITE 115
PLAN # ON SHEET VIEW TITLE SCALE: 1/4		G SYMBOL LEGEND /ATION/DETAIL # ITLE LE: 1/4 IN = 1 FT REVISION CLOUD (REFERENCE REVISION SCHEDULE)	RICHMOND, VA, 23219 T: 804.999.4449
DETAIL # REFERENCING SHEET #	ELEVATION / SECTION MARKER	2x10 P.T. JOISTS @ 16" O.C. 5" SLOPED 1/4"/1'-0" FRAMING SPAN DIRECTION INDICATOR PITCH / SLOPE INDICATOR	PROJECT ADDRESS
DETAIL # REFERENCING SHEET # DETAIL # DETAIL # DETAIL # DETAIL #	DETAIL CALLOUT MARKER		1308 N 26TH STREET RICHMOND, VA 23223
A3.1 REFERENCING SHEET #	DETAIL CALLOUT MARKER WITH AREA BOUNDARY	PLAN NORTH FRAMING (SECTION) BLOCKING (SECTION) BATT / CELLULOSE INSULATION GRAVEL FILL, U.N.O.	
C Kitchen A	INTERIOR ELEVATION MARKER	RIGID INSULATION, U.N.O. RIGID INSULATION, U.N.O.	TITLE COVER SHEET
ROOM NAME X'-X" x X'-X"	ROOM NAME, ASSOCIATED w/ROOM SCHEDULE DOOR NUMBER, ASSOCIATED w/DOOR SCHEDULE	CLOSED-CELL FOAM INSULATION, U.N.O. CMU BLOCKS, U.N.O. CMU BLOCKS, U.N.O.	
(W01)	WINDOW NUMBER, ASSOCIATED W/WINDOW SCHEDULE	BRICKS, U.N.O. ASPHALT SHINGLE ROOFING, U.N.O.	DOCUMENT PHASE: PERMIT SET
	NOTE, ASSOCIATED w/ CORRESPONDING SCHEDULE ELEVATION MARKER w/HEIGHT	CONCRETE, U.N.O.	PLOT DATE: 11/1/2021
PROJECT SHALL CONFORM STATEWIDE BUILDING CODE RESIDENTIAL CODE. RICHMO CONSTRUCTION TYPE V-B STRUCTURAL REQUIREMENT	CODE & ZONING TO THE 2018 VIRGINIA UNIFORM AND 2018 VIRGINIA INTERNATIONAL DND COUNTY ZONING, LOT ZONED R TS (VERIFY W/LICENSED ENGINEER)	 SKYLIGHT U-FACTOR: 0.55 GLAZED FENESTRATION SHGC: 0.40 CEILING R-VALUE: 49 	9:56:54 AM DRAWN BY: DUSTIN HETRICK SCALE: SEE PLAN
 FROST DEPTH: 18" ULTIMATE DESIGN WIND SNOW LOAD: 20 PSF SEISMIC DESIGN CATEGO MAXIMUM BUILDING HEIO 	SPEED: 115 MPH, EXPOSURE B DRY: B GHT: 35'-0" ECHNICAL REPORT BY OTHERS	 WOOD FRAME WALL R-VALUE: 13 MASS WALL R-VALUE: 8 (CONTINUOUS)/13 (CAVITY) FLOOR R-VALUE: 19 BASEMENT WALL R-VALUE: 10 (CONTINUOUS)/13 (CAVITY) UNHEATED SLAB R-VALUE & DEPTH: NOT REQUIRED HEATED SLAB R-VALUE: R-5 CRAWL SPACE WALL R-VALUE: 10 (CONTINUOUS)/13 (CAVITY) 	SHEET A0.0 1 OF 17





				E - ALL LEVELS	-	
ROOM NAME	FLOOR	AREA, INTERIOR (SQ FT)	AREA, STANDARD (SQ FT)	DIMENSIONS	CEILING ROUGH HEIGHT	CEILING FINISH HEIGHT
PORCH	1	73	74	12'-4" X 5'-11"	108 1/4"	108"
DECK	1	23	24	8'-0" X 2'-11"	N/A	N/A
DINING ROOM	1	177	192	13'-4" X 13'-3"	109 1/4"	108"
POWDER	1	24	30	4'-11" X 6'-10"	109 1/4"	96"
KITCHEN	1	209	225	13'-2" X 16'-5"	109 1/4", 119 1/4"	108", 118"
MECHANICAL	1	7	9	1'-11" X 3'-6"	109 1/4"	108"
CLOSET	1	7	10	1'-11" X 3'-9"	109 1/4"	108"
HALL	1	49	53	4'-5" X 10'-10"	109 1/4"	96"
UTILITY	1	5	8	2'-8" X 2'-0"	109 1/4"	108"
PANTRY	1	8	11	3'-1" X 2'-8"	119 1/4"	118"
LIVING ROOM	1	248	266	13'-4" X 18'-7"	109 1/4"	108"
HALL	2	10	11	3'-3" X 3'-0"	109 1/4", 126"	108", 124 3/4"
BATH	2	46	53	5'-11" X 8'-2"	109 1/4"	108"
CLOSET	2	12	16	5'-11" X 2'-0"	109 1/4"	108"
OPEN BELOW	2	28	29	3'-1" X 9'-2"	245 1/4"	244"
LANDING	2	12	14	3'-5" X 3'-7"	101 13/16"	100 9/16"
CLOSET	2	9	11	3'-3" X 2'-9"	109 1/4"	108"
STUDY	2	52	61	5'-11" X 9'-8"	109 1/4"	108"
W.I.C.	2	49	56	4'-4" X 11'-10"	109 1/4"	108"
BEDROOM 2	2	157	172	13'-4" X 14'-1"	109 1/4"	108"
HALL	2	75	86	3'-5" X 20'-11"	109 1/4"	96"
OWNER BEDROOM	2	214	233	13'-4" X 24'-1"	109 1/4"	108"
OWNER BATH	2	65	74	5'-0" X 13'-7"	109 1/4"	108"
LOFT	3	258	282	13'-2" X 16'-6"	97 1/4"	96"
LAUNDRY	2	10	13	3'-3" X 3'-2"	109 1/4"	108"
STORAGE	3	41	47	6'-3" X 7'-7"	97 1/4"	96"
LINEN	3	5	7	2'-0" X 2'-6"	97 1/4"	96"
OPEN BELOW	3	33	34	3'-1" X 10'-9"	223 1/4"	222"
CLOSET	3	11	15	3'-3" X 3'-5"	97 1/4"	96"
BEDROOM 3	3	107	119	9'-9" X 11'-0"	97 1/4"	96"
OPEN BALCONY	3	119	133	13'-3" X 9'-0"	N/A	N/A

AREA CALCULATIONS

PORCH AREA: 74 SF DECK AREA: 24 SF 3RD FLOOR OPEN BALCONY AREA: 131 SF TOTAL NON-LIVING AREA: 229 SF

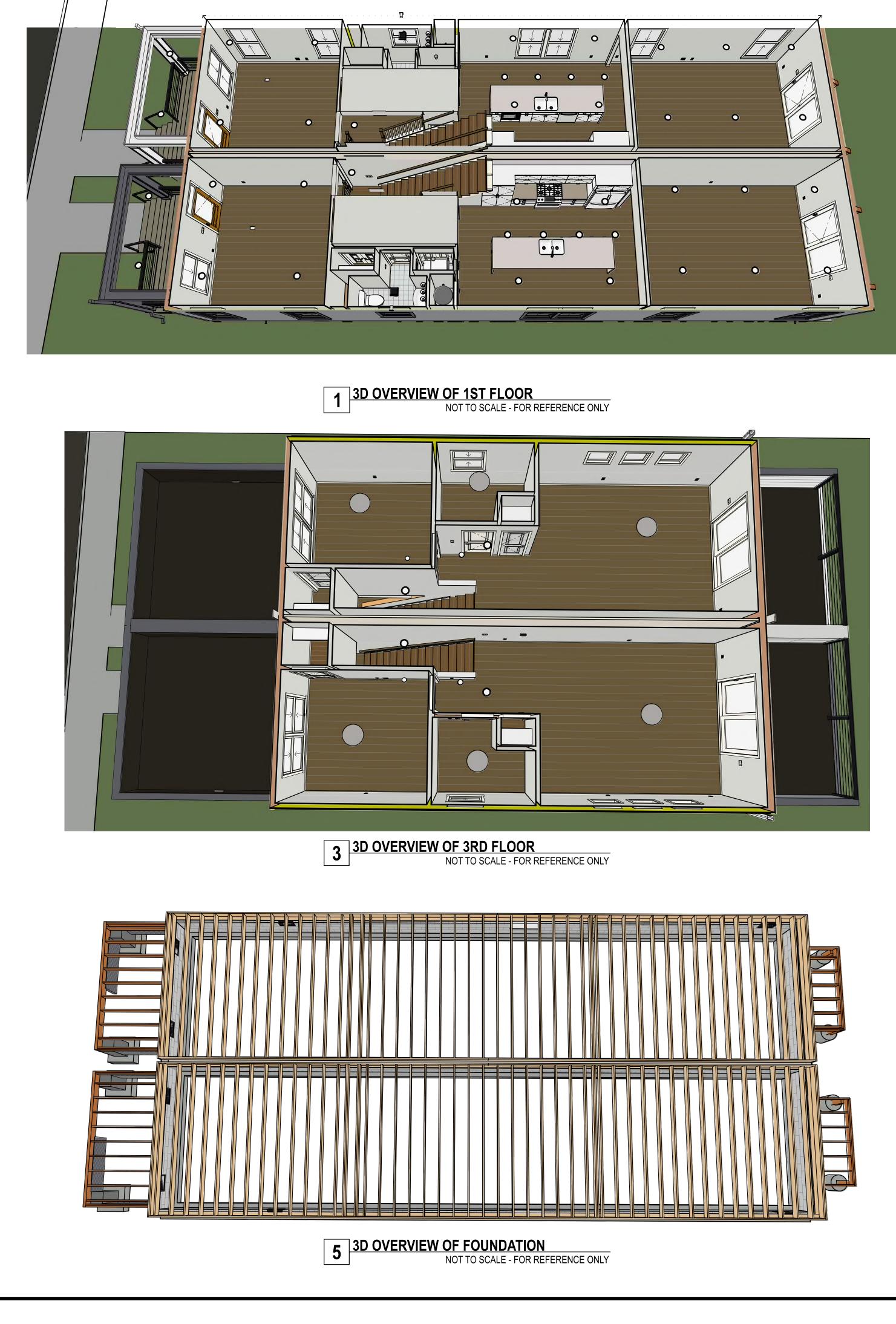
1ST FLOOR LIVING AREA: 847 SF 2ND FLOOR LIVING AREA: 847 SF 3RD FLOOR LIVING AREA: 513 SF TOTAL LIVING AREA: 2,207 SF

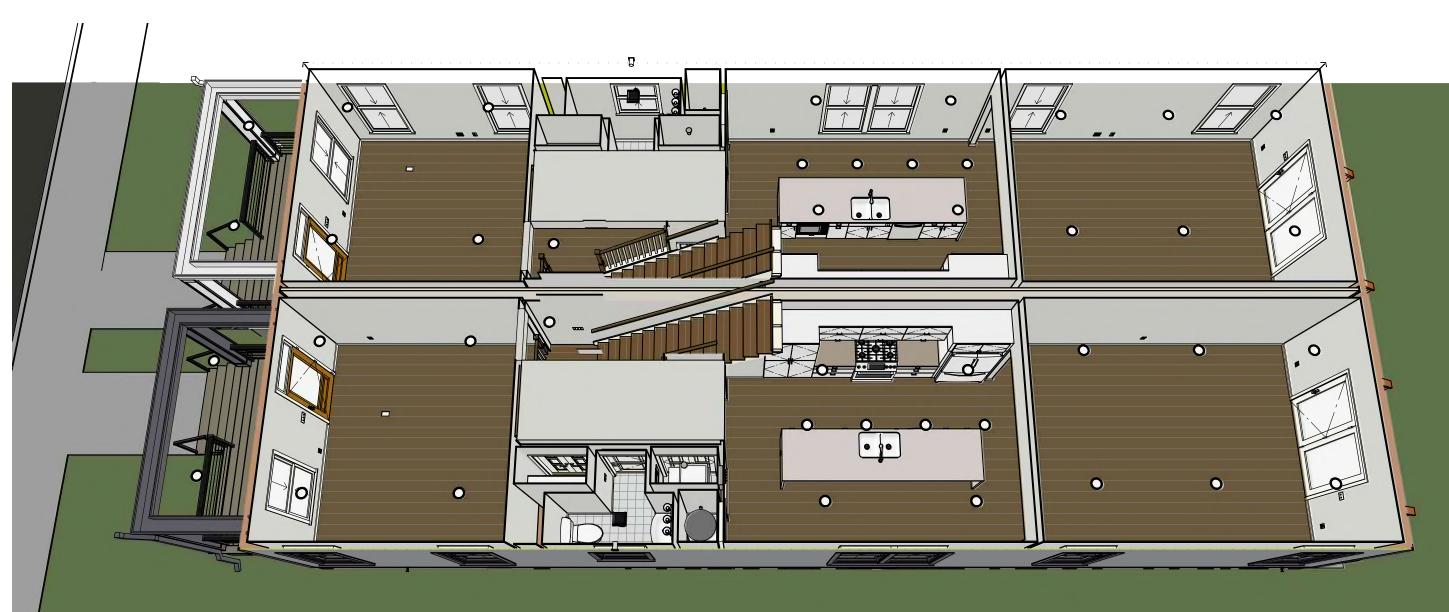
GRAND TOTAL BUILDING AREA: 2,236 SF

nVisionTEK BIM SERVICES NVISIONTEKBIM.COM INFO@NVISIONTEKBIM.COM CELL: 804.372.0991 RICHMOND, VA 23236 REVISIONS # DATE DESCRIPTION **BUILDER NOTICE** IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS. ***VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER*** IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER SHEET, PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING NVISIONTEK, LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM. PROJECT NAME UNION HILL AT 1308 N 26TH STREET CLIENT(S) CENTER CREEK HOMES 11 S 12TH STREET, SUITE 115 RICHMOND, VA, 23219 T: 804.999.4449 PROJECT ADDRESS 1308 N 26TH STREET RICHMOND, VA 23223 TITLE AREA PLANS DOCUMENT PHASE: PERMIT SET PLOT DATE: 11/1/2021 9:56:54 AM DRAWN BY: DUSTIN HETRICK SCALE: SEE PLAN SHEET A0.

THE PAPER SIZE NEEDS TO BE 24" x 36" (ARCH D) TO SCALE PROPERLY

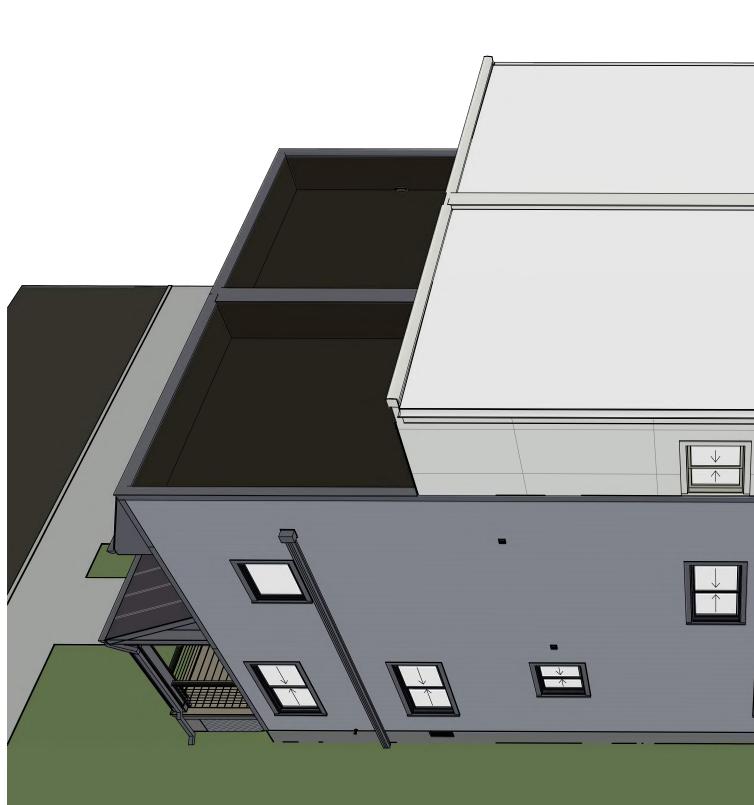
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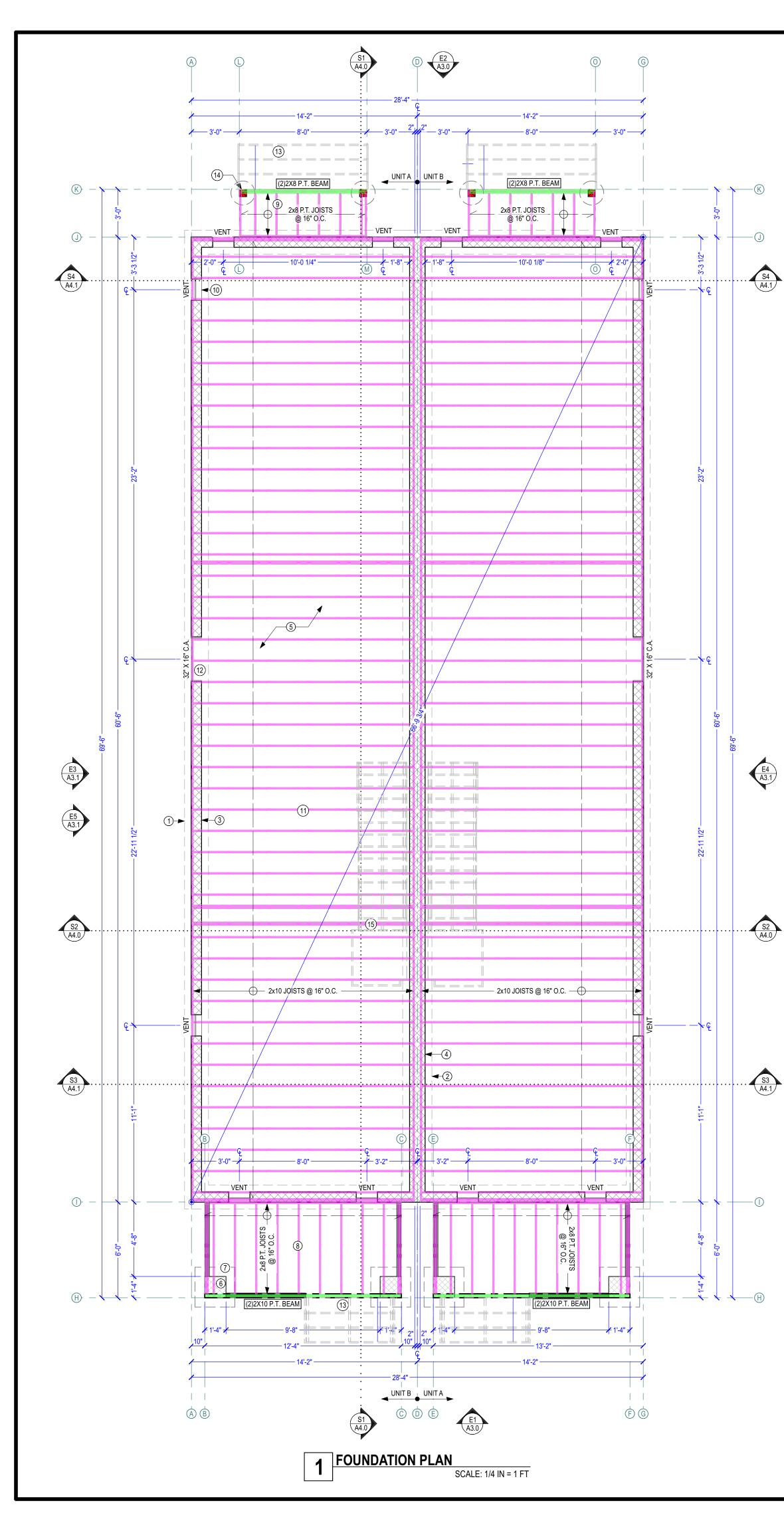


2 3D OVERVIEW OF 2ND NOT TO S

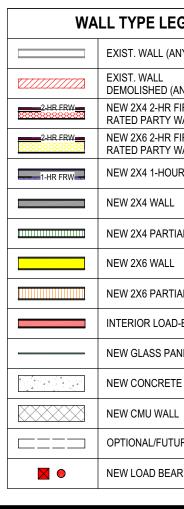


4 3D OVERVIEW OF ROO NOT TO S

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	BUILDER NOTICE IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND
D FLOOR SCALE - FOR REFERENCE ONLY	MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS. ***VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER*** IF THE GENERAL CONTRACTOR OR
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	PROJECT NAME UNION HILL AT 1308 N 26TH STREET
	CLIENT(S) CENTER CREEK HOMES 11 S 12TH STREET, SUITE 115 RICHMOND, VA, 23219 T: 804.999.4449
	PROJECT ADDRESS
	1308 N 26TH STREET RICHMOND, VA 23223
OOF SCALE - FOR REFERENCE ONLY	TITLE 3D OVERVIEWS
	DOCUMENT PHASE: PERMIT SET
	PLOT DATE: 11/1/2021 9:56:55 AM
GENERAL ELEVATION & 3D NOTES 1. REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES,	DRAWN BY: DUSTIN HETRICK
2. ANY FURNITURE SHOWN IS GENERIC AND IS FOR REFERENCE ONLY. CONSULT	SCALE: SEE PLAN
WITH INTERIOR DESIGNER (IF APPLICABLE) FOR SPACE PLANNING. 3. ALL MATERIALS, PATTERNS, TRIM, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN DO NOT REPRESENT EXACT SELECTIONS. GENERIC	SHEET
STYLES SHOWN, UNLESS OTHERWISE INDICATED. 4. TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO	A0.2
SURVEY PHOTOS OR SITE PLAN (BY OTHERS). 5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.	AU.Z 3 OF 17

