

INTRODUCED: April 25, 2022

AN ORDINANCE No. 2022-125

To authorize the special use of the property known as 1308 North 26<sup>th</sup> Street for the purpose of two single-family attached dwellings, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: MAY 23 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 1308 North 26<sup>th</sup> Street, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of two single-family attached dwellings, which use, among other things, is not currently allowed by section 30-710.1, concerning the number of spaces required for particular uses, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES:            8            NOES:            0            ABSTAIN: \_\_\_\_\_

ADOPTED:    MAY 23 2022    REJECTED: \_\_\_\_\_    STRICKEN: \_\_\_\_\_

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1308 North 26<sup>th</sup> Street and identified as Tax Parcel No. E000-0620/012 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Improvements on Lot 12, Square 37, ‘Heckler’s Plan’, in the City of Richmond, Virginia,” prepared by McKnight & Associates, P.C., and dated July 30, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of two single-family attached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Plot Plan Showing Proposed Improvements on No. 1308 and No. 1308 ½ N. 26<sup>th</sup> Street, Lot 12, Square 37, ‘Heckler’s Plan’, in the City of Richmond, Virginia,” prepared by McKnight & Associates, P.C., and dated October 4, 2021, and entitled “Union Hill at 1308 N 26<sup>th</sup> Street,” prepared by nVisionTEK, and dated November 1, 2021, and hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as two single-family attached dwellings, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed three stories, substantially as shown on the Plans.

(c) All building materials and elevations shall be substantially as shown on the Plans. Vinyl siding shall not be a permitted building material.

(d) No off-street parking spaces shall be required for the Special Use.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(f) Prior to the issuance of any certificate of occupancy for the Special Use, the division of the Property into two lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.



(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as

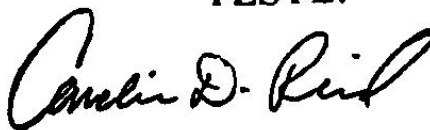
amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:  
TESTE:**

A handwritten signature in black ink, appearing to read "Carolin D. Reil".

**City Clerk**



# City of Richmond

## Item Request File Number: PRE.2022.0087

RECEIVED  
By City Attorney's Office at 10:25 am, Apr 18, 2022

RECEIVED  
By CAO Office at 1:48 pm, Mar 15, 2022

2022-055

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.rva.gov

### O & R Request

**DATE:** March 14, 2022

**EDITION:** 1

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)  
(This in no way reflects a recommendation on behalf of the Mayor.)

**THROUGH:** J.E. Lincoln Saunders, Chief Administrative Officer

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

**FROM:** Kevin J. Vonck, Director, Department of Planning and Development Review

**RE:** To authorize the special use of the property known as 1308 North 26th Street for the purpose of up to two single-family attached dwellings, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_

**PURPOSE:** To authorize the special use of the property known as 1308 North 26th Street for the purpose of up to two single-family attached dwellings, upon certain terms and conditions.

**REASON:** The subject property is located in the R-6 Single-Family Attached Residential zoning district. Single-family attached dwellings are permitted uses in this district. However, not all of the lot feature requirements of the zoning district can be met. Therefore a Special Use Permit is requested in order to complete this project.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its May 2, 2022 meeting.

**BACKGROUND:** The subject property is located on the west side of North 26th Street near midblock between S and T Streets. It is a vacant lot measuring 140 feet deep and 35 feet wide, for a total of 4,900 square feet. There are a mix of single-family attached and detached dwellings in the block. Properties to the

east and south are generally developed with single- and two-family dwellings. To the west and north lie the N 25th Street and Nine Mile Road commercial corridors along with The Market at 25th. To the south of the Property along N 26th Street lie various commercial and residential uses along with several vacant properties.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No.

**REVENUE TO CITY:** \$300 application fee

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** April 11, 2022

**CITY COUNCIL PUBLIC HEARING DATE:** May 9, 2022

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission  
May 2, 2022

**AFFECTED AGENCIES:** Office of Chief Administration Officer  
Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**REQUIRED CHANGES TO WORK PROGRAM(S):** None

**ATTACHMENTS:** Draft Ordinance, Application Form, Applicant's Repot, Plans, Survey, Map

**STAFF:** David Watson, Senior Planner, Land Use Administration, 804-646-1036



## Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304  
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- ☒ **special use permit, new**  
☐ **special use permit, plan amendment**  
☐ **special use permit, text only amendment**

### Project Name/Location

Property Address: 1308 N 26th Street Date: \_\_\_\_\_

Tax Map #: E0000620012 Fee: \$300

Total area of affected site in acres: 0.112

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

### Zoning

Current Zoning: R-6

Existing Use: Vacant

### Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Construction of two (2) single-family attached dwellings.

Existing Use: Vacant

Is this property subject to any previous land use cases?

Yes

☐

No

☒

If Yes, please list the Ordinance Number: \_\_\_\_\_

**Applicant/Contact Person:** Mark Baker

Company: Baker Development Resources

Mailing Address: 530 East Main Street, Suite 730

City: Richmond State: VA Zip Code: 23219

Telephone: (804) 874-6275 Fax: ( )

Email: markbaker@bakerdevelopmentresources.com

**Property Owner:** CCR3 HOLDINGS LLC

If Business Entity, name and title of authorized signee: Development Executive

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 11 S 12th Street, #115

City: Richmond State: VA Zip Code: 23219

Telephone: (804) 999-4449 Fax: ( )

Email: josh@centercreekhomes.com

**Property Owner Signature:** \_\_\_\_\_ 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

# APPLICANT'S REPORT

*November 18, 2021*

*Special Use Permit Request  
1308 N 26<sup>th</sup> Street, Richmond, Virginia  
Map Reference Number: E000-0620/012*

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Submitted to:	<b>City of Richmond</b> Department of Planning and Development Review Land Use Administration 900 East Broad Street, Suite 511 Richmond, Virginia 23219
Submitted by:	<b>Baker Development Resources</b> 530 East Main Street, Suite 730 Richmond, Virginia 23219

## Introduction

The property owner is requesting a special use permit (the “SUP”) for 1308 N 26<sup>th</sup> Street (the “Property”). The SUP would authorize the construction of two (2) single-family attached dwellings on the currently vacant Property. While the single-family attached dwelling use is permitted by the underlying R-6 Single Family Attached Residential zoning district, some of the applicable feature requirements cannot be met, and therefore, the SUP is required.

## Existing Conditions

### SITE DESCRIPTION AND EXISTING LAND USE

The Property is located on the west side of N 26<sup>th</sup> Street between S and T Streets and consists of one parcel, which is referenced by the City Assessor as tax parcel E000-0620/012. The Property is 35 feet wide, 140 feet deep and contains approximately 4,900 square feet of lot area and is currently vacant.





There are a mix of single-family attached and detached dwellings in the block. Properties to the east and south are generally developed with single- and two-family dwellings. To the west and north lie the N 25<sup>th</sup> Street and Nine Mile Road commercial corridors along with The Market at 25<sup>th</sup>. To the south of the Property along N 26<sup>th</sup> Street lie various commercial and residential uses along with several vacant properties.

The Property, and those nearby, lie in the 25<sup>th</sup> and Nine Mile Neighborhood Node. The Richmond 300 Master Plan describes nodes as “places in Richmond where people and jobs are today and continue to grow into the future. Nodes are the places of convergence of many uses and include offices, shopping, housing, and/or public gathering places as well as access to multiple modes of transportation.”

## **EXISTING ZONING**

The Property is zoned R-6 Single-Family Attached Residential, which permits the proposed single-family attached dwelling use. The surrounding properties along the N 25<sup>th</sup> and Nine Mile corridors are zoned a mixture of B-2, B-5, and UB-2 Business Districts. Southeast of the property along N 28<sup>th</sup> Street lies a block of properties which are zoned a combination M-1 Light Industrial and R-63 Multifamily Urban Residential.

## **TRANSPORTATION**

Located 0.2 miles from the Property, less than a five-minute walk, is the 25<sup>th</sup> and S Street bus stop which serves the 7 and 12 bus lines. These lines run every 30 minutes and connect with the Pulse BRT, thereby providing connectivity throughout the City. The Property is also located a half mile from the Mosby and Fairmount bus stop which serves the 5 bus line. This line is described as a “high-frequency line” that runs every fifteen minutes.

## **MASTER PLAN DESIGNATION**

The Richmond 300 Master Plan (the “Master Plan”) suggests “Neighborhood Mixed-Use” for the Property. This land use category is described as “existing or new highly-walkable urban neighborhoods that are predominantly residential.” The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. Single-family dwellings are a primary use in the Neighborhood Mixed-Use designations which also encourages that developments reinforce a gridded street pattern to increase connectivity. Single-family dwellings are the contemplated primary use in the Residential future land use designation (p. 54). The Property is also located within the 25<sup>th</sup> and Nine Mile Neighborhood Node which is described as a local crossroads typically within or next to larger residential areas that offers goods and services to nearby residents, employees, and visitors.

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request, including:

- Equitable Transportation, Objective 6.1, which is to “increase the number of residents...along enhanced transit corridors” as Richmond Highway is shown as being an enhanced transit corridor, and is within close proximity to the Property (Figure 28, p. 119).



- High-Quality Places, Objective 1.4, to “maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards”
- High Quality Places, Objective 4.1, to “create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City,” as the request introduces thoughtfully-designed new construction in a manner not otherwise assured by-right.
- Inclusive Housing chapter, Objective 14.5, to “encourage more housing types throughout the City and greater density...at nodes...”, as the request is a more efficient use of the Property than could be achieved by-right in the R-6 zoning district.

## **Proposal**

### **PROJECT SUMMARY**

The proposed development includes the construction of two (2) new, single-family attached dwellings on the vacant Property consistent with the historical use of the Property.

### **PURPOSE OF REQUEST**

The Property is 35 feet in width which is equal to, or larger than, the other properties within the block. Historic Sanborn maps show two attached dwellings previously located on the Property. Therefore, the applicant would now like to construct two, new single-family attached dwellings, consistent with the historical use of the Property. While this request is consistent with both the lot pattern and historic development pattern in the vicinity, some of the underlying feature requirements, including unit width and off-street parking cannot be met and therefore, a SUP is required.

The proposed lot width and area are compatible with other lots in the vicinity, which are all characteristically smaller urban lots. In the subject block, a majority of the lots are developed with dwellings that do not comply with the current R-6 requirements. Based on this historic lot pattern, the majority of lots in the vicinity are nonconforming with regard to lot area. Furthermore, all properties located on the western portion of the block of N 26<sup>th</sup> Street bound by S and T Streets do not have rear alley access and therefore cannot provide off-street parking.

In exchange for the SUP, the intent of this request is to ensure a high-quality infill development that is consistent with the objectives of the Master Plan. The overall project would be appropriately efficient and would be compatible with the existing development in the vicinity. The quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.

### **PROJECT DETAILS**

The two new single-family attached dwellings would each be approximately 14 feet in width and three stories in height and are consistent with historic development pattern found throughout the neighborhood. The third floors would be set back and the building design would utilize a false mansard roof at the second story in order to achieve the appearance of a two-story building from the street. This design has been utilized elsewhere in the vicinity.

Each dwelling would contain three bedrooms and two-and-one-half bathrooms and approximately 2,207 square feet of floor area. An optional third-floor bathroom would allow future homeowners to meet the needs of their individual families. The dwelling floor plans are spacious and modern with open living areas and kitchens along with a primary bedroom which contains an en suite bathroom and walk in closet.

The new dwellings would be clad in cementitious lap siding in order to ensure quality and consistency in appearance with many other dwellings in the vicinity. A full-width front porch and rear facing balcony on the third-floor allow for additional outdoor living space and, potentially, views of the City of Richmond.

## Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed special use permit for high-quality infill construction will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The negligible traffic generation and one off-street parking spaces for each of the six dwelling units will create no congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed special use permit will not tend to over crowd the land or create an undue concentration of population.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The special use permit would not adversely affect the above referenced City services.

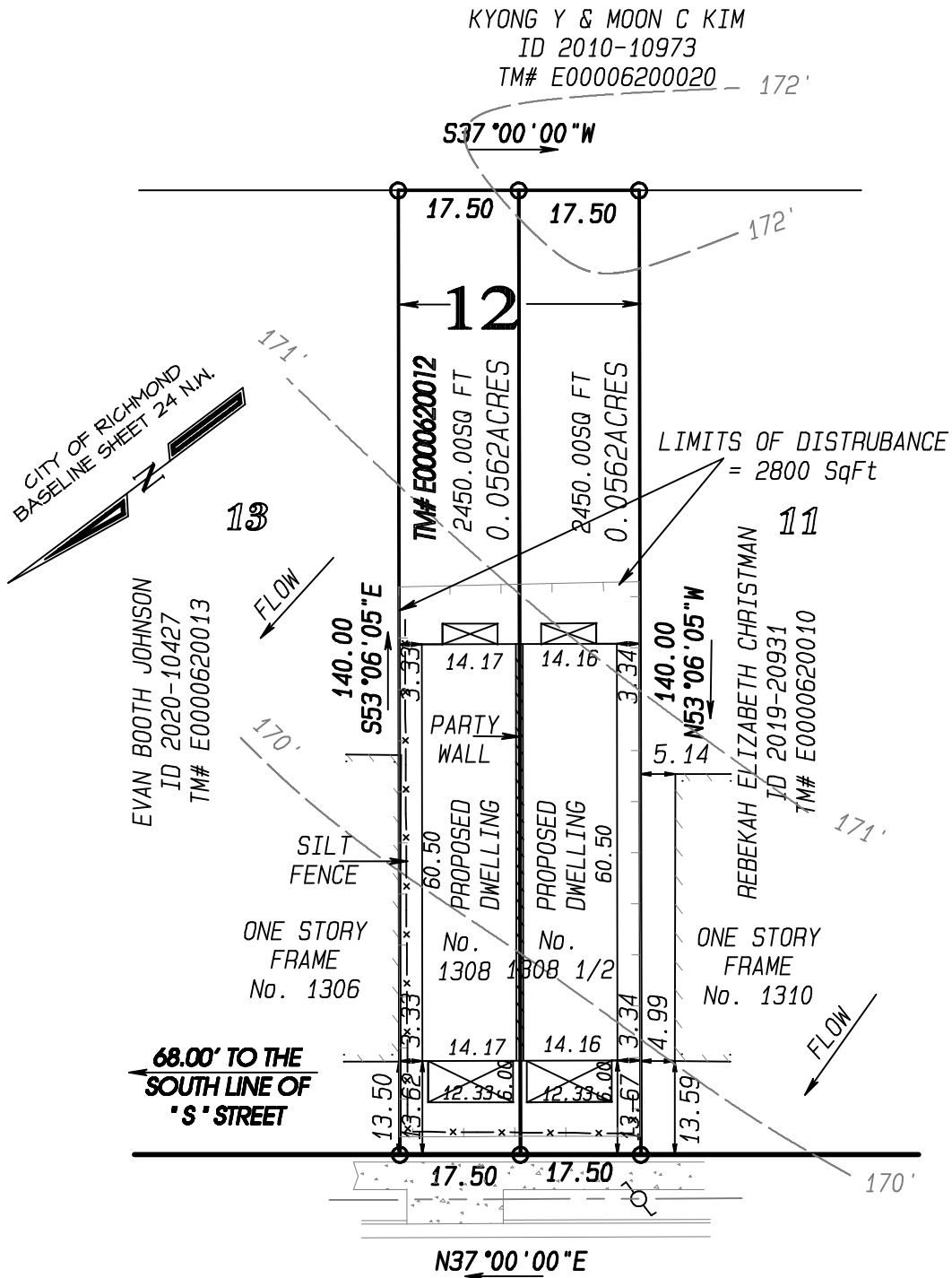
- ***Interfere with adequate light and air.***

The light and air available to the subject and adjacent properties will not be affected. The proposed dwellings are of compatible massing and spacing to the existing dwellings throughout the neighborhood. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.

## Summary

In summary we are enthusiastically seeking approval for the construction of two single-family attached dwellings on the Property. The SUP represents an ideal, small-scale urban infill development for this location that is historically appropriate and would contribute to the vibrancy of the block with street-oriented full width front porches. These dwellings provide new housing opportunities for the neighborhood which are consistent with the goals of the new Richmond 300 Master Plan. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.

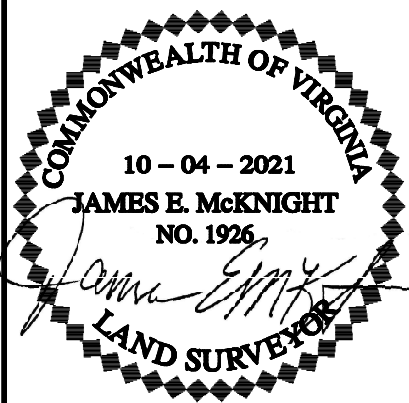
NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".  
CURRENT OWNER: CCR3 HOLDINGS LLC ID 2021-25841  
CONTOURS OVERLAYED FROM CITY OF RICHMOND GIS.  
CITY OF RICHMOND LOT SPLIT APPROVAL PENDING.



# N. 26 TH STREET

40' R/W

PLOT PLAN SHOWING PROPOSED IMPROVEMENTS ON  
No. 1308 & 1308 1/2 N. 26 TH STREET,  
LOT 12, SQUARE 37, "HECKLER'S PLAN",  
IN THE CITY OF RICHMOND, VIRGINIA.



**McKNIGHT**  
& ASSOCIATES, P.C.

LAND SURVEYORS PLANNERS

201 TWIN RIDGE LANE  
RICHMOND, VIRGINIA 23235  
TELEPHONE (804) 320-2646

JOB NUMBER: 92063308PP

SCALE: 1" = 25'



# UNION HILL AT 1308 N 26TH STREET

PROJECT ADDRESS: 1308 N 26TH STREET, RICHMOND, VA 23223

3-STORY 3-BEDROOM, 3-1/2 BATH, NEW CONSTRUCTION 2-FAMILY ATTACHED RESIDENCE WITH OPEN 3RD LEVEL BALCONY



SHEET LIST	
PAGE #	TITLE
A0.0	COVER SHEET
A0.1	AREA PLANS
A0.2	3D OVERVIEWS
A1.0	FOUNDATION & SITE PLANS
A1.1	1ST FLOOR CONSTRUCTION PLAN
A1.2	2ND & 3RD FLOOR CONSTRUCTION PLANS
A2.0	2ND & 3RD FLOOR JOIST FRAMING PLANS
A2.1	ROOF PLAN & ROOF FRAMING PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.0	DETAILS
A5.1	DETAILS
A5.2	WINDOW, DOOR, & ROOM FINISH SCHEDULES
A5.3	PARTY WALL UL336 ASSEMBLY SPECIFICATIONS
E1.0	ELECTRICAL PLANS

**nVisionTEK**  
BIM SERVICES  
NVISIONTEKBIM.COM  
INFO@NVISIONTEKBIM.COM  
CELL: 804.372.0991  
RICHMOND, VA 23236

## REVISIONS

#	DATE	DESCRIPTION
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## BUILDER NOTICE

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS.

\*\*\*VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER\*\*\*

IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER SHEET PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING NVISIONTEK LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC. CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.

## PROJECT NAME

UNION HILL AT 1308 N  
26TH STREET

## CLIENT(S)

CENTER CREEK HOMES  
11 S 12TH STREET, SUITE  
115  
RICHMOND, VA, 23219  
T: 804.999.4449

## PROJECT ADDRESS

1308 N 26TH STREET  
RICHMOND, VA 23223

## TITLE

COVER SHEET

DOCUMENT PHASE:  
PERMIT SET

PLOT DATE:  
11/1/2021  
9:56:54 AM

DRAWN BY:  
DUSTIN HETRICK

SCALE: SEE PLAN

## SHEET

A0.0  
1 OF 17

## ABBREVIATIONS LEGEND

AB	ANCHOR BOLT	MAX	MAXIMUM
ABV	ADJUSTABLE	MECH	MECHANICAL
ADJ	ADJUSTABLE	MFR	MANUFACTURER
AFF	ABOVE FINISHED FLOOR	MIN	MINIMUM
ALUM	ALUMINUM	MLDG	MOLDING
APPROX	APPROXIMATE	MO	MASONRY OPENING
BLDG	BUILDING	NTS	NOT TO SCALE
BLK	BLOCK	NTS	NOT TO SCALE
BLKG	BLOCKING	OC	ON CENTER
BO	BOTTOM OF	OH	OVERHEAD
CJ	CONTROL JOINT	OSB	ORIENTED STRAND BOARD
CL	CENTER LINE	PERF	PERFORATED
CLG	CEILING	PGM	PLATE GLASS MIRROR
CLR	CLEAR	PL	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PLY	PLYWOOD
COL	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC	CONCRETE	PT	PRESSURE TREATED
CONT	CONTINUOUS OR CONTINUE	PWD RM	POWDER ROOM
CPT	CARPET	QTY	QUANTITY
CT	CERAMIC TILE	REF	REFRIGERATOR
CW	COLD WATER	REINF	REINFORCED
DBL	DOUBLE	REQD	REQUIRED
DIA	DIAMETER	RM	ROOM
DIM	DIMENSION	RO	ROUGH OPENING
DR	DOOR	SD	SMOKE DETECTOR
DS	DOWN SPOUT	SF	SQUARE FEET
DW	DISHWASHER	SHTG	SHEDDING
DWG	DRAWING	SM	SIMILAR
DRY	DRYER	STD	STANDARD
EA	EACH	T&G	TONGUE & GROOVE
EJ	EXPANSION JOINT	TBS	TO BE SELECTED
ELV	ELEVATION	TEL	TELEPHONE
EQ	EQUAL	TEMP	TEMPERED
EQUIP	EQUIPMENT	TO	TO
EXP	EXPOSED	TOT	TOP OF BEAM
EXT	EXTERIOR	TOS	TOP OF SILL
FND	FOUNDATION	TPL	TOP PLATE
FF	FINISH FLOOR	TYP	TYPICAL
FIN	FINISH	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR (OR FLOORING)	VB	VAPOR BARRIER
FND	FOUNDATION	VENT	VENTILATION
FO	FACE OF CONCRETE	VERT	VERTICAL
FOF	FACE OF FRAMING	W	WITH
FTG	FOOTING	W/O	WITHOUT
GWB	GYPSUM	WASH	WASHER
HB	HOSE BIB	WD	WOOD
HDR	HEADER	WIC	WALK-IN CLOSET
HGT	HEIGHT	WIND	WINDOW
HR	HANDRAIL	WP	WATER PROOFING
HVAC	HEATING / VENTILATING / AIR CONDITIONING	WR	WATER RESISTANT
HW	HOT WATER		
INSUL	INSULATION		
INT	INTERIOR		
JST	JOIST		
JT	JOINT		
LAV	LAVATORY		
LVL	LAMINATED VENEER LUMBER		

NOTE:  
IF AN ABBREVIATION IS FOUND IN THE SET OF PLANS, IS NOT LISTED ABOVE, AND THERE IS ANY QUESTIONS AS TO ITS INTENDED MEANING, NOTIFY NVISIONTEK, LLC IMMEDIATELY.

## PROJECT INFORMATION

PROJECT NAME:  
UNION HILL AT 1308 N 26TH STREET

NEW CONSTRUCTION 2-STORY 2-BEDROOM, 1-1/2  
BATH, SINGLE-FAMILY RESIDENCE

OWNER / CLIENT:  
CENTER CREEK HOMES  
11 S 12TH STREET, SUITE 115  
RICHMOND, VA 23219  
T: 804.999.4449  
E: JOSH@CENTERCREEKHOMES.COM

PROJECT ADDRESS:  
1308 N 26TH STREET, RICHMOND, VA 23223

DRAWN BY:  
NVISIONTEK, LLC  
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NORTH CHESTERFIELD, VA 23236  
T: 804.372.0991  
E: DHETRICK@NVISIONTEKBIM.COM

ARCHITECT:  
CHRIS WOLF ARCHITECTURE, PLLC  
CONTACT: CHRIS WOLF ARCHITECTURE, PLLC  
11 S 12TH STREET, SUITE 115  
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GENERAL CONTRACTOR / DEVELOPER:  
CENTER CREEK HOMES  
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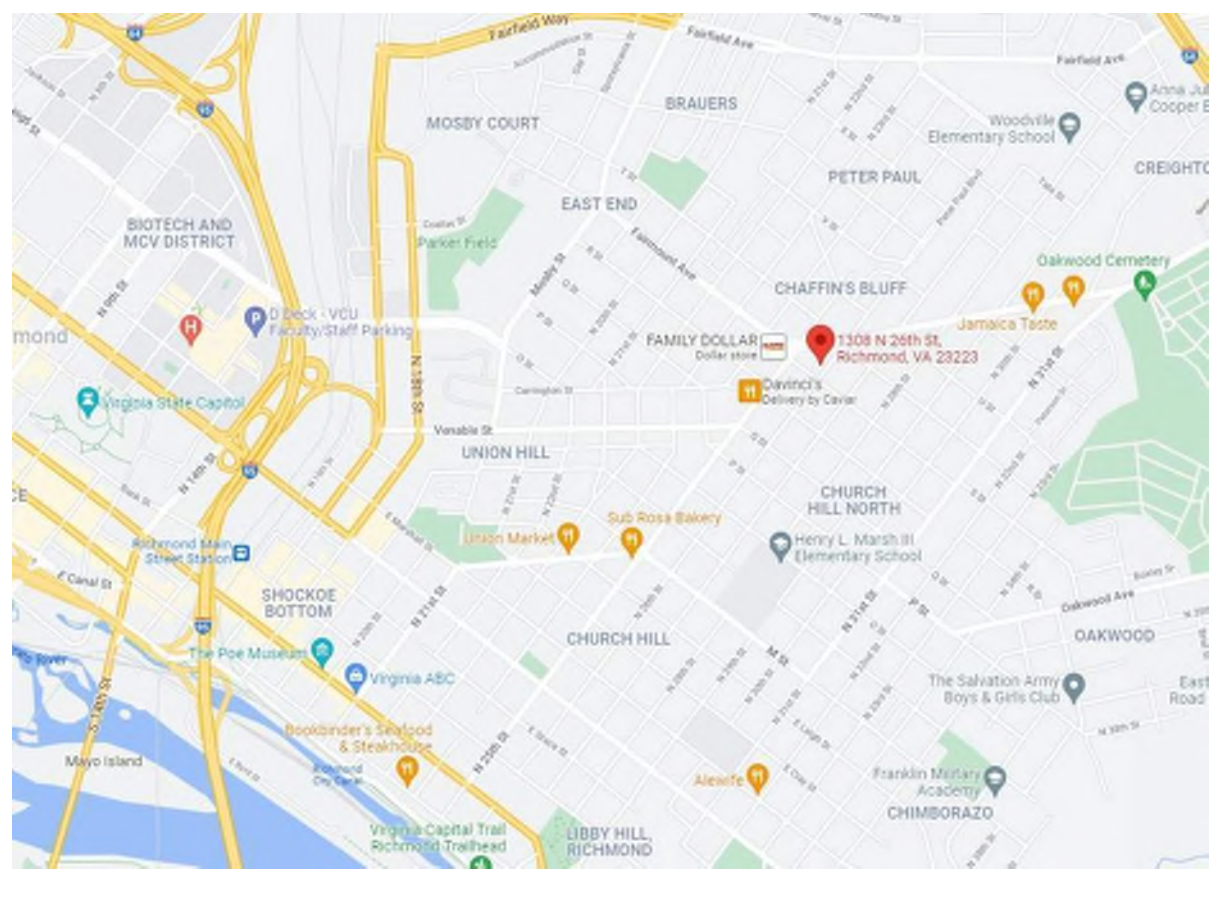
BUILDING AREA:  
OVERALL CONSTRUCTION SQUARE FOOTAGE  
MEASURED TO OUTSIDE SURFACE OF EXTERIOR  
WALLS, DECKS, PORCHES, OR PATIO SLAB

REFER TO AREA PLANS FOR AREA CALCULATIONS

## GENERAL NOTES

- ALL WORK SHALL CONFORM TO ALL BUILDING AND OCCUPATIONAL SAFETY CODES PERTAINING TO THIS PROJECT.
- PRIOR TO ANY SITE ACTIVITIES, THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES.
- PLANS AND SPECIFICATIONS IN SOME INSTANCES, DO NOT CONTAIN SPECIFIC INSTRUCTIONS FOR INSTALLATION OR PREPARATION METHODS. CONTRACTOR AND SUBS ARE RESPONSIBLE FOR FOLLOWING ASTM STANDARDS AND APPLICABLE CODES.
- INTERIOR WALLS AT POCKET DOORS TO BE 2x6 STUD FRAMING. ALL OTHER INTERIOR WALLS TO BE 2x4 STUD FRAMING, U.N.O.. REFER TO WALL TAGS AND LEGEND.
- ALL EXTERIOR WALLS TO HAVE MIN 2x4 STUDS WITH 7/16" OSB, R-15 (MIN.) INSULATION, HOUSE WRAP, AND EXTERIOR FINISH, U.N.O..
- EXTERIOR DOORS TO HAVE MIN. 3'-0" X 3'-0" LANDING IF MORE THAN (3) RISERS ARE NEEDED TO REACH FINISHED GRADE, U.N.O..
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL EXTERIOR FRAMING DIMENSIONS ARE SHOWN TO FACE OF STUDS. ALL INTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUDS, U.N.O.. WALL FINISHES ARE EXCLUDED UNLESS NOTED AS "FIN.". REFER TO WALL LEGEND, IF SHOWN, FOR ADDITIONAL WALL INFORMATION.
- ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER LINE. AS-BUILT ONLY PLANS SHOW ALL WINDOW AND DOOR DIMENSIONS TO OPENING WIDTHS. ALL STRUCTURAL MEMBERS (FLOOR AND CEILING JOIST, RAFTERS, HEADERS, BEAMS) MUST NOT BE CHANGED WITHOUT VERIFICATION & APPROVAL, UNLESS TO MEET ENGINEERING REQUIREMENTS.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL INTERIOR OPENINGS 48" AND LARGER REQUIRE DOUBLE JACK STUDS. ALL HEADERS AT INTERIOR AND EXTERIOR LOAD-BEARING WALLS TO BE MIN. (2)x6, U.N.O.. ALL HEADERS AT INTERIOR DOORS TO BE (2)x6, U.N.O.. REFERENCE R602.7 AND/OR VERIFY w/LICENSED STRUCTURAL ENGINEER.
- ALL LUMBER TO BE S.P.F. #2 OR BETTER U.N.O..
- INCREASE ENTRY DOOR ROUGH OPENING HEIGHT +3/4" WHEN THE FINISHED FLOOR IS 3/4" HARDWOOD OR TILE.
- ALL INTERIOR WALLS TO BE FRAMED AT 16" O.C. WITH WALLS PERPENDICULAR TO FLOOR JOISTS TO HAVE STUDS STACKED OVER JOISTS. ALL FRAMED WALLS TO HAVE DOUBLE TOP PLATES AND SINGLE BOTTOM PLATE.
- DOUBLE UP ALL FLOOR JOISTS OR PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS BELOW ALL BEARING WALLS, TUBS, AND APPLIANCES.
- ALL DECORATIVE ELEMENTS AND FINISHES ARE TO BE SELECTED BY OWNER. CONTRACTOR TO VERIFY WITH OWNER PRIOR TO ORDERING AND INSTALLATION, TYP. FOR ENTIRE PROJECT.
- HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
- INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. U.N.O. ON PLANS.
- REFER TO STRUCTURAL DRAWINGS (IF APPLICABLE) FOR ANY STRUCTURAL INFORMATION NOT INDICATED. VERIFY ALL STRUCTURAL ITEMS SHOWN THROUGHOUT DRAWINGS WITH LICENSED STRUCTURAL ENGINEER.