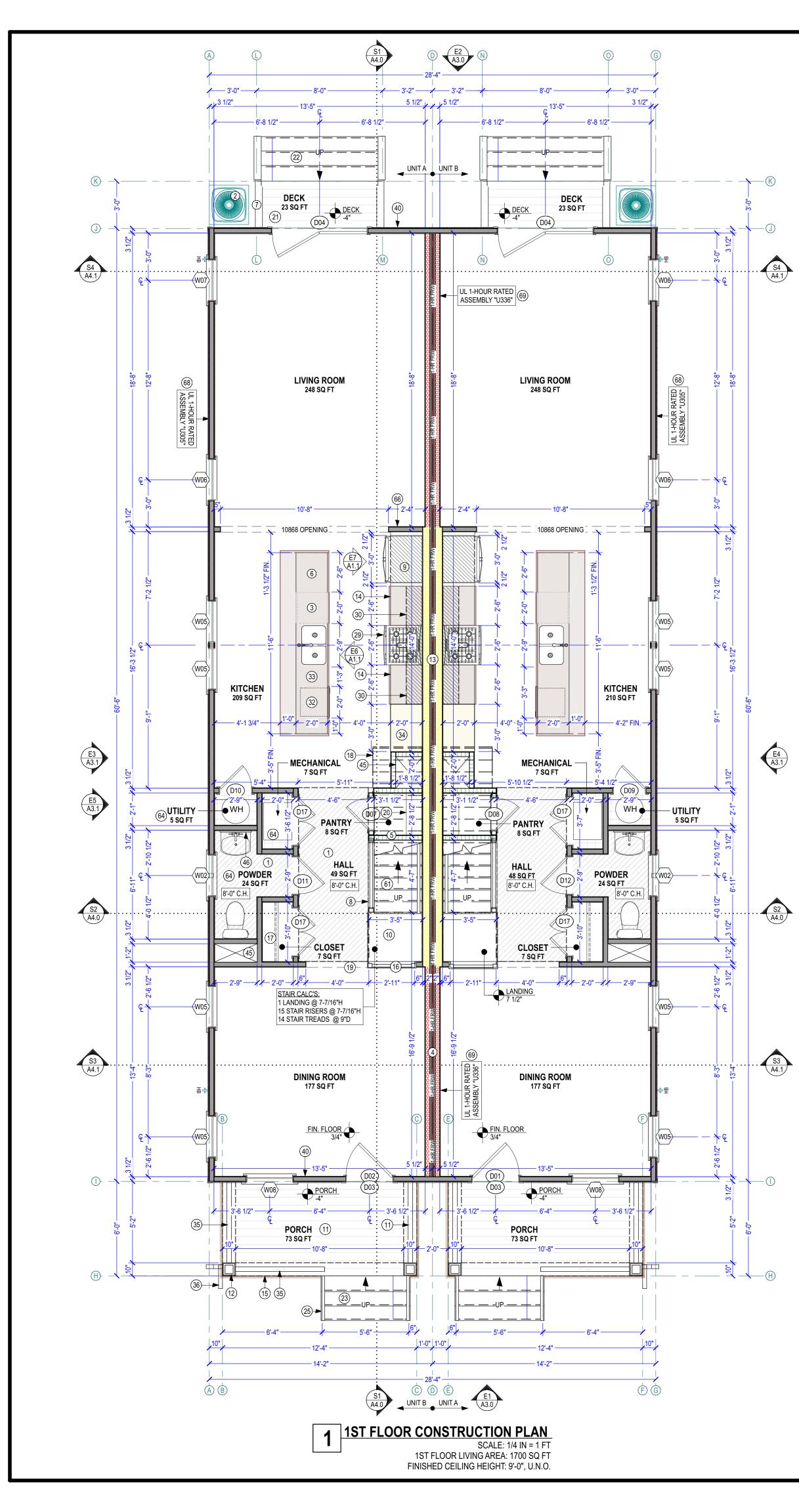


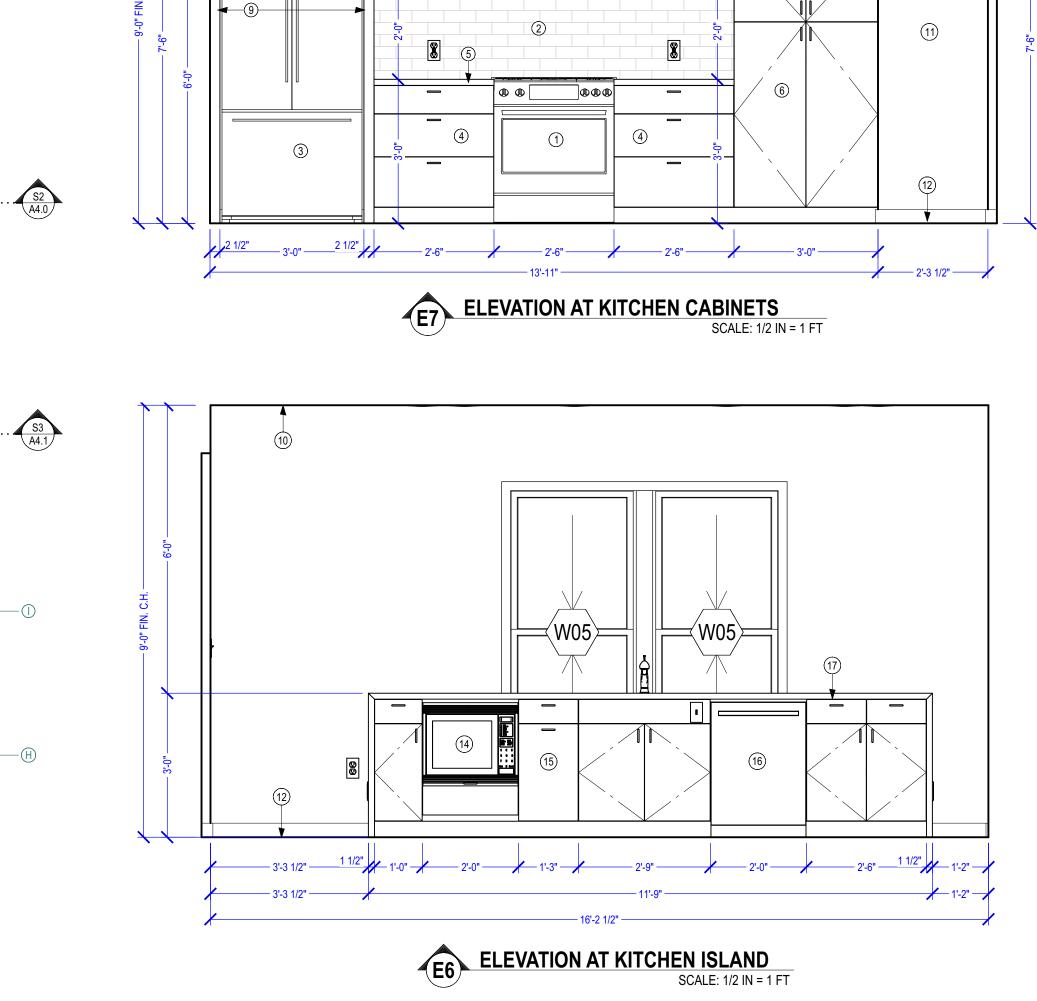




NOTE: VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER.

	Į	KEYNOTE LEGEND - FOUNDATION PLAN	
		CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING W/(2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS, TYP. ALL FOOTINGS U.N.O.	
		CONT. 22" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 30" BELOW GRADE- SEE GEOTECH. REPORT FOR FURTHER	
		INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.) 8" CMU FOUNDATION WALL WITH PARGE COAT TO GRADE, #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6' O.C., MAX 12" FROM CORNERS/	nVision TEK
		ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID- SEE ENLARGED DETAIL	
		12" CMU FOUNDATION WALL WITH #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6' O.C., MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID- SEE ENLARGED PARTY	NVISIONTEKBIM.COM
	·	WALL DETAIL C 20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE,	INFO@NVISIONTEKBIM.COM
	·	 CONT. MIN. 6" UP FOUNDATION AND TAPE 16"X16" CMU PIERS W/PARGE COAT TO GRADE, GROUT & TAPER TOP FOR WATER DRAINAGE 	CELL: 804.372.0991
		(7) 30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE	RICHMOND, VA 23236
		PORCH FRAMING: 5/4 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. (8) HANGERS W/(3) 2X10 P.T. OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH	REVISIONS
		BOLTS AT 32" O.C. STAGGERED, PROVIDE METAL FLASHING AT HOUSE DECK FRAMING: 5/4X6 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. (9) HANGERS & (2)2X8 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH	# DATE DESCRIPTION
		BOLTS AT 16" O.C. STAGGERED 8X16 SLOTTED GALVANIZED CRAWLSPACE VENT WITH INSECT SCREE, TYP. AS SHOWN - SEE	
		FOUNDATION NOTES FOR VENTING REQUIREMENTS 11 2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RIM BOARD ENTIRE PERIMETER, W/R-19 BATT	
		(12) MIN. 32"X16" CRAWL-SPACE ACCESS WITH PRE-FAB DOOR	
	·	13 EXTERIOR WOOD STEPS ABOVE	BUILDER NOTICE
		P.T. 6X6 DECK POSTS FASTENED W/SIMPSON POST BASE ON 18"DIA CONCRETE FOOTINGS MIN. 18" BELOW GRADE, TYP SEE ENLARGED DETAIL	IT IS THE INTENT OF THE DESIGNER /
		15 DBL. JOIST UNDER START OF STAIRS	DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING
			LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN
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			PROJECT NAME
			UNION HILL AT 1308 N
			26TH STREET
			CLIENT(S)
			CENTER CREEK HOMES
			11 S 12TH STREET, SUITE
			115 RICHMOND, VA, 23219
			T: 804.999.4449
			PROJECT ADDRESS
			1308 N 26TH STREET
			RICHMOND, VA 23223
			TITLE
			FOUNDATION & SITE
			PLANS
W۵	ALL TYPE LEGEND	GENERAL FOUNDATION NOTES 1. FOUNDATION WALLS TO BE CONCRETE MASONRY UNITS (CMU) WITH PARGE COAT	
	EXIST. WALL (ANY TYPE)	TO GRADE. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND FOR ASSEMBLY INFORMATION AND THICKNESSES.	
	EXIST. WALL DEMOLISHED (ANY TYPE)	2. FOOTINGS ARE POURED CONCRETE AND DEVELOP 3,000 PSI IN 28 DAYS. TO BE	DOCUMENT PHASE:
W	NEW 2X4 2-HR FIRE- RATED PARTY WALL	SIZED PER LOCAL CODES AND ENGINEER REVIEW. FROST FOOTINGS SHALL BE INSTALLED AT 18" MIN. BELOW GRADE AND SHALL BE DICTATED BY SITE	PERMIT SET
W	NEW 2X6 2-HR FIRE- RATED PARTY WALL	TOPOGRAPHY AND LOCAL CODE REQUIREMENTS. STEPPED FOOTINGS ARE INDICATED WITH "SF-SF" SYMBOLS. NEW FOOTINGS SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY AD LACENT EXISTING FOOTING THAT IS TO	PLOT DATE:
W	NEW 2X4 1-HOUR FIRE RATED WALL	STRUCTURAL INTEGRITY OF ANY ADJACENT EXISTING FOOTING THAT IS TO REMAIN.	11/1/2021 0:56:56 AM
	NEW 2X4 WALL	3. SLAB ON GRADES ARE POURED CONCRETE AND DEVELOP 3,000 PSI IN 28 DAYS. PROVIDE WELD SMOOTH WIRE FABRIC MINIMUM 6x6- W2.1 x 2.1, U.N.O. SLAB TO	9:56:56 AM
	NEW 2X4 PARTIAL HEIGHT WALL	HAVE 6-MIL POLY VAPOR BARRIER AND 4" CRUSHED STONE OVER COMPACTED FILL.	DRAWN BY:
	NEW 2X6 WALL	4. CRAWL ACCESS TO BE PROVIDED, 16" x 24" MIN. SIZE, IN PERIMETER WALL.	DUSTIN HETRICK
	NEW 2X6 PARTIAL HEIGHT WALL	PROVIDE CLEARANCE OPENING BELOW GRADE IF NECESSARY. REFERENCE IRC R408.4.	SCALE: SEE PLAN
	INTERIOR LOAD-BEARING WALL	5. 12 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND	
	NEW GLASS PANEL	TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPE. 6. 16"x8" FOUNDATION VENTS TO BE PROVIDED FOR UNCONDITIONED CRAWL	SHEET
	NEW CONCRETE WALL	SPACES, MIN. OF 1 PER 150 SQ. FT. REFERENCE IRC R408.1 AND R408.2. 7. ALL DIMENSIONS ARE TO FACE OF FOUNDATION OR CENTER OF COLUMNS AND	
	OPTIONAL/FUTURE PHASE WALL	8. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR	A1.0
	NEW LOAD BEARING POST	DESCRIPTION.	4 OF 17





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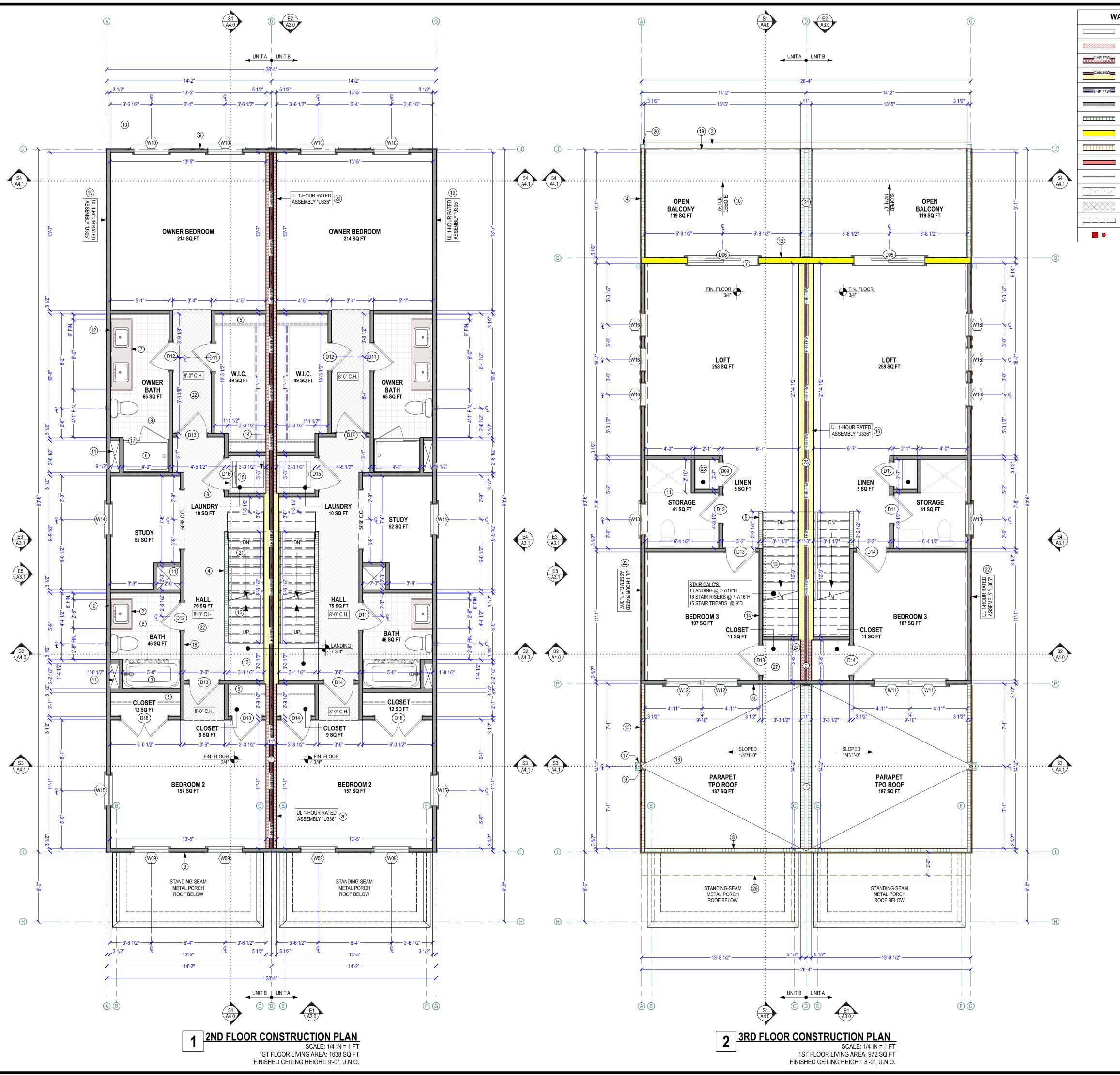
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2	TILE BACKSPLASH
3	36"W REFRIGERATOR W/PEX WATER LINE, CONSULT OWNER FOR SEL
4	24"D X 36"H BASE CABINET W/3-DRAWERS, CONSULT W/OWNER FOR S
5	1-1/2" THICK COUNTERTOP, CONSULT W/OWNER FOR SELECTION
6	36"W X 90"H PANTRY CABINET, CONSULT W/OWNER FOR SELECTION
\bigcirc	WALL CABINET W/2-TOP-HINGED DOORS, CONSULT W/OWNER FOR SE
8	18"H X 24"D WALL CABINET ABOVE REFRIGERATOR, CONSULT OWNER
9	2-1/2"W X 72"H X 24"D FILLER
(10)	1/2" DRYWALL CEILING, TYP.
(11)	1/2" DRYWALL WALL SURFACE
(12)	3/4" THICK HARDWOOD FLOOR FINISH, CONSULT OWNER FOR SELECT
(13)	CLIPPED CEILING FOR TOP OF STAIR STRINGER W/2X4 NAILERS & 1/2"
(14)	24"W BUILT-IN MICROWAVE, CONSULT OWNER FOR SELECTION
(15)	TRASH DRAWER, CONSULT OWNER FOR SELECTION
(16)	24" DISHWASHER, CONSULT OWNER FOR SELECTION
(17)	37"D KITCHEN ISLAND COUNTER OVER 24"D BASE CABINETS (1" FRON OVERHANG) W/WATERFALL EDGES, CONSULT OWNER FOR SELECTIO