## VICINITY MAP LOCATION



## IMAGE OF EXISTING LOT



## DRAWING SYMBOL LEGEND

PLAN # ON SHEET	SECTION/ELEVATION/DETAIL #	REVISION CLOUD (REFERENCE REVISION SCHEDULE)
VIEW TITLE SCALE: 1/4" IN = 1 FT	VIEW TITLE SCALE: 1/4" IN = 1 FT	
DETAIL # REFERENCING SHEET #	ELEVATION / SECTION MARKER	2x10 P.T. JOISTS @ 16" O.C.
DETAIL # REFERENCING SHEET #	DETAIL CALLOUT MARKER	5" 12" SLOPED 1/4" / 1'-0"
DETAIL # REFERENCING SHEET #	DETAIL CALLOUT MARKER WITH AREA BOUNDARY	BREAK LINE CENTER LINE
INTERIOR ELEVATION MARKER		PLAN NORTH
ROOM NAME X'-X" x X'-X"	ROOM NAME, ASSOCIATED w/ROOM SCHEDULE	BATT / CELLULOSE INSULATION
DOOR NUMBER, ASSOCIATED w/DOOR SCHEDULE		RIGID INSULATION, U.N.O.
WINDOW NUMBER, ASSOCIATED w/WINDOW SCHEDULE		CLOSED-CELL FOAM INSULATION, U.N.O.
NOTE, ASSOCIATED w/ CORRESPONDING SCHEDULE		CMU BLOCKS, U.N.O.
ELEVATION MARKER w/HEIGHT		BRICKS, U.N.O.
		CONCRETE, U.N.O.
		WOOD FRAMING (SECTION)
		WOOD BLOCKING (SECTION)
		GRAVEL FILL, U.N.O.
		EARTH OR COMPACTED FILL, U.N.O.
		TILE FLOOR (GENERIC), U.N.O.
		DROPPED CEILING OR SOFFIT, U.N.O.
		ASPHALT SHINGLE ROOFING, U.N.O.
		DECK/PORCH PLANKING OR SIDING, U.N.O.

## BUILDING CODE & ZONING

PROJECT SHALL CONFORM TO THE 2018 VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND 2018 VIRGINIA INTERNATIONAL RESIDENTIAL CODE. RICHMOND COUNTY ZONING, LOT ZONED R-8. CONSTRUCTION TYPE V-B

## STRUCTURAL REQUIREMENTS (VERIFY w/LICENSED ENGINEER):

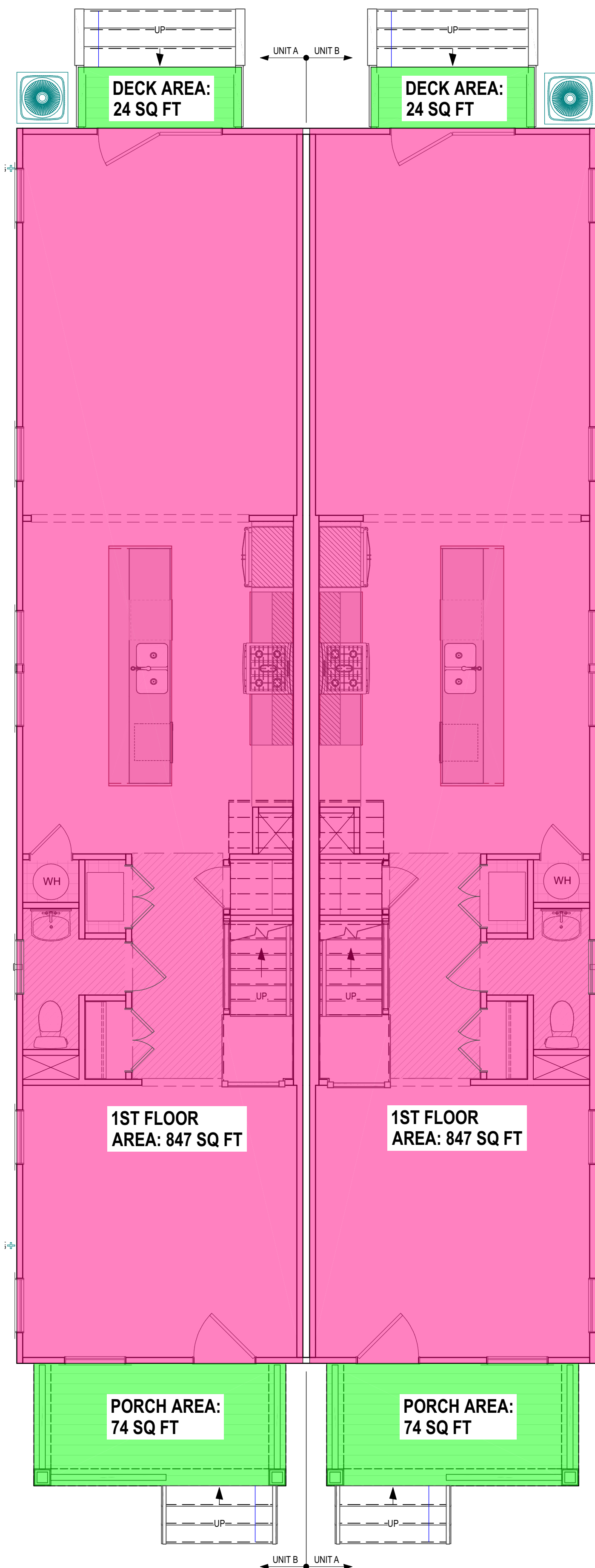
- FROST DEPTH: 18"
- ULTIMATE DESIGN WIND SPEED: 115 MPH, EXPOSURE B
- SNOW LOAD: 20 PSF
- SEISMIC DESIGN CATEGORY: B
- MAXIMUM BUILDING HEIGHT: 35'-0"
- FOUNDATION: SEE GEOTECHNICAL REPORT BY OTHERS
- EXTERIOR WALL BRACING PER IRC R602.10

## INSULATION REQUIREMENTS

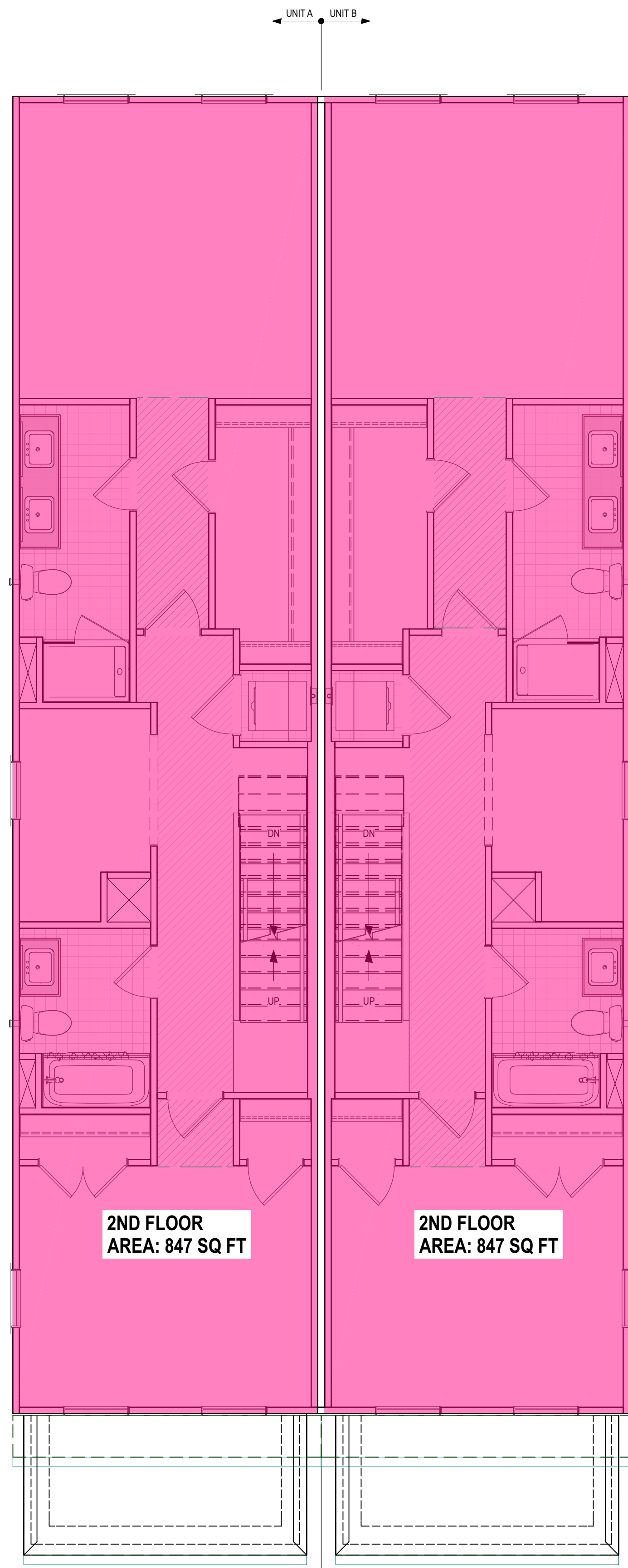
REFER TO TABLE N1102.1.2 (R402.1.2)

- CLIMATE ZONE: 4
- FENESTRATION U-FACTOR: 0.32
- SKYLIGHT U-FACTOR: 0.55
- GLAZED FENESTRATION SHGC: 0.40
- CEILING R-VALUE: 49
- WOOD FRAME WALL R-VALUE: 13
- MASS WALL R-VALUE: 8 (CONTINUOUS)/13 (CAVITY)
- FLOOR R-VALUE: 19
- BASEMENT WALL R-VALUE: 10 (CONTINUOUS)/13 (CAVITY)
- UNHEATED SLAB R-VALUE & DEPTH: NOT REQUIRED
- HEATED SLAB R-VALUE: R-5
- CRAWL SPACE WALL R-VALUE: 10 (CONTINUOUS)/13 (CAVITY)

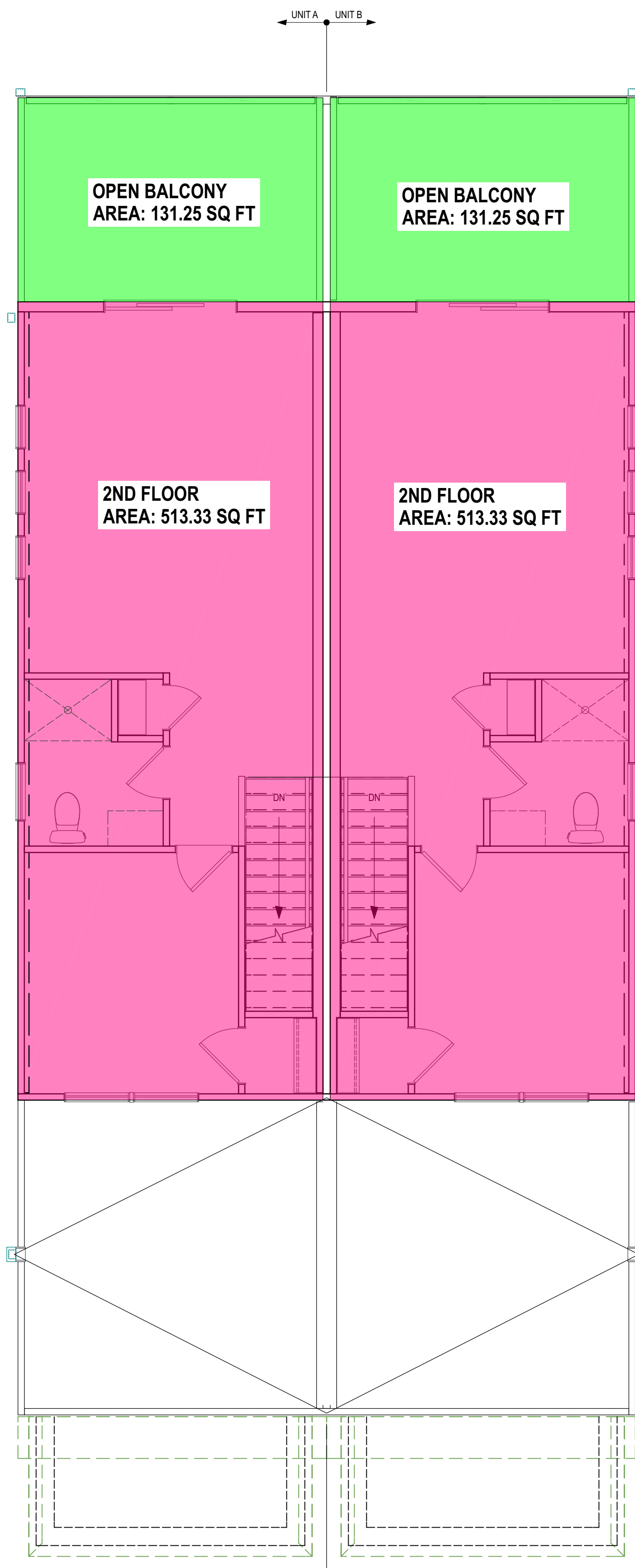




1 1ST FLOOR AREA PLAN  
SCALE: 1/4 IN = 1 FT



2 2ND FLOOR AREA PLAN  
SCALE: 1/4 IN = 1 FT



3 3RD FLOOR AREA PLAN  
SCALE: 1/4 IN = 1 FT

ROOM SCHEDULE - ALL LEVELS						
ROOM NAME	FLOOR	AREA, INTERIOR (SQ FT)	AREA, STANDARD (SQ FT)	DIMENSIONS	CEILING ROUGH HEIGHT	CEILING FINISH HEIGHT
PORCH	1	73	74	12'-4" X 8'-11"	108 1/4"	108"
DECK	1	23	24	8'-0" X 2'-11"	N/A	N/A
DINING ROOM	1	177	192	13'-2" X 13'-2"	109 1/4"	108"
POWDER	1	24	30	4'-11" X 8'-10"	109 1/4"	96"
KITCHEN	1	209	225	13'-2" X 16'-5"	109 1/4", 119 1/4"	108", 118"
MECHANICAL	1	7	9	1'-11" X 3'-6"	109 1/4"	108"
CLOSET	1	7	10	1'-11" X 3'-9"	109 1/4"	108"
HALL	1	49	53	4'-5" X 10'-10"	109 1/4"	96"
UTILITY	1	5	8	2'-5" X 2'-0"	109 1/4"	108"
PANTRY	1	8	11	5'-1" X 2'-8"	119 1/4"	118"
LIVING ROOM	1	248	266	13'-4" X 18'-7"	109 1/4"	108"
HALL	2	10	11	3'-3" X 3'-4"	109 1/4", 126"	108", 124 3/4"
BATH	2	46	53	5'-11" X 8'-2"	109 1/4"	108"
CLOSET	2	12	16	5'-11" X 2'-0"	109 1/4"	108"
OPEN BELOW	2	28	29	3'-11" X 9'-2"	245 1/4"	244"
LANDING	2	12	14	3'-5" X 3'-7"	101 13/16"	100 3/16"
CLOSET	2	9	11	3'-3" X 2'-9"	109 1/4"	108"
STUDY	2	52	61	5'-11" X 9'-6"	109 1/4"	108"
W.I.C.	2	49	56	4'-4" X 11'-10"	109 1/4"	108"
BEDROOM 2	2	157	172	13'-4" X 14'-1"	109 1/4"	108"
HALL	2	75	86	3'-5" X 20'-11"	109 1/4"	96"
OWNER BEDROOM	2	214	233	13'-4" X 24'-1"	109 1/4"	108"
OWNER BATH	2	65	74	5'-0" X 13'-7"	109 1/4"	108"
LOFT	3	258	282	13'-2" X 16'-8"	97 1/4"	96"
LAUNDRY	2	10	13	3'-3" X 3'-2"	109 1/4"	108"
STORAGE	3	41	47	6'-3" X 7'-7"	97 1/4"	96"
LINEN	3	5	7	2'-0" X 2'-6"	97 1/4"	96"
OPEN BELOW	3	33	34	3'-11" X 10'-9"	223 1/4"	222"
CLOSET	3	11	15	3'-3" X 3'-5"	97 1/4"	96"
BEDROOM 3	3	107	119	9'-9" X 11'-0"	97 1/4"	96"
OPEN BALCONY	3	119	133	13'-3" X 9'-0"	N/A	N/A

**AREA CALCULATIONS**

PORCH AREA: 74 SF  
DECK AREA: 24 SF  
3RD FLOOR OPEN BALCONY AREA: 131 SF  
TOTAL NON-LIVING AREA: 229 SF

1ST FLOOR LIVING AREA: 847 SF  
2ND FLOOR LIVING AREA: 847 SF  
3RD FLOOR LIVING AREA: 513 SF  
TOTAL LIVING AREA: 2,207 SF

GRAND TOTAL BUILDING AREA: 2,236 SF

REVISIONS		
#	DATE	DESCRIPTION

**BUILDER NOTICE**

IT IS THE INTENT OF THE DESIGNER / DRAFTER LISTED IN THE TITLE BLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS ARE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO COMMENCEMENT OF ANY WORK. NVISIONTEK IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED WITHIN 3 DAYS AFTER FINAL SUBMISSION OF DRAWINGS.

\*\*\*VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER\*\*\*

IF THE GENERAL CONTRACTOR OR ARCHITECT IS SHOWN ON THE COVER SHEET, PLEASE USE THEM AS YOUR FIRST POINT OF CONTACT BEFORE CONTACTING NVISIONTEK, LLC. OTHERWISE, ANY QUESTIONS CONCERNING THESE DOCUMENTS SHALL BE DIRECTED TO DUSTIN HETRICK AT NVISIONTEK, LLC. CELL: (804) 372-0991, EMAIL: DHETRICK@NVISIONTEKBIM.COM.

**PROJECT NAME**

UNION HILL AT 1308 N 26TH STREET

**CLIENT(S)**

CENTER CREEK HOMES  
11 S 12TH STREET, SUITE 115  
RICHMOND, VA, 23219  
T: 804.999.4449

**PROJECT ADDRESS**

1308 N 26TH STREET  
RICHMOND, VA 23223

**TITLE**

AREA PLANS

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PERMIT SET

**PLOT DATE:**  
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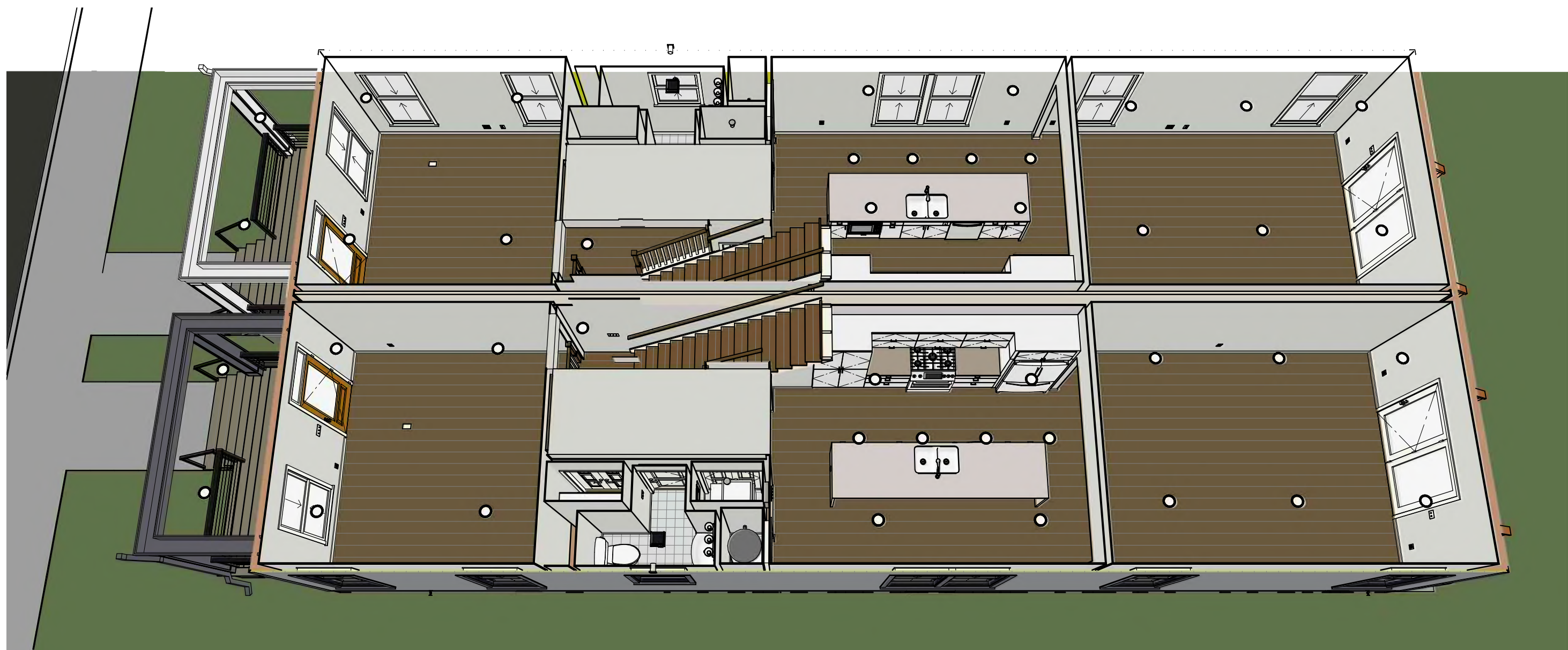
**DRAWN BY:**  
DUSTIN HETRICK

SCALE: SEE PLAN

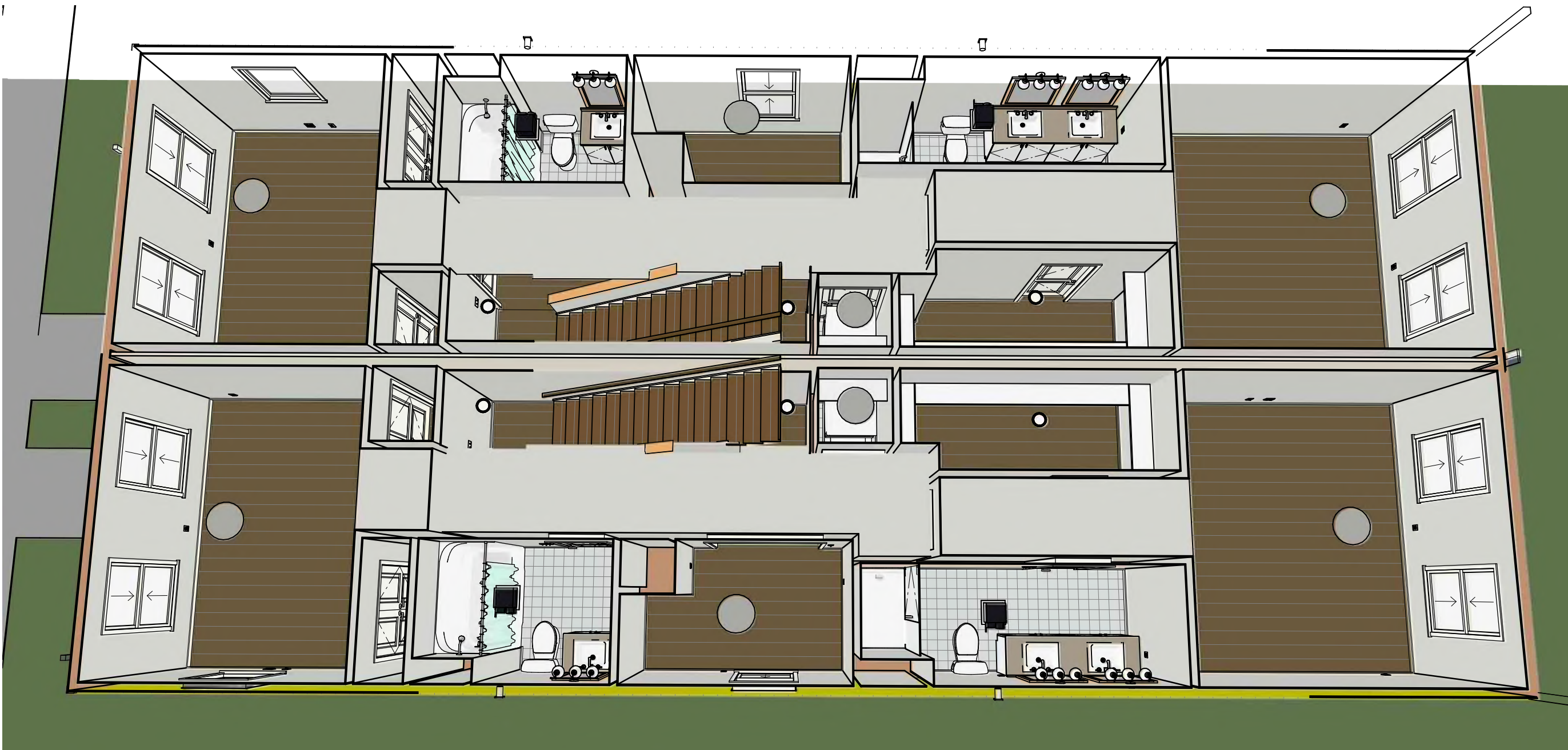
**SHEET**

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2 OF 17

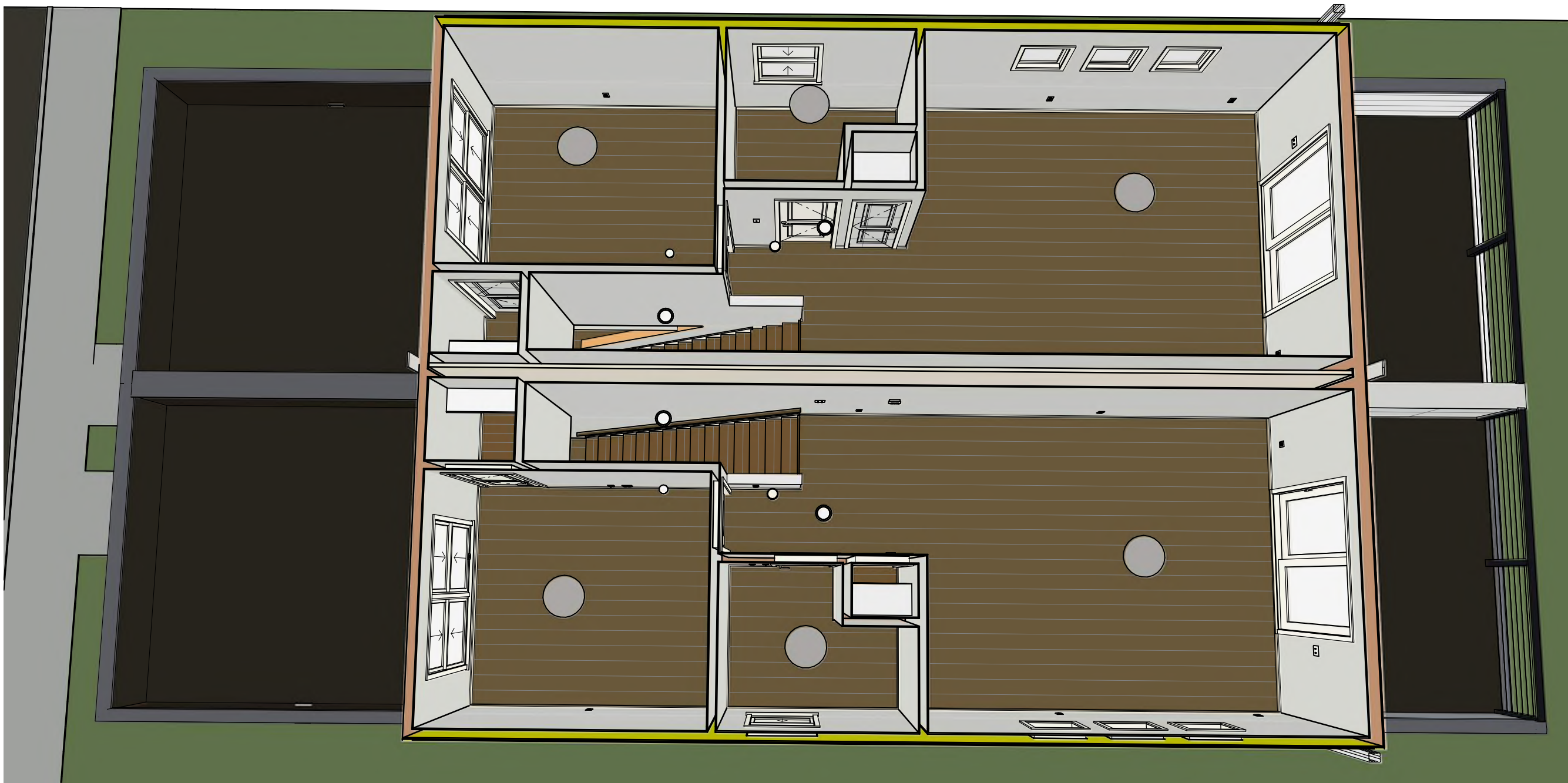




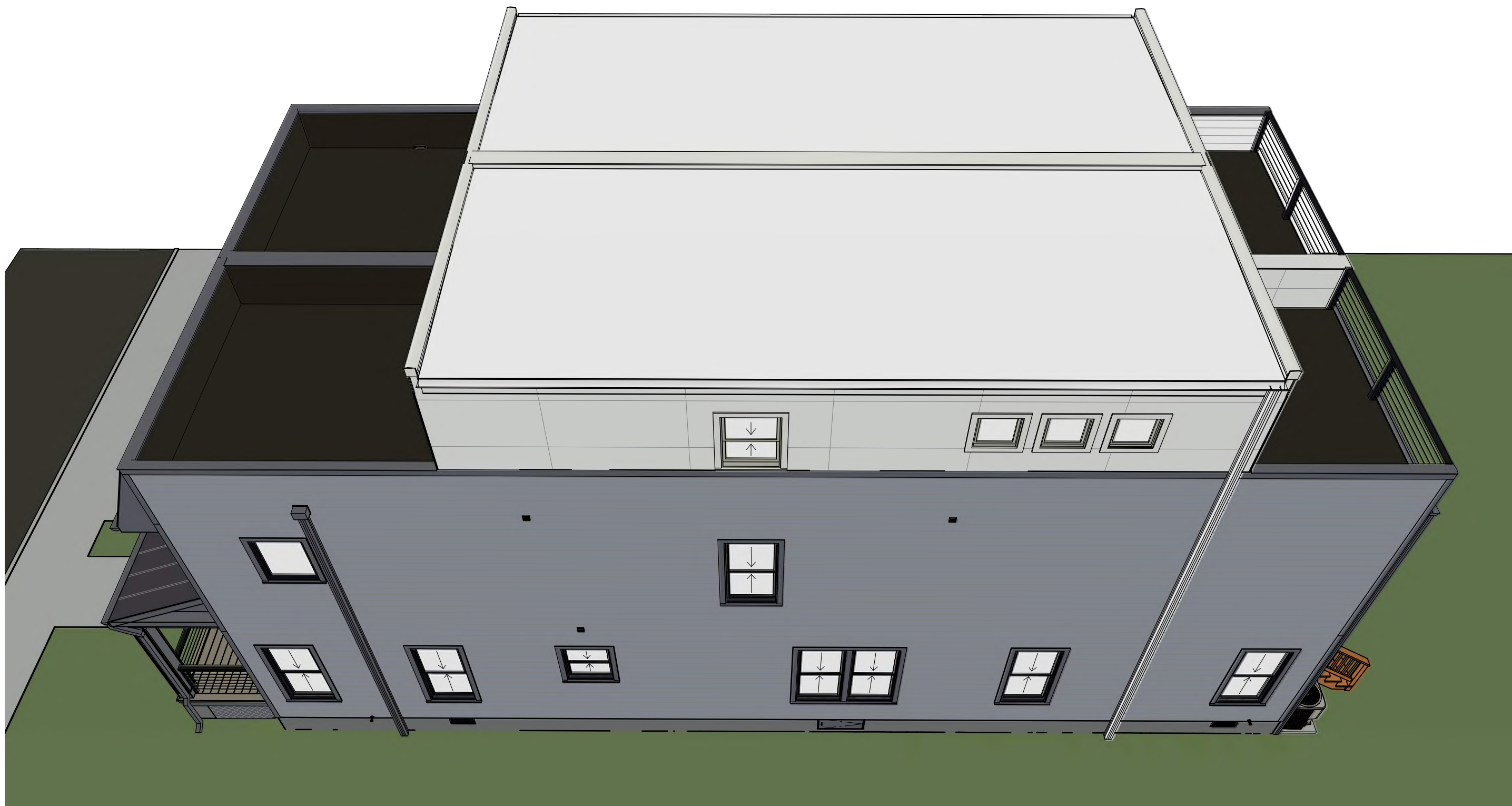
1 3D OVERVIEW OF 1ST FLOOR  
NOT TO SCALE - FOR REFERENCE ONLY



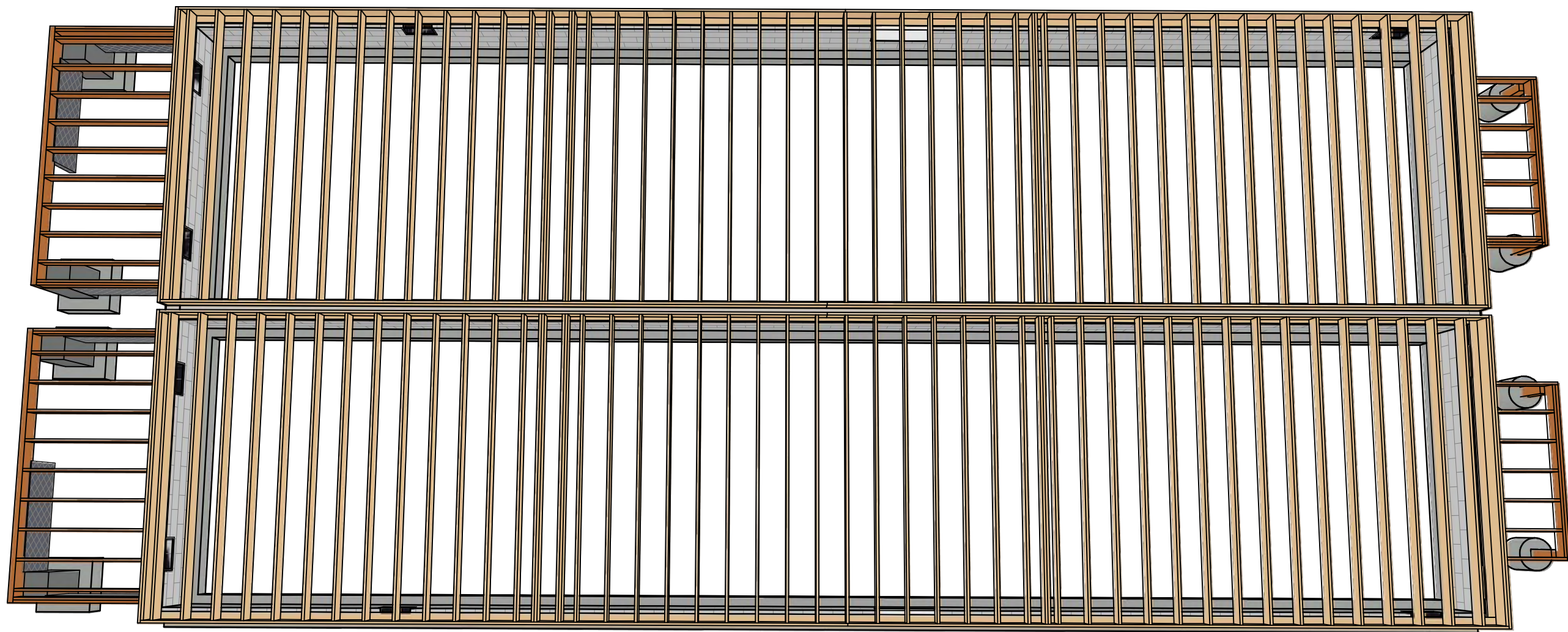
2 3D OVERVIEW OF 2ND FLOOR  
NOT TO SCALE - FOR REFERENCE ONLY



3 3D OVERVIEW OF 3RD FLOOR  
NOT TO SCALE - FOR REFERENCE ONLY



4 3D OVERVIEW OF ROOF  
NOT TO SCALE - FOR REFERENCE ONLY



5 3D OVERVIEW OF FOUNDATION  
NOT TO SCALE - FOR REFERENCE ONLY

**GENERAL ELEVATION & 3D NOTES**

1. REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.

2. ANY FURNITURE SHOWN IS GENERIC AND IS FOR REFERENCE ONLY. CONSULT WITH INTERIOR DESIGNER (IF APPLICABLE) FOR SPACE PLANNING.

3. ALL MATERIALS, PATTERNS, TRIM, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN DO NOT REPRESENT EXACT SELECTIONS. GENERIC STYLES SHOWN, UNLESS OTHERWISE INDICATED.

4. TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO SURVEY PHOTOS OR SITE PLAN (BY OTHERS).

5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

REVISIONS		
#	DATE	DESCRIPTION

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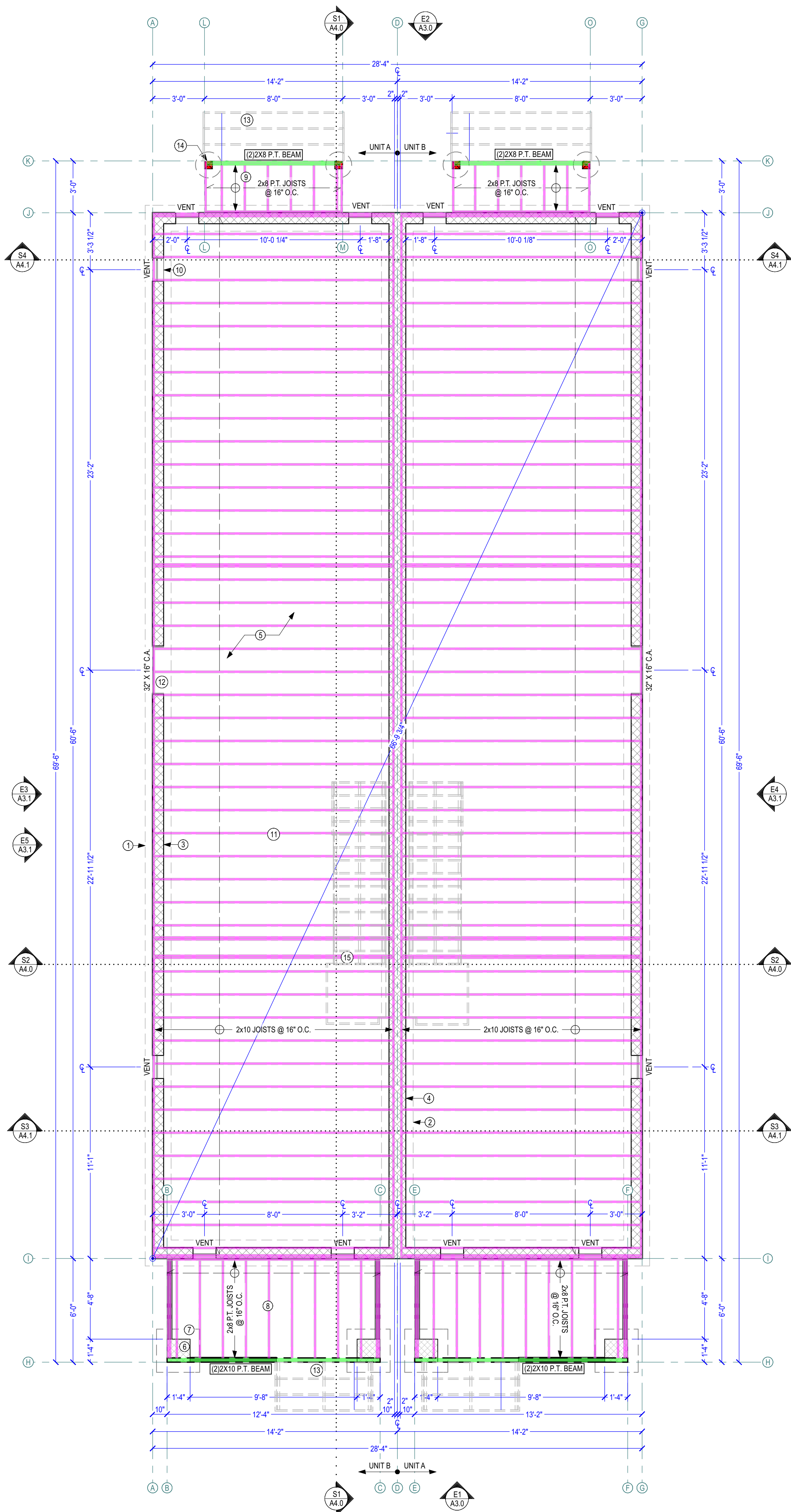
PROJECT ADDRESS
1308 N 26TH STREET RICHMOND, VA 23223

TITLE
3D OVERVIEWS

DOCUMENT PHASE:
PERMIT SET
PLOT DATE:
11/1/2021 9:56:55 AM
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DUSTIN HETRICK
SCALE: SEE PLAN

SHEET
A0.2 3 OF 17





1 FOUNDATION PLAN  
SCALE: 1/4" IN = 1 FT

WALL TYPE LEGEND	
	EXIST. WALL (ANY TYPE)
	EXIST. WALL DEMOLISHED (ANY TYPE)
	NEW 2x4 2-HR FIRE-RATED PARTY WALL
	NEW 2x6 2-HR FIRE-RATED PARTY WALL
	NEW 2x4 1-HOUR FIRE RATED WALL
	NEW 2x4 WALL
	NEW 2x4 PARTIAL HEIGHT WALL
	NEW 2x6 WALL
	NEW 2x6 PARTIAL HEIGHT WALL
	INTERIOR LOAD-BEARING WALL
	NEW GLASS PANEL
	NEW CONCRETE WALL
	NEW CMU WALL
	OPTIONAL/FUTURE PHASE WALL
	NEW LOAD BEARING POST

- GENERAL FOUNDATION NOTES**
- FOUNDATION WALLS TO BE CONCRETE MASONRY UNITS (CMU) WITH PARGE COAT TO GRADE. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND FOR ASSEMBLY INFORMATION AND THICKNESSES.
  - FOOTINGS ARE POURED CONCRETE AND DEVELOP 3,000 PSI IN 28 DAYS. TO BE SIZED PER LOCAL CODES AND ENGINEER REVIEW. FROST FOOTINGS SHALL BE INSTALLED AT 18" MIN. BELOW GRADE AND SHALL BE DICTATED BY SITE TOPOGRAPHY AND LOCAL CODE REQUIREMENTS. STEPPED FOOTINGS ARE INDICATED WITH "SF-SF" SYMBOLS. NEW FOOTINGS SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY ADJACENT EXISTING FOOTING THAT IS TO REMAIN.
  - SLAB ON GRADES ARE POURED CONCRETE AND DEVELOP 3,000 PSI IN 28 DAYS. PROVIDE WELD SMOOTH WIRE FABRIC MINIMUM 6x6-W2.1 x 2.1, U.N.O. SLAB TO HAVE 6-MIL POLY VAPOR BARRIER AND 4" CRUSHED STONE OVER COMPACTED FILL.
  - CRAWL ACCESS TO BE PROVIDED. 16" x 24" MIN. SIZE, IN PERIMETER WALL. PROVIDE CLEARANCE OPENING BELOW GRADE IF NECESSARY. REFERENCE IRC R408.4.
  - 12 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE. CONT. MIN. 6" UP FOUNDATION AND TAPE.
  - 16"x8" FOUNDATION VENTS TO BE PROVIDED FOR UNCONDITIONED CRAWL SPACES, MIN. OF 1 PER 150 SQ. FT. REFERENCE IRC R408.1 AND R408.2.
  - ALL DIMENSIONS ARE TO FACE OF FOUNDATION OR CENTER OF COLUMNS AND BEAMS, U.N.O.
  - IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

KEYNOTE LEGEND - FOUNDATION PLAN	
1	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)
2	CONT. 22" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 30" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)
3	8" CMU FOUNDATION WALL WITH PARGE COAT TO GRADE, #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6" O.C., MAX 12" FROM CORNERS; ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID - SEE ENLARGED DETAIL
4	12" CMU FOUNDATION WALL WITH #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6" O.C., MAX 12" FROM CORNERS; ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID - SEE ENLARGED PARTY WALL DETAIL
5	20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPE
6	16"x16" CMU PIERS W/PARGE COAT TO GRADE; GROUT & TAPER TOP FOR WATER DRAINAGE
7	30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE
8	PORCH FRAMING: 5/4" P.T. DECKING BOARDS OVER 2x8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS W/13" 2X10 P.T. OUTER BEAM & 2x8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 32" O.C. STAGGERED. PROVIDE METAL FLASHING AT HOUSE
9	DECK FRAMING: 5/4" P.T. DECKING BOARDS OVER 2x8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS & 2X8 P.T. FLUSH OUTER BEAM & 2x8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED
10	8X16 SLOTTED GALVANIZED CRAWLSPACE VENT WITH INSECT SCREE, TYP. AS SHOWN - SEE FOUNDATION NOTES FOR VENTING REQUIREMENTS
11	2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RIM BOARD ENTIRE PERIMETER, W/IR-19 BATT INSULATION, TYPICAL THROUGHOUT FIRST FLOOR LEVEL
12	MIN. 32"x16" CRAWLSPACE ACCESS WITH PRE-FAB DOOR
13	EXTERIOR WOOD STEPS ABOVE
14	P.T. 6X6 DECK POSTS FASTENED W/IMPSON POST BASE ON 18"DIA CONCRETE FOOTINGS MIN. 18" BELOW GRADE, TYP. - SEE ENLARGED DETAIL
15	DBL. JOIST UNDER START OF STAIRS

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CELL: 804.372.0991  
RICHMOND, VA 23236

REVISIONS

#	DATE	DESCRIPTION
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PROJECT NAME

UNION HILL AT 1308 N 26TH STREET

CLIENT(S)

CENTER CREEK HOMES  
11 S 12TH STREET, SUITE 115  
RICHMOND, VA, 23219  
T: 804.999.4449

PROJECT ADDRESS

1308 N 26TH STREET  
RICHMOND, VA 23223

TITLE

FOUNDATION & SITE PLANS

DOCUMENT PHASE:

PERMIT SET

PLOT DATE:

11/1/2021  
9:56:56 AM

DRAWN BY:

DUSTIN HETRICK

SCALE: SEE PLAN

SHEET

A1.0  
4 OF 17



## REVISIONS

#	DATE	DESCRIPTION
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## PROJECT NAME

UNION HILL AT 1308 N  
26TH STREET

## CLIENT(S)

CENTER CREEK HOMES  
11 S 12TH STREET, SUITE  
115  
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T: 804.999.4449

## PROJECT ADDRESS

1308 N 26TH STREET  
RICHMOND, VA 23223

## TITLE

1ST FLOOR  
CONSTRUCTION PLAN

## DOCUMENT PHASE:

PERMIT SET

## PLOT DATE:

11/1/2021  
9:56:57 AM

## DRAWN BY:

DUSTIN HETRICK

SCALE: SEE PLAN

## SHEET

A1.1  
5 OF 17

KEYNOTE LEGEND - INTERIOR ELEVATIONS	
1	30" SLIDE-IN GAS RANGE W/DOWN-DRAFT EXHAUST, CONSULT OWNER FOR SELECTION
2	TILE BACKSPLASH
3	36"W REFRIGERATOR W/PEX WATER LINE, CONSULT OWNER FOR SELECTION
4	24"D X 36"H BASE CABINET W/3-DRAWERS, CONSULT W/OWNER FOR SELECTION
5	1-1/2" THICK COUNTERTOP, CONSULT W/OWNER FOR SELECTION
6	36"W X 90"H PANTRY CABINET, CONSULT W/OWNER FOR SELECTION
7	WALL CABINET W/2-TOP-HINGED DOORS, CONSULT W/OWNER FOR SELECTION
8	18"H X 24"D WALL CABINET ABOVE REFRIGERATOR, CONSULT OWNER FOR SELECTION
9	2-1/2"W X 72"H X 24"D FILLER
10	1/2" DRYWALL CEILING, TYP.
11	1/2" DRYWALL WALL SURFACE
12	3/4" THICK HARDWOOD FLOOR FINISH, CONSULT OWNER FOR SELECTION
13	CLIPPED CEILING FOR TOP OF STAIR STRINGER W/2X4 NAILERS & 1/2" DRYWALL FINISH
14	24"W BUILT-IN MICROWAVE, CONSULT OWNER FOR SELECTION
15	TRASH DRAWER, CONSULT OWNER FOR SELECTION
16	24" DISHWASHER, CONSULT OWNER FOR SELECTION
17	37"D KITCHEN ISLAND COUNTER OVER 24"D BASE CABINETS (1" FRONT OVERHANG & 12" REAR OVERHANG) W/WATERFALL EDGES, CONSULT OWNER FOR SELECTION

KEYNOTE LEGEND - 1ST FLOOR PLAN	
1	12"H SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH PROVIDING 5'-0" FINISHED CEILING HEIGHT
2	HVAC AIR CONDENSER - REFER TO HVAC CONTRACTOR FOR HVAC REQUIREMENTS
3	24" DISHWASHER, CONSULT OWNER FOR SELECTION
4	2X4 FRAMED PARTY WALL - SEE ENLARGED DETAIL
5	2X4 KNEEWALL UNDER STAIRS W/ 1/2" DRYWALL FINISH
6	37"D KITCHEN ISLAND COUNTER OVER 24"D BASE CABINETS (1" FRONT OVERHANG & 12" REAR OVERHANG) W/WATERFALL EDGES, CONSULT OWNER FOR SELECTION
7	36"H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING MOUNTED FLUSH INSIDE RIM JOIST - SEE ENLARGED DETAIL
8	2X4 FRAMED SLOPED RAILING WALL W/1X WOOD CAP W/34-36"H WOOD RAILING ABOVE PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEVEL POSTS, CONSULT W/ OWNER FOR SELECTIONS)
9	36"W REFRIGERATOR W/18"H X 24"D WALL CABINET ABOVE, CONSULT OWNER FOR SELECTION
10	1ST LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR W/ADHESIVE OVER 2X6 JOISTS AT 16" O.C.
11	PORCH FRAMING: 54 P.T. DECKING BOARDS OVER 2X6 P.T. JOISTS AT 16" O.C. WIGALV. HANGERS W/10 2X10 P.T. LEDGER BOARD W/ 1/2" P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING, PROVIDE METAL FLASHING AT HOUSE.
12	10" SQUARE LOAD-BEARING SYNTHETIC COLUMN - PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER WIGALV. POST ANCHOR
13	2X6 FRAMED PARTY WALL - SEE ENLARGED DETAIL
14	24"D X 36"H BASE CABINETS W/COUNTERTOP, CONSULT W/OWNER FOR SELECTION
15	DASHED LINE OF (3)2X10 BOX BEAM AROUND PORCH - SEE ENLARGED DETAIL
16	34-36"H WOOD RAILING ON EDGE OF LANDING, PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEVEL POSTS, CONSULT W/OWNER FOR SELECTIONS)
17	SHELF & ROD
18	STAIR STRINGERS EXPOSED BELOW CEILING, PROVIDE 2X4 BLOCKING AT 16" O.C. W/ 1/2" DRYWALL CEILING FINISH
19	8'-0"H OPENING
20	MULTI-SHELVING FOR PANTRY
21	DECK FRAMING: 54X6 P.T. DECKING BOARDS OVER 2X6 P.T. JOISTS AT 16" O.C. WIGALV. HANGERS & (2)2X6 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED
22	2X4 P.T. WOOD STEPS TO GRADE W/36"H P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL
23	WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD, 11" TREADS, MAX. 8" RISERS, TREAD MATERIAL TO MATCH PORCH FLOOR, PROVIDE LATTICE SKIRTING
25	BLACK PAINTED STEEL/IRON HANDRAIL AT STEPS, MIN. 34"H
29	30" SLIDE-IN GAS RANGE W/DOWN-DRAFT EXHAUST, CONSULT OWNER FOR SELECTION
30	WALL CABINETS, CONSULT W/OWNER FOR SELECTION
32	24"W BUILT-IN MICROWAVE, CONSULT OWNER FOR SELECTION
33	TRASH DRAWER, CONSULT OWNER FOR SELECTION
34	36"W X 90"H PANTRY CABINET, CONSULT W/OWNER FOR SELECTION
35	36"H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36"H, W/STAINLESS STEEL CABLES AT 4" O.C. RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR ABOVE FINISHED GRADE
36	ALUMINUM DOWNSPOUT W/TOP ELBOW CONNECTED TO GUTTER AT FRONT AND BOTTOM ELBOW AT SIDE OF COLUMN/PIER
40	EXT. WALL CONSTRUCTION AT FR 1ST & 2ND LEVELS: HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED
45	HVAC CHASE
46	MIRROR TO BE SELECTED BY OWNER
61	STAIRS PER CODE TO ABOVE W/WOOD RISERS, TREADS, & SKIRT BOARDS
64	3/4" TILE FLOOR FINISH, TYP. AT ALL WET LOCATIONS U.N.O., CONSULT W/OWNER FOR SELECTION
66	TYP. 2X4 INTERIOR WALL W/ 1/2" DRYWALL FINISH
68	UL 1-HOUR RATED ASSEMBLY "U308": HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 8" FIRE-RATED DENSGLASS SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 8" FIRE-RATED GYPSUM DRYWALL FINISH
69	UL 2-HOUR RATED ASSEMBLY "U336": 12" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED

## GENERAL FLOOR PLAN NOTES

1. ALL EXTERIOR FRAMING DIMENSIONS ARE TO FACE OF STUD / FACE OF FOUNDATION. INTERIOR DIMENSIONS ARE TO FACE OF STUD, U.N.O. THICKNESS OF 2x6 WALLS = 5-1/2", AND 2x4 WALLS = 3-1/2".

2. ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTER OF ROUGH OPENING, U.N.O. REFER TO EXTERIOR ELEVATIONS FOR WINDOW TOP HEIGHTS. ALL WINDOWS AT BEDROOMS TO MEET EGRESS SIZE REQUIREMENTS. TEMPERED GLAZING SHALL BE USED AT ALL WINDOW AND DOOR LOCATIONS AS REQUIRED BY CODE. REFERENCE SECTIONS R308.

3. ALL WINDOWS & ALL DOORS IN BEARING WALLS SHALL HAVE MIN. (2) JACK STUDS & (2)2x6 HEADERS, U.N.O. REFERENCE WINDOW & DOOR TAGS TO WINDOW, AND DOOR SCHEDULES.

4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS), ALL WORK TO BE DONE SHALL COMPLY WITH ALL APPLICABLE CODES.

5. ALL EXTERIOR WALL FRAMING TO BE 2x4 STUDS AT 16" O.C. WITH BATT INSULATION, AND 7/16" OSB SHEATHING, U.N.O. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND SHEATHING TO OVERLAP 1" BELOW ALL INTERIOR WALLS TO BE 2x4, U.N.O. IF WALL TAGS ARE SHOWN, REFER TO WALL LEGEND AND SCHEDULE FOR ASSEMBLY INFORMATION AND THICKNESSES.

6. HATCHED AREAS INDICATE DROPPED CEILINGS, SOFFITS, OR WALL CABINETS, U.N.O..

7. DOORS TO BE CENTERED IN CLOSETS OR HALLWAYS, U.N.O.

8. IF I-JOISTS OR FLOOR TRUSSES ARE SPECIFIED, REFER TO LAYOUT AND DETAILS PROVIDED BY JOIST MANUFACTURER. IF I-JOISTS OR FLOOR TRUSSES ARE SHOWN ON PLAN, THE LAYOUT IS "ASSUMED" U.N.O..

9. PROVIDE BLOCKING FOR PLUMBING FIXTURES, CABINETS, SHELVING, MECHANICAL SYSTEMS, ECT. AS REQUIRED. G.C. TO COORDINATE.

10. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

## WALL TYPE LEGEND

	EXIST. WALL (ANY TYPE)
	EXIST. WALL DEMOLISHED (ANY TYPE)
	NEW 2X4 2-HR FIRE-RATED PARTY WALL
	NEW 2X4 2-HR FIRE-RATED PARTY WALL
	NEW 2X4 1-HOUR FIRE RATED WALL
	NEW 2X4 WALL
	NEW 2X4 PARTIAL HEIGHT WALL
	NEW 2X6 WALL
	NEW 2X6 PARTIAL HEIGHT WALL
	INTERIOR LOAD-BEARING WALL
	NEW GLASS PANEL
	NEW CONCRETE WALL
	NEW CMU WALL
	OPTIONAL/FUTURE PHASE WALL
	NEW LOAD BEARING POST

## E6 ELEVATION AT KITCHEN ISLAND

SCALE: 1/2 IN = 1 FT

## E7 ELEVATION AT KITCHEN CABINETS

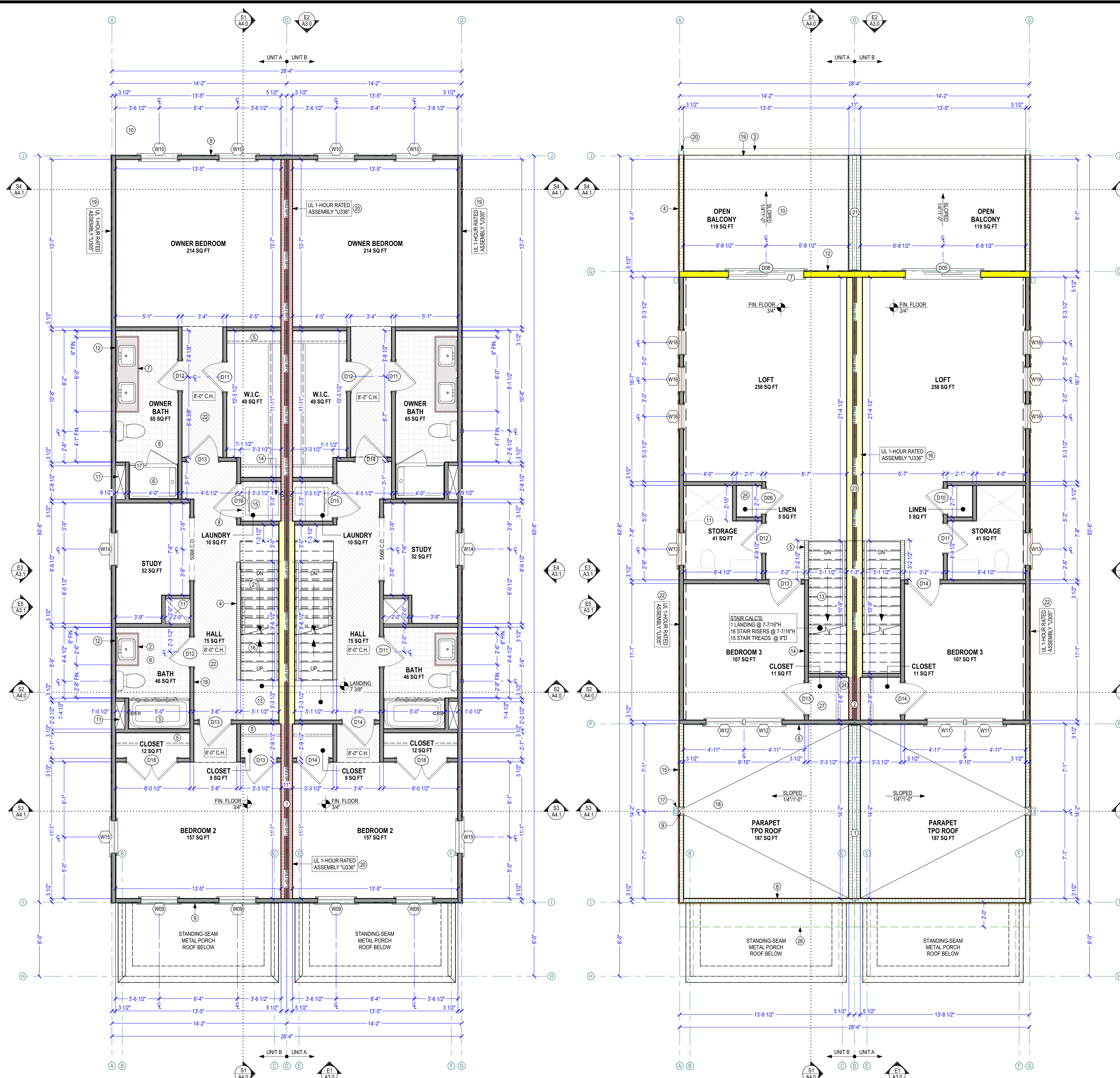
SCALE: 1/2 IN = 1 FT

## 1 1ST FLOOR CONSTRUCTION PLAN

SCALE: 1/4 IN = 1 FT

1ST FLOOR LIVING AREA: 1700 SQ FT  
FINISHED CEILING HEIGHT: 9'-0", U.N.O.