	KEYNOTE LEGEND - INTERIOR ELEVATIONS		KEYNOTE LEGEND - 1ST FLOOR PLAN	
<u>(</u>) (30" SLIDE-IN GAS RANGE W/DOWN-DRAFT EXHAUST, CONSULT OWNER FOR SELECTION TILE BACKSPLASH	1	12"H SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH PROVIDING 8'-0" FINISHED CELING HEIGHT HVAC AIR CONDENSER - REFER TO HVAC CONTRACTOR FOR HVAC REQUIREMENTS	
3	36"W REFRIGERATOR W/PEX WATER LINE, CONSULT OWNER FOR SELECTION	3	24" DISHWASHER, CONSULT OWNER FOR SELECTION	
4)	24"D X 36"H BASE CABINET W/3-DRAWERS, CONSULT W/OWNER FOR SELECTION	4	2X4 FRAMED PARTY WALL - SEE ENLARGED DETAIL	nVision TEK
5	1-1/2" THICK COUNTERTOP, CONSULT W/OWNER FOR SELECTION	5	2X4 KNEEWALL UNDER STAIRS W/ 1/2" DRYWALL FINISH	BIM SERVICES
6	36"W X 90"H PANTRY CABINET, CONSULT W/OWNER FOR SELECTION	6	37"D KITCHEN ISLAND COUNTER OVER 24"D BASE CABINETS (1" FRONT OVERHANG & 12" REAR OVERHANG) W/WATERFALL EDGES, CONSULT OWNER FOR SELECTION 36"H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6	
7) (8)	WALL CABINET W/2-TOP-HINGED DOORS, CONSULT W/OWNER FOR SELECTION	7	P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING MOUNTED FLUSH INSIDE RIM JOIST - SEE ENLARGED DETAIL	INFO@NVISIONTEKBIM.COM CELL: 804.372.0991
<u>୦</u> ୨	18"H X 24"D WALL CABINET ABOVE REFRIGERATOR, CONSULT OWNER FOR SELECTION 2-1/2"W X 72"H X 24"D FILLER	8	2X4 FRAMED SLOPED RAILING WALL W/1X WOOD CAP W/34-36"H WOOD RAILING ABOVE PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEWEL POSTS, CONSULT W/ OWNER FOR SELECTIONS)	RICHMOND, VA 23236
) 10)	1/2" DRYWALL CEILING, TYP.	9	36"W REFRIGERATOR W/18"H X 24"D WALL CABINET ABOVE, CONSULT OWNER FOR SELECTION	REVISIONS
11)	1/2" DRYWALL WALL SURFACE	(10)	1ST LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR W/ADHESIVE OVER 2X6 JOISTS AT 16" O.C. PORCH FRAMING: 5/4 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV.	# DATE DESCRIPTION
(12)	3/4" THICK HARDWOOD FLOOR FINISH, CONSULT OWNER FOR SELECTION	(11)	HANGERS W/(3) 2X10 P.T. OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 32" O.C. STAGGERED, PROVIDE METAL FLASHING AT HOUSE	
13)	CLIPPED CEILING FOR TOP OF STAIR STRINGER W/2X4 NAILERS & 1/2" DRYWALL FINISH	12	10" SQUARE LOAD-BEARING SYNTHETIC COLUMN - PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR	
14)	24"W BUILT-IN MICROWAVE, CONSULT OWNER FOR SELECTION	(13)	2X6 FRAMED PARTY WALL - SEE ENLARGED DETAIL	
15) 16)	TRASH DRAWER, CONSULT OWNER FOR SELECTION 24" DISHWASHER, CONSULT OWNER FOR SELECTION	(14) (15)	24"D X 36"H BASE CABINETS W/COUNTERTOP, CONSULT W/OWNER FOR SELECTION DASHED LINE OF (3)2X10 BOX BEAM AROUND PORCH - SEE ENLARGED DETAIL	BUILDER NOTICE
17)	37"D KITCHEN ISLAND COUNTER OVER 24"D BASE CABINETS (1" FRONT OVERHANG & 12" REAR OVERHANG) W/WATERFALL EDGES, CONSULT OWNER FOR SELECTION	16	34-36"H WOOD RAILING ON EDGE OF LANDING, PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEWEL POSTS, CONSULT W/OWNER FOR SELECTIONS)	IT IS THE INTENT OF THE DESIGNER /
\subseteq		17	SHELF & ROD	DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE
		18	STAIR STRINGERS EXPOSED BELOW CEILING, PROVIDE 2X4 BLOCKING AT 16" O.C. W/ 1/2" DRYWALL CEILING FINISH	DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR
		(19)	8'-0"H OPENING	INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER
		20	MULTI-SHELVING FOR PANTRY DECK FRAMING: 5/4X6 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV.	AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED
		21	HANGERS & (2)2X8 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED	IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY
		22	2X P.T. WOOD STEPS TO GRADE W/36"H P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL	PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND
		23	WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD; 11" TREADS, MAX. 8" RISERS, TREAD MATERIAL TO MATCH PORCH FLOOR, PROVIDE	NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS.
		25	LATTICE SKIRTING BLACK PAINTED STEEL/IRON HANDRAIL AT STEPS, MIN. 34"H	***VERIFY ALL STRUCTURAL ITEMS ON
		29	30" SLIDE-IN GAS RANGE W/DOWN-DRAFT EXHAUST, CONSULT OWNER FOR SELECTION	PLANS WITH LICENSED STRUCTURAL ENGINEER***
		30	WALL CABINETS, CONSULT W/OWNER FOR SELECTION	IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER
		32	24"W BUILT-IN MICROWAVE, CONSULT OWNER FOR SELECTION	SHEET, PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING
		(33) (34)	TRASH DRAWER, CONSULT OWNER FOR SELECTION 36"W X 90"H PANTRY CABINET, CONSULT W/OWNER FOR SELECTION	NVISIONTEK, LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE
		35	36"H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36"H, W/STAINLESS STEEL CABLES AT 4" O.C., RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR	DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL:
Ţ		36	ABOVE FINISHED GRADE ALUMINUM DOWNSPOUT W/TOP ELBOW CONNECTED TO GUTTER AT FRONT AND BOTTOM	(804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.
F			ELBOW AT SIDE OF COLUMN/PIER EXT. WALL CONSTRUCTION AT F/R 1ST & 2ND LEVELS: HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1")	PROJECT NAME
		(40)	OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH	
		(45)	HVAC CHASE	UNION HILL AT 1308 N
		(46) (61)	MIRROR TO BE SELECTED BY OWNER STAIRS PER CODE TO ABOVE W/WOOD RISERS, TREADS, & SKIRT BOARDS	26TH STREET
		64	3/4" TILE FLOOR FINISH, TYP. AT ALL WET LOCATIONS U.N.O., CONSULT W/OWNER FOR SELECTION	
		66	TYP. 2X4 INTERIOR WALL W/ 1/2" DRYWALL FINISH	
		(68)	UL 1-HOUR RATED ASSEMBLY "U305": HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (BOTTOM TO OVERLAP FOUNDATION	CLIENT(S)
			1") OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16"	
		69	O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED	11 S 12TH STREET, SUITE
		L		RICHMOND, VA, 23219
				T: 804.999.4449
	- 2'-3 1/2"			PROJECT ADDRESS
				1308 N 26TH STREET
				RICHMOND, VA 23223
_				
			GENERAL FLOOR PLAN NOTES	TITLE
			1. ALL EXTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUD / FACE OF FOUNDATION. INTERIOR DIMENSIONS ARE TO FACE OF STUD, U.N.O. THICKNESS	
			OF 2x6 WALLS = $5-1/2$ ", AND 2x4 WALLS = $3-1/2$ ".	1ST FLOOR CONSTRUCTION PLAN
			2. ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER OF ROUGH OPENING, U.N.O. REFER TO EXTERIOR ELEVATIONS FOR WINDOW TOP HEIGHTS. ALL	
	WALL TYPE LEGEND EXIST. WALL (ANY TYPE)		WINDOWS AT BEDROOMS TO MEET EGRESS SIZE REQUIREMENTS. TEMPERED GLAZING SHALL BE USED AT ALL WINDOW AND DOOR LOCATIONS AS REQUIRED BY CODE. REFERENCE SECTIONS B308	
	EXIST. WALL		CODE. REFERENCE SECTIONS R308. 3. ALL WINDOWS & ALL DOORS IN BEARING WALLS SHALL HAVE MIN. (2) JACK STUDS	DOCUMENT PHASE:
	DEMOLISHED (ANY TYPE)		& (2)2x6 HEADERS, U.N.O. REFERENCE WINDOW & DOOR TAGS TO WINDOW, AND DOOR SCHEDULES	PERMIT SET
	RATED PARTY WALL		4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL	PLOT DATE:
	Interview RATED PARTY WALL Interview NEW 2X4 1-HOUR FIRE RATED WALL		DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL WORK TO BE DONE SHALL COMPLY WITH ALL APPLICABLE CODES.	11/1/2021
Ì	NEW 2X4 WALL		5. ALL EXTERIOR WALL FRAMING TO BE 2x4 STUDS AT 16" O.C. WITH BATT INSULATION, AND 7/16" OSB SHEATHING, U.N.O BOTTOM PLATE TO BE FLUSH	9:56:57 AM
. /	NEW 2X4 PARTIAL HEIGHT WALL		WITH FOUNDATION, AND SHEATHING TO OVERLAP 1" BELOW. ALL INTERIOR WALLS TO BE 2x4, U.N.O. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND AND	DRAWN BY:
	NEW 2X6 WALL		SCHEDULE FOR ASSEMBLY INFORMATION AND THICKNESSES.	DUSTIN HETRICK
11	1'-2" NEW 2X6 PARTIAL HEIGHT WALL		6. HATCHED AREAS INDICATE DROPPED CEILINGS, SOFFITS, OR WALL CABINETS, U.N.O	SCALE: SEE PLAN
	1'-2" / INTERIOR LOAD-BEARING WALL		7. DOORS TO BE CENTERED IN CLOSETS OR HALLWAYS, U.N.O.	
	NEW GLASS PANEL		8. IF I-JOISTS OR FLOOR TRUSSES ARE SPECIFIED, REFER TO LAYOUT AND DETAILS PROVIDED BY JOIST MANUFACTURER. IF I-JOISTS OR FLOOR TRUSSES ARE	SHEET
	NEW CONCRETE WALL		SHOWN ON PLAN, THE LAYOUT IS "ASSUMED" U.N.O 9. PROVIDE BLOCKING FOR PLUMBING FIXTURES, CABINETS, SHELVING,	
			MECHANICAL SYSTEMS, ECT. AS REQUIRED. G.C. TO COORDINATE.	A1.1
	NEW LOAD BEARING POST		10. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.	5 OF 17



WALL TYPE LEGEND

]	EXIST. WALL (ANY TYPE)
]	EXIST. WALL DEMOLISHED (ANY TYPE)
	NEW 2X4 2-HR FIRE- RATED PARTY WALL
	NEW 2X6 2-HR FIRE- RATED PARTY WALL
ļ	NEW 2X4 1-HOUR FIRE RATED WA
I	NEW 2X4 WALL
1	NEW 2X4 PARTIAL HEIGHT WALL
1	NEW 2X6 WALL
1	NEW 2X6 PARTIAL HEIGHT WALL

INTERIOR LOAD-BEARING WALL

NEW GLASS PANEL

NEW CONCRETE WALL

NEW CMU WALL OPTIONAL/FUTURE PHASE WALL

NEW LOAD BEARING POST

	KEYNOTE LEGEND - 2ND FLOOR PLAN
\bigcirc	2X4 FRAMED PARTY WALL - SEE TYP. DETAIL
2	30"W VANITY SINK - STYLE TO BE SELECTED BY OWNER
3	30"X60" TUB/SHOWER
4	36"H 2X4 FRAMED RAILING WALL W/1X6 CAP FOLLOWING STAIRS UP TO 3RD LEVEL
5)	SHELF & ROD, OR BUILT-IN SHELVING PER OWNER SELECTION
<u> </u>	48"X34" PRE-FAB SHOWER PAN W/TILE WALLS
) 7)	72"W VANITY SINK - STYLE TO BE SELECTED BY OWNER
8	3/4" TILE FLOOR FINISH, TYP. AT ALL WET LOCATIONS U.N.O., CONSULT W/OWNER FOR
9	SELECTION EXT. WALL CONSTRUCTION AT F/R 1ST & 2ND LEVELS: HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
10)	ROOF OVER DECK BELOW - SEE ROOF PLAN
11)	HVAC CHASE
12)	MIRROR TO BE SELECTED BY OWNER
13	RAISED 2ND LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR W/ADHESIVE OVER 2X6 JOISTS AT 16" O.C. W/R-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)
14)	SHELF ABOVE WASHER/DRYER
15)	STACKED WASHER/DRYER - PROVIDE PAN UNDERNEATH, & W/D PLUMBING & DRYER VENT HOOKUPS AT REAR WALL
16)	STAIRS PER CODE TO ABOVE W/WOOD RISERS, TREADS, & SKIRT BOARDS
17)	TEMPERED GLASS SHOWER ENCLOSURE W/SWING DOOR
18)	TYP. 2X4 INTERIOR WALL W/ 1/2" DRYWALL FINISH
	UL 1-HOUR RATED ASSEMBLY "U305": HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH
20	UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED
21)	STAIRS PER CODE TO BELOW W/WOOD RISERS, TREADS, & SKIRT BOARDS
22)	12"H SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH PROVIDING 8'-0" FINISHED CELING HEIGHT
1	KEYNOTE LEGEND - 3RD FLOOR PLAN 42"H 2X4 FRAMED PARTY PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (BOTH SIDES) W/METAL DRIP CAP - SEE ENLARGED DETAIL
2	2X4 FRAMED PARTY WALL - SEE TYP. DETAIL
3	ALUMINUM GUTTER AT REAR DECK EDGE
4	42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
5	36"H 2X4 FRAMED HALF-WALL W/1X6 CAP
6	FRONT EXTERIOR FRAMED WALL AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING SHEATHING OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
7	DOOR SILL RAISED 4-1/2" W/(3)2X6'S
8	42"H 2X4 FRAMED PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR SIDE ONLY) & CONT. METAL CAP - SEE ENLARGED DETAIL
9	6"X8" ALUMINUM OVERFLOW WALL SCUPPER, FLASH OPENING AS REQUIRED - SEE ENLARGED DETAIL
10	OPEN BALCONY DECK CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS REAR) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING - SEE SECTION(S) & ENLARGED DETAILS
11)	OPTION FOR FULL BATH W/TOILET, 30" VANITY & 4'-0"W X 2'-10"D SHOWER
) 12)	EXT. WALL CONSTRUCTION AT REAR 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING OVER 2X6 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-19 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
13)	STAIRS PER CODE TO BELOW W/WOOD RISERS, TREADS, & SKIRT BOARDS
14)	TYP. 2X4 INTERIOR WALL W/ 1/2" DRYWALL FINISH
(15)	42"H 2X4 FRAMED PARAPET WALL W/HORIZONTAL LAP SIDING (OWNER TO SELECT) OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X6

KEYNOTE LEGEND - 2ND FLOOR PLAN

(15) MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X6 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN 16 STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED ALUMINUM COLLECTOR BOX W/DOWNSPOUT PARAPET TPO ROOF CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOO

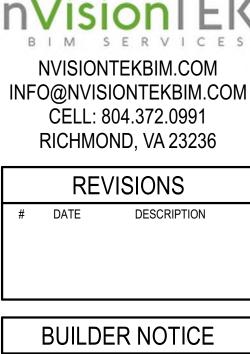
OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS SIDE GUTTER/ 8) DOWNSPOUT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY-FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING - SEE SECTION(S) & ENLARGED DETAILS 36"H RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T. POSTS - SEE ENLARGED DETAIL 0) ALUMINUM DOWNSPOUT 42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING WALL W/REVEAL PANEL 1) SYSTEM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP -SEE ENLARGED DETAIL UL 1-HOUR RATED ASSEMBLY "U305" AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH 3) 2X6 FRAMED PARTY WALL - SEE TYP. DETAIL

24) SHELF & ROD, OR BUILT-IN SHELVING PER OWNER SELECTION

MULTI-SHELVING FOR LINEN

SKIRT ROOF IN FRONT OF PARAPET WALL - SEE ENLARGED DETAIL FLOOR UNDER 3RD LEVEL CLOSET: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT)

OVER 3/4" T&G SUBFLOOR W/ADHESIVE OVER 2X8 JOISTS AT 16" O.C. W/R-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING



IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO **REVIEW ALL THE INFORMATION CONTAINED** IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS.

VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER

IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER SHEET, PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING NVISIONTEK, LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.

PROJECT NAME

UNION HILL AT 1308 N 26TH STREET

CLIENT(S)

CENTER CREEK HOMES 11 S 12TH STREET, SUITE 115 RICHMOND, VA, 23219 T: 804.999.4449

PROJECT ADDRESS

1308 N 26TH STREET RICHMOND, VA 23223

TITLE

2ND & 3RD FLOOR CONSTRUCTION PLANS

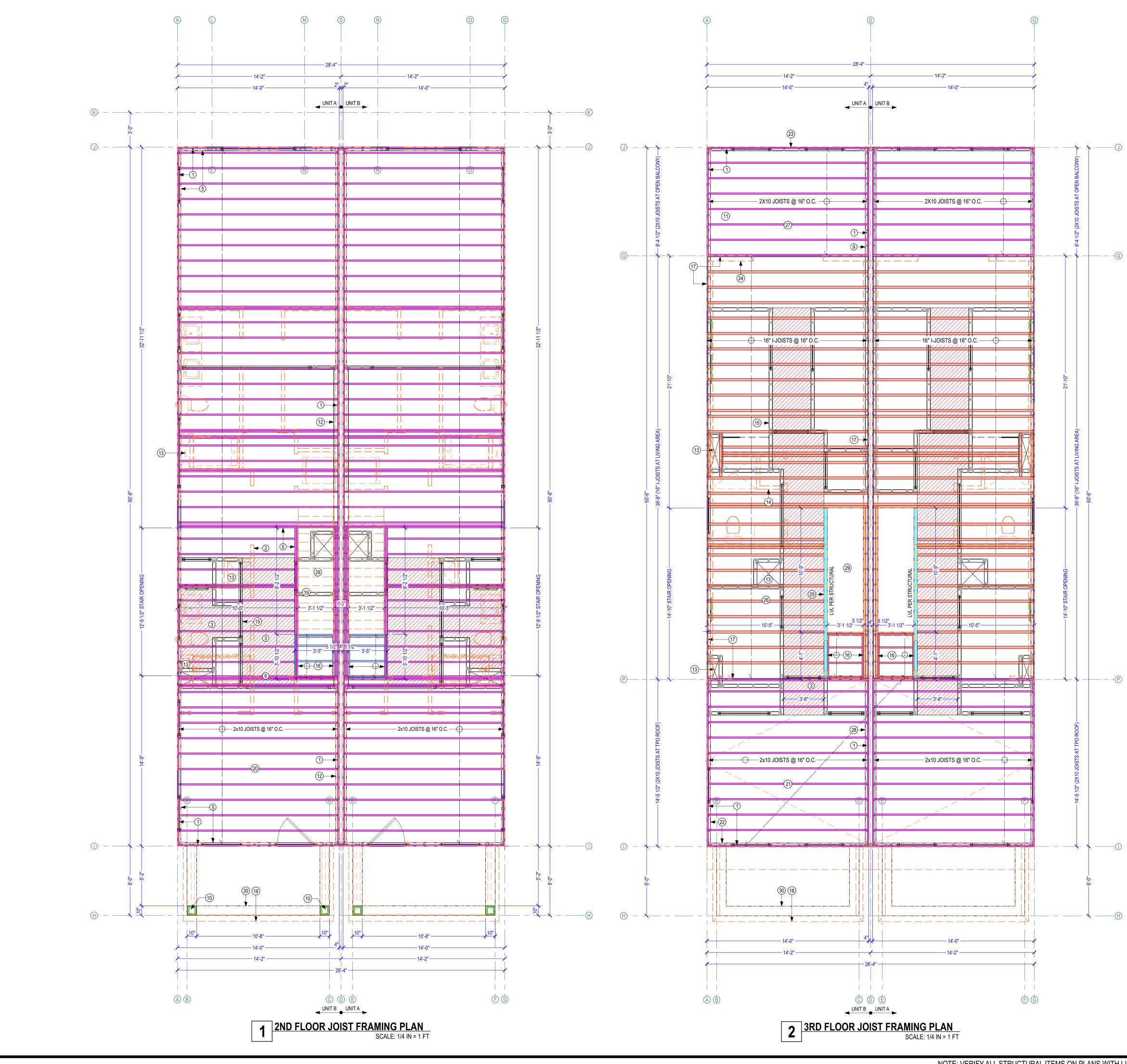
> DOCUMENT PHASE: PERMIT SET

> > PLOT DATE: 11/1/2021 9:56:58 AM

DRAWN BY: DUSTIN HETRICK

SCALE: SEE PLAN

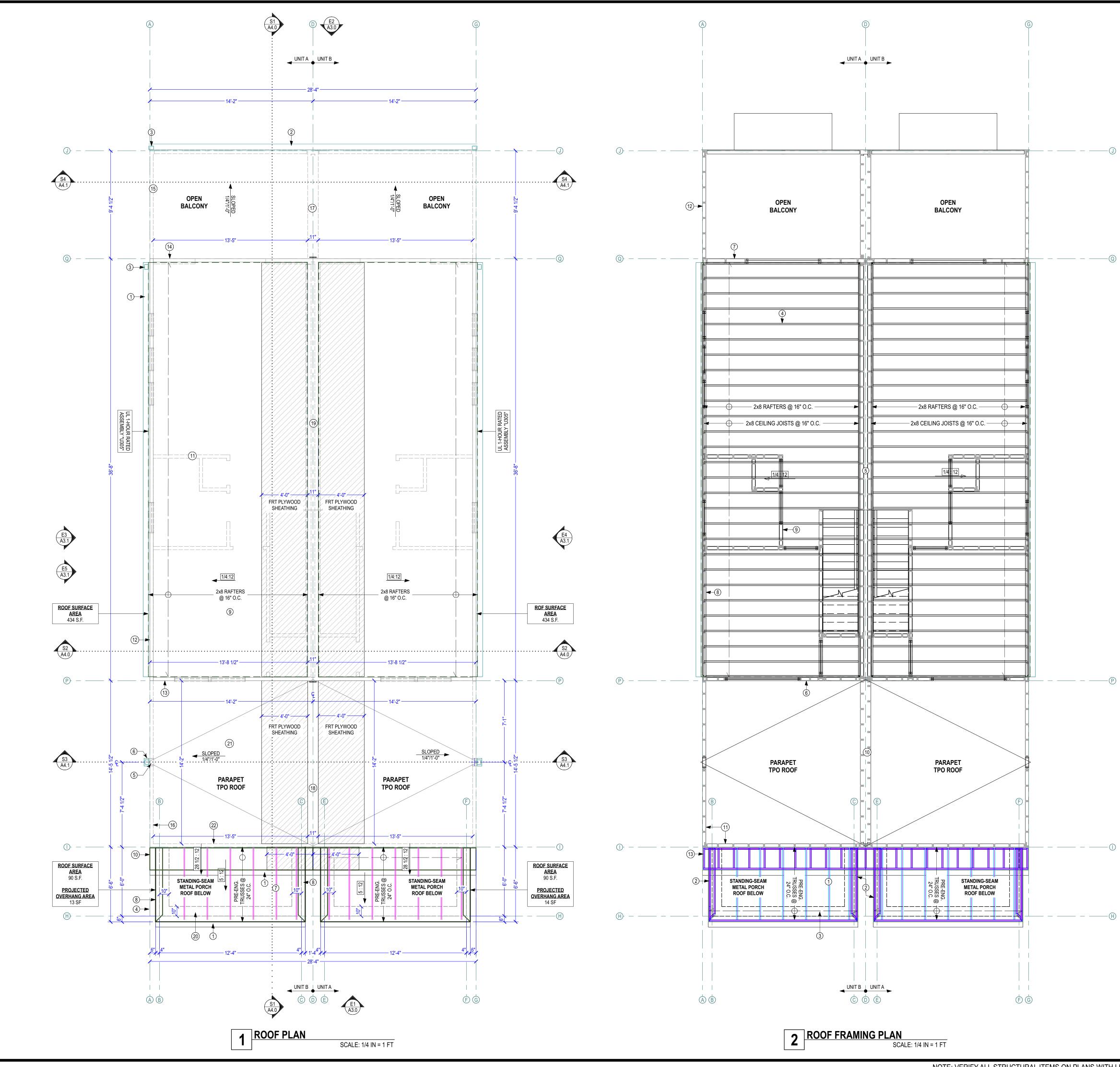
SHEET A1.2 6 OF 17



1	KEYNOTE LEGEND - FLOOR FRAMING PLANS 2X10 RIM JOIST	
2	2X4 FRAMED INTERIOR WALLS AT FLOOR ABOVE, TYP. AT DASHED LINES U.N.O.	
3 5	12"H HVAC CHASE UNDER FLOOR JOISTS W/ 1/2" DRYWALL CEILING FINISH	
6	2X4 FRAMED EXTERIOR WALL ABOVE & BELOW DBL 2X10 JOISTS AT STAIR OPENING	nVisionTEK
9	2X4 FRAMED PARTY WALL BELOW & 42"H 2X4 FRAMED RAILING PARTY WALL ABOVE - SEE ENLARGED DETAIL	NVISIONTEKBIM.COM
(10) (10)	4X4 WOOD POST FROM PORCH BEAM DOWN TO BRICK PIER BELOW	INFO@NVISIONTEKBIM.COM CELL: 804.372.0991
(11) (12)	2X4 FRAMED EXTERIOR WALL BELOW & 2X4 FRAMED RAILING WALL ABOVE AT OPEN BALCONY 2X4 FRAMED PARTY WALL ABOVE & BELOW - SEE ENLARGED DETAIL	RICHMOND, VA 23236
(13)	SPACE FLOOR JOISTS FOR HVAC CHASE OPENING	REVISIONS
(14)	2X4 FRAMED INTERIOR WALLS ABOVE, TYP. AT DASHED LINES U.N.O.	# DATE DESCRIPTION
(15) (16)	2X4 FRAMED INTERIOR WALLS BELOW, TYP. AT SOLID LINES U.N.O. STAIR LANDING PLATFORM WITH 2X6 JOISTS AT 16" O.C SEE SECTION	
(17)	1-1/8"X16" ENGINEERED RIM JOIST - VERIFY LAYOUT FROM I-JOIST MANUFACTURER	
(18)	PORCH ROOF BELOW - SEE ROOF PLAN	
(19) (20)	2X4 FRAMED KNEEWALL AT MECHANICAL ROOM BELOW STAIRS 2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RIM BOARD ENTIRE PERIMETER, TYPICAL	BUILDER NOTICE
21	THROUGHOUT 2ND FLOOR LEVEL 2X10 JOISTS AT 16" O.C. WITH 2X10 RIM JOIST, TYP. AT TPO ROOF	IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE
22	2X4 FRAMED EXTERIOR WALL BELOW & 36"H 2X4 FRAMED PARAPET WALL ABOVE	DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR
(23) (24)	2X4 FRAMED EXTERIOR WALL BELOW 2X6 FRAMED EXTERIOR WALL ABOVE	INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO
(24) (25)	LVL BEAM PER STRUCTURAL AT STAIR OPENING	REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO
26	16" I-JOIST AT 16" O.C. WITH 1-1/8" ENGINEERED RIM BOARD (AS SHOWN) - REFER TO JOIST LAYOUT BY I-JOIST MANUFACTURER	COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY
27	2X10 JOISTS AT 16" O.C. WITH 2X10 RIM JOIST, TYP. AT OPEN BALCONY 2X4 FRAMED PARTY WALL BELOW & 24"H 2X4 FRAMED PARAPET PARTY WALL ABOVE - SEE	PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL
28 29	ENLARGED DETAIL OPENING FOR STAIRS	SUBMISSION OF DRAWINGS.
30	PORCH BEAM BELOW - SEE SECTION	***VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER***
		IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER SHEET, PLEASE USE THEM AS YOUR FIRST
		POINT OF CONTACT BEFORE CONTACTING NVISIONTEK, LLC. OTHERWISE, ANY
		QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL:
		(804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.
		PROJECT NAME
		UNION HILL AT 1308 N
		26TH STREET
		CLIENT(S)
		CENTER CREEK HOMES
		11 S 12TH STREET, SUITE
		RICHMOND, VA, 23219 T: 804.999.4449
		PROJECT ADDRESS
		1308 N 26TH STREET
		RICHMOND, VA 23223
		TITLE
		2ND & 3RD FLOOR
		JOIST FRAMING PLANS
		DOCUMENT PHASE: PERMIT SET
		PLOT DATE: 11/1/2021 9:56:59 AM
		DRAWN BY: DUSTIN HETRICK
ſ	GENERAL STRUCTURAL NOTES	SCALE: SEE PLAN
	1 REFERENCE STRUCTURAL FRAMING TAGS TO SCHEDULES AND LEGEND, SHOWN ON THIS SHEET.	SHEET
	 2 LAYOUT SHOWN IS A GENERAL REFERENCE ONLY, AND SHOULD BE REVIEWED BY A LICENSED ENGINEER. ANY STRUCTURAL CHANGES ISSUED BY A LICENSED ENGINEER SHALL OVERRIDE INFORMATION SHOWN. 3 IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DECODIDATION 	A2.0
	DESCRIPTION.	7 OF 17

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NOTE: VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER.