WALL TYPE LEGEND	
[Symbol]	EXIST. WALL (ANY TYPE)
[Symbol]	EXIST. WALL DEMOLISHED (ANY TYPE)
[Symbol]	NEW 2X4 2-HR FIRE-RATED PARTY WALL
[Symbol]	NEW 2X6 2-HR FIRE-RATED PARTY WALL
[Symbol]	NEW 2X4 1-HOUR FIRE RATED WALL
[Symbol]	NEW 2X4 PARTIAL
[Symbol]	NEW 2X4 PARTIAL HEIGHT WALL
[Symbol]	NEW 2X6 WALL
[Symbol]	NEW 2X6 PARTIAL HEIGHT WALL
[Symbol]	INTERIOR LOAD-BEARING WALL
[Symbol]	NEW GLASS PANEL
[Symbol]	NEW CONCRETE WALL
[Symbol]	NEW CMU WALL
[Symbol]	OPTIONAL/FUTURE PHASE WALL
[Symbol]	NEW LOAD BEARING POST

KEYNOTE LEGEND - 2ND FLOOR PLAN	
1	2X4 FRAMED PARTY WALL - SEE TYP. DETAIL
2	30" W VANITY SINK - STYLE TO BE SELECTED BY OWNER
3	30"x60" TUB/SHOWER
4	36" H 2X4 FRAMED RAILING WALL W/1X6 CAP FOLLOWING STAIRS UP TO 3RD LEVEL
5	SHELF & ROD, OR BUILT-IN SHELVING PER OWNER SELECTION
6	48"x34" PRE-FAB SHOWER PAN W/TILE WALLS
7	72" W VANITY SINK - STYLE TO BE SELECTED BY OWNER
8	3/4" TILE FLOOR FINISH, TYP. AT ALL WET LOCATIONS U.N.O., CONSULT W/OWNER FOR SELECTION
9	EXT. WALL CONSTRUCTION AT FR 1ST & 2ND LEVELS: HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK W/IR-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
10	ROOF OVER DECK BELOW - SEE ROOF PLAN
11	HVAC CHASE
12	MIRROR TO BE SELECTED BY OWNER
13	RAISED 2ND LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR W/ADHESIVE OVER 2X6 JOISTS AT 16" O.C. W/IR-15 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)
14	SHELF ABOVE WASHER/DRYER
15	STACKED WASHER/DRYER - PROVIDE PAN UNDERNEATH, & W/D PLUMBING & DRYER VENT
16	STAIRS PER CODE TO ABOVE W/WOOD RISERS, TREADS, & SKIRT BOARDS
17	TEMPERED GLASS SHOWER ENCLOSURE W/SLIDING DOOR
18	TYP. 2X4 INTERIOR WALL W/ 1/2" DRYWALL FINISH
19	UL 1-HOUR RATED ASSEMBLY "U336": HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK W/IR-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH
20	UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED
21	STAIRS PER CODE TO BELOW W/WOOD RISERS, TREADS, & SKIRT BOARDS
22	12" SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH PROVIDING 8'-0" FINISHED CEILING HEIGHT

KEYNOTE LEGEND - 3RD FLOOR PLAN	
1	42" H 2X4 FRAMED PARTY PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (BOTH SIDES) W/METAL DRIP CAP - SEE ENLARGED DETAIL
2	2X4 FRAMED PARTY WALL - SEE TYP. DETAIL
3	ALUMINUM GUTTER AT REAR DECK EDGE
4	42" H (36" H ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
5	36" H 2X4 FRAMED HALF-WALL W/1X6 CAP
6	FRONT EXTERIOR FRAMED WALL AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK W/IR-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
7	DOOR SILL RAISED 4-1/2" W/3/2X6S
8	42" H 2X4 FRAMED PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR SIDE ONLY) & CONT. METAL CAP - SEE ENLARGED DETAIL
9	6"x9" ALUMINUM OVERFLOW WALL SCUPPER, FLASH OPENING AS REQUIRED - SEE ENLARGED DETAIL
10	OPEN BALCONY DECK CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS REAR) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY FOAM INSULATION (UNDER SIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING - SEE SECTIONS & ENLARGED DETAILS
11	OPTION FOR FULL BATH W/TILE: 30" W VANITY & 4'-0" W X 2'-10" SHOWER
12	EXT. WALL CONSTRUCTION AT REAR 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING OVER 2X6 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK W/IR-19 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
13	STAIRS PER CODE TO BELOW W/WOOD RISERS, TREADS, & SKIRT BOARDS
14	TYP. 2X4 INTERIOR WALL W/ 1/2" DRYWALL FINISH
15	42" H 2X4 FRAMED PARAPET WALL W/HORIZONTAL LAP SIDING (OWNER TO SELECT) OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X6 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
16	UL 2-HOUR RATED ASSEMBLY "U336": 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED
17	ALUMINUM COLLECTOR BOX W/DOWNSPOUT
18	PARAPET TPO ROOF CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS SIDE GUTTER/ DOWNSPOUT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY FOAM INSULATION (UNDER SIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING - SEE SECTIONS & ENLARGED DETAILS
19	36" RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T. POSTS - SEE ENLARGED DETAIL
20	ALUMINUM DOWNSPOUT
21	42" H (36" H ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING WALL W/REVEAL PANEL SYSTEM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL
22	UL 1-HOUR RATED ASSEMBLY "U336": AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING OVER 2X4 STUDS AT 16" O.C. W/2" TOP PLATE & (1) BOTTOM PLATE W/CAULK W/IR-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH
23	2X6 FRAMED PARTY WALL - SEE TYP. DETAIL
24	SHELF & ROD, OR BUILT-IN SHELVING PER OWNER SELECTION
25	MULTI-SHELVING FOR LINEN
26	SKIRT ROOF IN FRONT OF PARAPET WALL - SEE ENLARGED DETAIL
27	FLOOR UNDER 3RD LEVEL CLOSET: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR W/ADHESIVE OVER 2X6 JOISTS AT 16" O.C. W/IR-15 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)

**1 2ND FLOOR CONSTRUCTION PLAN**  
SCALE: 1/4" IN = 1 FT  
1ST FLOOR LIVING AREA: 1638 SQ FT  
FINISHED CEILING HEIGHT: 9'-0", U.N.O.

**2 3RD FLOOR CONSTRUCTION PLAN**  
SCALE: 1/4" IN = 1 FT  
1ST FLOOR LIVING AREA: 972 SQ FT  
FINISHED CEILING HEIGHT: 8'-0", U.N.O.

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INFO@NVISIONTEKBIM.COM  
CELL: 804.372.0991  
RICHMOND, VA 23236

### REVISIONS

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### PROJECT NAME

UNION HILL AT 1308 N 26TH STREET

### CLIENT(S)

CENTER CREEK HOMES  
11 S 12TH STREET, SUITE 115  
RICHMOND, VA, 23219  
T: 804.999.4449

### PROJECT ADDRESS

1308 N 26TH STREET  
RICHMOND, VA 23223

### TITLE

2ND & 3RD FLOOR CONSTRUCTION PLANS

### DOCUMENT PHASE:

PERMIT SET

### PLOT DATE:

11/1/2021  
9:56:58 AM

### DRAWN BY:

DUSTIN HETRICK

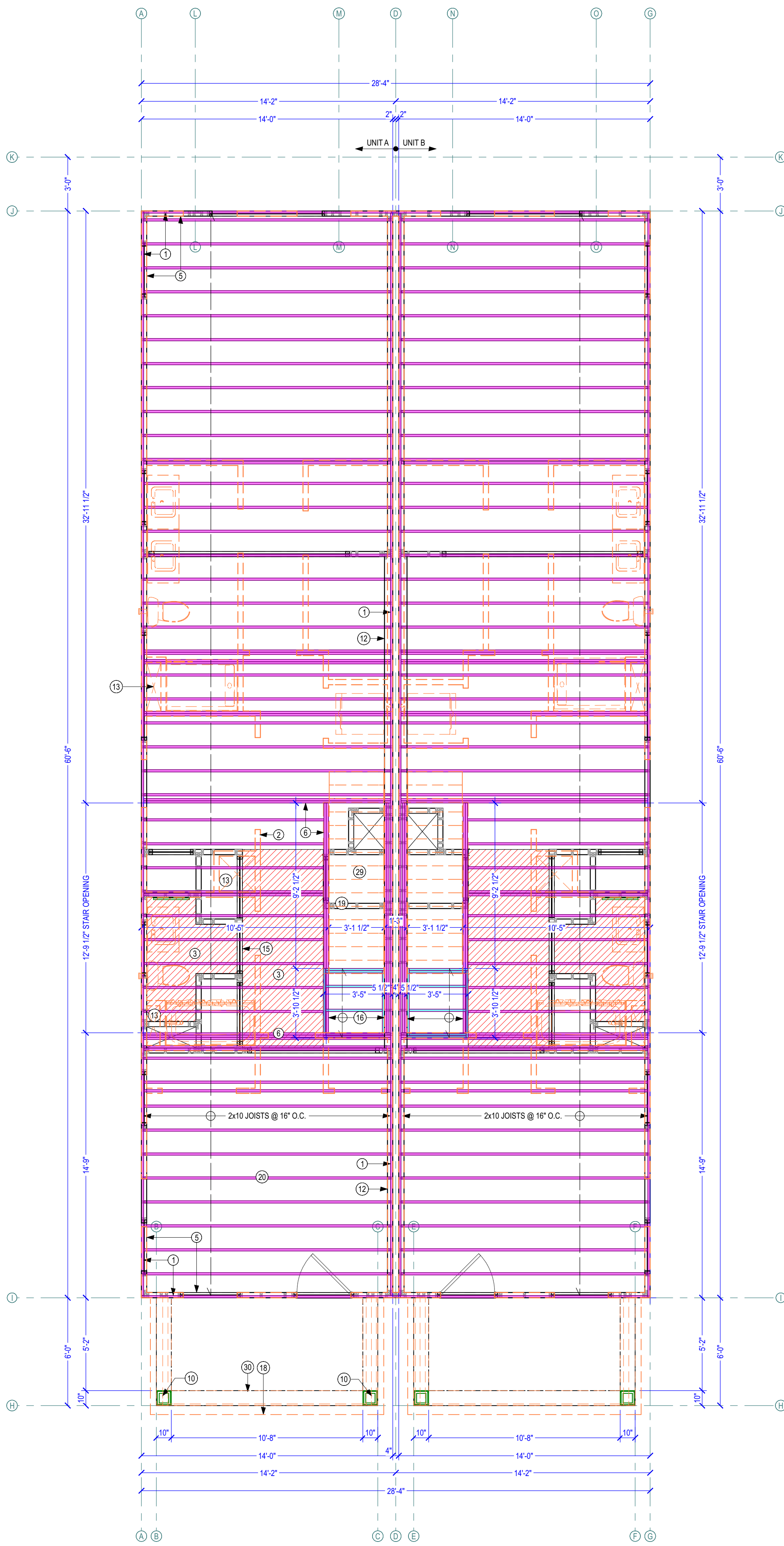
### SCALE:

SEE PLAN

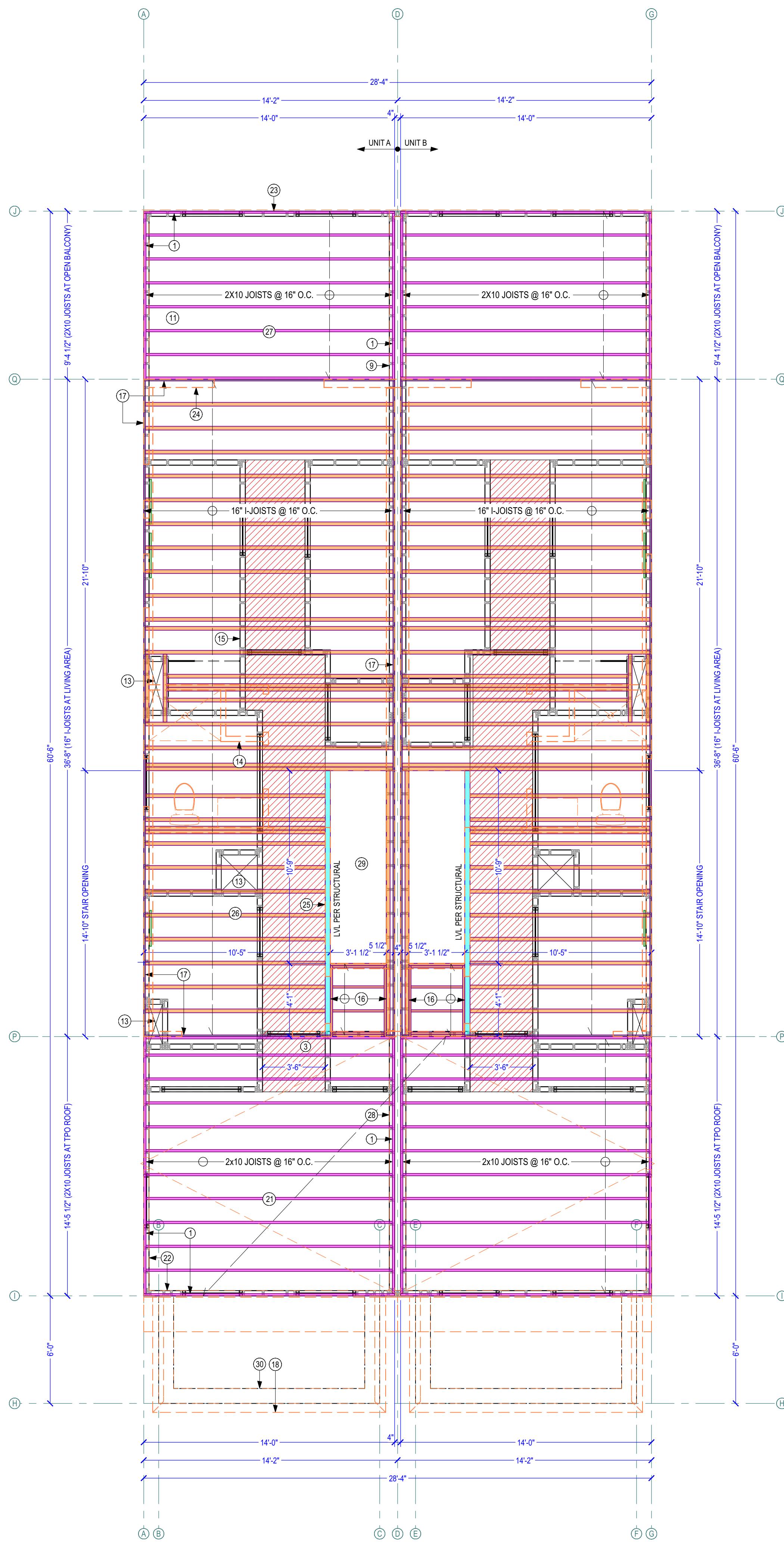
### SHEET

A1.2  
6 OF 17





1 2ND FLOOR JOIST FRAMING PLAN  
SCALE: 1/4 IN = 1 FT



2 3RD FLOOR JOIST FRAMING PLAN  
SCALE: 1/4 IN = 1 FT

KEYNOTE LEGEND - FLOOR FRAMING PLANS	
1	2X10 RIM JOIST
2	2X4 FRAMED INTERIOR WALLS AT FLOOR ABOVE, TYP. AT DASHED LINES U.N.O.
3	12"H HVAC CHASE UNDER FLOOR JOISTS W/ 1/2" DRYWALL CEILING FINISH
5	2X4 FRAMED EXTERIOR WALL ABOVE & BELOW
6	DBL 2X10 JOISTS AT STAIR OPENING
9	2X4 FRAMED PARTY WALL BELOW & 42"H 2X4 FRAMED RAILING PARTY WALL ABOVE - SEE ENLARGED DETAIL
10	4X4 WOOD POST FROM PORCH BEAM DOWN TO BRICK PIER BELOW
11	2X4 FRAMED EXTERIOR WALL BELOW & 2X4 FRAMED RAILING WALL ABOVE AT OPEN BALCONY
12	2X4 FRAMED PARTY WALL ABOVE & BELOW - SEE ENLARGED DETAIL
13	SPACE FLOOR JOISTS FOR HVAC CHASE OPENING
14	2X4 FRAMED INTERIOR WALLS ABOVE, TYP. AT DASHED LINES U.N.O.
15	2X4 FRAMED INTERIOR WALLS BELOW, TYP. AT SOLID LINES U.N.O.
16	STAIR LANDING PLATFORM WITH 2X6 JOISTS AT 16" O.C. - SEE SECTION
17	1-1/8"X16" ENGINEERED RIM JOIST - VERIFY LAYOUT FROM I-JOIST MANUFACTURER
18	PORCH ROOF BELOW - SEE ROOF PLAN
19	2X4 FRAMED KNEEWALL AT MECHANICAL ROOM BELOW STAIRS
20	2X10 FLOOR JOISTS AT 16" O.C. WITH 2X10 RIM BOARD ENTIRE PERIMETER, TYPICAL THROUGHOUT 2ND FLOOR LEVEL
21	2X10 JOISTS AT 16" O.C. WITH 2X10 RIM JOIST, TYP. AT TPO ROOF
22	2X4 FRAMED EXTERIOR WALL BELOW & 36"H 2X4 FRAMED PARAPET WALL ABOVE
23	2X4 FRAMED EXTERIOR WALL BELOW
24	2X6 FRAMED EXTERIOR WALL ABOVE
25	LVL BEAM PER STRUCTURAL AT STAIR OPENING
26	16" I-JOIST AT 16" O.C. WITH 1-1/8" ENGINEERED RIM BOARD (AS SHOWN) - REFER TO JOIST LAYOUT BY JOIST MANUFACTURER
27	2X10 JOISTS AT 16" O.C. WITH 2X10 RIM JOIST, TYP. AT OPEN BALCONY
28	2X4 FRAMED PARTY WALL BELOW & 24"H 2X4 FRAMED PARAPET PARTY WALL ABOVE - SEE ENLARGED DETAIL
29	OPENING FOR STAIRS
30	PORCH BEAM BELOW - SEE SECTION

**GENERAL STRUCTURAL NOTES**  
1 REFERENCE STRUCTURAL FRAMING TAGS TO SCHEDULES AND LEGEND, SHOWN ON THIS SHEET.  
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3 IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.



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#### PROJECT NAME

UNION HILL AT 1308 N  
26TH STREET

#### CLIENT(S)

CENTER CREEK HOMES  
11 S 12TH STREET, SUITE  
115  
RICHMOND, VA, 23219  
T: 804.999.4449

#### PROJECT ADDRESS

1308 N 26TH STREET  
RICHMOND, VA 23223

#### TITLE

2ND & 3RD FLOOR  
JOIST FRAMING PLANS

DOCUMENT PHASE:  
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PLOT DATE:  
11/1/2021  
9:56:59 AM

DRAWN BY:  
DUSTIN HETRICK

SCALE: SEE PLAN

#### SHEET

A2.0

7 OF 17



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11 S 12TH STREET, SUITE  
115  
RICHMOND, VA, 23219  
T: 804.999.4449

## PROJECT ADDRESS

1308 N 26TH STREET  
RICHMOND, VA 23223

## TITLE

ROOF PLAN & ROOF  
FRAMING PLAN

DOCUMENT PHASE:  
PERMIT SET

PLOT DATE:  
11/1/2021  
9:57:00 AM

DRAWN BY:  
DUSTIN HETRICK

SCALE: SEE PLAN

## SHEET

A2.1  
8 OF 17

KEYNOTE LEGEND - ROOF PLAN	
1	HALF-ROUND ALUMINUM GUTTER
2	HALF-ROUND ALUMINUM GUTTER AT REAR DECK EDGE
3	ALUMINUM DOWNSPOUT
4	ALUMINUM DOWNSPOUT W/TOP ELBOW CONNECTED TO GUTTER AT FRONT AND BOTTOM ELBOW AT SIDE OF COLUMNPIER
5	6"x6" ALUMINUM OVERFLOW WALL SCUPPER, FLASH OPENING AS REQUIRED - SEE TYP. DETAIL
6	ALUMINUM COLLECTOR BOX W/DOWNSPOUT
7	PORCH ROOF: STANDING SEAM METAL OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER PRE-ENGINEERED ROOF TRUSSES AT 24" O.C. WHANGERS/CLIPS AT HOUSE & HURRICANE CLIP AT OUTER BEAM - REFER TO DESIGN BY TRUSS MANUFACTURER
8	2X4 FRAMED FULL-LENGTH SOFFIT RETURN W/1X6 COMPOSITE FASCIA TRIM, HARDI-SOFFT, & ALUMINUM TOP FINISH SLOPED 2"11'-0" WITH FLASHING AS REQUIRED
9	LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0") OVER 2X8 CEILING JOISTS AT 16" O.C. WITH R-49 CELLULOSE INSULATION
10	SKIRT ROOF IN FRONT OF PARAPET WALL: STANDING-SEAM METAL ROOFING OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER 2X6 RAFTERS AT 16" O.C. - SEE ENLARGED DETAIL
11	2X4 FRAMED INTERIOR WALLS BELOW, TYP. U.N.O.
12	2X4 FRAMED EXTERIOR WALL BELOW
13	2X4 FRAMED EXTERIOR WALL BELOW WITH 19"H 2X4 FRAMED PARAPET WALL ABOVE WITH METAL CAP - SEE ENLARGED DETAIL
14	2X6 FRAMED EXTERIOR WALL BELOW WITH 19"H 2X4 FRAMED PARAPET WALL ABOVE WITH METAL CAP - SEE ENLARGED DETAIL
15	42"H (8" ABOVE DECK) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING (BOTH SIDES), 5/8" FIRE-RATED DENGLOSS SHEATHING (EXTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
16	42"H 2X4 FRAMED PARAPET WALL W/HARDIPLANK SIDING, 5/8" FIRE-RATED DENGLOSS SHEATHING (EXTERIOR SIDE), EPDM MEMBRANE (INTERIOR SIDE) & CONT. METAL CAP & 1X6 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
17	42"H (8" ABOVE DECK) 2X4 FRAMED PARTY RAILING WALL W/REVEAL PANEL SYSTEM (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL
18	42"H 2X4 FRAMED PARTY PARAPET WALL W/METAL DRIP CAP - SEE ENLARGED DETAIL
19	19"H 2X4 FRAMED PARTY PARAPET WALL (ABOVE 3RD FLOOR CEILING) W/ METAL DRIP CAP - SEE ENLARGED DETAIL
20	(3)2X10 PORCH BEAM BELOW - SEE SECTION
21	PARAPET TPO ROOF CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 8" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS SIDE GUTTER) DOWNSPOUT OVER 3/4" T&G OSB SUBFLOOR & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY-FOAM INSULATION (UNDER SIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING - SEE SECTION(S) & ENLARGED DETAIL(S)
22	42"H 2X4 FRAMED PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR SIDE ONLY) & CONT. METAL CAP - SEE ENLARGED DETAIL

KEYNOTE LEGEND - ROOF FRAMING PLAN	
1	PRE-ENGINEERED ROOF TRUSSES AT 24" O.C. WHANGERS/CLIPS AT HOUSE & HURRICANE CLIP AT OUTER BEAM - REFER TO DESIGN BY TRUSS MANUFACTURER
2	FULL-LENGTH SOFFIT RETURN WITH 2X4 RAFTERS AT 16" O.C. SLOPED 2" PER 1'-0"
3	(3)2X10 PORCH BEAM BELOW - SEE SECTION
4	2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0") OVER 2X8 CEILING JOISTS AT 16" O.C.
5	19"H 2X4 FRAMED PARTY PARAPET WALL (ABOVE 3RD FLOOR CEILING) - SEE ENLARGED DETAIL
6	2X4 FRAMED EXTERIOR WALL BELOW WITH 19"H 2X4 FRAMED PARAPET WALL ABOVE - SEE ENLARGED DETAIL
7	2X6 FRAMED EXTERIOR WALL BELOW WITH 19"H 2X4 FRAMED PARAPET WALL ABOVE - SEE ENLARGED DETAIL
8	2X4 FRAMED EXTERIOR WALL BELOW
9	2X4 FRAMED INTERIOR WALLS BELOW, TYP. U.N.O.
10	42"H 2X4 FRAMED PARTY PARAPET WALL - SEE ENLARGED DETAIL
11	42"H 2X4 FRAMED PARAPET WALL - SEE ENLARGED DETAIL
12	42"H 2X4 FRAMED BALCONY RAILING WALL - SEE ENLARGED DETAIL
13	SKIRT ROOF IN FRONT OF PARAPET WALL: STANDING-SEAM METAL ROOFING OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER 2X6 RAFTERS AT 16" O.C. - SEE ENLARGED DETAIL

## GENERAL ROOF VENT CALCULATIONS

### TWO METHODS OF NET FREE VENT AREA (NFVA) CALCULATION

- 1:150 (1 SF OF VENTILATION FOR EVERY 150 SF OF ATTIC FLOOR SPACE)
- 1:300 (1 SF OF VENTILATION FOR EVERY 300 SF OF ATTIC FLOOR SPACE)

THE US FMA REQUIRES A MIN. OF 1:300 NFVA, HOWEVER 1:150 IS RECOMMENDED FOR OPTIMAL PERFORMANCE, AND MAY BE REQUIRED DEPENDING ON LOCAL BUILDING CODES.

BOTH OF THESE CALCULATIONS ARE BASED ON AN IDEALLY BALANCED SYSTEM (50% INTAKE, 50% EXHAUST).

ROOF SQUARE FOOTAGE  
MAIN ROOF SQUARE FOOTAGE = XXX SF +/- AT 1:150 = XXX SQ. IN. OF NET FREE VENT AREA (NFVA)

50% INTAKE (EAVE VENT) = XX LF +/- SF AT EAVES  
50% EXHAUST VENT (RIDGE VENT) = 19.2 +/- SF AT RIDGES

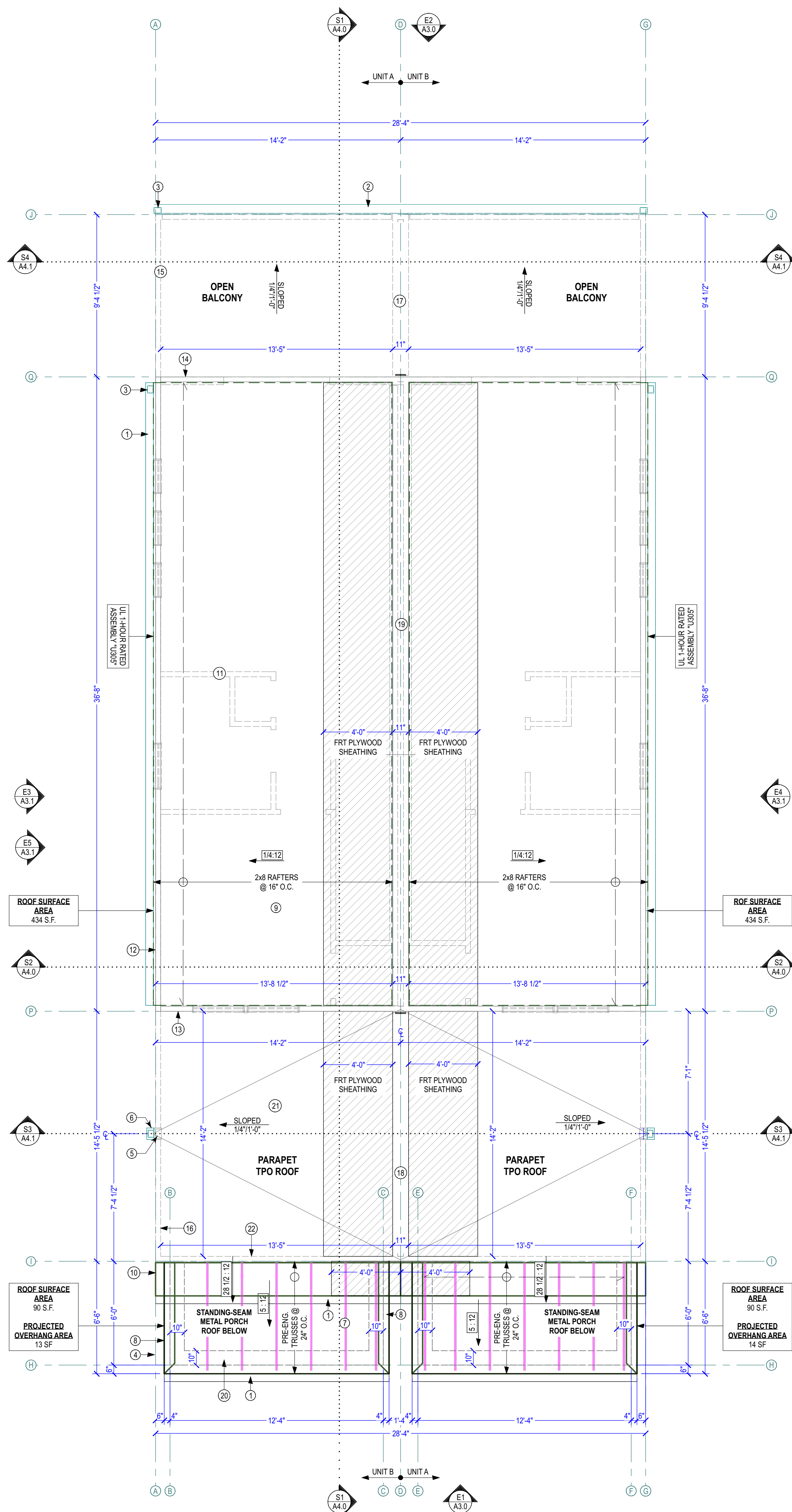
EAVE PERIMETER AVAILABILITY = XX LF +/-  
AVAILABLE RIDGE LENGTH = XX'-X" LF +/-

## GENERAL ROOF PLAN NOTES

1. ROOF SLOPE ARROWS POINT IN THE DIRECTION IN WHICH WATER WILL FLOW.
2. INSTALL ROOF COVERINGS, FLASHING, CRICKETS, AND ROOF DRAINAGE IN ACCORDANCE WITH CODE REQUIREMENTS.
3. ANY TRUSSES SHOWN ARE FOR ILLUSTRATION ONLY. REFERENCE TRUSS LAYOUT DRAWINGS BY OTHERS, IF TRUSSES ARE NOTED (IN LIEU OF RAFTERS).
4. RIDGE VENT AS REQ'D FOR ADEQUATE VENTILATION, UNLESS PLANS INDICATE SEALED AND CONDITIONED ATTIC SPACE.
5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
6. PLACE ROOF PENETRATIONS (EXHAUSTS, VENT STACKS, ETC.) IN LEAST VISIBLE AREAS PRACTICAL.
7. PROVIDE ICE & WATER SHIELD 3' UP FROM ROOF EDGES & IN ALL VALLEY
8. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

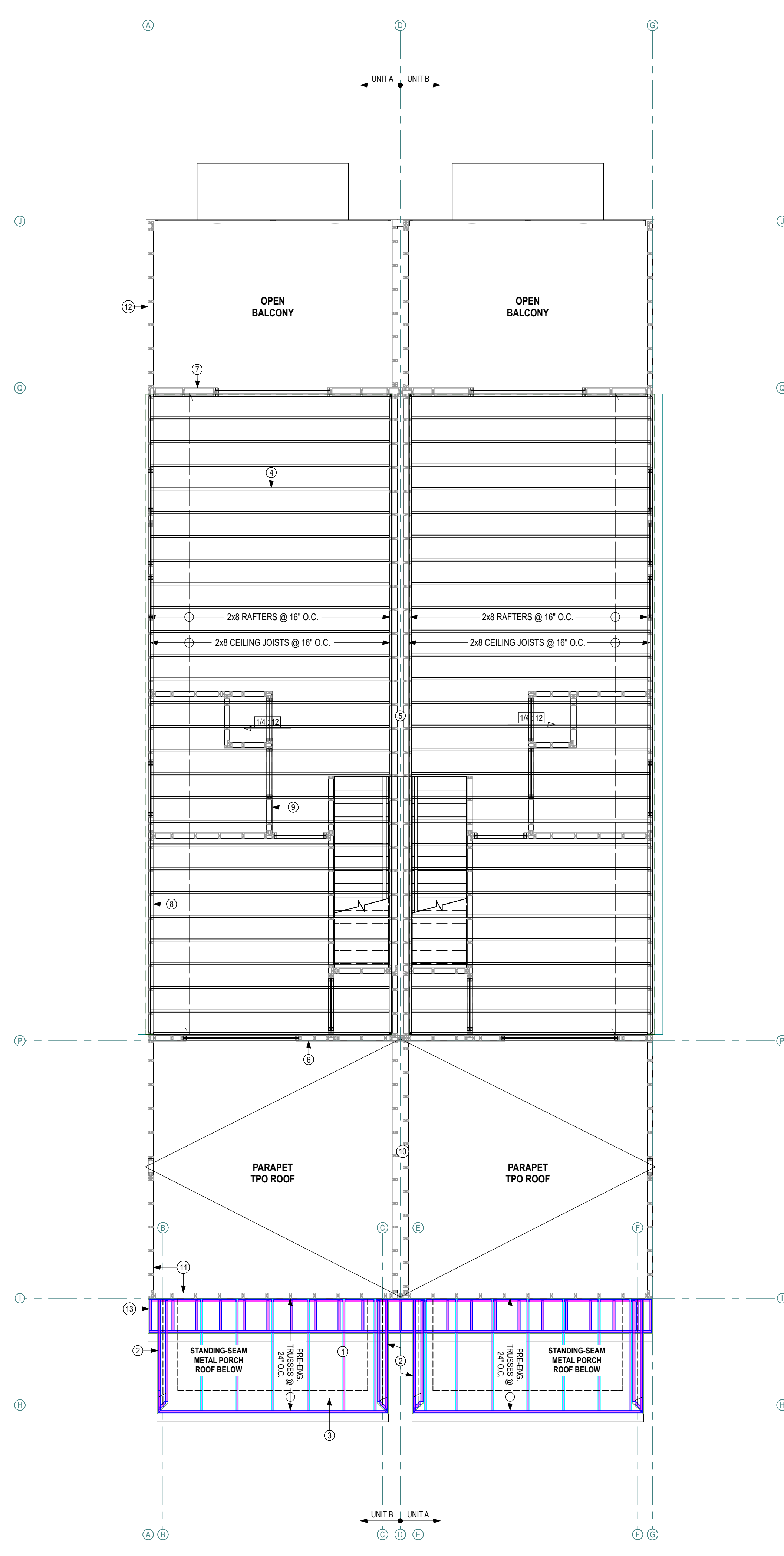
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1 ROOF PLAN

SCALE: 1/4 IN = 1 FT



2 ROOF FRAMING PLAN

SCALE: 1/4 IN = 1 FT

NOTE: VERIFY ALL STRUCTURAL ITEMS ON PLANS WITH LICENSED STRUCTURAL ENGINEER.