	KEYNOTE LEGEND - ROOF PLAN	
	HALF-ROUND ALUMINUM GUTTER	
2	HALF-ROUND ALUMINUM GUTTER AT REAR DECK EDGE ALUMINUM DOWNSPOUT	
4	ALUMINUM DOWNSPOUT W/TOP ELBOW CONNECTED TO GUTTER AT FRONT AND BOTTOM ELBOW AT SIDE OF COLUMN/PIER	nVision TEK
(5) (6)	6"X8" ALUMINUM OVERFLOW WALL SCUPPER, FLASH OPENING AS REQUIRED - SEE TYP. DETAIL ALUMINUM COLLECTOR BOX W/DOWNSPOUT	BIM SERVICES
(7)	PORCH ROOF: STANDING SEAM METAL OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER PRE-ENGINEERED ROOF TRUSSES AT 24" O.C. W/HANGERS/CLIPS	NVISIONTEKBIM.COM INFO@NVISIONTEKBIM.COM
	AT HOUSE & HURRICANE CLIP AT OUTER BEAM - REFER TO DESIGN BY TRUSS MANUFACTURER 2X4 FRAMED FULL-LENGTH SOFFIT RETURN W/1X6 COMPOSITE FASCIA TRIM, HARDI-SOFFIT, &	CELL: 804.372.0991
(8) (9)	ALUMINUM TOP FINISH SLOPED 2"/1'-0" WITH FLASHING AS REQUIRED LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8	RICHMOND, VA 23236
(10)	CELLULOSE INSULATION SKIRT ROOF IN FRONT OF PARAPET WALL: STANDING-SEAM METAL ROOFING OVER SYNTHETIC	REVISIONS # DATE DESCRIPTION
	ENLARGED DETAIL	# DATE DESCRIPTION
12	2X4 FRAMED EXTERIOR WALL BELOW 2X4 FRAMED EXTERIOR WALL BELOW WITH 19"H 2X4 FRAMED PARAPET WALL ABOVE WITH	
(13) (14)	METAL CAP - SEE ENLARGED DETAIL 2X6 FRAMED EXTERIOR WALL BELOW WITH 19"H 2X4 FRAMED PARAPET WALL ABOVE WITH	
(15	42"H (36" ABOVE DECK) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING (BOTH SIDES), 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) & CONT. METAL CAP	BUILDER NOTICE
(16	& 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL 42"H 2X4 FRAMED PARAPET WALL W/HARDIPLANK SIDING, 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE), EPDM MEMBRANE (INTERIOR SIDE) & CONT. METAL CAP & 1X6 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL	IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE
(17	42"H (36" ABOVE DECK) 2X4 FRAMED PARTY RAILING WALL W/REVEAL PANEL SYSTEM (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL	DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR
(18) (19)		INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO
20	(3)2X10 PORCH BEAM BELOW - SEE SECTION	REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK.
(21)	PARAPET TPO ROOF CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS SIDE GUTTER/ DOWNSPOUT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C.	NVISIONTEK IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR
	W/3" MIN. SPRAY-FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING - SEE SECTION(S) & ENLARGED DETAILS 42"H 2X4 FRAMED PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR	MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS.
(22)	SIDE ONLY) & CONT. METAL CAP - SEE ENLARGED DETAIL	***VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL
1	KEYNOTE LEGEND - ROOF FRAMING PLAN PRE-ENGINEERED ROOF TRUSSES AT 24" O.C. W/HANGERS/CLIPS AT HOUSE & HURRICANE CLIP AT OUTER BEAM - REFER TO DESIGN BY TRUSS MANUFACTURER	ENGINEER***
2	FULL-LENGTH SOFFIT RETURN WITH 2X4 RAFTERS AT 16" O.C. SLOPED 2" PER 1'-0"	IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER SHEET, PLEASE USE THEM AS YOUR FIRST
3	(3)2X10 PORCH BEAM BELOW - SEE SECTION 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0") OVER 2X8 CEILING JOISTS AT 16" O.C.	POINT OF CONTACT BEFORE CONTACTING NVISIONTEK, LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE
5	19"H 2X4 FRAMED PARTY PARAPET WALL (ABOVE 3RD FLOOR CEILING) - SEE ENLARGED DETAIL	DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL:
6 7	2X4 FRAMED EXTERIOR WALL BELOW WITH 19"H 2X4 FRAMED PARAPET WALL ABOVE - SEE ENLARGED DETAIL 2X6 FRAMED EXTERIOR WALL BELOW WITH 19"H 2X4 FRAMED PARAPET WALL ABOVE - SEE	(804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.
() (8)	ENLARGED DETAIL 2X4 FRAMED EXTERIOR WALL BELOW	PROJECT NAME
9	2X4 FRAMED INTERIOR WALLS BELOW, TYP. U.N.O.	
(10) (11)		UNION HILL AT 1308 N 26TH STREET
(12)	42"H 2X4 FRAMED BALCONY RAILING WALL - SEE ENLARGED DETAIL SKIRT ROOF IN FRONT OF PARAPET WALL: STANDING-SEAM METAL ROOFING OVER SYNTHETIC	
(13)	UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER 2X6 RAFTERS AT 16" O.C SEE ENLARGED DETAIL	
		CENTER CREEK HOMES 11 S 12TH STREET, SUITE
		RICHMOND, VA, 23219 T: 804.999.4449
	GENERAL ROOF VENT CALCULATIONS	
	TWO METHODS OF NET FREE VENT AREA (NFVA) CALCULATION	
	 1:150 (1 SF OF VENTILATION FOR EVERY 150 SF OF ATTIC FLOOR SPACE 1:300 (1 SF OF VENTILATION FOR EVERY 300 SF OF ATTIC FLOOR SPACE 	
	THE US FHA REQURIES A MIN. OF 1:300 NFVA, HOWEVER 1:150 IS RECOMMENDED FOR OPTIMAL PERFORMANCE, AND MAY BE REQUIRED DEPENDING ON LOCAL BUILDING CODES.	PROJECT ADDRESS
	BOTH OF THESE CALCULATIONS ARE BASED ON AN IDEALLY BALANCED SYSTEM	1308 N 26TH STREET RICHMOND, VA 23223
	(50% INTAKE, 50% EXHAUST). ROOF SQUARE FOOTAGE	
	MAIN ROOF SQUARE FOOTAGE = XXX SF +/- AT 1:150 = XXX SQ. IN. OF NET FREE VENT AREA (NFVA)	
	50% INTAKE (EAVE VENT) = XX LF +/- SF AT EAVES 50% EXHAUST VENT (RIDGE VENT) = 19.2 +/- SF AT RIDGES	
	EAVE PERIMETER AVAILBILITY = XX LF +/- AVAILABLE RIDGE LENGTH = XX'-X" LF +/-	TITLE
Ĺ		ROOF PLAN & ROOF
	GENERAL ROOF PLAN NOTES 1. ROOF SLOPE ARROWS POINT IN THE DIRECTION IN WHICH WATER WILL FLOW.	FRAMING PLAN
	2. INSTALL ROOF COVERINGS, FLASHING, CRICKETS, AND ROOF DRAINAGE IN ACCORDANCE WITH CODE REQUIREMENTS.	
	3. ANY TRUSSES SHOWN ARE FOR ILLUSTRATION ONLY. REFERENCE TRUSS LAYOUT	DOCUMENT PHASE:
	DRAWINGS BY OTHERS, IF TRUSSES ARE NOTED (IN LIEU OF RAFTERS). 4. RIDGE VENT AS REQ'D FOR ADEQUATE VENTILATION, UNLESS PLANS INDICATE	PERMIT SET
	SEALED AND CONDITIONED ATTIC SPACE. 5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR	PLOT DATE:
	DESCRIPTION.	11/1/2021 9:57:00 AM
	6. PLACE ROOF PENETRATIONS (EXHAUSTS, VENT STACKS, ETC.) IN LEAST VISIBLE AREAS PRACTICAL.	
	7. PROVIDE ICE & WATER SHIELD 3' UP FROM ROOF EDGES & IN ALL VALLEY	DRAWN BY: DUSTIN HETRICK
	8. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.	SCALE: SEE PLAN
	GENERAL STRUCTURAL NOTES 1 REFERENCE STRUCTURAL FRAMING TAGS TO SCHEDULES AND LEGEND, SHOWN ON	
	2 LAYOUT SHOWN IS A GENERAL REFERENCE ONLY, AND SHOULD BE REVIEWED BY A	SHEET
	LICENSED ENGINEER. ANY STRUCTURAL CHANGES ISSUED BY A LICENSED ENGINEER SHALL OVERRIDE INFORMATION SHOWN.	II A2.1
	3 IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.	8 OF 17







	KEYNOTE LEGEND - EXTERIOR ELEVATIONS	
	APPROXIMATE FINISHED GRADE, SLOPE AWAY FROM HOUSE (V.I.F.)	
2	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING W/(2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS, TYP. ALL FOOTINGS U.N.O.	
3	PARGED CMU FOUNDATION - SEE FOUNDATION PLAN	m) /inin mTEL/
4	30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE	nVisionTEK
5	16"X16" CMU PIERS W/PARGE COAT TO GRADE, GROUT & TAPER TOP FOR WATER DRAINAGE	BIM SERVICES
6	LATTICE SKIRTING	NVISIONTEKBIM.COM
7	WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD; 11" TREADS, MAX. 8" RISERS, TREAD MATERIAL TO MATCH PORCH FLOOR, PROVIDE LATTICE SKIRTING	INFO@NVISIONTEKBIM.COM CELL: 804.372.0991
8	BLACK PAINTED STEEL/IRON HANDRAIL AT STEPS, MIN. 34"H 10" SQUARE LOAD-BEARING SYNTHETIC COLUMN - PROVIDE 4X4 P.T. WOOD POST DOWN TO	RICHMOND, VA 23236
9	PIER W/GALV. POST ANCHOR 36"H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36"H, W/STAINLESS STEEL CABLES AT 4"	REVISIONS
10	0.C., RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR ABOVE FINISHED GRADE 2X P.T. WOOD STEPS TO GRADE W/36"H P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS	# DATE DESCRIPTION
(11)	@ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL	
(12)	DECK FRAMING: 5/4X6 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS & (2)2X8 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED	
(13)	P.T. 6X6 DECK POSTS FASTENED W/SIMPSON POST BASE ON 18"DIA CONCRETE FOOTINGS MIN. 18" BELOW GRADE, TYP SEE ENLARGED DETAIL	
14	36"H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING MOUNTED FLUSH INSIDE RIM JOIST - SEE ENLARGED DETAIL 36"H RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T.	BUILDER NOTICE
(15)	POSTS - SEE ENLARGED DETAIL	IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF
(16)	5/4 P.T. DECKING BOARDS W/PAINTED COMPOSITE 1X10 OUTER BOARD AND 1X4 TOP TRIM	THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING
17	DOOR SILL RAISED 4-1/2" W/(3)2X6'S	LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN
(18)	(2)5/4X4 PAINTED COMPOSITE VERTICAL TRIM AT CENTER OF UNITS - SYMMETRICAL COLOR	MADE TO PREVENT ERROR. THE BUILDER
(19)	5/4X4 PAINTED COMPOSITE FRIEZE TRIM	AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED
20	1X6 PAINTED COMPOSITE FASCIA TRIM	IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK.
(21)	1X4 PAINTED COMPOSITE FRIEZE TRIM	NVISIONTEK IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR
22	5/4X4 PAINTED COMPOSITE CORNER TRIM, TYP.	MISINTERPRETATIONS UNDETECTED AND
23	1X8 PAINTED COMPOSITE FASCIA W/METAL DRIP CAP	NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS.
24	1X4 PAINTED COMPOSITE WINDOW & DOOR TRIM, TYP.	***VERIFY ALL STRUCTURAL ITEMS ON
25	CONTINUOUS METAL PARAPET WALL CAP - SEE ENLARGED DETAIL	PLANS WITH LICENSED STRUCTURAL ENGINEER***
26	CONTINUOUS METAL RAILING WALL CAP & 1X4 PAINTED COMPOSITE OUTER TRIM - SEE	IF THE GENERAL CONTRACTOR OR
27	ENLARGED DETAIL CONTINUOUS 5/4X6 PAINTED COMPOSITE TRIM SEPARATING HORIZONTAL LAP SIDING &	ARCHITECT IS SHOWN ON THE COVER
28	REVEAL PANEL SYSTEM (2)5/4X4 PAINTED COMPOSITE VERTICAL TRIM AT CENTER OF UNITS - MATCH COLORS FOR	SHEET, PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING
29	EACH UNIT CEMENTITIOUS HORIZONTAL LAP SIDING	NVISIONTEK, LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE
30	BUILT-UP PORCH BEAM W/1X PAINTED COMPOSITE TRIM BOARDS (10" FINISHED WIDTH) - SEE	DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL:
(31)	SECTION & ENLARGED DETAIL	(804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.
\vdash	HARDIEPANEL SMOOTH, FINISH TO MATCH PORCH TRIM	
32	HARDIEPANEL SMOOTH WITH ALUMINUM REVEAL JOINT SYSTEM, LIGHT MIST	PROJECT NAME
33	STANDING-SEAM METAL ROOF, CONSULT W/OWNER FOR SELECTION 42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP	
34	SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL 42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING WALL W/REVEAL PANEL	UNION HILL AT 1308 N 26TH STREET
(35)	SYSTÈM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL	
36)	2X4 FRAMED FULL-LENGTH SOFFIT RETURN W/1X6 PAINTED COMPOSITE FASCIA TRIM, VENTED COMPOSITE SOFFIT, & ALUMINUM TOP FINISH SLOPED 2"/1'-0" WITH FLASHING AS REQUIRED	
37)	LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0") OVER 2X8 CEILING JOISTS AT 16" O.C. WITH R-49	
38	CELLULOSE INSULATION ALUMINUM DOWNSPOUT	CLIENT(S)
(39)	ALUMINUM COLLECTOR BOX W/DOWNSPOUT	CENTER CREEK HOMES
(40)	ALUMINUM GUTTER AT REAR DECK EDGE	11 S 12TH STREET, SUITE
(41)	ALUMINUM DOWNSPOUT W/TOP ELBOW CONNECTED TO GUTTER AT FRONT AND BOTTOM	
(42)	ELBOW AT SIDE OF COLUMN/PIER HALF-ROUND ALUMINUM GUTTER	RICHMOND, VA, 23219
(42)	HALF-ROUND ALUMINUM GUTTER AT REAR DECK EDGE TO DOWNSPOUT	T: 804.999.4449
(43) (44)	HALF-ROUND ALUMINUM GUTTER AT REAR DECK EDGE TO DOWNSPOUT	
\square	SKIRT ROOF IN FRONT OF PARAPET WALL W/PAINTED COMPOSITE PANEL AT ENDS, 1X6	
(45)	PAINTED COMPOSITE FASCIA TRIM, VENTED COMPOSITE SOFFIT, 5/4X6 PAINTED COMPOSITE FRIEZE TRIM, & HALF-ROUND ALUMINUM GUTTER W/DOWNSPOUT - SEE ENLARGED DETAIL	
		PROJECT ADDRESS
		1308 N 26TH STREET RICHMOND, VA 23223

	PLOT DATE: 11/1/2021 9:57:01 AM
GENERAL ELEVATION & 3D NOTES 1. REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.	DRAWN BY: DUSTIN HETRICK
2. ANY FURNITURE SHOWN IS GENERIC AND IS FOR REFERENCE ONLY. CONSULT WITH INTERIOR DESIGNER (IF APPLICABLE) FOR SPACE PLANNING.	SCALE: SEE PLAN
3. ALL MATERIALS, PATTERNS, TRIM, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN DO NOT REPRESENT EXACT SELECTIONS. GENERIC	SHEET
 STYLES SHOWN, UNLESS OTHERWISE INDICATED. 4. TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO SURVEY PHOTOS OR SITE PLAN (BY OTHERS). 	A3.0
5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.	9 OF 17

TITLE

EXTERIOR

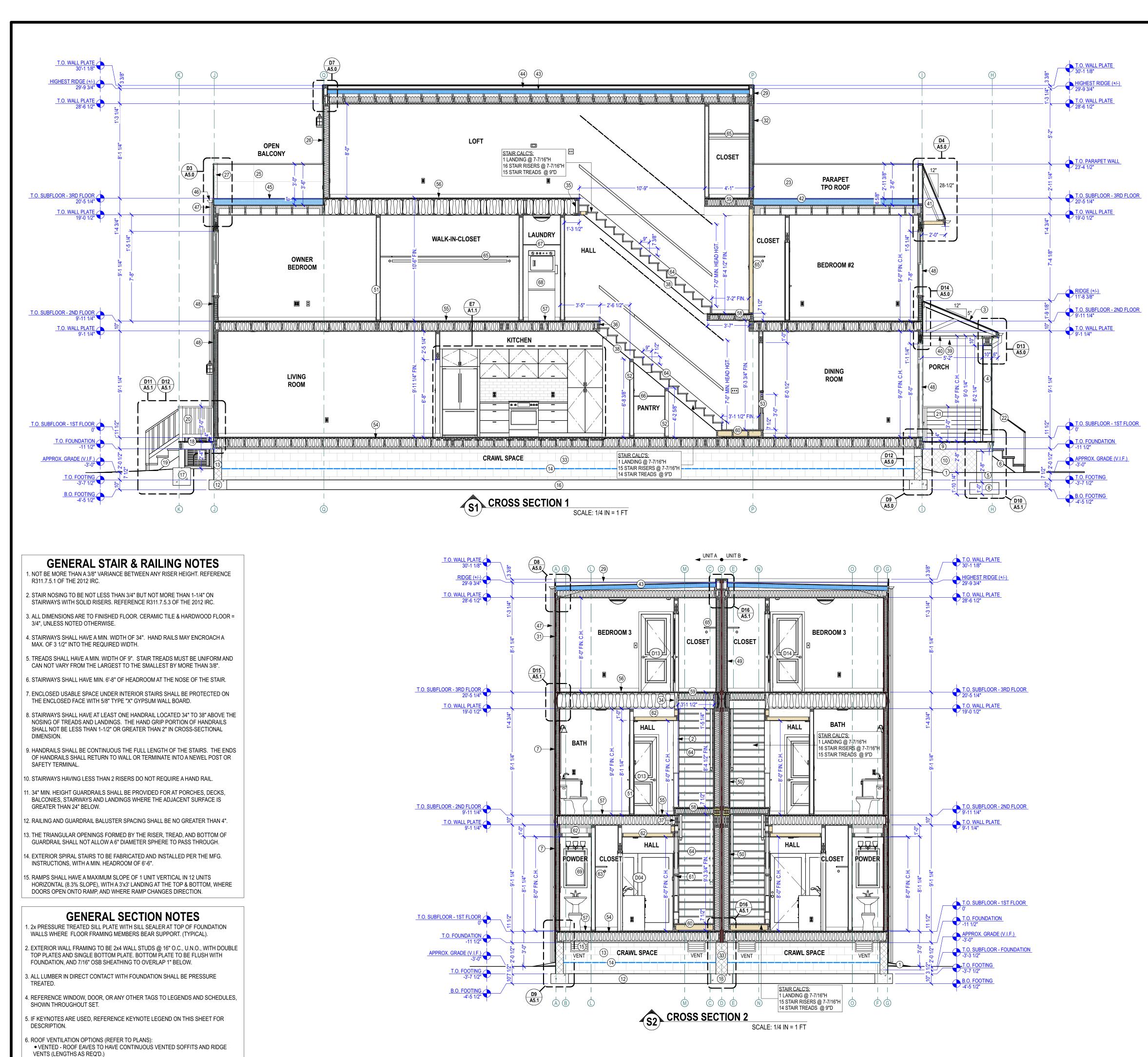
ELEVATIONS

DOCUMENT PHASE: PERMIT SET

9 OF 17

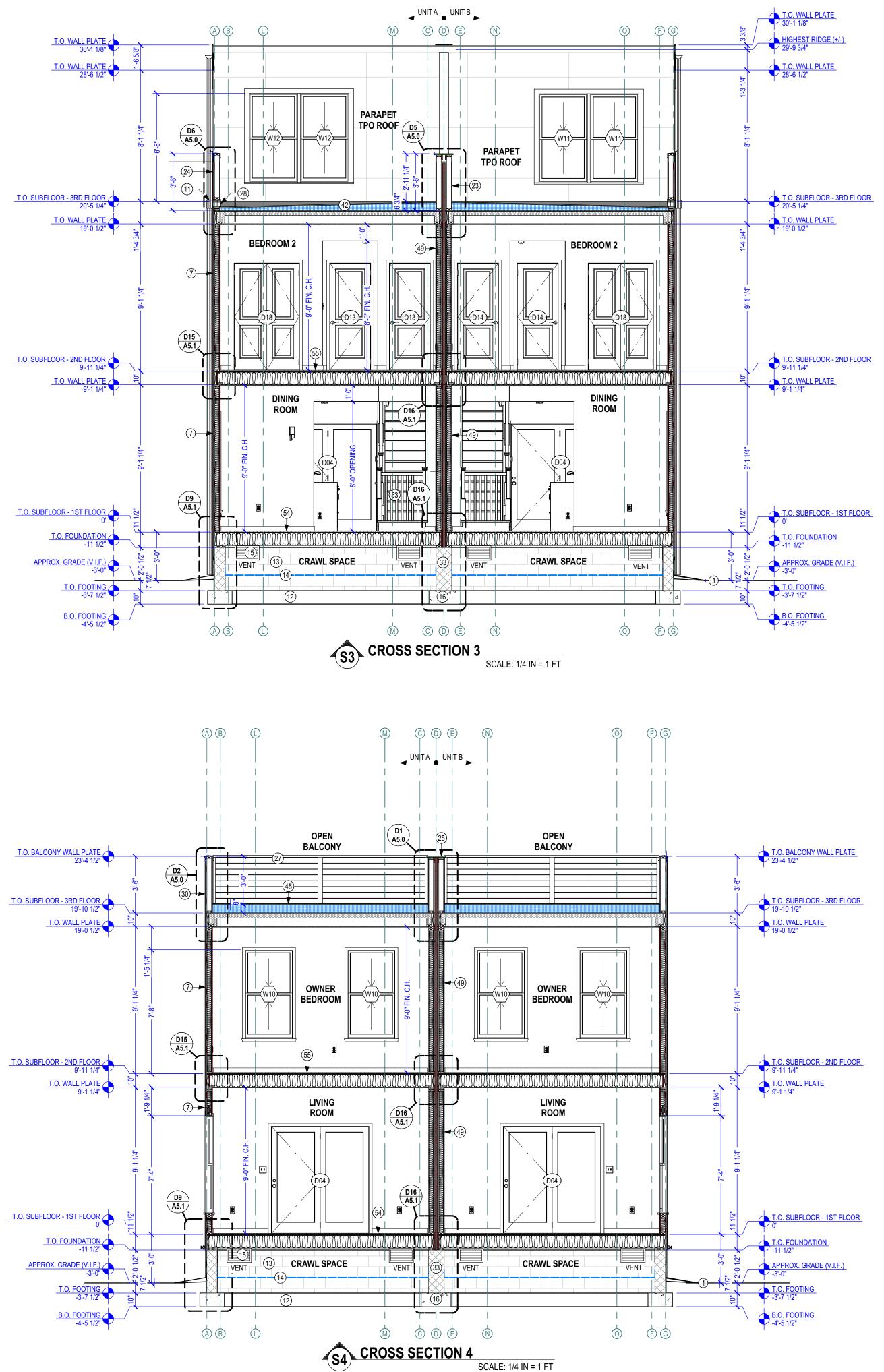


		KEYNOTE LEGEND - EXTERIOR ELEVATIONS APPROXIMATE FINISHED GRADE, SLOPE AWAY FROM HOUSE (V.I.F.)	
<u>E</u> .	() (2) (3)	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING W/(2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS, TYP. ALL FOOTINGS U.N.O. PARGED CMU FOUNDATION - SEE FOUNDATION PLAN	
	(4) (5)	30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE 16"X16" CMU PIERS W/PARGE COAT TO GRADE, GROUT & TAPER TOP FOR WATER DRAINAGE	NVISIONTEK
<u>E</u>) 6 7 8	LATTICE SKIRTING WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD; 11" TREADS, MAX. 8" RISERS, TREAD MATERIAL TO MATCH PORCH FLOOR, PROVIDE LATTICE SKIRTING BLACK PAINTED STEEL/IRON HANDRAIL AT STEPS, MIN. 34"H	NVISIONTEKBIM.COM INFO@NVISIONTEKBIM.COM CELL: 804.372.0991 RICHMOND, VA 23236
	9 (10)	10" SQUARE LOAD-BEARING SYNTHETIC COLUMN - PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR 36"H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36"H, W/STAINLESS STEEL CABLES AT 4" O.C., RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR	REVISIONS
<u>IOR</u>	$\begin{array}{c} 10 \\ \hline 11 \\ \hline 12 \\ \hline \end{array}$	ABOVE FINISHED GRADE 2X P.T. WOOD STEPS TO GRADE W/36"H P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL DECK FRAMING: 5/4X6 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS & (2)2X8 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH	# DATE DESCRIPTION
	(12)	BOLTS AT 16" O.C. STAGGERED P.T. 6X6 DECK POSTS FASTENED W/SIMPSON POST BASE ON 18"DIA CONCRETE FOOTINGS MIN. 18" BELOW GRADE, TYP SEE ENLARGED DETAIL	
	(14) (15)	36"H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING MOUNTED FLUSH INSIDE RIM JOIST - SEE ENLARGED DETAIL 36"H RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T. POSTS - SEE ENLARGED DETAIL	BUILDER NOTICE
	(16) (17)	5/4 P.T. DECKING BOARDS W/PAINTED COMPOSITE 1X10 OUTER BOARD AND 1X4 TOP TRIM DOOR SILL RAISED 4-1/2" W/(3)2X6'S	DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR
<u>DOR</u>) (18) (19)	(2)5/4X4 PAINTED COMPOSITE VERTICAL TRIM AT CENTER OF UNITS - SYMMETRICAL COLOR	INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO
	20	1X6 PAINTED COMPOSITE FASCIA TRIM	REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY
	(21) (22)	1X4 PAINTED COMPOSITE FRIEZE TRIM 5/4X4 PAINTED COMPOSITE CORNER TRIM, TYP.	PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL
	23 (24)	1X8 PAINTED COMPOSITE FASCIA W/METAL DRIP CAP 1X4 PAINTED COMPOSITE WINDOW & DOOR TRIM, TYP.	SUBMISSION OF DRAWINGS. ***VERIFY ALL STRUCTURAL ITEMS ON
OD.	25	CONTINUOUS METAL PARAPET WALL CAP - SEE ENLARGED DETAIL CONTINUOUS METAL RAILING WALL CAP & 1X4 PAINTED COMPOSITE OUTER TRIM - SEE	PLANS WITH LICENSED STRUCTURAL ENGINEER***
<u>OR</u>	(26) (27)	ENLARGED DETAIL CONTINUOUS 5/4X6 PAINTED COMPOSITE TRIM SEPARATING HORIZONTAL LAP SIDING & REVEAL PANEL SYSTEM (2)5/4X4 PAINTED COMPOSITE VERTICAL TRIM AT CENTER OF UNITS - MATCH COLORS FOR	IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER SHEET, PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING
	(28) (29)	ÉÁCH UNIT HORIZONTAL LAP SIDING, CONSULT W/OWNER FOR SELECTION	NVISIONTEK, LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO
	(30) (31)	BUILT-UP PORCH BEAM W/1X PAINTED COMPOSITE TRIM BOARDS (10" FINISHED WIDTH) - SEE SECTION & ENLARGED DETAIL HARDIEPANEL SMOOTH, FINISH TO MATCH PORCH TRIM	DUSTIN HETRICK AT NVISIONTEK, LLC, CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.
	(32) (33)	HARDIEPANEL SMOOTH WITH ALUMINUM REVEAL JOINT SYSTEM, LIGHT MIST STANDING-SEAM METAL ROOF, CONSULT W/OWNER FOR SELECTION	PROJECT NAME
) (34) (35)	42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL 42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING WALL W/REVEAL PANEL SYSTEM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP -	UNION HILL AT 1308 N 26TH STREET
	36 36	SEE ENLARGED DETAIL 2X4 FRAMED FULL-LENGTH SOFFIT RETURN W/1X6 PAINTED COMPOSITE FASCIA TRIM, VENTED COMPOSITE SOFFIT, & ALUMINUM TOP FINISH SLOPED 2"/1"-0" WITH FLASHING AS REQUIRED	
	37	LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0") OVER 2X8 CEILING JOISTS AT 16" O.C. WITH R-49 CELLULOSE INSULATION	CLIENT(S)
	(38) (39)	ALUMINUM DOWNSPOUT ALUMINUM COLLECTOR BOX W/DOWNSPOUT	CENTER CREEK HOMES 11 S 12TH STREET, SUITE
	(40) (41)	ALUMINUM GUTTER AT REAR DECK EDGE ALUMINUM DOWNSPOUT W/TOP ELBOW CONNECTED TO GUTTER AT FRONT AND BOTTOM ELBOW AT SIDE OF COLUMN/PIER	115 RICHMOND, VA, 23219
	(42) (43)	HALF-ROUND ALUMINUM GUTTER HALF-ROUND ALUMINUM GUTTER AT REAR DECK EDGE TO DOWNSPOUT	T: 804.999.4449
	(44) (45)	HVAC AIR CONDENSER - REFER TO HVAC CONTRACTOR FOR HVAC REQUIREMENTS SKIRT ROOF IN FRONT OF PARAPET WALL W/PAINTED COMPOSITE PANEL AT ENDS, 1X6 PAINTED COMPOSITE FASCIA TRIM, VENTED COMPOSITE SOFFIT, 5/4X6 PAINTED COMPOSITE FRIEZE TRIM, & HALF-ROUND ALUMINUM GUTTER W/DOWNSPOUT - SEE ENLARGED DETAIL	
<u>.OOR</u>			PROJECT ADDRESS
			1308 N 26TH STREET RICHMOND, VA 23223
			TITLE
<u>.oor</u>			EXTERIOR ELEVATIONS
			DOCUMENT PHASE: PERMIT SET
<u>OOR</u>			PLOT DATE: 11/1/2021 9:57:02 AM
-		GENERAL ELEVATION & 3D NOTES 1. REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.	DRAWN BY: DUSTIN HETRICK
		2. ANY FURNITURE SHOWN IS GENERIC AND IS FOR REFERENCE ONLY. CONSULT WITH INTERIOR DESIGNER (IF APPLICABLE) FOR SPACE PLANNING.	SCALE: SEE PLAN
		3. ALL MATERIALS, PATTERNS, TRIM, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN DO NOT REPRESENT EXACT SELECTIONS. GENERIC STYLES SHOWN, UNLESS OTHERWISE INDICATED.	SHEET
		 TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO SURVEY PHOTOS OR SITE PLAN (BY OTHERS). IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION. 	A3.1



• NON-VENTED - ATTIC AND CRAWL SPACES TO BE SEALED AND CONDITIONED WITH MECHANICAL VENTILATION AND HVAC. ROOF EAVES AND RIDGES TO BE NON-VENTED.

	KEYNOTE LEGEND - 1/4" SCALE SECTION(S)	
① ②	APPROXIMATE FINISHED GRADE, SLOPE AWAY FROM HOUSE (V.I.F.) 36"H 2X4 FRAMED RAILING WALL W/1X6 CAP FOLLOWING STAIRS UP TO 3RD LEVEL	
3	PORCH ROOF: STANDING SEAM METAL OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER PRE-ENGINEERED ROOF TRUSSES AT 24" O.C. W/HANGERS/CLIPS AT HOUSE & HURRICANE CLIP AT OUTER BEAM - REFER TO DESIGN BY TRUSS MANUFACTURER	
4	10" SQUARE LOAD-BEARING SYNTHETIC COLUMN - PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR	nVision TEK
5 6	16"X16" CMU PIERS W/PARGE COAT TO GRADE, GROUT & TAPER TOP FOR WATER DRAINAGE WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD; 11" TREADS,	BIM SERVICES NVISIONTEKBIM.COM
0	MAX. 8" RISERS, TREAD MATERIAL TO MATCH PORCH FLOOR, PROVIDE LATTICE SKIRTING UL 1-HOUR RATED ASSEMBLY "U305": HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH	INFO@NVISIONTEKBIM.COM CELL: 804.372.0991
8	30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE PORCH FRAMING: 5/4 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS W/(3) 2X10 P.T.	RICHMOND, VA 23236
(9) (10)	OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 32" O.C. STAGGERED, PROVIDE METAL FLASHING AT HOUSE LATTICE SKIRTING	REVISIONS
(10)	ALUMINUM COLLECTOR BOX W/DOWNSPOUT	# DATE DESCRIPTION
<u> </u> (12)	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING W/(2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS, TYP. ALL FOOTINGS U.N.O. 8" CMU FOUNDATION WALL WITH PARGE COAT TO GRADE, #4 VERTICAL REINFORCING WITH BENT HOOK INTO	
(13)	FOOTING BELOW & ANCHOR BOLTS AT 6' O.C., MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID- SEE ENLARGED DETAIL	
(14) (15)	20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPE 8X16 SLOTTED GALVANIZED CRAWLSPACE VENT WITH INSECT SCREE, TYP. AS SHOWN - SEE FOUNDATION NOTES	BUILDER NOTICE
(16)	FOR VENTING REQUIREMENTS CONT. 22" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 30" BELOW GRADE- SEE GEOTECH. REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)	IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF
(17)	P.T. 6X6 DECK POSTS FASTENED W/SIMPSON POST BASE ON 18"DIA CONCRETE FOOTINGS MIN. 18" BELOW GRADE, TYP SEE ENLARGED DETAIL DECK FRAMING: 5/4X6 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS & (2)2X8 P.T.	THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR
(18) (19)	FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED 2X P.T. WOOD STEPS TO GRADE W/36"H P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX	INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER
(20)	SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL 36"H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING MOUNTED FLUSH INSIDE RIM JOIST -	AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO
(21)	SEE ENLARGED DETAIL 36"H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36"H, W/STAINLESS STEEL CABLES AT 4" O.C., RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR ABOVE FINISHED GRADE	COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY
22	BLACK PAINTED STEEL/IRON HANDRAIL AT STEPS, MIN. 34"H 42"H 2X4 FRAMED PARTY PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (BOTH SIDES) W/METAL	PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL
23 04	DRIP CAP - SEE ENLARGED DETAIL 42"H 2X4 FRAMED PARAPET WALL W/HORIZONTAL LAP SIDING (OWNER TO SELECT) OVER HOUSE WRAP OVER 5/8"	SUBMISSION OF DRAWINGS.
(24) (25)	FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X6 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL 42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING WALL W/REVEAL PANEL SYSTEM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL	***VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER***
26	EXT. WALL CONSTRUCTION AT REAR 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING OVER 2X6 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-19	IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER
27	BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH 36"H RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T. POSTS - SEE ENLARGED DETAIL	SHEET, PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING
28	6"X8" ALUMINUM OVERFLOW WALL SCUPPER, FLASH OPENING AS REQUIRED - SEE ENLARGED DETAIL	NVISIONTEK, LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO
(29) (30)	19"H 2X4 FRAMED PARAPET WALL WITH METAL CAP - SEE ENLARGED DETAIL 42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL	DUSTIN HETRICK AT NVISIONTEK, LLC, CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.
(31)	UL 1-HOUR RATED ASSEMBLY "U305" AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH	PROJECT NAME
(32)	FRONT EXTERIOR FRAMED WALL AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING SHEATHING OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/ CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH	UNION HILL AT 1308 N
(33) (34)	12" CMU FOUNDATION WALL WITH #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6' O.C., MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ ANCHOR BOLTS SOLID- SEE ENLARGED PARTY WALL DETAIL LVL BEAM OR DBL I-JOIST W/GALV. HANGERS AT STAIR OPENING - REFER TO LAYOUT BY JOIST MANUFACTURER	26TH STREET
35	DBL I-JOIST AT STAIR OPENING - REFER TO LAYOUT BY JOIST MANUFACTURER	
(36) (37)	DBL 2X10 JOISTS AT STAIR OPENING DBL 2X10 JOISTS W/GALV. HANGERS AT STAIR OPENING	CLIENT(S)
38	1/2" DRYWALL FINISH UNDER STAIRS W/2X4 NAILERS AT 24" O.C.	CENTER CREEK HOMES
39 (1)	BUILT-UP PORCH BEAM W/1X PAINTED COMPOSITE TRIM BOARDS (10" FINISHED WIDTH) - SEE SECTION & ENLARGED DETAIL	11 S 12TH STREET, SUITE 115
(40) (41)	1/4" THICK BEADBOARD CEILING FINISH SKIRT ROOF IN FRONT OF PARAPET WALL: STANDING-SEAM METAL ROOFING OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER 2X6 RAFTERS AT 16" O.C SEE ENLARGED DETAIL	RICHMOND, VA, 23219 T: 804.999.4449
(42)	PARAPET TPO ROOF CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS SIDE GUTTER/DOWNSPOUT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY-FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING	1. 004.999.4449
(43) (44)	LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0") OVER 2X8 CEILING JOISTS AT 16" O.C. WITH R-49 CELLULOSE INSULATION 19"H 2X4 FRAMED PARTY PARAPET WALL (ABOVE 3RD FLOOR CEILING) W/ METAL DRIP CAP - SEE ENLARGED DETAIL	
(45)	OPEN BALCONY DECK CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS REAR) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING	PROJECT ADDRESS
46	ALUMINUM GUTTER AT REAR DECK EDGE	1308 N 26TH STREET
(47)	ALUMINUM DOWNSPOUT EXT. WALL CONSTRUCTION AT F/R 1ST & 2ND LEVELS: HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR	RICHMOND, VA 23223
(48)	BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE	
(49)	& (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X6 STUDS AT 16" O.C. W/(2) TOP PLATE	
50	& (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED	
(51) (52)	TYP. 2X4 INTERIOR WALL W/ 1/2" DRYWALL FINISH 2X4 KNEEWALL UNDER STAIRS W/ 1/2" DRYWALL FINISH	
53	34-36"H WOOD RAILING ON EDGE OF LANDING, PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEWEL POSTS, CONSULT W/OWNER FOR SELECTIONS)	BUILDING SECTIONS
<u>(54)</u>	1ST LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 FLOOR JOISTS AT 16" O.C. W/R-19 BATT INSULATION 2ND LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB	
(55)	2ND LEVEL FLOOR STRUCTORE: 3/4 HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4 T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 FLOOR JOISTS AT 16" O.C. W/R-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) 3RD LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB	
<u>56</u>	SUBFLOOR GLUED & NAILED OVER 14" ENGINEERED I-JOISTS AT 16" O.C. (REFER TO LAYOUT BY MANUFACTURER) W/R-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED)	
(57)	3/4" TILE FLOOR FINISH, TYP. AT ALL WET LOCATIONS U.N.O., CONSULT W/OWNER FOR SELECTION RAISED 2ND LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G	PERMIT SET
(58)	SUBFLOOR W/ADHESIVE OVER 2X6 JOISTS AT 16" O.C. W/R-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING) FLOOR UNDER 3RD LEVEL CLOSET: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBELOOR W/ADHESIVE OVER 3X8 JOISTS AT 16" O.C. W/R 19 PATT INSUL ATION (IF ADDITIONAL HVAC ZONING IS	PLOT DATE: 11/1/2021
(59) (60)	SUBFLOOR W/ADHESIVE OVER 2X8 JOISTS AT 16" O.C. W/R-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING) 1ST LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR	9:57:04 AM
61	W/ADHESIVE OVER 2X6 JOISTS AT 16" O.C. 2X4 FRAMED SLOPED RAILING WALL W/1X WOOD CAP W/34-36"H WOOD RAILING ABOVE PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEWEL POSTS, CONSULT W/OWNER FOR SELECTIONS)	DRAWN BY:
62	12"H SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH PROVIDING 8'-0" FINISHED CELING HEIGHT	DUSTIN HETRICK
(63) (64)	SHELF & ROD STAIRS PER CODE TO W/WOOD RISERS, TREADS, & SKIRT BOARDS	SCALE: SEE PLAN
65	SHELF & ROD, OR BUILT-IN SHELVING PER OWNER SELECTION	
66	MULTI-SHELVING FOR PANTRY	SHEET
67 68	SHELF ABOVE WASHER/DRYER STACKED WASHER/DRYER - PROVIDE PAN UNDERNEATH, & W/D PLUMBING & DRYER VENT HOOKUPS AT REAR WALL	A4.0
<u>(69)</u>	MIRROR TO BE SELECTED BY OWNER	



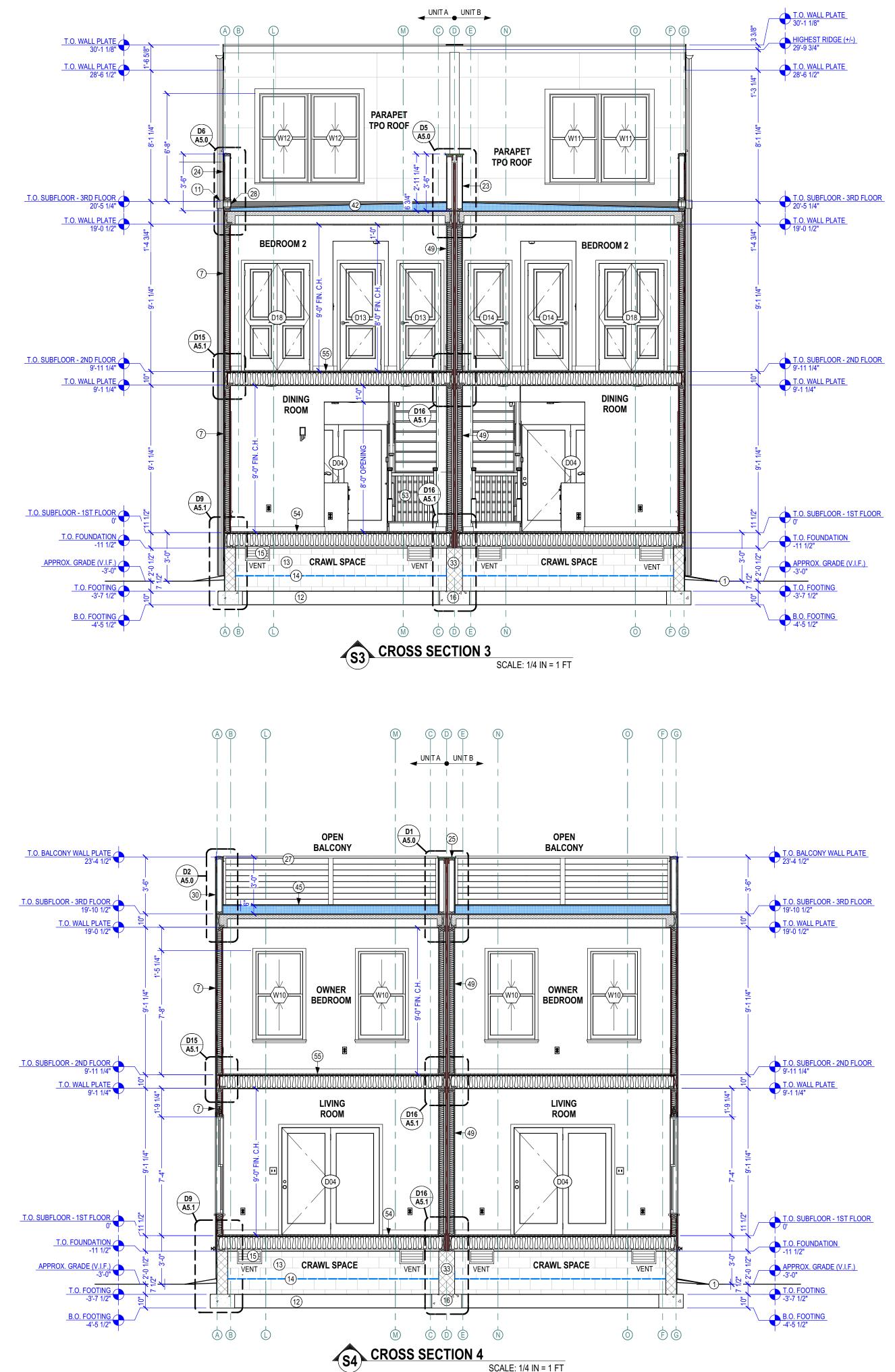
GENERAL STAIR & RAILING NOTES

- 1. NOT BE MORE THAN A 3/8" VARIANCE BETWEEN ANY RISER HEIGHT. REFERENCE R311.7.5.1 OF THE 2012 IRC.
- 2. STAIR NOSING TO BE NOT LESS THAN 3/4" BUT NOT MORE THAN 1-1/4" ON STAIRWAYS WITH SOLID RISERS. REFERENCE R311.7.5.3 OF THE 2012 IRC.
- 3. ALL DIMENSIONS ARE TO FINISHED FLOOR. CERAMIC TILE & HARDWOOD FLOOR = 3/4", UNLESS NOTED OTHERWISE.
- 4. STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
- 5. TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
- 6. STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
- 7. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
- 8. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
- 9. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
- 10. STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
- 11. 34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.
- 12. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4". 13. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF
- GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH. 14. EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS, WITH A MIN. HEADROOM OF 6'-6".
- 15. RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.3% SLOPE), WITH A 3'x3' LANDING AT THE TOP & BOTTOM, WHERE DOORS OPEN ONTO RAMP, AND WHERE RAMP CHANGES DIRECTION.