THE PAPER SIZE NEEDS TO BE 24" x 36" (ARCH D) TO SCALE PROPERLY





E1 EXTERIOR ELEVATION AT FRONT  
SCALE: 1/4 IN = 1 FT



E2 EXTERIOR ELEVATION AT REAR  
SCALE: 1/4 IN = 1 FT

KEYNOTE LEGEND - EXTERIOR ELEVATIONS	
1	APPROXIMATE FINISHED GRADE, SLOPE AWAY FROM HOUSE (V.I.F.)
2	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING W/2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS. TYP. ALL FOOTINGS U.N.O.
3	PARGED CMU FOUNDATION - SEE FOUNDATION PLAN
4	30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE
5	16"X16" CMU PIERS W/PARGE COAT TO GRADE, GROUT & TAPER TOP FOR WATER DRAINAGE
6	LATTICE SKIRTING
7	WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD, 11" TREADS, MAX. 8" RISERS, TREAD MATERIAL TO MATCH PORCH FLOOR, PROVIDE LATTICE SKIRTING
8	BLACK PAINTED STEEL/IRON HANDRAIL AT STEPS, MIN. 34"H
9	10" SQUARE LOAD-BEARING SYNTHETIC COLUMN - PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR
10	36"H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36"H, W/STAINLESS STEEL CABLES AT 4" O.C., RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR ABOVE FINISHED GRADE
11	2X4 P.T. WOOD STEPS TO GRADE W/36"H P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL
12	DECK FRAMING: 54X6 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS & (2)2X8 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED
13	P.T. 6X6 DECK POSTS FASTENED W/IMPSON POST BASE ON 16"DIA CONCRETE FOOTINGS MIN. 18" BELOW GRADE, TYP. - SEE ENLARGED DETAIL
14	36"H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING MOUNTED FLUSH INSIDE RAIL JOIST - SEE ENLARGED DETAIL
15	36"H RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T. POSTS - SEE ENLARGED DETAIL
16	5/4 P.T. DECKING BOARDS W/PAINTED COMPOSITE 1X10 OUTER BOARD AND 1X4 TOP TRIM
17	DOOR SILL RAISED 4-1/2" W/3)2X6'S
18	(2)54X4 PAINTED COMPOSITE VERTICAL TRIM AT CENTER OF UNITS - SYMMETRICAL COLOR
19	54X4 PAINTED COMPOSITE FRIEZE TRIM
20	1X6 PAINTED COMPOSITE FASCIA TRIM
21	1X4 PAINTED COMPOSITE FRIEZE TRIM
22	54X4 PAINTED COMPOSITE CORNER TRIM, TYP.
23	1X8 PAINTED COMPOSITE FASCIA W/METAL DRIP CAP
24	1X4 PAINTED COMPOSITE WINDOW & DOOR TRIM, TYP.
25	CONTINUOUS METAL PARAPET WALL CAP - SEE ENLARGED DETAIL
26	CONTINUOUS METAL RAILING WALL CAP & 1X4 PAINTED COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
27	CONTINUOUS 54X6 PAINTED COMPOSITE TRIM SEPARATING HORIZONTAL LAP SIDING & REVEAL PANEL SYSTEM
28	(2)54X4 PAINTED COMPOSITE VERTICAL TRIM AT CENTER OF UNITS - MATCH COLORS FOR EACH UNIT
29	CEMENTITIOUS HORIZONTAL LAP SIDING
30	BUILT-UP PORCH BEAM W/1X PAINTED COMPOSITE TRIM BOARDS (10" FINISHED WIDTH) - SEE SECTION & ENLARGED DETAIL
31	HARDIEPANEL SMOOTH, FINISH TO MATCH PORCH TRIM
32	HARDIEPANEL SMOOTH WITH ALUMINUM REVEAL JOINT SYSTEM, LIGHT MIST
33	STANDING-SEAM METAL ROOF, CONSULT W/OWNER FOR SELECTION
34	42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENGLOSS SHEATHING (EXTERIOR SIDE) W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
35	42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING WALL W/WIREVEAL PANEL SYSTEM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL
36	2X4 FRAMED FULL-LENGTH SOFFIT RETURN W/1X6 PAINTED COMPOSITE FASCIA TRIM, VENTED COMPOSITE SOFFIT & ALUMINUM TOP FINISH SLOPED 2"12" WITH FLASHING AS REQUIRED
37	LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0") OVER 2X8 CEILING JOISTS AT 16" O.C. WITH R-49 CELLULOSE INSULATION
38	ALUMINUM DOWNSPOUT
39	ALUMINUM COLLECTOR BOX W/DOWNSPOUT
40	ALUMINUM GUTTER AT REAR DECK EDGE
41	ALUMINUM DOWNSPOUT W/TOP ELBOW CONNECTED TO GUTTER AT FRONT AND BOTTOM ELBOW AT SIDE OF COLUMMPIER
42	HALF-ROUND ALUMINUM GUTTER
43	HALF-ROUND ALUMINUM GUTTER AT REAR DECK EDGE TO DOWNSPOUT
44	HVAC AIR CONDENSER - REFER TO HVAC CONTRACTOR FOR HVAC REQUIREMENTS
45	SKIRT ROOF IN FRONT OF PARAPET WALL W/PAINTED COMPOSITE PANEL AT ENDS, 1X6 PAINTED COMPOSITE FASCIA TRIM, VENTED COMPOSITE SOFFIT, 54X6 PAINTED COMPOSITE FRIEZE TRIM, & HALF-ROUND ALUMINUM GUTTER W/DOWNSPOUT - SEE ENLARGED DETAIL

**GENERAL ELEVATION & 3D NOTES**

- REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
- ANY FURNITURE SHOWN IS GENERIC AND IS FOR REFERENCE ONLY. CONSULT WITH INTERIOR DESIGNER (IF APPLICABLE) FOR SPACE PLANNING.
- ALL MATERIALS, PATTERNS, TRIM, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN DO NOT REPRESENT EXACT SELECTIONS. GENERIC STYLES SHOWN, UNLESS OTHERWISE INDICATED.
- TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO SURVEY PHOTOS OR SITE PLAN (BY OTHERS).
- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.



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RICHMOND, VA 23236

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#	DATE	DESCRIPTION

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**PROJECT NAME**

UNION HILL AT 1308 N  
26TH STREET

**CLIENT(S)**

CENTER CREEK HOMES  
11 S 12TH STREET, SUITE  
115  
RICHMOND, VA, 23219  
T: 804.999.4449

**PROJECT ADDRESS**

1308 N 26TH STREET  
RICHMOND, VA 23223

**TITLE**

EXTERIOR  
ELEVATIONS

**DOCUMENT PHASE:**  
PERMIT SET

**PLOT DATE:**  
11/1/2021  
9:57:01 AM

**DRAWN BY:**  
DUSTIN HETRICK

**SCALE:** SEE PLAN

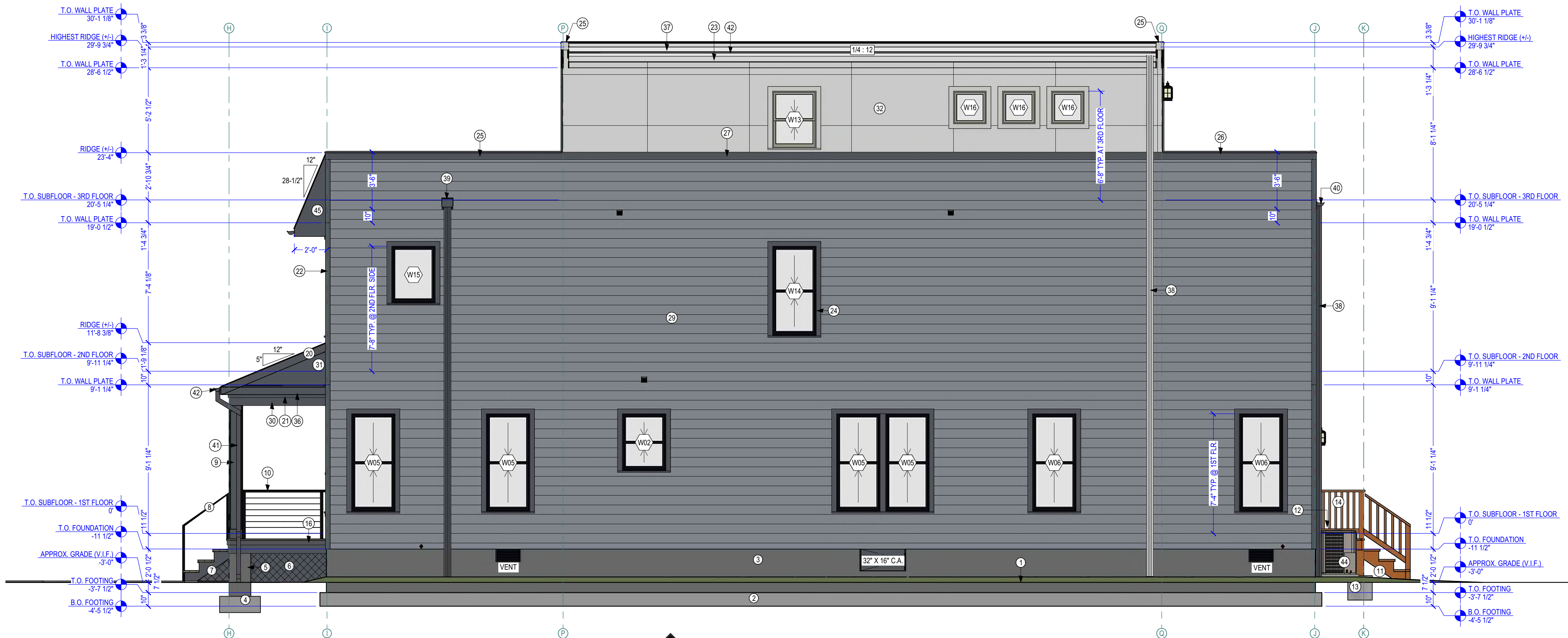
**SHEET**

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**E3 EXTERIOR ELEVATION AT LEFT**  
SCALE: 1/4 IN = 1 FT



**E4 EXTERIOR ELEVATION AT RIGHT**  
SCALE: 1/4 IN = 1 FT

KEYNOTE LEGEND - EXTERIOR ELEVATIONS	
1	APPROXIMATE FINISHED GRADE, SLOPE AWAY FROM HOUSE (V.I.F.)
2	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING W/2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPEC'S. TYP. ALL FOOTINGS U.N.O.
3	PARGED CMU FOUNDATION - SEE FOUNDATION PLAN
4	30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE
5	16"X16" CMU PIERS W/PARGE COAT TO GRADE, GROUT & TAPER TOP FOR WATER DRAINAGE
6	LATTICE SKIRTING
7	WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD, 11" TREADS, MAX. 8" RISERS, TREAD MATERIAL TO MATCH PORCH FLOOR, PROVIDE LATTICE SKIRTING
8	BLACK PAINTED STEEL/IRON HANDRAIL AT STAIRS, MIN. 34"H
9	10" SQUARE LOAD-BEARING SYNTHETIC COLUMN - PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/GALV. POST ANCHOR
10	36"H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36"H, W/STAINLESS STEEL CABLES AT 4" O.C., RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR ABOVE FINISHED GRADE
11	2X4 P.T. WOOD STEPS TO GRADE W/36"H P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL
12	DECK FRAMING: 54X6 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. W/GALV. HANGERS & (2)2X8 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED
13	P.T. 6X6 DECK POSTS FASTENED W/SIMPSON POST BASE ON 16"DIA CONCRETE FOOTINGS MIN. 18" BELOW GRADE, TYP. - SEE ENLARGED DETAIL
14	36"H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8'-0" O.C. MAX SPACING MOUNTED FLUSH INSIDE RAIL JOIST - SEE ENLARGED DETAIL
15	36"H RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T. POSTS - SEE ENLARGED DETAIL
16	5/4 P.T. DECKING BOARDS W/PAINTE COMPOSITE 1X10 OUTER BOARD AND 1X4 TOP TRIM
17	DOOR SILL RAILED 4-1/2" W/3)2X6'S
18	1/2)54X4 PAINTED COMPOSITE VERTICAL TRIM AT CENTER OF UNITS - SYMMETRICAL COLOR
19	54X4 PAINTED COMPOSITE FRIEZE TRIM
20	1X6 PAINTED COMPOSITE FASCIA TRIM
21	1X4 PAINTED COMPOSITE FRIEZE TRIM
22	54X4 PAINTED COMPOSITE CORNER TRIM, TYP.
23	1X8 PAINTED COMPOSITE FASCIA W/METAL DRIP CAP
24	1X4 PAINTED COMPOSITE WINDOW & DOOR TRIM, TYP.
25	CONTINUOUS METAL PARAPET WALL CAP - SEE ENLARGED DETAIL
26	CONTINUOUS METAL RAILING WALL CAP & 1X4 PAINTED COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
27	CONTINUOUS 54X6 PAINTED COMPOSITE TRIM SEPARATING HORIZONTAL LAP SIDING & REVEAL PANEL SYSTEM
28	1/2)54X4 PAINTED COMPOSITE VERTICAL TRIM AT CENTER OF UNITS - MATCH COLORS FOR EACH UNIT
29	HORIZONTAL LAP SIDING, CONSULT W/OWNER FOR SELECTION
30	BUILT-UP PORCH BEAM W/1X PAINTED COMPOSITE TRIM BOARDS (10" FINISHED WIDTH) - SEE SECTION & ENLARGED DETAIL
31	HARDIEPANEL SMOOTH, FINISH TO MATCH PORCH TRIM
32	HARDIEPANEL SMOOTH WITH ALUMINUM REVEAL JOINT SYSTEM, LIGHT MIST
33	STANDING-SEAM METAL ROOF, CONSULT W/OWNER FOR SELECTION
34	42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENGLOSS SHEATHING (EXTERIOR SIDE), W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
35	42"H (36"H ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING WALL W/WIRE PANEL SYSTEM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL
36	2X4 FRAMED FULL-LENGTH SOFFIT RETURN W/1X6 PAINTED COMPOSITE FASCIA TRIM, VENTED COMPOSITE SOFFIT & ALUMINUM TOP FINISH SLOPED 2"12" WITH FLASHING AS REQUIRED
37	LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0") OVER 2X8 CEILING JOISTS AT 16" O.C. WITH R-49 CELLULOSE INSULATION
38	ALUMINUM DOWNSPOUT
39	ALUMINUM COLLECTOR BOX W/DOWNSPOUT
40	ALUMINUM GUTTER AT REAR DECK EDGE
41	ALUMINUM DOWNSPOUT W/TOP ELBOW CONNECTED TO GUTTER AT FRONT AND BOTTOM ELBOW AT SIDE OF COLUMNAPIER
42	HALF-ROUND ALUMINUM GUTTER
43	HALF-ROUND ALUMINUM GUTTER AT REAR DECK EDGE TO DOWNSPOUT
44	HVAC AIR CONDENSER - REFER TO HVAC CONTRACTOR FOR HVAC REQUIREMENTS
45	SKIRT ROOF IN FRONT OF PARAPET WALL W/PAINTE COMPOSITE PANEL, AT ENDS, 1X6 PAINTED COMPOSITE FASCIA TRIM, VENTED COMPOSITE SOFFIT, 54X6 PAINTED COMPOSITE FRIEZE TRIM, & HALF-ROUND ALUMINUM GUTTER W/DOWNSPOUT - SEE ENLARGED DETAIL

#### GENERAL ELEVATION & 3D NOTES

- REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
- ANY FURNITURE SHOWN IS GENERIC AND IS FOR REFERENCE ONLY; CONSULT WITH INTERIOR DESIGNER (IF APPLICABLE) FOR SPACE PLANNING.
- ALL MATERIALS, PATTERNS, TRIM, WINDOWS, DOORS, CASEWORK, APPLIANCES, AND OTHER FIXTURES SHOWN DO NOT REPRESENT EXACT SELECTIONS. GENERIC STYLES SHOWN, UNLESS OTHERWISE INDICATED.
- TOPOGRAPHY SHOWN IS RELATIVELY ACCURATE, BUT NOT EXACT. REFER TO SURVEY PHOTOS OR SITE PLAN (BY OTHERS).
- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.

#### REVISIONS

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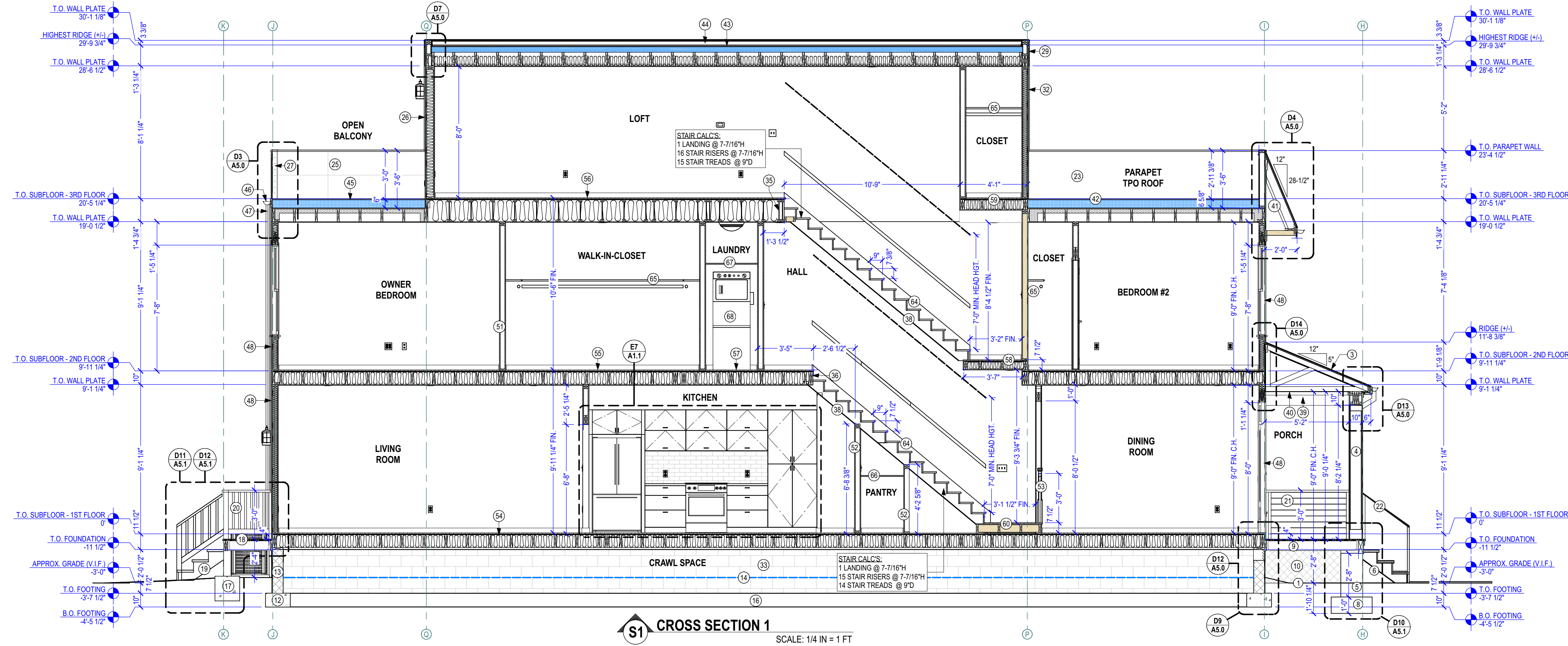
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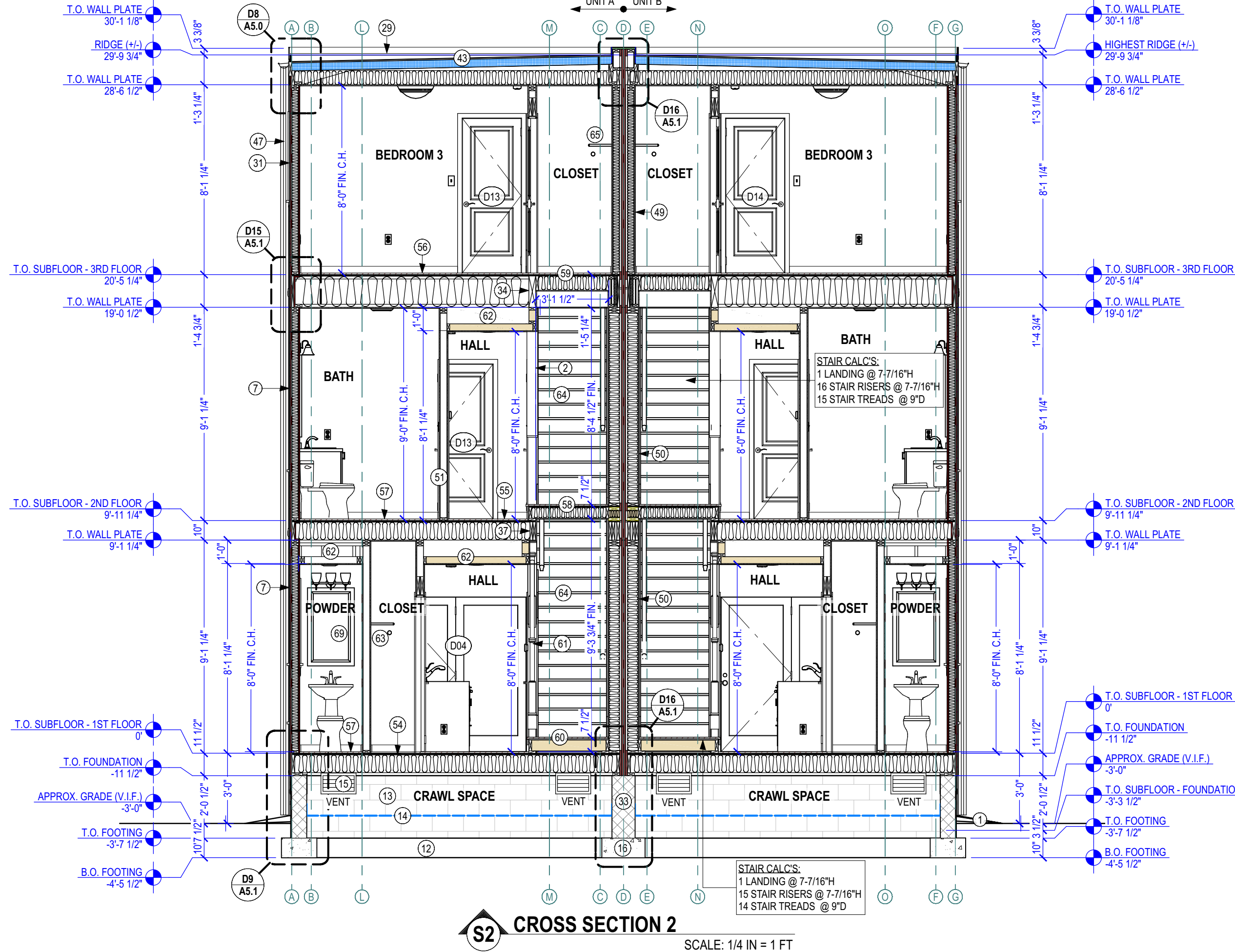


### GENERAL STAIR & RAILING NOTES

- NOT BE MORE THAN A 3/8" VARIANCE BETWEEN ANY RISER HEIGHT. REFERENCE R311.7.5.1 OF THE 2012 IRC.
- STAIR NOSING TO BE NOT LESS THAN 3/4" BUT NOT MORE THAN 1-1/4" ON STAIRWAYS WITH SOLID RISERS. REFERENCE R311.7.5.3 OF THE 2012 IRC.
- ALL DIMENSIONS ARE TO FINISHED FLOOR. CERAMIC TILE & HARDWOOD FLOOR = 3/4", UNLESS NOTED OTHERWISE.
- STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROACH A MAX. OF 3/12" INTO THE REQUIRED WIDTH.
- TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
- STAIRWAYS SHALL HAVE MIN. 6-8" OF HEADROOM AT THE NOSE OF THE STAIR.
- ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
- STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
- HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
- STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
- 34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.
- RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.
- EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS, WITH A MIN. HEADROOM OF 6'-6".
- RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1" UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.3% SLOPE), WITH A 3"x3" LANDING AT THE TOP & BOTTOM, WHERE DOORS OPEN ONTO RAMP, AND WHERE RAMP CHANGES DIRECTION.

### GENERAL SECTION NOTES

- 2x PRESSURE TREATED SILL PLATE WITH SILL SEALER AT TOP OF FOUNDATION WALLS WHERE FLOOR FRAMING MEMBERS BEAR SUPPORT. (TYPICAL).
- EXTERIOR WALL FRAMING TO BE 2x4 WALL STUDS @ 16" O.C. U.N.O., WITH DOUBLE TOP PLATES AND SINGLE BOTTOM PLATE. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND 7/16" OSB SHEATHING TO OVERLAP 1" BELOW.
- ALL LUMBER IN DIRECT CONTACT WITH FOUNDATION SHALL BE PRESSURE TREATED.
- REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
- ROOF VENTILATION OPTIONS (REFER TO PLANS):
  - VENTED - ROOF EAVES TO HAVE CONTINUOUS VENTED SOFFITS AND RIDGE VENTS (LENGTHS AS REQ'D).
  - NON-VENTED - ATTIC AND CRAWL SPACES TO BE SEALED AND CONDITIONED WITH MECHANICAL VENTILATION AND HVAC. ROOF EAVES AND RIDGES TO BE NON-VENTED.