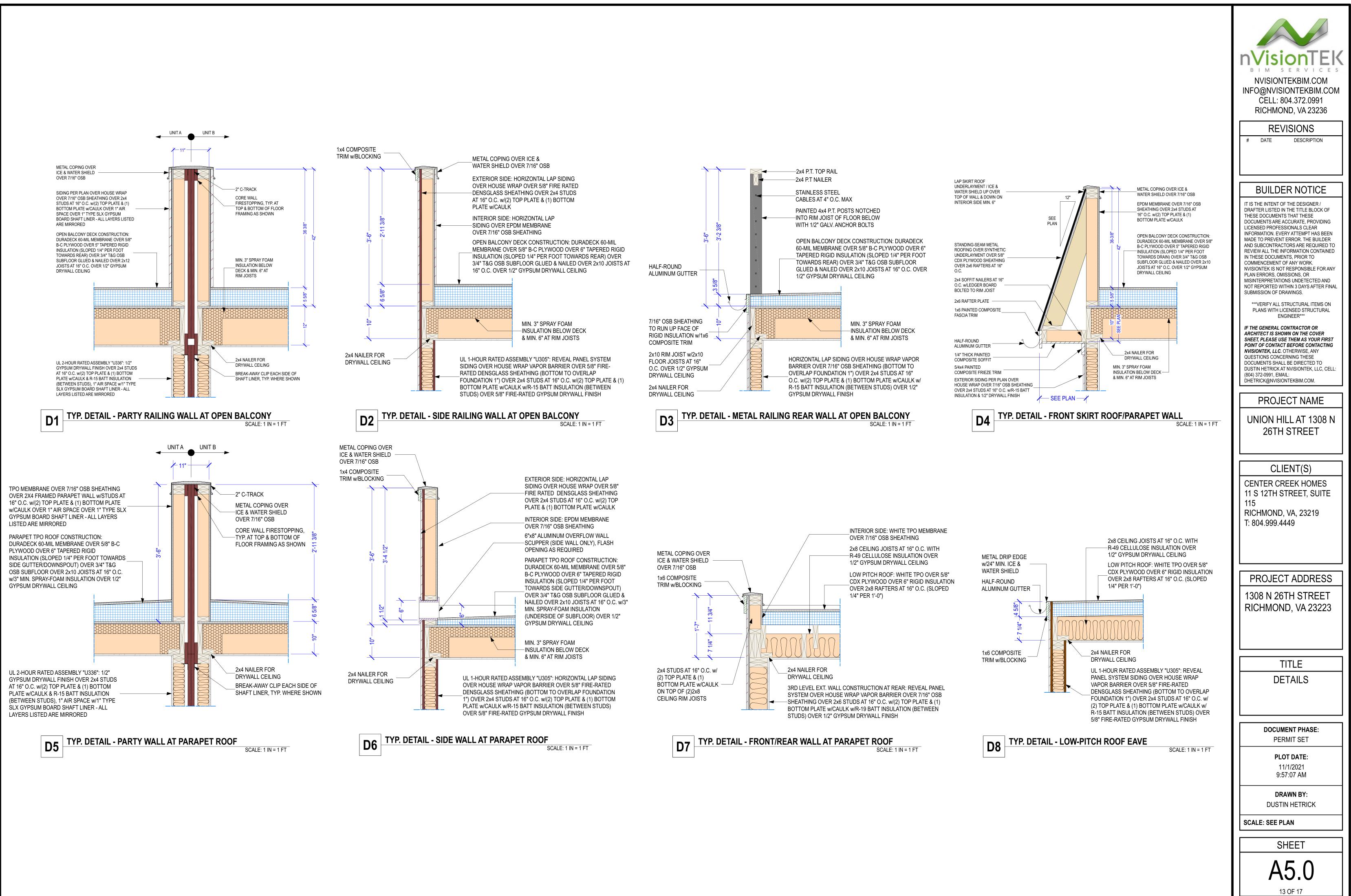
GENERAL SECTION NOTES 1. 2x PRESSURE TREATED SILL PLATE WITH SILL SEALER AT TOP OF FOUNDATION

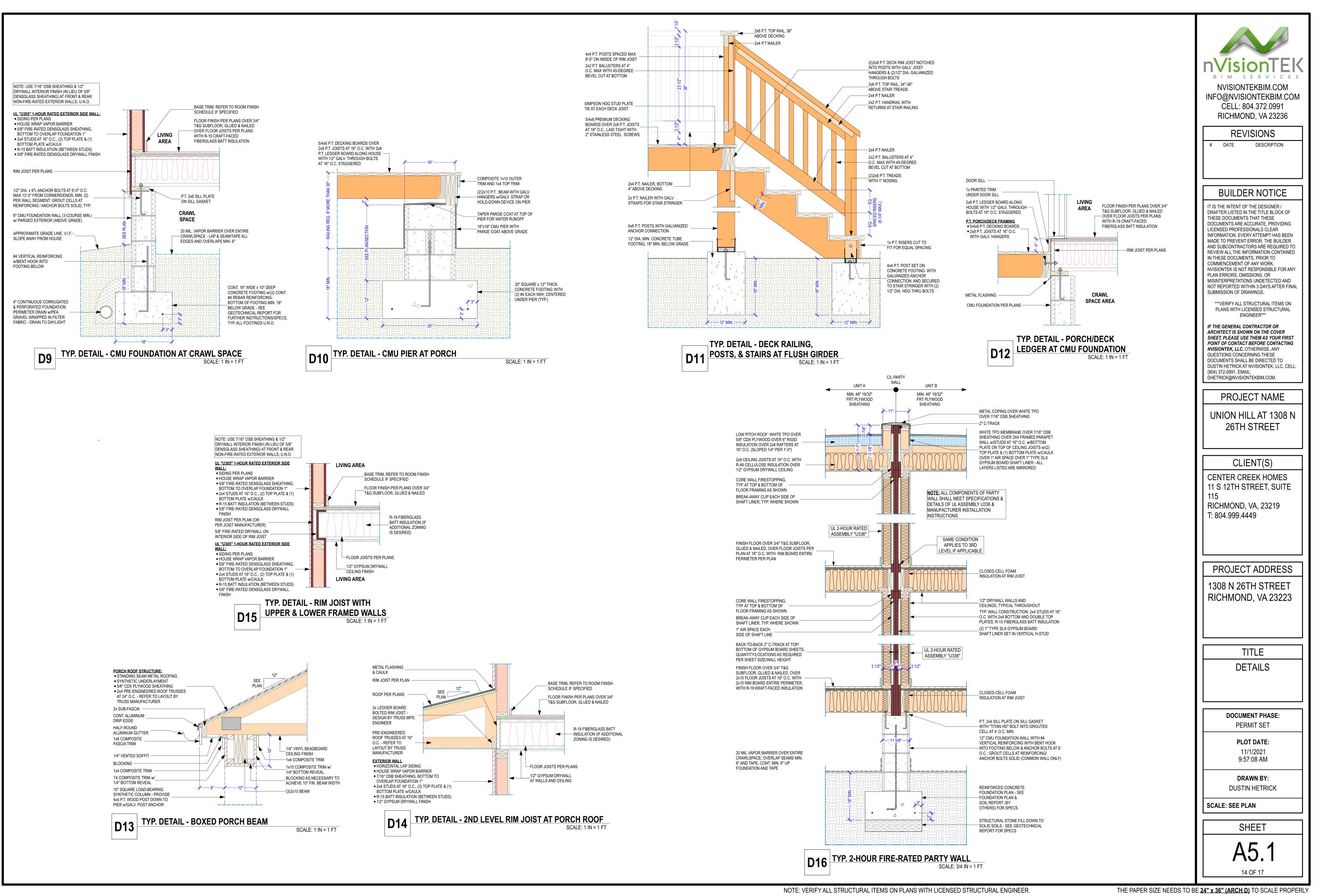
- WALLS WHERE FLOOR FRAMING MEMBERS BEAR SUPPORT. (TYPICAL). 2. EXTERIOR WALL FRAMING TO BE 2x4 WALL STUDS @ 16" O.C., U.N.O., WITH DOUBLE
- TOP PLATES AND SINGLE BOTTOM PLATE. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND 7/16" OSB SHEATHING TO OVERLAP 1" BELOW.
- 3. ALL LUMBER IN DIRECT CONTACT WITH FOUNDATION SHALL BE PRESSURE TREATED.
- 4. REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
- 5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
- 6. ROOF VENTILATION OPTIONS (REFER TO PLANS): • VENTED - ROOF EAVES TO HAVE CONTINUOUS VENTED SOFFITS AND RIDGE VENTS (LENGTHS AS REQ'D.)

• NON-VENTED - ATTIC AND CRAWL SPACES TO BE SEALED AND CONDITIONED WITH MECHANICAL VENTILATION AND HVAC. ROOF EAVES AND RIDGES TO BE NON-VENTED.



	KEYNOTE LEGEND - 1/4" SCALE SECTION(S)	
(1)	APPROXIMATE FINISHED GRADE, SLOPE AWAY FROM HOUSE (V.I.F.) 36"H 2X4 FRAMED RAILING WALL W/1X6 CAP FOLLOWING STAIRS UP TO 3RD LEVEL	
3	PORCH ROOF: STANDING SEAM METAL OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER PRE-ENGINEERED ROOF TRUSSES AT 24" O.C. W/HANGERS/CLIPS AT HOUSE & HURRICANE CLIP AT OUTER BEAM - REFER TO DESIGN BY TRUSS MANUFACTURER	
4	10" SQUARE LOAD-BEARING SYNTHETIC COLUMN - PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR	nVision TEK
5	16"X16" CMU PIERS W/PARGE COAT TO GRADE, GROUT & TAPER TOP FOR WATER DRAINAGE WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD; 11" TREADS,	
6 (7)	MAX. 8" RISERS, TREAD MATERIAL TO MATCH PORCH FLOOR, PROVIDE LATTICE SKIRTING UL 1-HOUR RATED ASSEMBLY "U305": HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED	NVISIONTEKBIM.COM INFO@NVISIONTEKBIM.COM
8	GYPSUM DRYWALL FINISH 30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE	CELL: 804.372.0991 RICHMOND, VA 23236
9	PORCH FRAMING: 5/4 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS W/(3) 2X10 P.T. OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 32" O.C. STAGGERED, PROVIDE METAL	1
(10)	FLASHING AT HOUSE LATTICE SKIRTING	REVISIONS # DATE DESCRIPTION
1	ALUMINUM COLLECTOR BOX W/DOWNSPOUT CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING W/(2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN.	
(12) (13)	18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS, TYP. ALL FOOTINGS U.N.O. 8" CMU FOUNDATION WALL WITH PARGE COAT TO GRADE, #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6' O.C., MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT;	
) (14)	GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID- SEE ENLARGED DETAIL 20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPE	BUILDER NOTICE
(15)	8X16 SLOTTED GALVANIZED CRAWLSPACE VENT WITH INSECT SCREE, TYP. AS SHOWN - SEE FOUNDATION NOTES FOR VENTING REQUIREMENTS	IT IS THE INTENT OF THE DESIGNER /
(16) (17)	CONT. 22" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 30" BELOW GRADE- SEE GEOTECH. REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.) P.T. 6X6 DECK POSTS FASTENED W/SIMPSON POST BASE ON 18"DIA CONCRETE FOOTINGS MIN. 18" BELOW GRADE,	DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE
18	TYP SEE ENLARGED DETAIL DECK FRAMING: 5/4X6 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS & (2)2X8 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED	DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN
(19)	2X P.T. WOOD STEPS TO GRADE W/36"H P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL	MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO
20	36"H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING MOUNTED FLUSH INSIDE RIM JOIST - SEE ENLARGED DETAIL	REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK.
21	36"H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36"H, W/STAINLESS STEEL CABLES AT 4" O.C., RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR ABOVE FINISHED GRADE	NVISIONTEK IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR
22 23	BLACK PAINTED STEEL/IRON HANDRAIL AT STEPS, MIN. 34"H 42"H 2X4 FRAMED PARTY PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (BOTH SIDES) W/METAL DRIP CAP - SEE ENLARGED DETAIL	MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS.
24	42"H 2X4 FRAMED PARAPET WALL W/HORIZONTAL LAP SIDING (OWNER TO SELECT) OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING	***VERIFY ALL STRUCTURAL ITEMS ON
25	(INTERIOR SIDE) & CONT. METAL CAP & 1X6 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL 42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING WALL W/REVEAL PANEL SYSTEM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL	PLANS WITH LICENSED STRUCTURAL ENGINEER***
26	EXT. WALL CONSTRUCTION AT REAR 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING OVER 2X6 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-19 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH	IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER
27	36"H RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T. POSTS - SEE ENLARGED DETAIL	SHEET, PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING NVISIONTEK, LLC. OTHERWISE, ANY
28 29	6"X8" ALUMINUM OVERFLOW WALL SCUPPER, FLASH OPENING AS REQUIRED - SEE ENLARGED DETAIL	QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO
(30)	42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/HORIZONTAL LAP SIDING OVER HOUSE	DUSTIN HETRICK AT NVISIONTEK, LLC, CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.
(31)	WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL UL 1-HOUR RATED ASSEMBLY "U305" AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE	
	W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH FRONT EXTERIOR FRAMED WALL AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER	PROJECT NAME
(32)	OVER 7/16" OSB SHEATHING SHEATHING OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/ CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH 12" CMU FOUNDATION WALL WITH #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR	UNION HILL AT 1308 N
(33) (34)	BOLTS AT 6' O.C., MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ ANCHOR BOLTS SOLID- SEE ENLARGED PARTY WALL DETAIL LVL BEAM OR DBL I-JOIST W/GALV. HANGERS AT STAIR OPENING - REFER TO LAYOUT BY JOIST MANUFACTURER	26TH STREET
34)	DBL I-JOIST AT STAIR OPENING - REFER TO LAYOUT BY JOIST MANUFACTURER	
36	DBL 2X10 JOISTS AT STAIR OPENING	CLIENT(S)
37 38	DBL 2X10 JOISTS W/GALV. HANGERS AT STAIR OPENING 1/2" DRYWALL FINISH UNDER STAIRS W/2X4 NAILERS AT 24" O.C.	CENTER CREEK HOMES
39	BUILT-UP PORCH BEAM W/1X PAINTED COMPOSITE TRIM BOARDS (10" FINISHED WIDTH) - SEE SECTION & ENLARGED DETAIL	11 S 12TH STREET, SUITE 115
49	1/4" THICK BEADBOARD CEILING FINISH SKIRT ROOF IN FRONT OF PARAPET WALL: STANDING-SEAM METAL ROOFING OVER SYNTHETIC UNDERLAYMENT	RICHMOND, VA, 23219
(41)	OVER 5/8" CDX PLYWOOD SHEATHING OVER 2X6 RAFTERS AT 16" O.C SEE ENLARGED DETAIL PARAPET TPO ROOF CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS SIDE GUTTER/DOWNSPOUT) OVER 3/4" T&G OSB SUBFLOOR	T: 804.999.4449
(42)	GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY-FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C.	
(43) (44)	LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0") OVER 2X8 CEILING JOISTS AT 16" O.C. WITH R-49 CELLULOSE INSULATION 19"H 2X4 FRAMED PARTY PARAPET WALL (ABOVE 3RD FLOOR CEILING) W/ METAL DRIP CAP - SEE ENLARGED DETAIL	
(45)	OPEN BALCONY DECK CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS REAR) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM	PROJECT ADDRESS
(46)	DRYWALL CEILING ALUMINUM GUTTER AT REAR DECK EDGE	1308 N 26TH STREET
47		RICHMOND, VA 23223
(48)	EXT. WALL CONSTRUCTION AT F/R 1ST & 2ND LEVELS: HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK W/R-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM	
(49)	DRYWALL FINISH UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOADD SHAFT UNER ALL LAYERS USTED ARE MIRROPED	
50	BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X6 STUDS AT 16" O.C. W/(2) TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM	
51	BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED TYP. 2X4 INTERIOR WALL W/ 1/2" DRYWALL FINISH	TITLE
52	2X4 KNEEWALL UNDER STAIRS W/ 1/2" DRYWALL FINISH 34-36"H WOOD RAILING ON EDGE OF LANDING, PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD	BUILDING SECTIONS
53 54	NEWEL POSTS, CONSULT W/OWNER FOR SELECTIONS) 1ST LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB	
(55)	SUBFLOOR GLUED & NAILED OVER 2X10 FLOOR JOISTS AT 16" O.C. W/R-19 BATT INSULATION 2ND LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 FLOOR JOISTS AT 16" O.C. W/R-19 BATT INSULATION (IF ADDITIONAL HVAC	
(56)	ZONING IS DESIRED) 3RD LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 14" ENGINEERED I-JOISTS AT 16" O.C. (REFER TO LAYOUT BY MANUFACTURER)	DOCUMENT PHASE:
57	W/R-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) 3/4" TILE FLOOR FINISH, TYP. AT ALL WET LOCATIONS U.N.O., CONSULT W/OWNER FOR SELECTION	PERMIT SET
58	RAISED 2ND LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR W/ADHESIVE OVER 2X6 JOISTS AT 16" O.C. W/R-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)	PLOT DATE:
(59)	FLOOR UNDER 3RD LEVEL CLOSET: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR W/ADHESIVE OVER 2X8 JOISTS AT 16" O.C. W/R-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)	11/1/2021 9:57:06 AM
60	1ST LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR W/ADHESIVE OVER 2X6 JOISTS AT 16" O.C. 2X4 FRAMED SLOPED RAILING WALL W/1X WOOD CAP W/34-36"H WOOD RAILING ABOVE PER CODE (W/WOOD	
61) 62	BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEWEL POSTS, CONSULT W/OWNER FOR SELECTIONS) 12"H SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH PROVIDING 8'-0" FINISHED	DRAWN BY: DUSTIN HETRICK
63	CELING HEIGHT SHELF & ROD	
64	STAIRS PER CODE TO W/WOOD RISERS, TREADS, & SKIRT BOARDS	SCALE: SEE PLAN
(65) (66)	SHELF & ROD, OR BUILT-IN SHELVING PER OWNER SELECTION MULTI-SHELVING FOR PANTRY	SHEET
67	SHELF ABOVE WASHER/DRYER	
68	STACKED WASHER/DRYER - PROVIDE PAN UNDERNEATH, & W/D PLUMBING & DRYER VENT HOOKUPS AT REAR WALL	A4.1
(69)	MIRROR TO BE SELECTED BY OWNER	12 OF 17





				DOOF	R SCHEDULE - ALL LEVELS & I	BOTH UNITS									WINDOW	SCHEDULE - ALL LEVELS &	& BOTH UNI	ITS			
NUMBER	LABEL	QTY	WIDTH	HEIGHT	DESCRIPTION	MANUFACTURER	COMMENTS	NUMBER	LABEL	QTY	FLOOR	WIDTH	HEIGHT	TOP	воттом	DESCRIPTION	EGRESS	TEMPERED	DIVIDED	MANUFACTURER	COMMENTS
D01	3068 L EX	1	36 "	80 "	EXT. 1/2 LITE HINGED ENTRY DOOR	TBD		W02	2836DH	2	1	32 "	42 "	88"	46"	1100 SERIES DOUBLE			LITES	PLY-GEM	
D02	3068 R EX	1	36 "	80 "	EXT. 1/2 LITE HINGED ENTRY DOOR	TBD				2	1				40	HUNG WINDOW 1100 SERIES DOUBLE					
D03	3014 EX	2	36 "	16 "	EXT. FIXED GLASS TRANSOM	TBD	ABOVE ENTRY DOOR	W05	2860DH	8	1	32 "		88"	16"	HUNG WINDOW 1100 SERIES DOUBLE			1/1		
D04	6068 C-L EX	2	72 "	80 "	EXT. DOUBLE HINGED-	твр		W06	2860DH	3	1	32 "	72 "	88"	16"	HUNG WINDOW			1/1	PLY-GEM	
D05	6068 L EX	1	72 "	80 "	GLASS PANEL EXT. SLIDER-GLASS PANEL	TBD		W07	2860SH	1	1	32 "	72 "	88"	16"	1100 SERIES SINGLE HUNG WINDOW			1/1	PLY-GEM	
D06	6068 R EX	1	72 "	80 "	EXT. SLIDER-GLASS PANEL	TBD	NOTE: BUILDER TO CREATE FAUX	W08	3060DH	2	1	36 "	72 "	88"	16"	1100 SERIES DOUBLE HUNG WINDOW			1/1	PLY-GEM	
D07	2068 L IN	1	24 "	80 "	INT. HINGED DOOR	TBD	OVERLAP AT STAIRS SO DOOR TOP DOES NOT PROTRUDE THROUGH	W09	3056DH	4	2	36 "	66 "	92"	26"	1100 SERIES DOUBLE HUNG WINDOW	YES		1/1	PLY-GEM	
							WALL NOTE: BUILDER TO CREATE FAUX	W10	3056DH	4	2	36 "	66 "	92"	26"	1100 SERIES DOUBLE HUNG WINDOW	YES		1/1	PLY-GEM	
D08	2068 R IN	1	24 "	80 "	INT. HINGED DOOR	TBD	OVERLAP AT STAIRS SO DOOR TOP DOES NOT PROTRUDE THROUGH	W11	3056DH	2	3	36 "	66 "	79 3/4"	13 3/4"	1100 SERIES DOUBLE HUNG WINDOW	YES		1/1	PLY-GEM	
D09	2068 R IN	2	24 "	80 "	INT. HINGED DOOR	TBD	WALL	W12	3056DH	2	3	36 "	66 "	80"	14"	1100 SERIES DOUBLE HUNG WINDOW	YES		1/1	PLY-GEM	
D10 D11	2068 L IN 2468 L IN	2	24 " 28 "	80 " 80 "	INT. HINGED DOOR INT. HINGED DOOR	TBD TBD		W13	2836DH	2	3	32 "	42 "	80"	38"	1100 SERIES DOUBLE HUNG WINDOW		YES	1/1	PLY-GEM	
D12 D13	2468 R IN 2668 L IN	5	28 " 30 "	80 " 80 "	INT. HINGED DOOR INT. HINGED DOOR INT. HINGED DOOR	TBD TBD TBD		W14	2856DH	2	2	32 "	66 "	92"	26"	1100 SERIES DOUBLE HUNG WINDOW			1/1	PLY-GEM	
D14	2668 R IN	5 5	30 "	80 "	INT. HINGED DOOR	TBD		W15	2836FX	2	2	32 "	42 "	92"	50"	1100 SERIES FIXED			1	PLY-GEM	
D15 D16	2868 L IN 2868 R IN	1	32 " 32 "	80 " 80 "	INT. HINGED DOOR INT. HINGED DOOR	TBD TBD				6	-					GLASS WINDOW 1100 SERIES FIXED			1	-	
D17	3068 L/R IN	4	36 "	80 "	INT. HINGED FRENCH DOOR	TBD		W16	2020FX	6	3	24 "	24 "	80"	56"	GLASS WINDOW				PLY-GEM	
D18	4068 L/R IN	2	48 "	80 "	INT. HINGED FRENCH DOOR	TBD															

					ROOM		ALL LEVELS (EACH UNIT)			
NUMBER	ROOM NAME	FLOOR	AREA, INTERIOR	DIMENSIONS	CEILING ROUGH	CEILING FINISH	FLOOR FINISH	CEILING FINISH	WALL MATERIAL	
	PORCH	4	(SQ FT)		HEIGHT 108 1/4"	HEIGHT	5/4X6 P.T. DECKING BOARDS WITH	1/4" BEADBOARD CEILING,	FIBER SIDING WHITE	
R01 R02	DECK	1	73 23	12'-4" X 5'-11" 8'-0" X 2'-11"	N/A	N/A	STAIN 5/4X6 P.T. DECKING BOARDS	STYLE & COLOR TBD NATURAL BEADBOARD,	FIBER SIDING WHITE	
R02	CLOSET	1	7	1'-11" X 3'-9"	N/A 109 1/4"	108"	3/4% P.1. DECKING BOARDS 3/4" HARDWOOD FLOORING, STYLE TBD	COLOR - BRITE 1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD	nVision TE
			' 					COLOR TBD 1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8"	BIM SERVICE
R04	DINING ROOM	1	177	13'-4" X 13'-3"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	COLOR TBD	FIRE-RATED DRYWALL W/PAINT, COLOR TBD	NVISIONTEKBIM.COM
R05	POWDER	1	24	4'-11" X 6'-10"	109 1/4"	96"	3/4" TILE FLOORING, STYLE TBD	AIR AREA, CEILING JOISTS, 1/ 2" DRYWALL W/PAINT, COLOR	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR	INFO@NVISIONTEKBIM.CC
								TBD AIR AREA, CEILING JOISTS, 1/	TBD	CELL: 804.372.0991
R06	HALL	1	49	4'-5" X 10'-10"	109 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD	2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD	RICHMOND, VA 23236
R07	UTILITY	1	5	2'-8" X 2'-0"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR	
		1	7	1: 11" V 2: 6"	100 1/4"	109"		1/2" DRYWALL W/PAINT,		REVISIONS
R08	MECHANICAL		/	1'-11" X 3'-6"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD		1/2" DRYWALL W/PAINT, COLOR TBD 1/2" DRYWALL W/PAINT, COLOR TBD, 5/8"	# DATE DESCRIPTION
R09	KITCHEN	1	209	13'-2" X 16'-5"	109 1/4", 119 1/4"	108", 118"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	FIRE-RATED DRYWALL W/PAINT, COLOR	
R10	PANTRY	1	8	3'-1" X 2'-8"	119 1/4"	118"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD	
R11	LIVING ROOM	1	248	13'-4" X 18'-7"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR	
		'		-				COLOR TBD 1/2" DRYWALL W/PAINT,	TBD	
R12	HALL	2	10	3'-3" X 3'-0"	109 1/4", 126"	108", 124 3/4"	3/4" HARDWOOD FLOORING, STYLE TBD	COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD 1/2" DRYWALL W/PAINT, COLOR TBD, 5/8"	BUILDER NOTICE
R13	ВАТН	2	46	5'-11" X 8'-2"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	FIRE-RATED DRYWALL W/PAINT, COLOR TBD, 5/8 FIRE-RATED DRYWALL W/PAINT, COLOR	
D1 /		2	10	514411 2010	100 1/4"	100"		1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8"	IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF
R14	CLOSET	2	12	5'-11" X 2'-0"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	COLOR TBD	FIRE-RATED DRYWALL W/PAINT, COLOR TBD	THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING
R15	CLOSET	2	9	3'-3" X 2'-9"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD	LICENSED PROFESSIONALS CLEAR
R16	BEDROOM 2	2	157	13'-4" X 14'-1"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR	INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER
							.,	COLOR TBD AIR AREA, CEILING JOISTS, 1/	TBD	AND SUBCONTRACTORS ARE REQUIRED TO
R17	HALL	2	75	3'-5" X 20'-11"	109 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD	2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD	REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO
R18	W.I.C.	2	49	4'-4" X 11'-10"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD	COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR AN
R19	LANDING	2	12	3'-5" X 3'-7"	101 13/16"	100 9/16"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD	PLAN ERRORS, OMISSIONS, OR
R20	LAUNDRY	2	12	3'-3" X 3'-2"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD	COLOR TBD 1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD	MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FIN/
R21	OPEN BELOW	2	28	3'-1" X 9'-2"	245 1/4"	244"	3/4" HARDWOOD FLOORING, STYLE TBD	COLOR TBD 1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD	SUBMISSION OF DRAWINGS.
		<u> </u>					, 	COLOR TBD 1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8"	***VERIFY ALL STRUCTURAL ITEMS ON
R22	OWNER BATH	2	65	5'-0" X 13'-7"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	FIRE-RATED DRYWALL W/PAINT, COLOR TBD	PLANS WITH LICENSED STRUCTURAL ENGINEER***
R23	OWNER BEDROOM	2	214	13'-4" X 24'-1"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR	
120		<u> </u>		10-7 Λ24-1	100 1/1	100		COLOR TBD	TBD	IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER
R24	STUDY	2	52	5'-11" X 9'-8"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR	SHEET, PLEASE USE THEM AS YOUR FIRST
								1/2" DRYWALL W/PAINT,	TBD 1/2" DRYWALL W/PAINT, COLOR TBD, 5/8"	POINT OF CONTACT BEFORE CONTACTING NVISIONTEK, LLC. OTHERWISE, ANY
R25	BEDROOM 3	3	107	9'-9" X 11'-0"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD	COLOR TBD	FIRE-RATED DRYWALL W/PAINT, COLOR TBD	QUESTIONS CONCERNING THESE
R26	CLOSET	3	11	3'-3" X 3'-5"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD	DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC, CELL
R27	LINEN	3	5	2'-0" X 2'-6"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD	(804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.
28	LOFT	3	258	13'-2" X 16'-6"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT,	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR	
		ľ –						COLOR TBD 1/2" DRYWALL W/PAINT,	TBD	
29	OPEN BELOW	3	33	3'-1" X 10'-9"	223 1/4"	222"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD	PROJECT NAME
R30	STORAGE	3	41	6'-3" X 7'-7"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD	1/2" DRYWALL W/PAINT, COLOR TBD	1/2" DRYWALL W/PAINT, COLOR TBD, 5/8" FIRE-RATED DRYWALL W/PAINT, COLOR	UNION HILL AT 1308 N
							DURADECK EPDM MEMBRANE,	-	TBD CEMENT PANEL - WHITE, FIBER SIDING	
R31 TOTALS:	OPEN BALCONY	3	119 2143	13'-3" X 9'-0"	N/A	N/A	PLYWOOD HORIZONTAL, INSULATION RIGID		WHITE	26TH STREET
										CENTER CREEK HOMES 11 S 12TH STREET, SUITE 115 RICHMOND, VA, 23219 T: 804.999.4449
							1. BEDROOM MUST PRO NOT LESS R310.1-R31	WINDOW SILL FINISHED HEIGI /IDE MINIMUM EGRESS OPEN THAN 24" AND WIDTH DIMENSI	N & DOOR NOTES HT MUST BE NO MORE THAN 44" A.F.F AND INGS OF 5.7 SF WITH HEIGHT DIMENSION ON NOT LESS THAN 20". REFERENCE H MANUFACTURER.	PROJECT ADDRESS 1308 N 26TH STREET RICHMOND, VA 23223
									T MANUFACT ORER.	TITLE
								D/OR CONTRACTOR TO SELEC YLE AND FINISHES, AND HARD		
									AREA SHALL BE 1-3/4" THICK TIGHT FITTING	WINDOW, DOOR, &
							SOLID COR	E WITH A 60-MINUTE MIN. FIRE	E RATING. DOOR SHALL BE SELF-CLOSING.	ROOM FINISH
								EXIT DOORS SHALL BE 36" MIN	N., NET CLEAR OPENING SHALL BE 32"	SCHEDULES
							6. ANY GARAG	GE DOOR GLAZING SHALL BE	TEMPERED.	
									AND/OR WITHIN 24" OF ANY DOOR	DOCUMENT PHASE:
							(REGARDLE	ESS OF WALL PLANE) ARE TO	HAVE SAFETY GLAZING.	PERMIT SET
							9. DOOR AND AND DOOR	WINDOW SIZES AND DIMENSI WINDOW SALES REPRESENT,	E TO BE GLAZED WITH SAFETY GLAZING. ONS TO BE VERIFIED BY CONTRACTOR ATIVE PRIOR TO ORDERING AND	PLOT DATE: 11/1/2021
							INSTALLING).		9:57:08 AM
							IN THE FOL HEIGHT/WI	LOWING FORMAT: "WIDTH/HEI	SCHEDULE INDICATES THE SIZE AND TYPE GHT/TYPE" = FEET-INCH WIDTH/FEET-INCH WINDOW LABEL OF 2840DH IS A 2'-8" WIDE	DRAWN BY: DUSTIN HETRICK
							AWNING, "FA" DOUBLE-HUN CASEMENT, "F	= DOUBLE-AWNING, "TA" = TR G, "SC" = SINGLE-CASEMENT, FX" = FIXED, "LS" = LEFT SLIDII	TE THE FOLLOWING: "AW" = SINGLE- IPLE-AWNING, "SH" = SINGLE-HUNG, "DH" = "DC" = DOUBLE-CASEMENT, "TC" = TRIPLE NG, "RS" = RIGHT SLIDING, "TS" = TRIPLE	SCALE: SEE PLAN
								= SINGLE-HOPPER, "FH" = DC -LOUVER, "GL" = GLASS LOUV	UBLE-HOPPER, "TH" = TRIPLE HOPPER, ER, "PT" = PASS-THROUGH.	SHEET

11. THE "LABEL" COLUMN OF THE DOOR SCHEDULE INDICATES THE FOLLOWING: "WIDTH/HEIGHT/HINGE SIDE/INTERIOR OR EXTERIOR" = FEET-INCH WIDTH/FEET-INCH HEIGHT, "L" = LEFT SWING, "R" = RIGHT SWING, "IN" = INTERIOR DOOR, "EX" = EXTERIOR DOOR. FOR EXAMPLE, A DOOR SIZE OF 2868 IS 2'-8" WIDE AND 6'-8" TALL.

A5.2

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UL Product iQ™

BXUV.U336 - Fire-resistance Ratings - ANSI/UL 263

Design/System/Construction/Assembly Usage Disclaimer

• Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.

- Authorities Having Jurisdiction should be consulted before construction
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with
- applicable requirements. The published information cannot always address every construction nuance encountered in the field. When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer
- noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and

each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction. Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States

Design Criteria and Allowable Variances

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada Design Criteria and Allowable Variances

Design No. U336

December 03, 2020

Exposed to fire from separation Wall side only

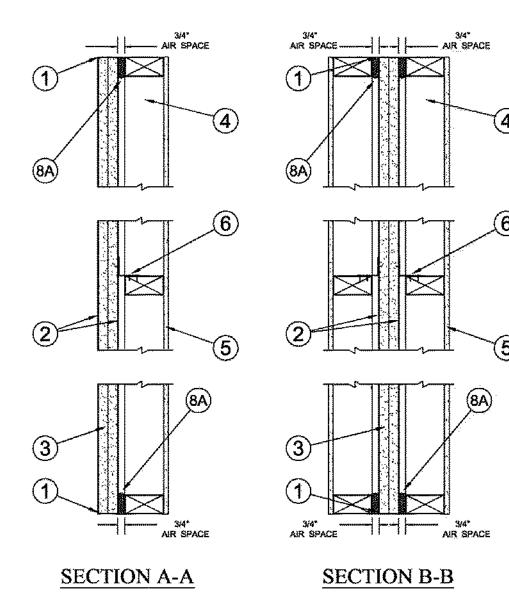
Nonbearing Wall Rating — 2 Hr (Separation Wall, See Items 1, 2 and 3)

Bearing Wall Rating - 2 Hr (Protected Wall, See Items 4 and 4A)

Nonbearing Wall Rating - 2 Hr (Protected Wall, See Item 4B)

Finish Rating — 120 Min

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



SEPARATION WALL: (Max Height - 66 ft)

1. Floor, Intermediate or Top Wall — 2 in. wide channel shaped with 1 in. long legs formed from No. 25 MSG galv steel, secured with suitable fasteners spaced 24 in. OC.

2. Metal Studs — Steel members formed from No. 25 MSG galv steel having "H" -shaped flanged spaced 24 in. OC; overall depth 2 in. and flange width 1-3/8 in.

3. Gypsum Board* — Two layers of 1 in. thick gypsum board liner panels, supplied in nom 24 in. widths. Vertical edges of panels friction fitted into "H" -shaped studs. CGC INC ---- Type SLX