KEYNOTE LEGEND - 1/4" SCALE SECTION(S)	
1	APPROXIMATE FINISHED GRADE, SLOPE AWAY FROM HOUSE (V.I.F.)
2	36"H 2X4 FRAMED RAILING WALL W/1X6 CAP FOLLOWING STAIRS UP TO 3RD LEVEL
3	PORCH ROOF: STANDING SEAM METAL OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER PRE-ENGINEERED ROOF TRUSSES AT 24" O.C. WHANGERS/CLIPS AT HOUSE & HURRICANE CLIP AT OUTER BEAM. REFER TO DESIGN BY TRUSS MANUFACTURER
4	10" SQUARE LOAD-BEARING SYNTHETIC COLUMN. PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER W/IGALV. POST ANCHOR
5	16"x16" CMU PIERS W/PARGE COAT TO GRADE. GROUT & TAPER TOP FOR WATER DRAINAGE
6	WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD; 11" TREADS, MAX. 8" RISERS. TREAD MATERIAL TO MATCH PORCH FLOOR. PROVIDE LATTICE SKIRTING
7	UL 1-HOUR RATED ASSEMBLY "U338" HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1" OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH
8	30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE
9	PORCH FRAMING: 5/4 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. WIGALV. HANGERS W/2X10 P.T. OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 32" O.C. STAGGERED, PROVIDE METAL FLASHING AT HOUSE
10	LATTICE SKIRTING
11	ALUMINUM COLLECTOR BOX W/DOWNSPOUT
12	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING W/2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS. TYP. ALL FOOTINGS U.N.O.
13	18" FOUNDATION WALL WITH PARGE COAT TO GRADE. #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6" O.C. MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID - SEE ENLARGED DETAIL
14	20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION 1/4" T&G
15	8X16 SLOTTED GALVANIZED CRAWLSPACE VENT WITH INSECT SCREE. TYP. AS SHOWN - SEE FOUNDATION NOTES FOR VENTING REQUIREMENTS
16	CONT. 22" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 30" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)
17	P.T. 6X6 DECK POSTS FASTENED W/IMPSPON POST BASE ON 18"D CONCRETE FOOTINGS MIN. 18" BELOW GRADE. TYP. - SEE ENLARGED DETAIL
18	DECK FRAMING: 5/4X8 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. WIGALV. HANGERS & 2X2X8 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED
19	2X P.T. WOOD STEPS TO GRADE W/3/4" P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL
20	36"H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8" O.C. MAX SPACING MOUNTED FLUSH INSIDE RAIL JOIST - SEE ENLARGED DETAIL
21	36"H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36"H, W/STAINLESS STEEL CABLES AT 4" O.C. RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR ABOVE FINISHED GRADE
22	BLACK PAINTED STEEL/IRON HANDRAIL AT STEPS, MIN. 34"H
23	42"H 2X4 FRAMED PARTY PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (BOTH SIDES) W/METAL DRIP CAP - SEE ENLARGED DETAIL
24	42"H 2X4 FRAMED PARAPET WALL W/HORIZONTAL LAP SIDING (OWNER TO SELECT) OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X6 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
25	42"H (8" ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING W/REVEAL PANEL SYSTEM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL
26	EXT. WALL CONSTRUCTION AT REAR 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-19 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
27	36"H RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T. POSTS - SEE ENLARGED DETAIL
28	6"X8" ALUMINUM OVERFLOW WALL SCUPPER, FLASH OPENING AS REQUIRED - SEE ENLARGED DETAIL
29	19"H 2X4 FRAMED PARAPET WALL WITH METAL CAP - SEE ENLARGED DETAIL
30	42"H (8" ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENSGLASS SHEATHING (EXTERIOR SIDE) W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
31	UL 1-HOUR RATED ASSEMBLY "U338" AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENSGLASS SHEATHING OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH
32	FRONT EXTERIOR EXPOSED RAILING WALL AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
33	12" CMU FOUNDATION WALL WITH #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTINGS BELOW & ANCHOR BOLTS AT 6" O.C. MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT, GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID - SEE ENLARGED PARTY WALL DETAIL
34	LVL BEAM OR DBL I-JOIST W/IGALV. HANGERS AT STAIR OPENING - REFER TO LAYOUT BY JOIST MANUFACTURER
35	DBL I-JOIST AT STAIR OPENING - REFER TO LAYOUT BY JOIST MANUFACTURER
36	DBL 2X10 JOISTS AT STAIR OPENING
37	DBL 2X10 JOISTS W/IGALV. HANGERS AT STAIR OPENING
38	1/2" DRYWALL FINISH UNDER STAIRS W/2X4 NAILERS AT 24" O.C.
39	BUILT-UP PORCH BEAM W/1X PAINTED COMPOSITE TRIM BOARDS (10" FINISHED WIDTH) - SEE SECTION & ENLARGED DETAIL
40	1/4" THICK BEADBOARD CEILING FINISH
41	SKIRT ROOF IN FRONT OF PARAPET WALL: STANDING SEAM METAL ROOFING OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER 2X6 RAFTERS AT 16" O.C. - SEE ENLARGED DETAIL
42	PARAPET TPO ROOF CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" CDX PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS SIDE GUTTER/DOWNSPOUT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY-FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING
43	LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER 1'-0" OVER 2X8 CEILING JOISTS AT 16" O.C. WITH R-49 CELLULOSE INSULATION
44	19"H 2X4 FRAMED PARTY PARAPET WALL (ABOVE 3RD FLOOR CEILING) W/ METAL DRIP CAP - SEE ENLARGED DETAIL
45	OPEN BALCONY DECK CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" CDX PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS REAR) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY-FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING
46	ALUMINUM GUTTER AT REAR DECK EDGE
47	ALUMINUM DOWNSPOUT
48	EXT. WALL CONSTRUCTION AT FR 1ST & 2ND LEVELS: HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1" OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
49	UL 2-HOUR RATED ASSEMBLY "U338" 1/2" GYPSUM DRYWALL FINISH OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED
50	UL 2-HOUR RATED ASSEMBLY "U338" 1/2" GYPSUM DRYWALL FINISH OVER 2X6 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK & R-15 BATT INSULATION (BETWEEN STUDS), 1" AIR SPACE W/1" TYPE SLX GYPSUM BOARD SHAFT LINER - ALL LAYERS LISTED ARE MIRRORED
51	TYP. 2X4 INTERIOR WALL W/ 1/2" DRYWALL FINISH
52	2X4 KNEEWALL UNDER STAIRS W/ 1/2" DRYWALL FINISH
53	34-36"H WOOD RAILING ON EDGE OF LANDING, PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEWEL POSTS, CONSULT W/OWNER FOR SELECTIONS)
54	1ST LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 FLOOR JOISTS AT 16" O.C. WIR-19 BATT INSULATION
55	2ND LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 FLOOR JOISTS AT 16" O.C. WIR-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED)
56	3RD LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 14" ENGINEERED JOISTS AT 16" O.C. (REFER TO LAYOUT BY MANUFACTURER) WIR-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED)
57	3/4" TILE FLOOR FINISH, TYP. AT ALL WET LOCATIONS U.N.O., CONSULT W/OWNER FOR SELECTION
58	RAISED 2ND LEVEL STAIR LANDINGS: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR WADNESHE OVER 2X8 STUDS AT 16" O.C. WIR-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)
59	FLOOR UNDER 3RD LEVEL CLOSET: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR WADNESHE OVER 2X8 STUDS AT 16" O.C. WIR-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)
60	1ST LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR WADNESHE OVER 2X8 STUDS AT 16" O.C. WIR-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)
61	2X4 FRAMED SLOPED RAILING WALL W/1X WOOD CAP W/34-36"H WOOD RAILING ABOVE PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEWEL POSTS, CONSULT W/OWNER FOR SELECTIONS)
62	12"H SOFFIT FOR HVAC DUCT - 2X4 LADDER FRAME W/ 1/2" GYPSUM DRYWALL FINISH PROVIDING 6'-0" FINISHED CEILING HEIGHT
63	SHELF & ROD
64	STAIRS PER CODE TO W/WOOD RISERS, TREADS, & SKIRT BOARDS
65	SHELF & ROD, OR BUILT-IN SHELVING FOR OWNER SELECTION
66	MULTI-SHELVING FOR PANTRY
67	SHELF ABOVE WASHER/DRYER
68	STACKED WASHER/DRYER - PROVIDE PAN UNDERNEATH, & W/D PLUMBING & DRYER VENT HOOKUPS AT REAR WALL
69	MIRROR TO BE SELECTED BY OWNER



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### REVISIONS

#	DATE	DESCRIPTION
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### PROJECT NAME

UNION HILL AT 1308 N  
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### CLIENT(S)

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### PROJECT ADDRESS

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### TITLE

### BUILDING SECTIONS

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SCALE: SEE PLAN

### SHEET

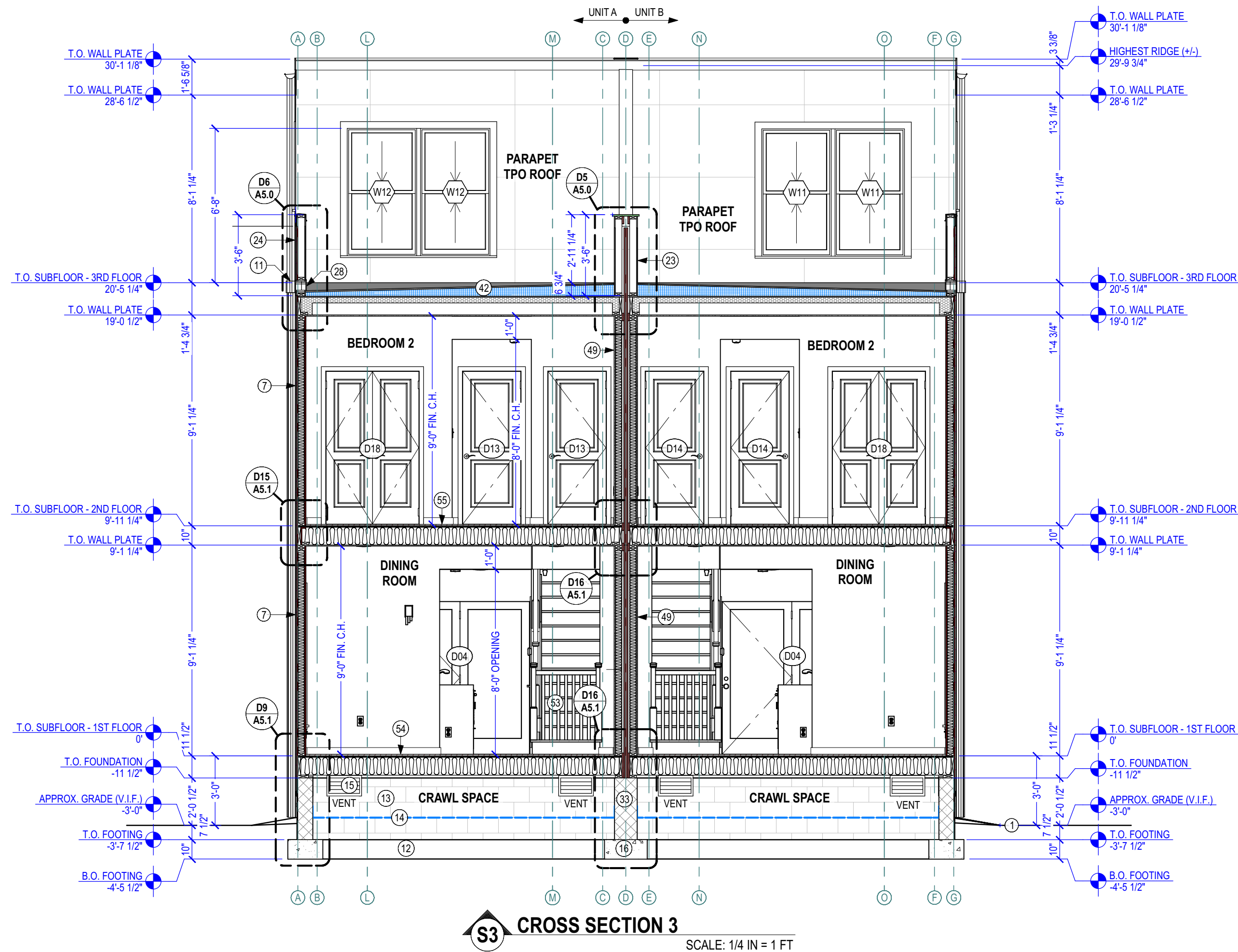
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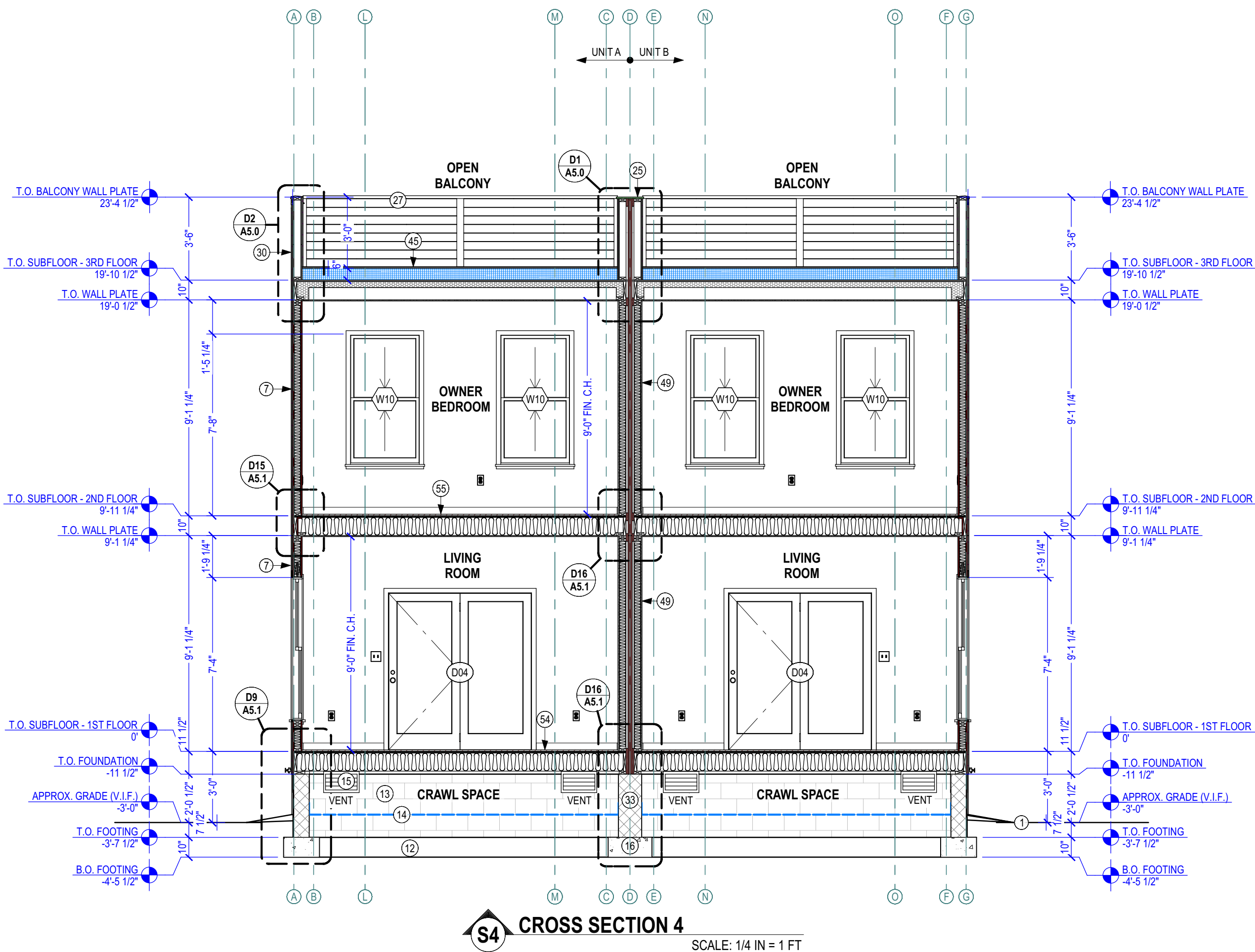


- GENERAL STAIR & RAILING NOTES**
1. NOT BE MORE THAN A 3/8" VARIANCE BETWEEN ANY RISER HEIGHT. REFERENCE R311.7.5.1 OF THE 2012 IRC.
  2. STAIR NOSING TO BE NOT LESS THAN 3/4" BUT NOT MORE THAN 1-1/4" ON STAIRWAYS WITH SOLID RISERS. REFERENCE R311.7.5.3 OF THE 2012 IRC.
  3. ALL DIMENSIONS ARE TO FINISHED FLOOR. CERAMIC TILE & HARDWOOD FLOOR = 3/4", UNLESS NOTED OTHERWISE.
  4. STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
  5. TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
  6. STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
  7. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
  8. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
  9. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
  10. STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
  11. 34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.
  12. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
  13. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.
  14. EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS, WITH A MIN. HEADROOM OF 6'-6".
  15. RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1" UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.3% SLOPE), WITH A 3'x3' LANDING AT THE TOP & BOTTOM, WHERE DOORS OPEN ONTO RAMP, AND WHERE RAMP CHANGES DIRECTION.

- GENERAL SECTION NOTES**
1. 2x PRESSURE TREATED SILL PLATE WITH SILL SEALER AT TOP OF FOUNDATION WALLS WHERE FLOOR FRAMING MEMBERS BEAR SUPPORT. (TYPICAL).
  2. EXTERIOR WALL FRAMING TO BE 2x4 WALL STUDS @ 16" O.C., U.N.O., WITH DOUBLE TOP PLATES AND SINGLE BOTTOM PLATE. BOTTOM PLATE TO BE FLUSH WITH FOUNDATION, AND 7/16" OSB SHEATHING TO OVERLAP 1" BELOW.
  3. ALL LUMBER IN DIRECT CONTACT WITH FOUNDATION SHALL BE PRESSURE TREATED.
  4. REFERENCE WINDOW, DOOR, OR ANY OTHER TAGS TO LEGENDS AND SCHEDULES, SHOWN THROUGHOUT SET.
  5. IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
  6. ROOF VENTILATION OPTIONS (REFER TO PLANS):
    - VENTED - ROOF EAVES TO HAVE CONTINUOUS VENTED SOFFITS AND RIDGE VENTS (LENGTHS AS REQ'D.)
    - NON-VENTED - ATTIC AND CRAWL SPACES TO BE SEALED AND CONDITIONED WITH MECHANICAL VENTILATION AND HVAC. ROOF EAVES AND RIDGES TO BE NON-VENTED.



**S3 CROSS SECTION 3**  
SCALE: 1/4" IN = 1' FT



**S4 CROSS SECTION 4**  
SCALE: 1/4" IN = 1' FT

KEYNOTE LEGEND - 1/4" SCALE SECTION(S)	
1	APPROXIMATE FINISHED GRADE, SLOPE AWAY FROM HOUSE (V.I.F.)
2	36" H 2X4 FRAMED RAILING WALL W/1X6 CAP FOLLOWING STAIRS UP TO 3RD LEVEL
3	PORCH ROOF: STANDING SEAM METAL OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER PRE-ENGINEERED ROOF TRUSSES AT 24" O.C. WHANGERS/CLIPS AT HOUSE & HURRICANE CLIP AT OUTER BEAM. REFER TO DESIGN BY TRUSS MANUFACTURER
4	10" SQUARE LOAD-BEARING SYNTHETIC COLUMN - PROVIDE 4X4 P.T. WOOD POST DOWN TO PIER WIGALV. POST ANCHOR
5	16"X16" CMU PIERS W/PARGE COAT TO GRADE. GROUT & TAPER TOP FOR WATER DRAINAGE
6	WOOD STAIRS FROM CONCRETE SIDEWALK UP TO PORCH FLOOR, VERIFY GRADE HEIGHT IN FIELD; 11" TREADS, MAX. 6" RISERS. TREAD MATERIAL TO MATCH PORCH FLOOR. PROVIDE LATTICE SKIRTING
7	UL 1-HOUR RATED ASSEMBLY "U300": HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENGLOSS SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH
8	30"W X 12" THICK SQUARE CONCRETE FOOTING WITH (2) #4 EACH WAY, MIN. 18" BELOW GRADE
9	PORCH FRAMING: 5/4 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. WIGALV. HANGERS W/2) 2X10 P.T. OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 32" O.C. STAGGERED, PROVIDE METAL FLASHING AT HOUSE
10	LATTICE SKIRTING
11	ALUMINUM COLLECTOR BOX W/DOWNSPOUT
12	CONT. 18" WIDE X 10" DEEP CONCRETE FOOTING W/2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 18" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS. TYP. ALL FOOTINGS U.N.O.
13	8" CMU FOUNDATION WALL WITH PARGE COAT TO GRADE. #4 VERTICAL REINFORCING WITH BENT HOOK INTO FOOTING BELOW & ANCHOR BOLTS AT 6" O.C. MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID - SEE ENLARGED DETAIL
14	20 MIL VAPOR BARRIER OVER ENTIRE CRAWLSPACE; OVERLAP SEAMS MIN. 6" AND TAPE, CONT. MIN. 6" UP FOUNDATION AND TAPER
15	8X16 SLOTTED GALVANIZED CRAWLSPACE VENT WITH INSECT SCREE, TYP. AS SHOWN - SEE FOUNDATION NOTES FOR VENTING REQUIREMENTS
16	CONT. 22" WIDE X 10" DEEP CONCRETE FOOTING WITH (2) CONT. #4 REBAR REINFORCING; BOTTOM OF FOOTING MIN. 30" BELOW GRADE - SEE GEOTECH REPORT FOR FURTHER INSTRUCTIONS/SPECS. (TYP. ALL FOOTINGS U.N.O.)
17	P.T. 6X6 DECK POSTS FASTENED W/IMPSON POST BASE ON 18"DIA CONCRETE FOOTINGS MIN. 18" BELOW GRADE. TYP. - SEE ENLARGED DETAIL
18	DECK FRAMING: 5/4X6 P.T. DECKING BOARDS OVER 2X8 P.T. JOISTS AT 16" O.C. WIGALV. HANGERS & 2) 2X8 P.T. FLUSH OUTER BEAM & 2X8 P.T. LEDGER BOARD W/ 1/2" GALV. THROUGH BOLTS AT 16" O.C. STAGGERED
19	2X P.T. WOOD STEPS TO GRADE W/36" H P.T. WOOD RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS - SEE ENLARGED DETAIL
20	36" H P.T. WOOD DECK RAILING PER CODE W/4" WOOD BALUSTERS @ 4" O.C. MAX SPACING, 2X6 P.T. TOP RAIL, 2X4 TOP & BOTTOM NAILERS, & 4X4 P.T. WOOD POSTS AT 8" O.C. MAX SPACING MOUNTED FLUSH INSIDE RAIL JOIST - SEE ENLARGED DETAIL
21	36" H BLACK PAINTED STEEL/IRON HANDRAIL, MIN. 36" H, W/STAINLESS STEEL CABLES AT 4" O.C. RAILING REQUIREMENT T.B.D. BY SITE TOPOGRAPHY AND HEIGHT OF PORCH FLOOR ABOVE FINISHED GRADE
22	BLACK PAINTED STEEL/IRON HANDRAIL AT STEPS, MIN. 34" H
23	42" H 2X4 FRAMED PARTY PARAPET WALL W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (BOTH SIDES) W/METAL DRIP CAP - SEE ENLARGED DETAIL
24	42" H 2X4 FRAMED PARAPET WALL W/HORIZONTAL LAP SIDING (OWNER TO SELECT) OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENGLOSS SHEATHING (EXTERIOR SIDE) W/EPDM MEMBRANE OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
25	42" H (8" H ABOVE DECK SURFACE) 2X4 FRAMED PARTY RAILING WALL W/REVEAL PANEL SYSTEM OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (BOTH SIDES) & METAL DRIP CAP - SEE ENLARGED DETAIL
26	EXT. WALL CONSTRUCTION AT REAR 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-19 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
27	36" H RAILING WALL W/2X4 P.T. TOP RAIL & STAINLESS STEEL CABLES AT 4" O.C. & 4X4 P.T. POSTS - SEE ENLARGED DETAIL
28	6" X8" ALUMINUM OVERFLOW WALL SCUPPER, FLASH OPENING AS REQUIRED - SEE ENLARGED DETAIL
29	19" H 2X4 FRAMED PARAPET WALL WITH METAL CAP - SEE ENLARGED DETAIL
30	42" H (8" H ABOVE DECK SURFACE) 2X4 FRAMED BALCONY RAILING WALL W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 5/8" FIRE-RATED DENGLOSS SHEATHING (EXTERIOR SIDE) W/HORIZONTAL LAP SIDING OVER HOUSE WRAP OVER 7/16" OSB SHEATHING (INTERIOR SIDE) & CONT. METAL CAP & 1X4 COMPOSITE OUTER TRIM - SEE ENLARGED DETAIL
31	UL 1-HOUR RATED ASSEMBLY "U300": AT 3RD LEVEL: REVEAL PANEL SYSTEM OVER HOUSE WRAP VAPOR BARRIER OVER 5/8" FIRE-RATED DENGLOSS SHEATHING OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 5/8" FIRE-RATED GYPSUM DRYWALL FINISH
32	FRONT EXTERIOR FLOOR OVER HOUSE WRAP OVER 7/16" OSB SHEATHING OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
33	12" CMU FOUNDATION W/VERTICAL REINFORCING WITH BENT HOOK INTO FOOTINGS BELOW & ANCHOR BOLTS AT 6" O.C. MAX 12" FROM CORNERS/ENDS, MIN. (2) PER WALL SEGMENT; GROUT CELLS AT REINFORCING/ANCHOR BOLTS SOLID - SEE ENLARGED PARTY WALL DETAIL
34	LVL BEAM OR DBL. I-JOIST WIGALV. HANGERS AT STAIR OPENING - REFER TO LAYOUT BY JOIST MANUFACTURER
35	DBL. I-JOIST AT STAIR OPENING - REFER TO LAYOUT BY JOIST MANUFACTURER
36	DBL 2X10 JOISTS AT STAIR OPENING
37	DBL 2X10 JOISTS WIGALV. HANGERS AT STAIR OPENING
38	1/2" DRYWALL FINISH UNDER STAIRS W/2X4 NAILERS AT 24" O.C.
39	BUILT-UP PORCH BEAM W/1X12 COMPOSITE TRIM BOARDS (10" FINISHED WIDTH) - SEE SECTION & ENLARGED DETAIL
40	1/4" THICK BEADBOARD CEILING FINISH
41	SKIRT ROOF IN FRONT OF PARAPET WALL: STANDING-SEAM METAL ROOFING OVER SYNTHETIC UNDERLAYMENT OVER 5/8" CDX PLYWOOD SHEATHING OVER 2X6 RAFTERS AT 16" O.C. - SEE ENLARGED DETAIL
42	PARAPET TPO ROOF CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS SIDE GUTTER/DOWNSPOUT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY-FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING
43	LOW PITCH ROOF: WHITE TPO OVER 5/8" CDX PLYWOOD OVER 6" RIGID INSULATION OVER 2X8 RAFTERS AT 16" O.C. (SLOPED 1/4" PER FOOT) OVER 2X8 CEILING JOISTS AT 16" O.C. WITH R-49 CELLULOSE INSULATION
44	19" H 2X4 FRAMED PARTY PARAPET WALL (ABOVE 3RD FLOOR CEILING) W/ METAL DRIP CAP - SEE ENLARGED DETAIL
45	OPEN BALCONY DECK CONSTRUCTION: DURADECK 60-MIL MEMBRANE OVER 5/8" B-C PLYWOOD OVER 6" TAPERED RIGID INSULATION (SLOPED 1/4" PER FOOT TOWARDS REAR) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 JOISTS AT 16" O.C. W/3" MIN. SPRAY-FOAM INSULATION (UNDERSIDE OF SUBFLOOR) OVER 1/2" GYPSUM DRYWALL CEILING
46	ALUMINUM GUTTER AT REAR DECK EDGE
47	ALUMINUM DOWNSPOUT
48	EXT. WALL CONSTRUCTION AT FR 1ST & 2ND LEVELS: HORIZONTAL LAP SIDING OVER HOUSE WRAP VAPOR BARRIER OVER 7/16" OSB SHEATHING (BOTTOM TO OVERLAP FOUNDATION 1") OVER 2X4 STUDS AT 16" O.C. W/2) TOP PLATE & (1) BOTTOM PLATE W/CAULK WIR-15 BATT INSULATION (BETWEEN STUDS) OVER 1/2" GYPSUM DRYWALL FINISH
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53	34-36" H WOOD RAILING ON EDGE OF LANDING, PER CODE (W/WOOD BALUSTERS AT 4" O.C. MAX SPACING & WOOD NEWEL POSTS, CONSULT W/OWNER FOR SELECTIONS)
54	1ST LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 2X10 FLOOR JOISTS AT 16" O.C. WIR-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)
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56	3RD LEVEL FLOOR STRUCTURE: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G OSB SUBFLOOR GLUED & NAILED OVER 14" ENGINEERED I JOISTS AT 16" O.C. (REFER TO LAYOUT BY MANUFACTURER) WIR-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED)
57	3/4" TILE FLOOR FINISH, TYP. AT ALL WET LOCATIONS U.N.O., CONSULT W/OWNER FOR SELECTION
58	RAISED 2ND LEVEL STAIR LANDING: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR WADNESHE OVER 2X8 JOISTS AT 16" O.C. WIR-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)
59	FLOOR UNDER 3RD LEVEL CLOSET: 3/4" HARDWOOD FLOOR FINISH (U.N.O., OWNER TO SELECT) OVER 3/4" T&G SUBFLOOR WADNESHE OVER 2X8 JOISTS AT 16" O.C. WIR-19 BATT INSULATION (IF ADDITIONAL HVAC ZONING IS DESIRED) OVER 1/2" GYPSUM DRYWALL (CEILING UNDER LANDING)
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63	SHELF & ROD
64	STAIRS PER CODE TO W/WOOD RISERS, TREADS, & SKIRT BOARDS
65	SHELF & ROD, OR BUILT-IN SHELVING PER OWNER SELECTION
66	MULTI-SHELVING FOR PANTRY
67	SHELF ABOVE WASHER/DRYER
68	STACKED WASHER/DRYER - PROVIDE PAN UNDERNEATH, & W/D PLUMBING & DRYER VENT HOOKUPS AT REAR WALL
69	MIRROR TO BE SELECTED BY OWNER