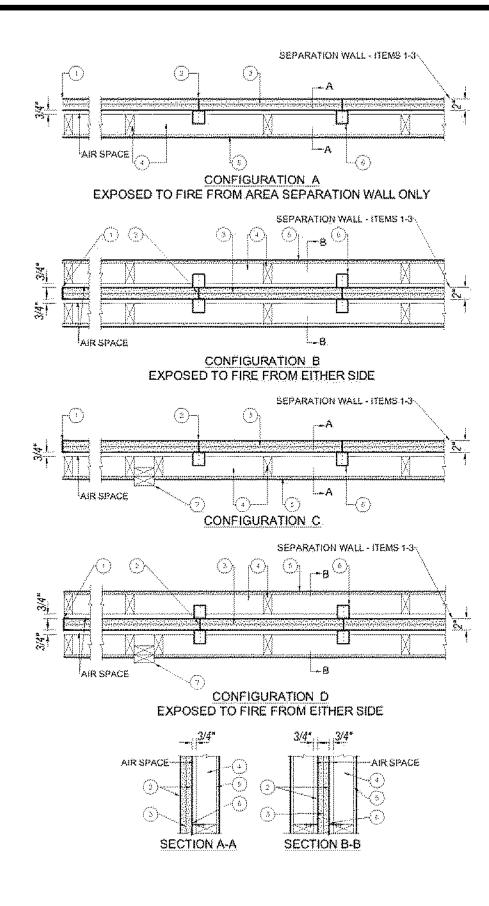
UNITED STATES GYPSUM CO ---- Type SLX

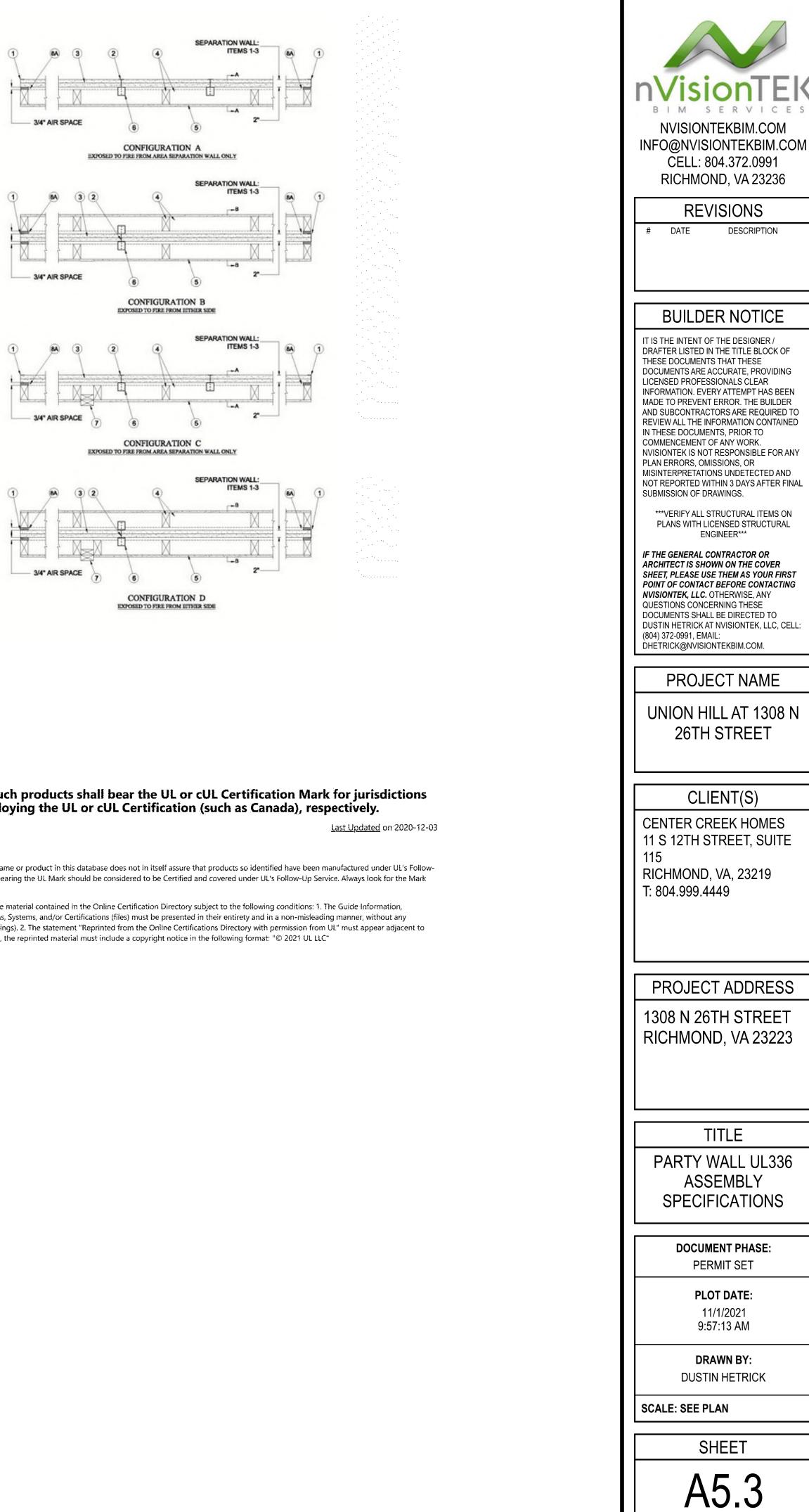
USG BORAL DRYWALL SFZ LLC --- Type SLX

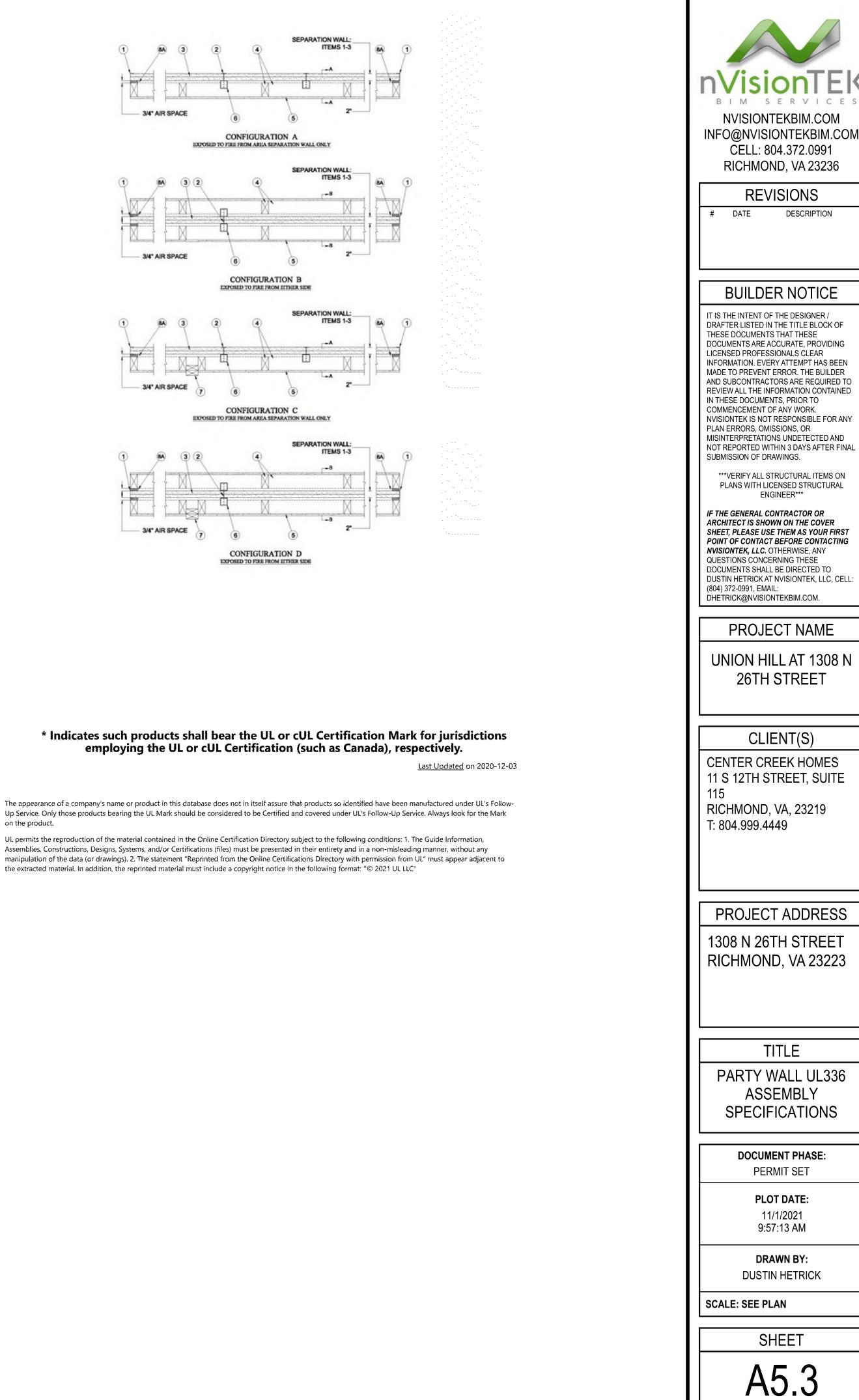
USG MEXICO S A DE C V — Type SLX

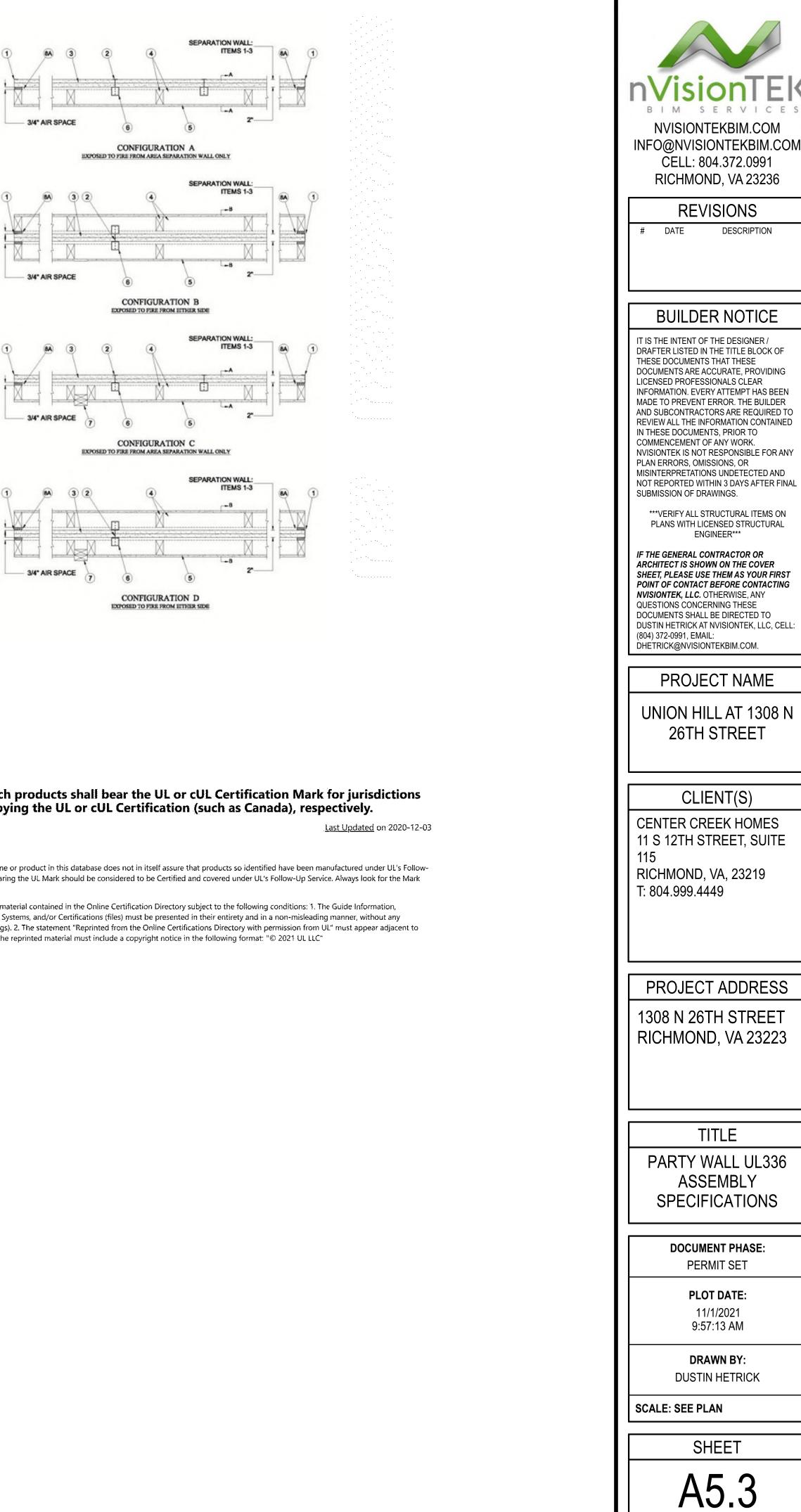
PROTECTED WALL: (Bearing or Nonbearing Wall). When Bearing, Load Restricted for Canadian Applications — See Guide BXUV7.

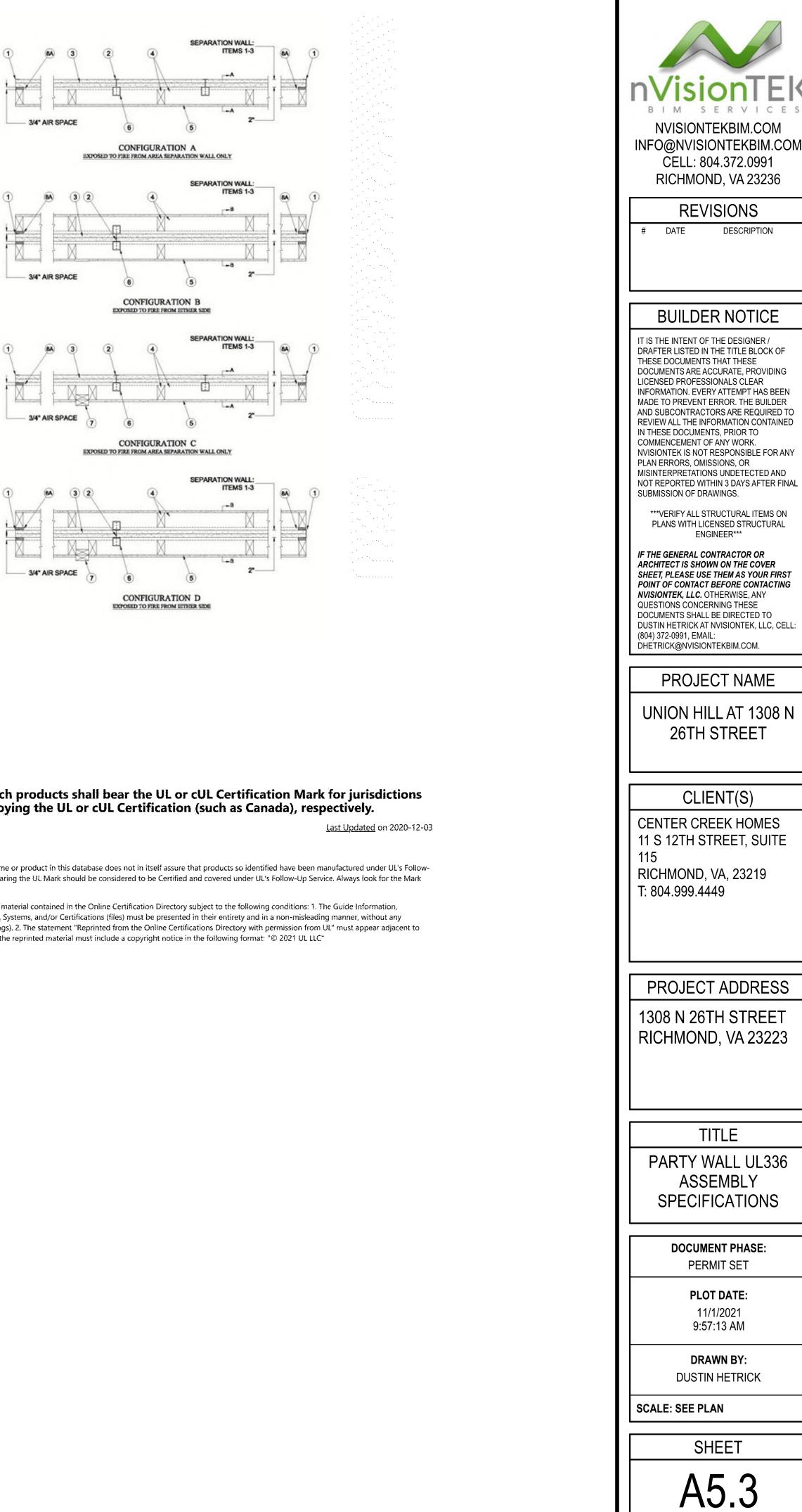
4. Wood Studs --- Nom 2 by 4 in, max spacing 24 in. OC. Studs cross braced at mid-height where necessary for clip attachment. Min 3/4 in. separation between wood framing and fire separation wall.











4A, Steel Studs — (As an alternate to Item 4, Not Shown) — For Bearing Wall Rating - Corrosion protected steel studs, min No. 20 MSG (0.0329 in., min bare metal thickness) steel or min 3-1/2 in. wide, min No. 20 GSG (0.036 in. thick) galv steel or No. 20 MSG (0.033 in. thick) primed steel, cold formed, shall be designed in accordance with the current edition of the Specification for the Design of Cold-Formed Steel Structural Members by the American Iron and Steel Institute. All design details enhancing the structural integrity of the wall assembly, including the axial design load of the studs, shall be as specified by the steel stud designer and/or producer, and shall meet the requirements of all applicable local code agencies. The max stud spacing of wall assemblies shall not exceed 24 in. OC. Studs attached to floor and ceiling tracks with 1/2 in. long Type S-12 steel screws on both sides of studs or by welded or bolted connections designed in accordance with the AISI specifications. Top and bottom tracks shall consist of steel members, min No. 20 MSG (0.0329 in., min bare metal thickness) steel or min No. 20 GSG (0.036 in. thick) galv steel or No. 20 MSG (0.033 in. thick) primed steel, that provide a sound structural connection between steel studs, and to adjacent assemblies such as a floor, ceiling, and/or other walls. Attached to floor and ceiling assemblies with steel fasteners spaced not greater than 24 in. O.C. Studs cross-braced with stud framing at midheight where necessary for clip attachment. Min 3/4 in. separation between steel framing and area separation wall. Finish rating has not been evaluated for Steel Studs.

4B Steel Studs — As an alternate to Items 4 and 4A, for use in Configuration B only, Not Shown) — For Nonbearing Wall Rating - Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min 3-1/2 in. wide, min 1-1/4 in. flanges and 1/4 in. return, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height. Top and bottom tracks shall be channel shaped, fabricated from min 25 MSG corrosion-protected steel, min width to accommodate stud size, with min 1 in. long legs, attached to floor and ceiling with fasteners 24 in. OC max. Studs cross-braced with stud framing at midheight where necessary for clip attachment. Min 3/4 in. separation between steel framing and area separation wall. Finish rating has not been evaluated for Steel Studs.

5. Gypsum Board — Classified or Unclassified — Min 1/2 in. thick, 4 ft wide, applied either horizontally or vertically. Gypsum board attached to studs with 1-1/4 in. long steel drywall nails spaced 8 in. OC. Vertical joints located over studs. (Optional) Joints covered with paper tape and joint compound. Nail heads covered with joint compound.

6. Attachment Clips — Aluminum angle, 0.063 in. thick, 2 in. wide with 2 in. and 2-1/4 in. legs. Clips secured with Type S screws 3/8 in. long to "H" studs and with Type W screws 1-1/4 in. long to wood framing through holes provided in clip.

6A. Clip placement (Item 6) for separation walls up to 23 ft high. Space clips a max of 10 ft OC vertically between wood framing and "H" studs.

6B. Clip placement (Item 6) for separation walls up to 44 ft high, Space clips as described in Item 6A for upper 24 ft. Remaining wall area below requires clips spaced a max 5 ft OC vertically between wood framing and "H" studs.

6C. Clip placement (Item 6) for separation walls up to 66 ft high: Space clips as described in Item 6A for upper 24 ft. Space clips as described in item 6B for next 20 ft. below the upper 24 ft. Remaining wall area below requires clips spaced a max of 40 in. OC vertically between wood framing and "H" studs.

7. Non-Bearing Wall Partition Intersection — (Optional) — Two nominal 2 by 4 in. stud or nominal 2 by 6 in. stud nailed together with two 3in. long 10d nails spaced a max. 16 in. OC. vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max 16 in. OC. vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max, 16 in. OC. vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the wall.

8. Caulking and Sealants* — (Optional - Intended for use as an air barrier - Not intended to be used as fireblocking) A bead of sealant applied around the partition perimeter, and at the interface between wood or steel framing and gypsum board panels to create an air barrier

KNAUF INSULATION LLC --- Type ECOSEAL™ Plus

8A. Caulking and Sealants* — (Optional - Intended for use as an air barrier - Not intended to be used as fireblocking) - A bead of sealant applied around the partition perimeter in the 3/4 in. air space between wood framing (Item 4) and shaftliner panels (Item 3) to create an air barrier DUPONT DE NEMOURS, INC. --- Great Stuff Gaps & Cracks, Great Stuff Pro Gaps & Cracks, Great Stuff Pro Window & Door

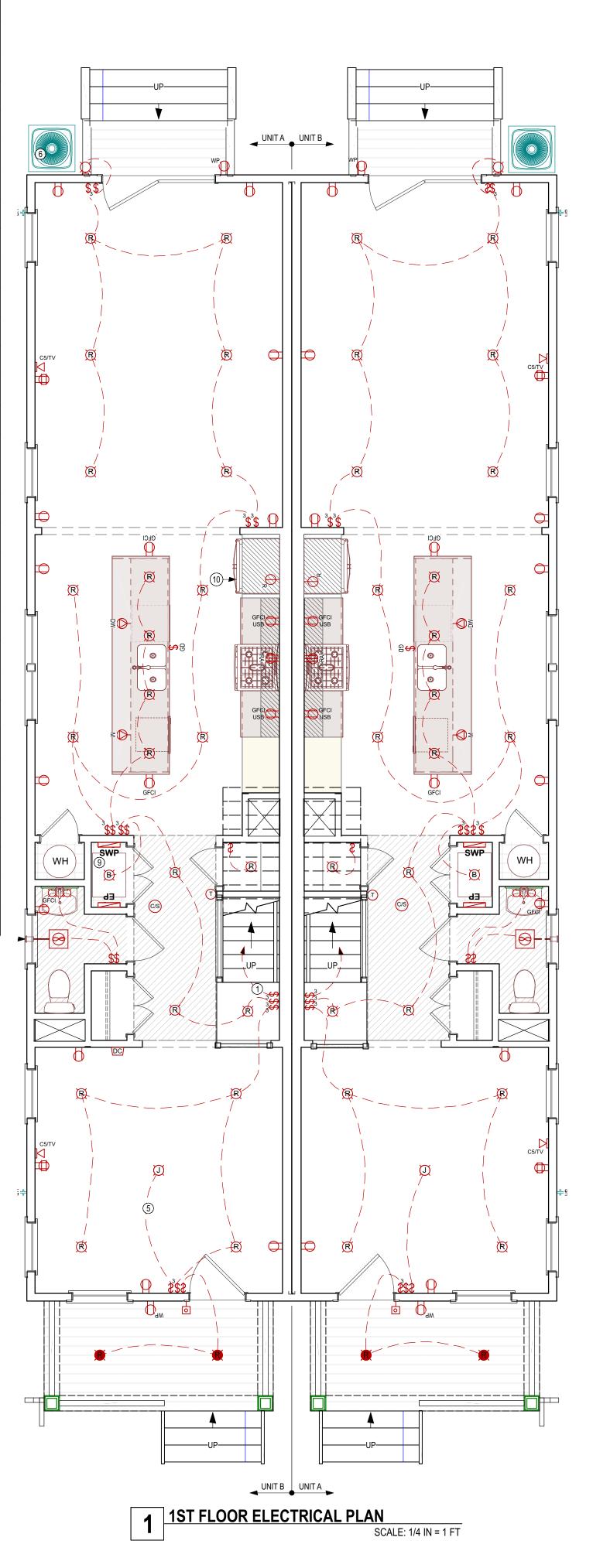
ICP ADHESIVES & SEALANTS INC — Handi-Foam Fireblock, Handi-Foam Fireblock West, and Fast Foam Fireblock

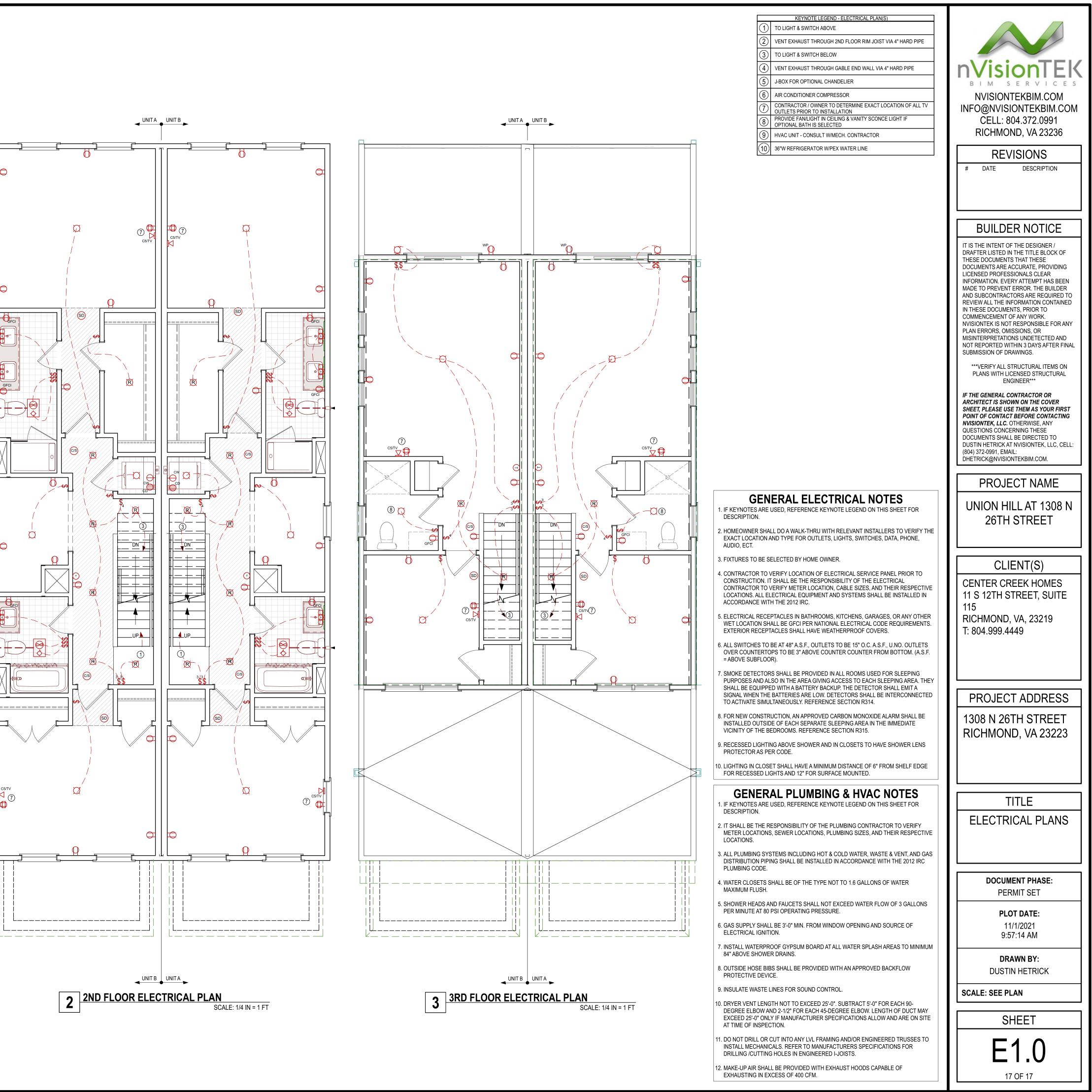
on the product.

THE PAPER SIZE NEEDS TO BE 24" x 36" (ARCH D) TO SCALE PROPERLY

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2D	ELECTRICAL SCHEDULE DESCRIPTION	QTY
SWP	SWP PANEL	2
EP	ELECTRICAL PANEL	2
0	DOORBELL	2
DC	DOOR CHIME	1
	THERMOSTAT	6
C/S	CO/SMOKE DETECTOR	8
SD	SMOKE DETECTOR	6
\$	SINGLE POLE SWITCH	44
\$ ₃	THREE WAY SWITCH	28
\$ ₃ \$ ₄	FOUR WAY SWITCH	4
\$ GD	GARBAGE DISPOSAL SWITCH	2
\bigcirc	DUPLEX OUTLET	61
GFCI	DUPLEX GFCI OUTLET	14
	DUPLEX GFCI & USB OUTLET	4
	QUADRUPLEX OUTLET	12
	DUPLEX WEATHERPROOF OUTLET	6
	CLOTHES WASHER DEDICATED OUTLET	2
	CLOTHES DRYER DEDICATED OUTLET	2
RA	RANGE DEDICATED OUTLET	2
$\Phi_{\rm R}$	REFRIGERATOR DEDICATED OUTLET	2
	DISHWASHER, HW	2
Å	MICROWAVE, HW	2
	CAT5 W/ TV	12
\bigotimes	CEILING-MOUNTED EXHAUST FAN	2
8	CEILING-MOUNTED EXHAUST FAN WITH LIGHT	4
Ž	EXTERIOR SCONCE LIGHT	4
(R)	RECESSED CAN LIGHT	63
R	RECESSED CAN LIGHT (WET LOCATION)	4
Ø	FLUSH-MOUNT LIGHT	14
B	BARE BULB PORCELAIN LAMPHOLDER	2
	VANITY SCONCE LIGHT	8
$\overline{(\mathbf{J})}$	J-BOX CEILING MOUNT	2





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