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RICHMOND, VA 23236

## REVISIONS

#	DATE	DESCRIPTION
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## PROJECT NAME

UNION HILL AT 1308 N  
26TH STREET

## CLIENT(S)

CENTER CREEK HOMES  
11 S 12TH STREET, SUITE  
115  
RICHMOND, VA, 23219  
T: 804.999.4449

## PROJECT ADDRESS

1308 N 26TH STREET  
RICHMOND, VA 23223

## TITLE

## BUILDING SECTIONS

## DOCUMENT PHASE:

PERMIT SET

## PLOT DATE:

11/1/2021  
9:57:06 AM

## DRAWN BY:

DUSTIN HETRICK

SCALE: SEE PLAN

## SHEET

A4.1

12 OF 17



## REVISIONS

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PERMIT SET

PLOT DATE:  
11/1/2021  
9:57:07 AM

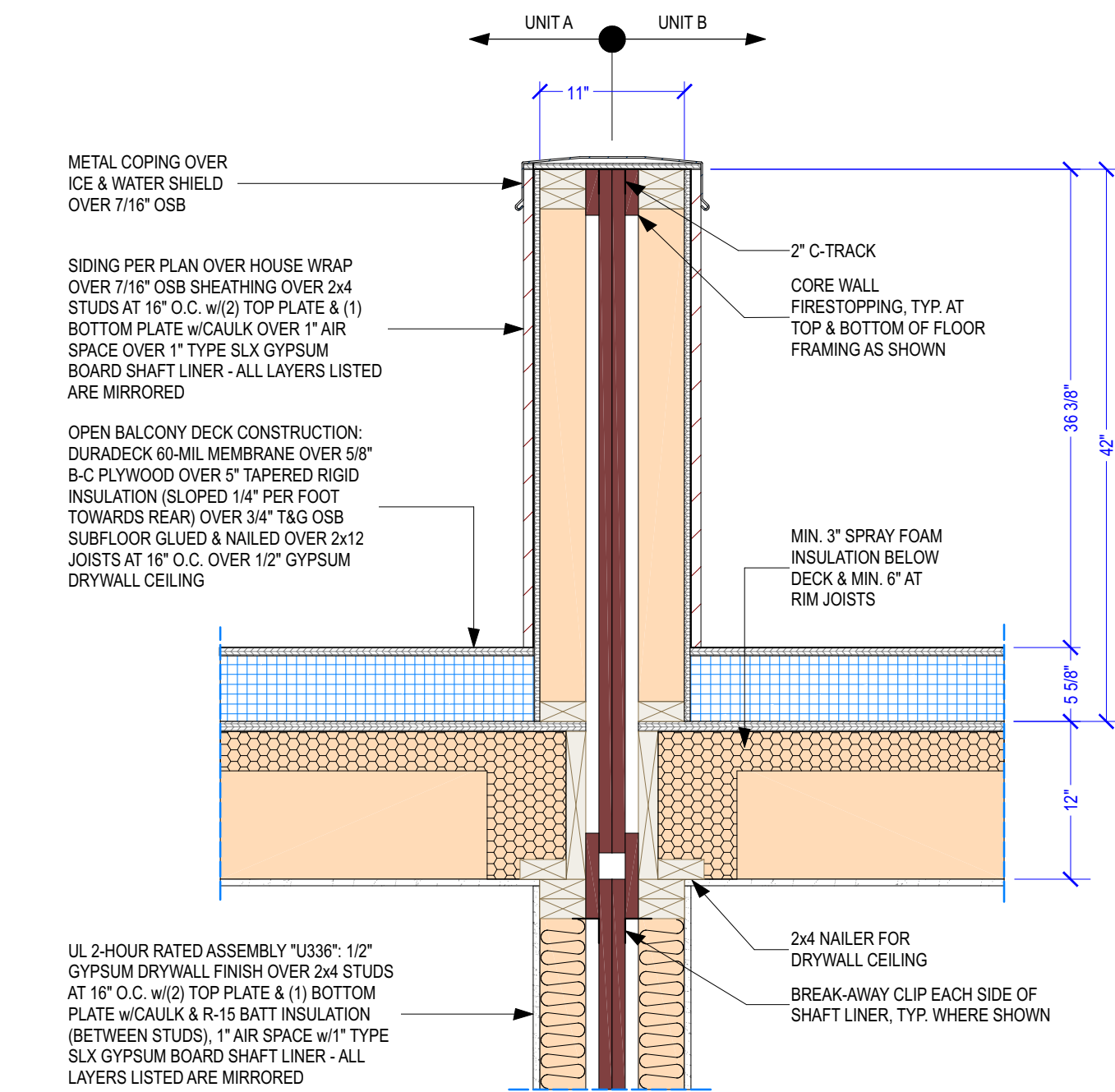
DRAWN BY:  
DUSTIN HETRICK

SCALE: SEE PLAN

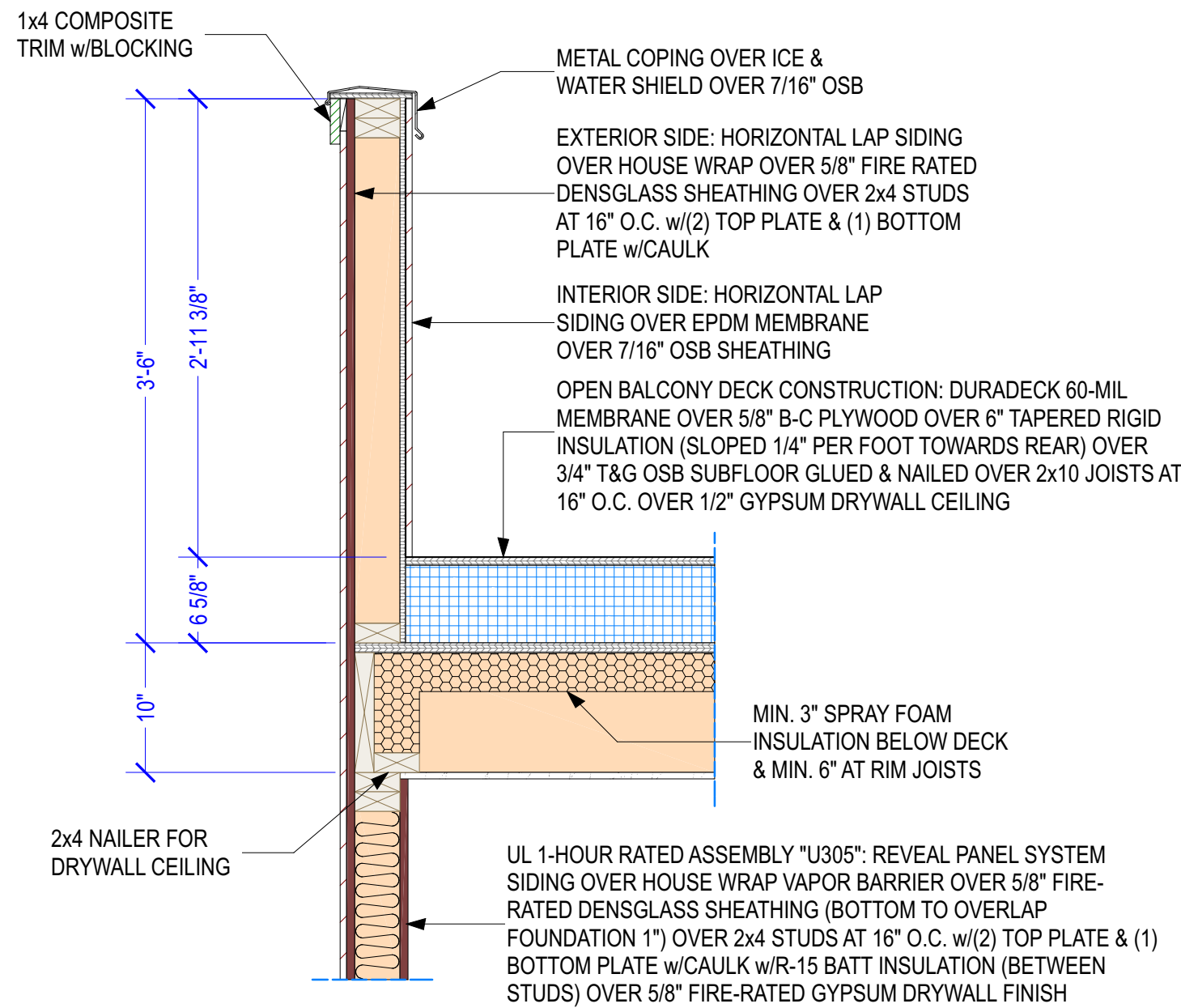
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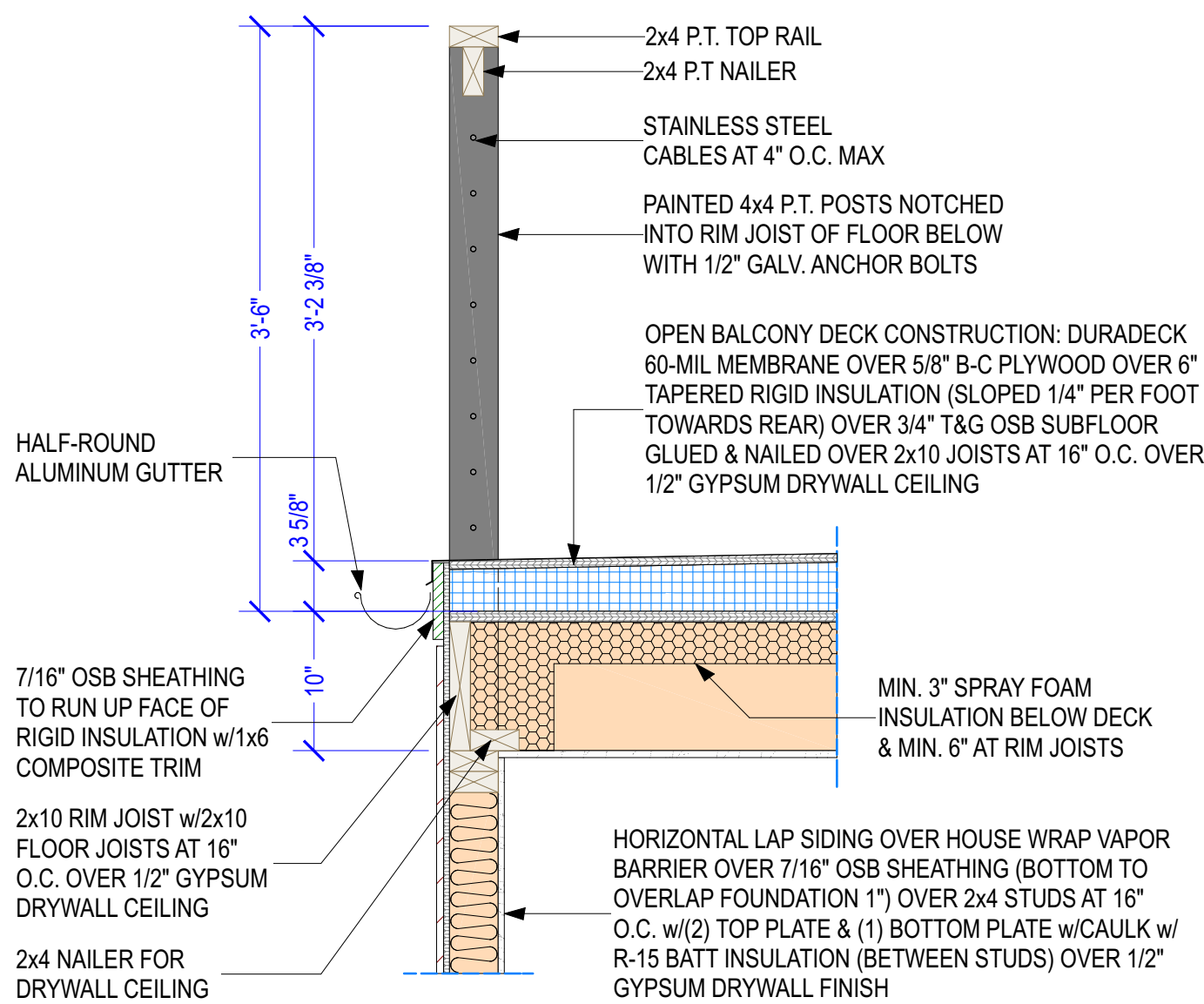
13 OF 17



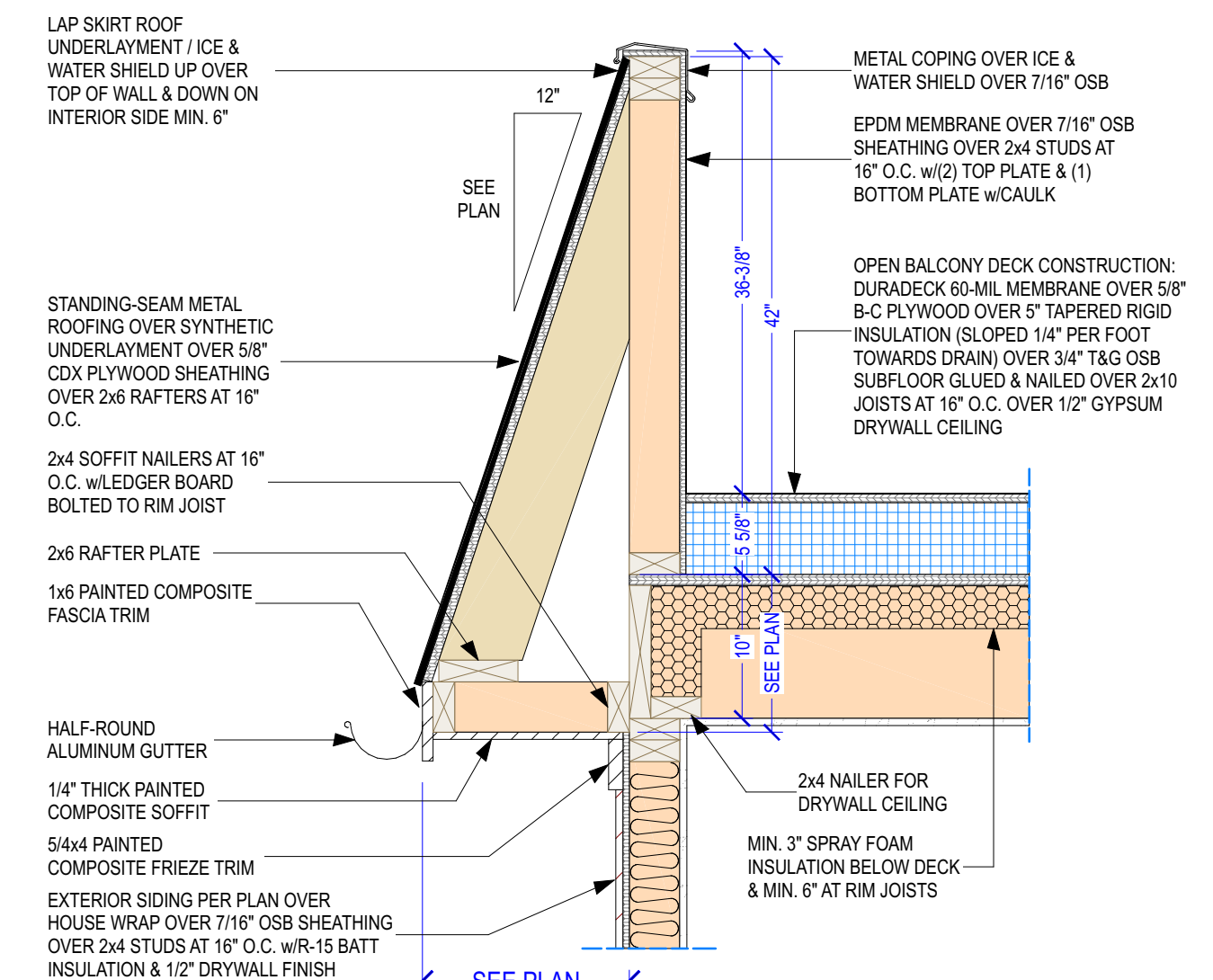
**D1** TYP. DETAIL - PARTY RAILING WALL AT OPEN BALCONY  
SCALE: 1 IN = 1 FT



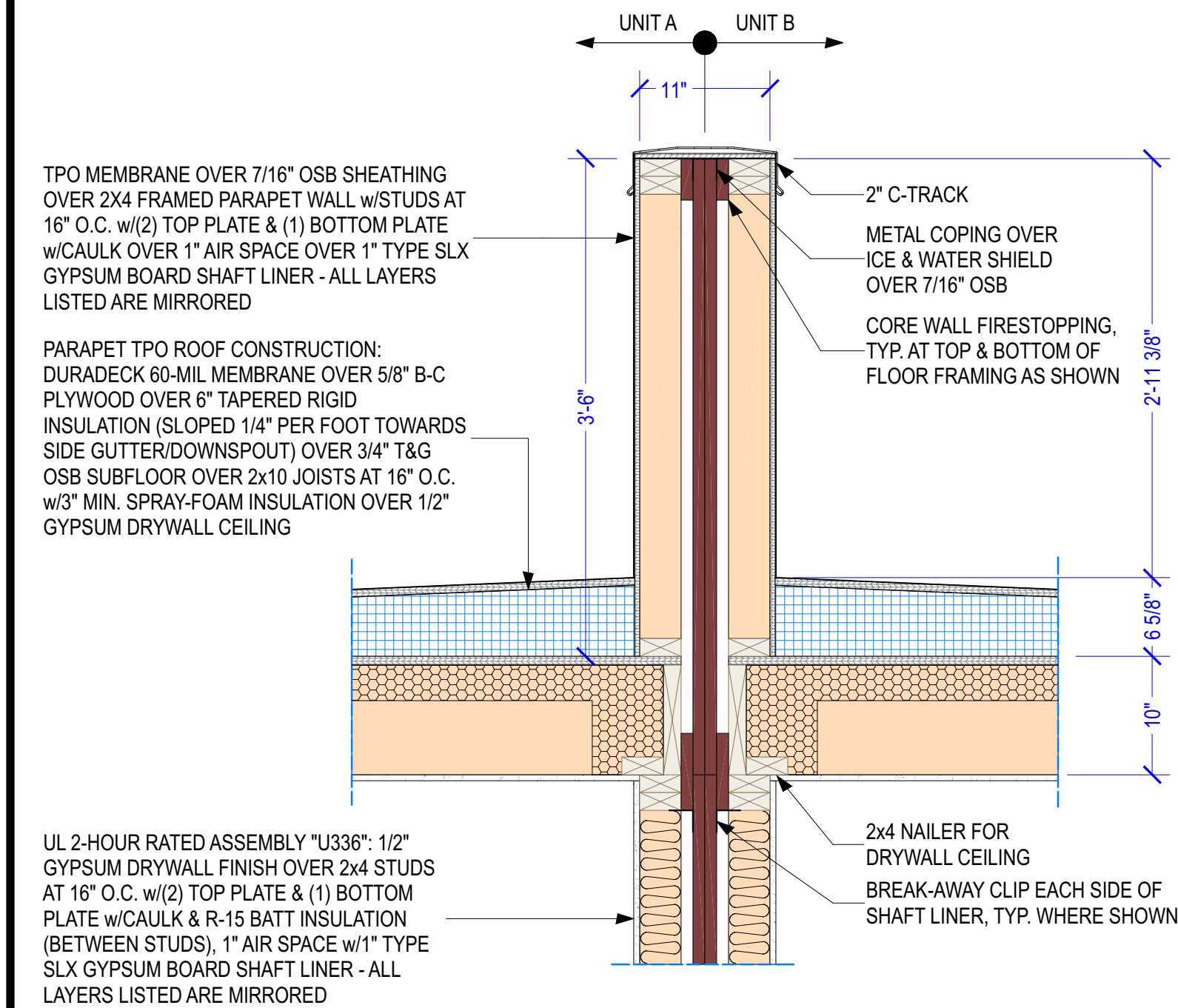
**D2** TYP. DETAIL - SIDE RAILING WALL AT OPEN BALCONY  
SCALE: 1 IN = 1 FT



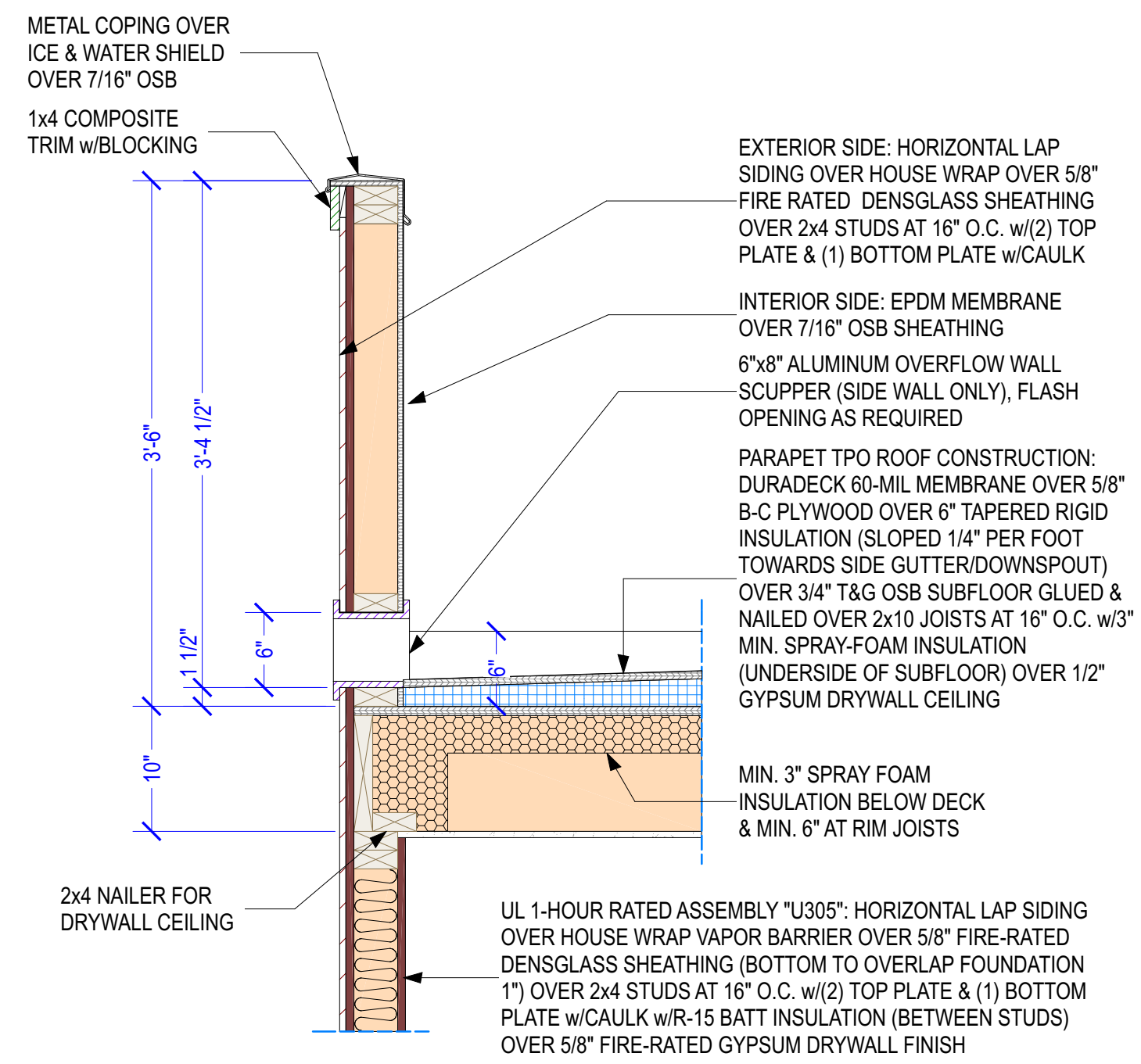
**D3** TYP. DETAIL - METAL RAILING REAR WALL AT OPEN BALCONY  
SCALE: 1 IN = 1 FT



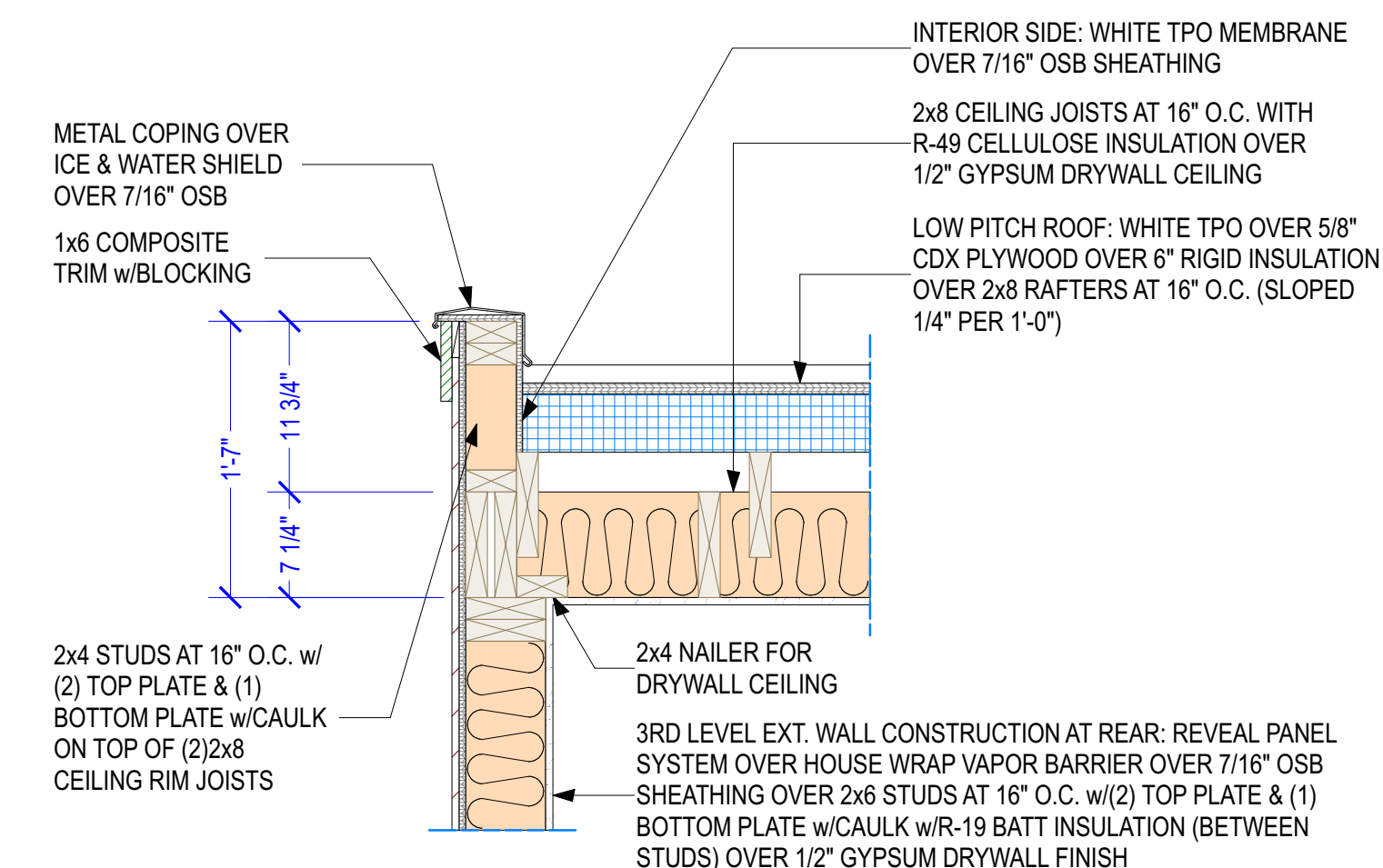
**D4** TYP. DETAIL - FRONT SKIRT ROOF/PARAPET WALL  
SCALE: 1 IN = 1 FT



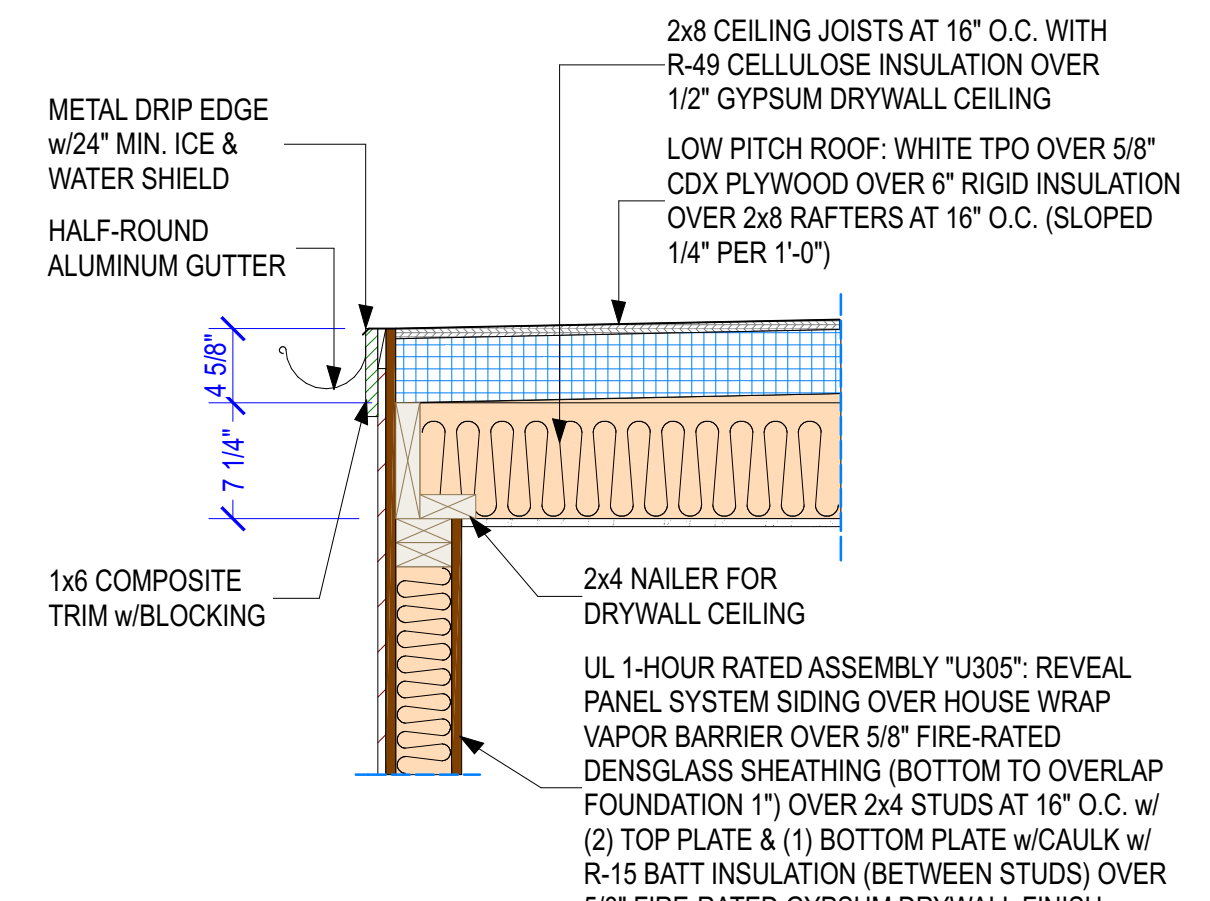
**D5** TYP. DETAIL - PARTY WALL AT PARAPET ROOF  
SCALE: 1 IN = 1 FT



**D6** TYP. DETAIL - SIDE WALL AT PARAPET ROOF  
SCALE: 1 IN = 1 FT



**D7** TYP. DETAIL - FRONT/REAR WALL AT PARAPET ROOF  
SCALE: 1 IN = 1 FT



**D8** TYP. DETAIL - LOW-PITCH ROOF EAVE  
SCALE: 1 IN = 1 FT







DOOR SCHEDULE - ALL LEVELS & BOTH UNITS						
NUMBER	LABEL	QTY	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	3068 L EX	1	36"	80"	EXT. 1/2 LITE HINGED ENTRY DOOR	TBD
D02	3068 R EX	1	36"	80"	EXT. 1/2 LITE HINGED ENTRY DOOR	TBD
D03	3014 EX	2	36"	16"	EXT. FIXED GLASS TRANSOM	ABOVE ENTRY DOOR
D04	6068 C-L EX	2	72"	80"	EXT. DOUBLE HINGED-GLASS PANEL	TBD
D05	6068 L EX	1	72"	80"	EXT. SLIDER-GLASS PANEL	TBD
D06	6068 R EX	1	72"	80"	EXT. SLIDER-GLASS PANEL	TBD
D07	2068 L IN	1	24"	80"	INT. HINGED DOOR	TBD
D08	2068 R IN	1	24"	80"	INT. HINGED DOOR	TBD
D09	2068 R IN	2	24"	80"	INT. HINGED DOOR	TBD
D10	2068 L IN	2	24"	80"	INT. HINGED DOOR	TBD
D11	2468 L IN	5	28"	80"	INT. HINGED DOOR	TBD
D12	2468 R IN	5	28"	80"	INT. HINGED DOOR	TBD
D13	2668 L IN	5	30"	80"	INT. HINGED DOOR	TBD
D14	2668 R IN	5	30"	80"	INT. HINGED DOOR	TBD
D15	2868 L IN	1	32"	80"	INT. HINGED DOOR	TBD
D16	2868 R IN	1	32"	80"	INT. HINGED DOOR	TBD
D17	3068 L/R IN	4	36"	80"	INT. HINGED FRENCH DOOR	TBD
D18	4068 L/R IN	2	48"	80"	INT. HINGED FRENCH DOOR	TBD

WINDOW SCHEDULE - ALL LEVELS & BOTH UNITS											
NUMBER	LABEL	QTY	FLOOR	WIDTH	HEIGHT	TOP	BOTTOM	DESCRIPTION	EGRESS	TEMPERED	DIVIDED LITES
W02	2836DH	2	1	32"	42"	88"	46"	1100 SERIES DOUBLE HUNG WINDOW			1/1
W05	2860DH	8	1	32"	72"	88"	16"	1100 SERIES DOUBLE HUNG WINDOW			1/1
W06	2860DH	3	1	32"	72"	88"	16"	1100 SERIES DOUBLE HUNG WINDOW			1/1
W07	2860SH	1	1	32"	72"	88"	16"	1100 SERIES SINGLE HUNG WINDOW			1/1
W08	3060DH	2	1	36"	72"	88"	16"	1100 SERIES DOUBLE HUNG WINDOW			1/1
W09	3056DH	4	2	36"	66"	92"	26"	1100 SERIES DOUBLE HUNG WINDOW	YES		1/1
W10	3056DH	4	2	36"	66"	92"	26"	1100 SERIES DOUBLE HUNG WINDOW	YES		1/1
W11	3056DH	2	3	36"	66"	79 3/4"	13 3/4"	1100 SERIES DOUBLE HUNG WINDOW	YES		1/1
W12	3056DH	2	3	36"	66"	80"	14"	1100 SERIES DOUBLE HUNG WINDOW	YES		1/1
W13	2836DH	2	3	32"	42"	80"	38"	1100 SERIES DOUBLE HUNG WINDOW		YES	1/1
W14	2856DH	2	2	32"	66"	92"	26"	1100 SERIES DOUBLE HUNG WINDOW			1/1
W15	2836FX	2	2	32"	42"	92"	50"	1100 SERIES FIXED GLASS WINDOW			1
W16	2020FX	6	3	24"	24"	80"	56"	1100 SERIES FIXED GLASS WINDOW			1

ROOM FINISH SCHEDULE - ALL LEVELS (EACH UNIT)							
NUMBER	ROOM NAME	FLOOR	AREA INTERIOR (SQ. FT.)	DIMENSIONS	CEILING ROUGH HEIGHT	CEILING FINISH	FLOOR FINISH
R01	PORCH	1	73	12'-4" X 5'-11"	108 1/4"	108"	5/4X8 P.T. DECKING BOARDS WITH STAIN
R02	DECK	1	23	8'-0" X 2'-11"	N/A	N/A	5/4X8 P.T. DECKING BOARDS
R03	CLOSET	1	7	1'-11" X 3'-9"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD
R04	DINING ROOM	1	177	13'-4" X 13'-3"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD
R05	POWDER	1	24	4'-11" X 6'-10"	109 1/4"	96"	3/4" TILE FLOORING, STYLE TBD
R06	HALL	1	49	4'-5" X 10'-10"	109 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD
R07	UTILITY	1	5	2'-8" X 2'-0"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD
R08	MECHANICAL	1	7	1'-11" X 3'-6"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD
R09	KITCHEN	1	209	13'-2" X 16'-5"	109 1/4", 119 1/4"	108", 118"	3/4" HARDWOOD FLOORING, STYLE TBD
R10	PANTRY	1	8	3'-1" X 2'-8"	119 1/4"	118"	3/4" HARDWOOD FLOORING, STYLE TBD
R11	LIVING ROOM	1	248	13'-4" X 18'-7"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD
R12	HALL	2	10	3'-3" X 3'-0"	109 1/4", 126"	108", 124 3/4"	3/4" HARDWOOD FLOORING, STYLE TBD
R13	BATH	2	46	5'-11" X 8'-2"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD
R14	CLOSET	2	12	5'-11" X 2'-0"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD
R15	CLOSET	2	9	3'-3" X 2'-9"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD
R16	BEDROOM 2	2	157	13'-4" X 14'-1"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD
R17	HALL	2	75	3'-5" X 20'-11"	109 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD
R18	W.I.C.	2	49	4'-4" X 11'-10"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD
R19	LANDING	2	12	3'-5" X 3'-7"	101 13/16"	100 9/16"	3/4" HARDWOOD FLOORING, STYLE TBD
R20	LAUNDRY	2	10	3'-3" X 3'-2"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD
R21	OPEN BELOW	2	28	3'-1" X 9'-2"	245 1/4"	244"	3/4" HARDWOOD FLOORING, STYLE TBD
R22	OWNER BATH	2	65	5'-0" X 13'-7"	109 1/4"	108"	3/4" TILE FLOORING, STYLE TBD
R23	OWNER BEDROOM	2	214	13'-4" X 24'-1"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD
R24	STUDY	2	52	5'-11" X 9'-8"	109 1/4"	108"	3/4" HARDWOOD FLOORING, STYLE TBD
R25	BEDROOM 3	3	107	9'-9" X 11'-0"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD
R26	CLOSET	3	11	3'-3" X 3'-5"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD
R27	LINEN	3	5	2'-0" X 2'-6"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD
R28	LOFT	3	258	13'-2" X 16'-6"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD
R29	OPEN BELOW	3	33	3'-1" X 10'-9"	223 1/4"	222"	3/4" HARDWOOD FLOORING, STYLE TBD
R30	STORAGE	3	41	6'-3" X 7'-7"	97 1/4"	96"	3/4" HARDWOOD FLOORING, STYLE TBD
R31	OPEN BALCONY	3	119	13'-3" X 9'-0"	N/A	N/A	DURADECK EPDM MEMBRANE, PLYWOOD HORIZONTAL, INSULATION RIGID
TOTALS:			2143				

### GENERAL WINDOW & DOOR NOTES

- BEDROOM WINDOW SILL FINISHED HEIGHT MUST BE NO MORE THAN 44" A.F.F AND MUST PROVIDE MINIMUM EGRESS OPENINGS OF 5.7 SF WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20". REFERENCE R310.1-R310.4.
- VERIFY WINDOW ROUGH OPENINGS WITH MANUFACTURER.
- OWNER AND/OR CONTRACTOR TO SELECT EXACT CLADDING AND INTERIOR CASING STYLE AND FINISHES, AND HARDWARE.
- DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" THICK TIGHT FITTING SOLID CORE WITH A 60-MINUTE MIN. FIRE RATING. DOOR SHALL BE SELF-CLOSING.
- EXTERIOR EXIT DOORS SHALL BE 36" MIN., NET CLEAR OPENING SHALL BE 32" MIN.. DOOR SHALL BE OPERABLE FROM INSIDE.
- ANY GARAGE DOOR GLAZING SHALL BE TEMPERED.
- ALL GLAZING WITHIN 18" OF THE FLOOR AND/OR WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING.
- ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLAZING.
- DOOR AND WINDOW SIZES AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR AND DOOR/WINDOW SALES REPRESENTATIVE PRIOR TO ORDERING AND INSTALLING.
- THE "LABEL" COLUMN OF THE WINDOW SCHEDULE INDICATES THE SIZE AND TYPE IN THE FOLLOWING FORMAT: "WIDTHHEIGHT"TYPE" = FEET-INCH WIDTH/FEET-INCH HEIGHT/WINDOW TYPE. FOR EXAMPLE, A WINDOW LABEL OF 2840DH IS A 2'-8" WIDE x 4'-0" TALL DOUBLE HUNG WINDOW.  
  
THE FOLLOWING WINDOW TYPES INDICATE THE FOLLOWING: "AW" = SINGLE-AWNING, "TA" = DOUBLE-AWNING, "SH" = TRIPLE-AWNING, "SH" = SINGLE-HUNG, "DH" = DOUBLE-HUNG, "SC" = SINGLE-CASEMENT, "DC" = DOUBLE-CASEMENT, "TC" = TRIPLE CASEMENT, "FX" = FIXED, "LS" = LEFT SLIDING, "RS" = RIGHT SLIDING, "TS" = TRIPLE SLIDING, "HO" = SINGLE-HOPPER, "FH" = DOUBLE-HOPPER, "TH" = TRIPLE HOPPER, "LV" = SINGLE-LOUVER, "GL" = GLASS LOUVER, "PT" = PASS-THROUGH.
- THE "LABEL" COLUMN OF THE DOOR SCHEDULE INDICATES THE FOLLOWING: "WIDTHHEIGHT/HINGE SIDE/INTERIOR OR EXTERIOR" = FEET-INCH WIDTH/FEET-INCH HEIGHT, "L" = LEFT SWING, "R" = RIGHT SWING, "IN" = INTERIOR DOOR, "EX" = EXTERIOR DOOR. FOR EXAMPLE, A DOOR SIZE OF 2868 IS 2'-8" WIDE AND 6'-8" TALL.



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PROJECT NAME
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CLIENT(S)
CENTER CREEK HOMES 11 S 12TH STREET, SUITE 115 RICHMOND, VA, 23219 T: 804.999.4449

PROJECT ADDRESS
1308 N 26TH STREET RICHMOND, VA 23223

TITLE
WINDOW, DOOR, & ROOM FINISH SCHEDULES

DOCUMENT PHASE: PERMIT SET
PLOT DATE: 11/1/2021 9:57:08 AM
DRAWN BY: DUSTIN HETRICK
SCALE: SEE PLAN

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A5.2
15 OF 17



BXUV.U336 - Fire-resistance Ratings - ANSI/UL 263

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States  
BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-Resistance Ratings - ANSI/UL 263 Certified for United States  
Design Criteria and Allowable Variances

See General Information for Fire-Resistance Ratings - CAN/ULC-S101 Certified for Canada  
Design Criteria and Allowable Variances

Design No. U336

December 03, 2020

Exposed to fire from separation Wall side only

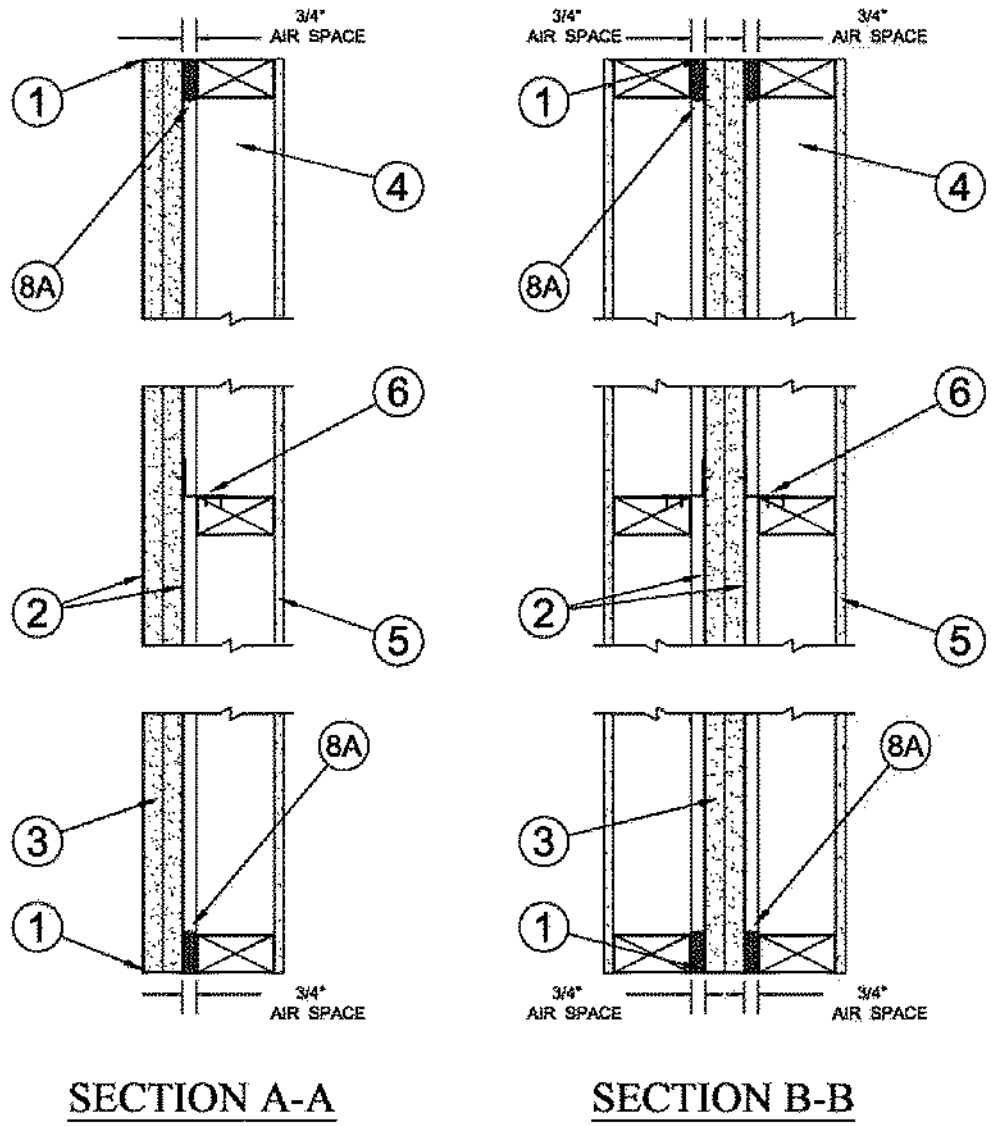
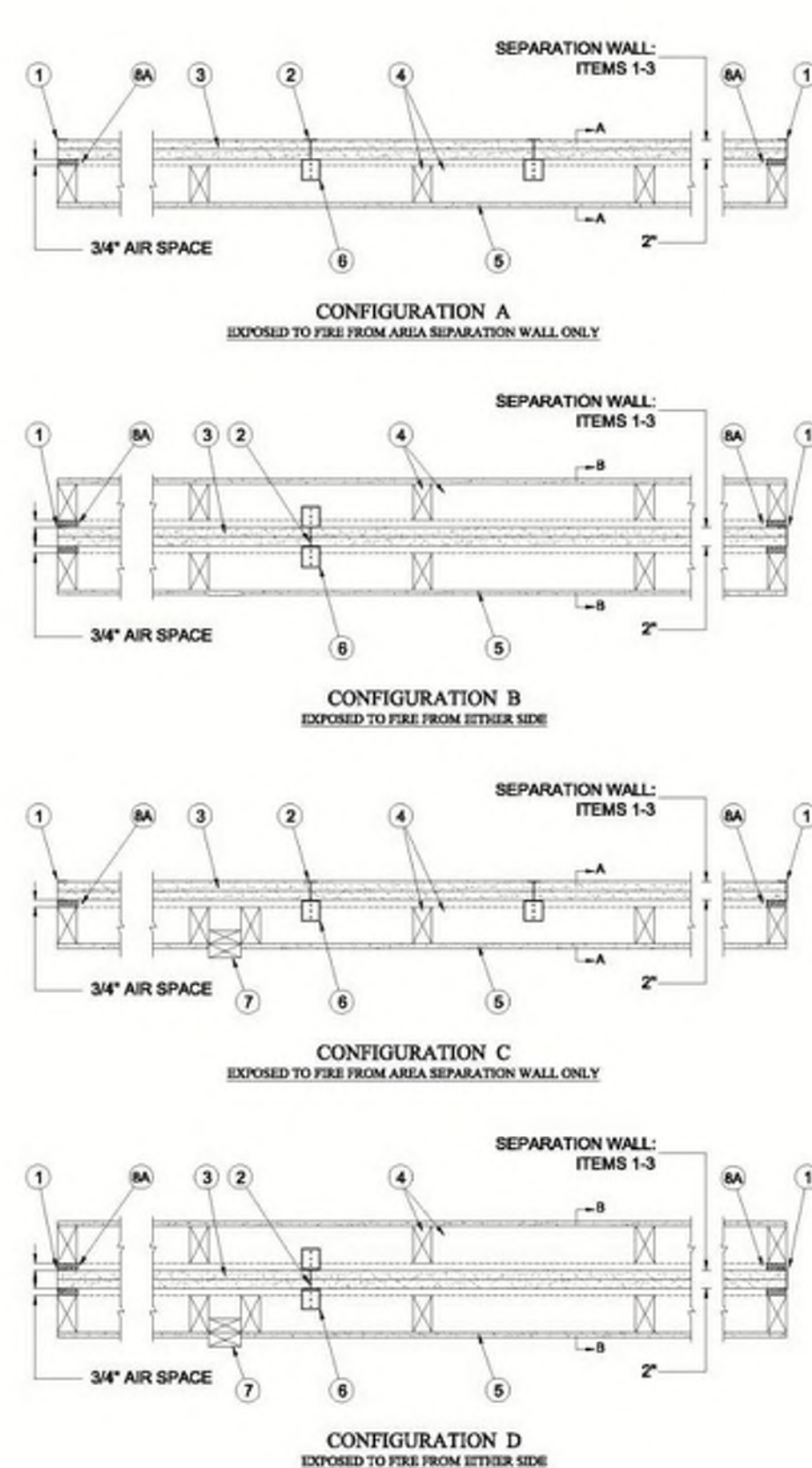
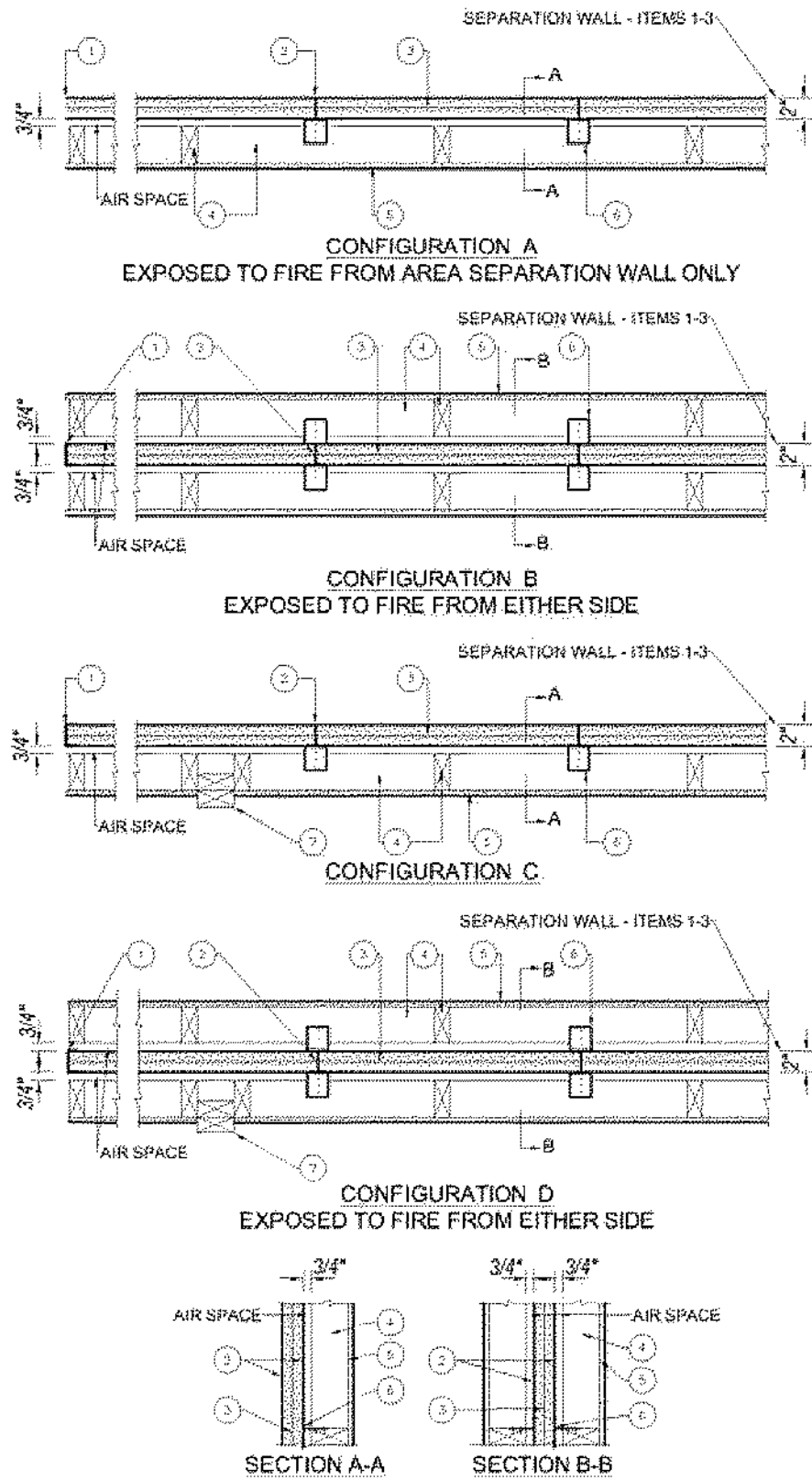
Nonbearing Wall Rating — 2 Hr (Separation Wall, See Items 1, 2 and 3)

Bearing Wall Rating - 2 Hr (Protected Wall, See Items 4 and 4A)

Nonbearing Wall Rating - 2 Hr (Protected Wall, See Item 4B)

Finish Rating — 120 Min

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



SEPARATION WALL: (Max Height - 66 ft)

1. **Floor, Intermediate or Top Wall** — 2 in. wide channel shaped with 1 in. long legs formed from No. 25 MSG galv steel, secured with suitable fasteners spaced 24 in. OC.
  2. **Metal Studs** — Steel members formed from No. 25 MSG galv steel having "H"-shaped flanged spaced 24 in. OC; overall depth 2 in. and flange width 1-3/8 in.
  3. **Gypsum Board\*** — Two layers of 1 in. thick gypsum board liner panels, supplied in nom 24 in. widths. Vertical edges of panels friction fitted into "H"-shaped studs.  
**CGC INC** — Type SLX
- UNITED STATES GYPSUM CO** — Type SLX
- USG BORAL DRYWALL SFZ LLC** — Type SLX
- USG MEXICO S A DE C V** — Type SLX

PROTECTED WALL: (Bearing or Nonbearing Wall). When Bearing, Load Restricted for Canadian Applications — See Guide [BXUV7](#).

4. **Wood Studs** — Nom 2 by 4 in. max spacing 24 in. OC. Studs cross braced at mid-height where necessary for clip attachment. Min 3/4 in. separation between wood framing and fire separation wall.

4A. **Steel Studs** — (As an alternate to Item 4, Not Shown) — For Bearing Wall Rating - Corrosion protected steel studs, min No. 20 MSG (0.0329 in., min bare metal thickness) steel or min 3-1/2 in. wide, min No. 20 GSG (0.036 in. thick) galv steel or No. 20 MSG (0.033 in. thick) primed steel, cold formed, shall be designed in accordance with the current edition of the Specification for the Design of Cold-Formed Steel Structural Members by the American Iron and Steel Institute. All design details enhancing the structural integrity of the wall assembly, including the axial design load of the studs, shall be as specified by the steel stud designer and/or producer, and shall meet the requirements of all applicable local code agencies. The max stud spacing of wall assemblies shall not exceed 24 in. OC. Studs attached to floor and ceiling tracks with 1/2 in. long Type 5-12 steel screws on both sides of studs or by welded or bolted connections designed in accordance with the AISI specifications. Top and bottom tracks shall consist of steel members, min No. 20 MSG (0.0329 in., min bare metal thickness) steel or min No. 20 GSG (0.036 in. thick) galv steel or No. 20 MSG (0.033 in. thick) primed steel, that provide a sound structural connection between steel studs, and to adjacent assemblies such as a floor, ceiling, and/or other walls. Attached to floor and ceiling assemblies with steel fasteners spaced not greater than 24 in. O.C. Studs cross-braced with stud framing at midheight where necessary for clip attachment. Min 3/4 in. separation between steel framing and area separation wall. Finish rating has not been evaluated for Steel Studs.

4B. **Steel Studs** — As an alternate to Items 4 and 4A, for use in Configuration B only, Not Shown) — For Nonbearing Wall Rating - Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min 3-1/2 in. wide, min 1-1/4 in. flanges and 1/4 in. return, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height. Top and bottom tracks shall be channel shaped, fabricated from min 25 MSG corrosion-protected steel, min width to accommodate stud size, with min 1 in. long legs, attached to floor and ceiling with fasteners 24 in. OC max. Studs cross-braced with stud framing at midheight where necessary for clip attachment. Min 3/4 in. separation between steel framing and area separation wall. Finish rating has not been evaluated for Steel Studs.

5. **Gypsum Board** — Classified or Unclassified — Min 1/2 in. thick, 4 ft wide, applied either horizontally or vertically. Gypsum board attached to studs with 1-1/4 in. long steel drywall nails spaced 8 in. OC. Vertical joints located over studs. (Optional) Joints covered with paper tape and joint compound. Nail heads covered with joint compound.

6. **Attachment Clips** — Aluminum angle, 0.063 in. thick, 2 in. wide with 2 in. and 2-1/4 in. legs. Clips secured with Type S screws 3/8 in. long to "H" studs and with Type W screws 1-1/4 in. long to wood framing through holes provided in clip.

6A. Clip placement (Item 6) for separation walls up to 23 ft high. Space clips a max of 10 ft OC vertically between wood framing and "H" studs.

6B. Clip placement (Item 6) for separation walls up to 44 ft high. Space clips as described in Item 6A for upper 24 ft. Remaining wall area below requires clips spaced a max 5 ft OC vertically between wood framing and "H" studs.

6C. Clip placement (Item 6) for separation walls up to 66 ft high. Space clips as described in Item 6A for upper 24 ft. Space clips as described in Item 6B for next 20 ft. below the upper 24 ft. Remaining wall area below requires clips spaced a max of 40 in. OC vertically between wood framing and "H" studs.

7. **Non-Bearing Wall Partition Intersection** — (Optional) — Two nominal 2 by 4 in. stud or nominal 2 by 6 in. stud nailed together with two 3in. long 10d nails spaced a max. 16 in. OC, vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max 16 in. OC, vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. OC, vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the wall.

8. **Caulking and Sealants\*** — (Optional - Intended for use as an air barrier - Not intended to be used as fireblocking) A bead of sealant applied around the partition perimeter, and at the interface between wood or steel framing and gypsum board panels to create an air barrier.  
**KNAUF INSULATION LLC** — Type ECOSSEAL™ Plus

8A. **Caulking and Sealants\*** — (Optional - Intended for use as an air barrier - Not intended to be used as fireblocking) - A bead of sealant applied around the partition perimeter in the 3/4 in. air space between wood framing (Item 4) and shaftliner panels (Item 3) to create an air barrier.  
**DUPONT DE NEMOURS, INC.** — Great Stuff Gaps & Cracks, Great Stuff Pro Gaps & Cracks, Great Stuff Pro Window & Door

**ICP ADHESIVES & SEALANTS INC** — Handi-Foam Fireblock, Handi-Foam Fireblock West, and Fast Foam Fireblock

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

[Last Updated](#) on 2020-12-03

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REVISIONS

#	DATE	DESCRIPTION

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PROJECT NAME

UNION HILL AT 1308 N  
26TH STREET

CLIENT(S)

CENTER CREEK HOMES  
11 S 12TH STREET, SUITE  
115  
RICHMOND, VA, 23219  
T: 804.999.4449

PROJECT ADDRESS

1308 N 26TH STREET  
RICHMOND, VA 23223

TITLE

PARTY WALL UL336  
ASSEMBLY  
SPECIFICATIONS

DOCUMENT PHASE:

PERMIT SET

PLOT DATE:

11/1/2021  
9:57:13 AM

DRAWN BY:

DUSTIN HETRICK

































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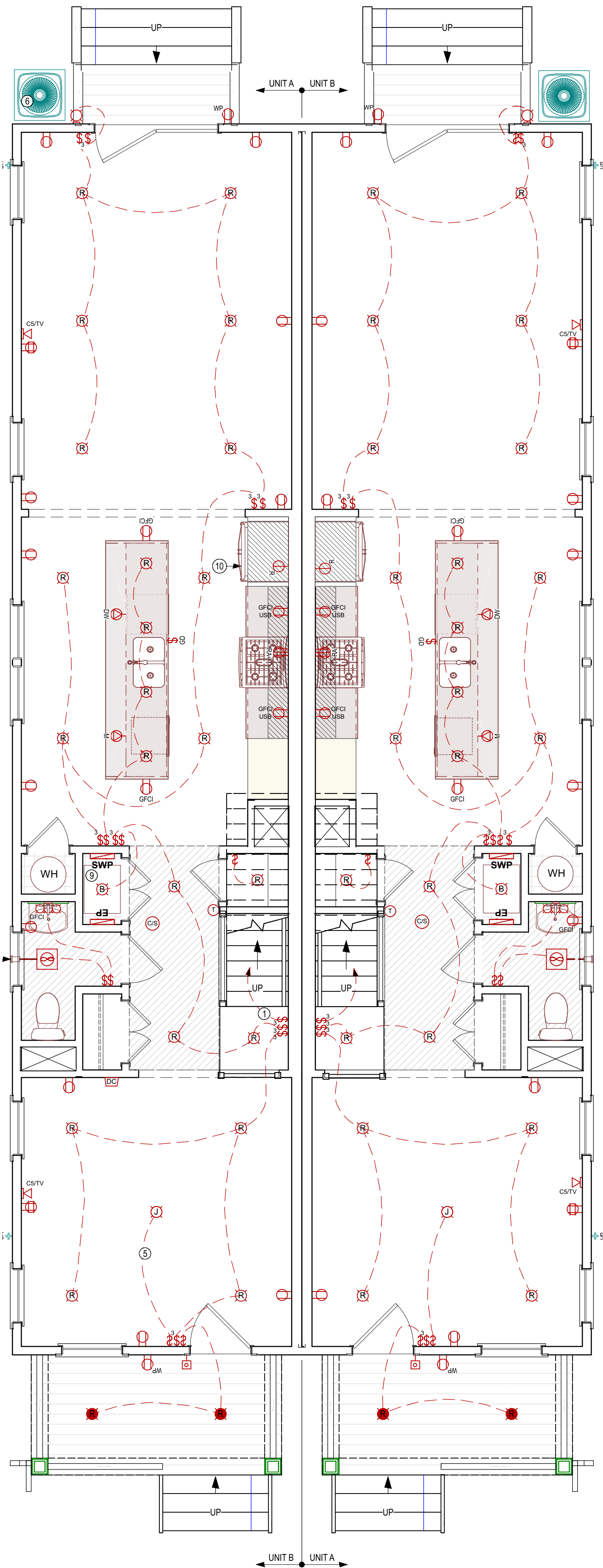
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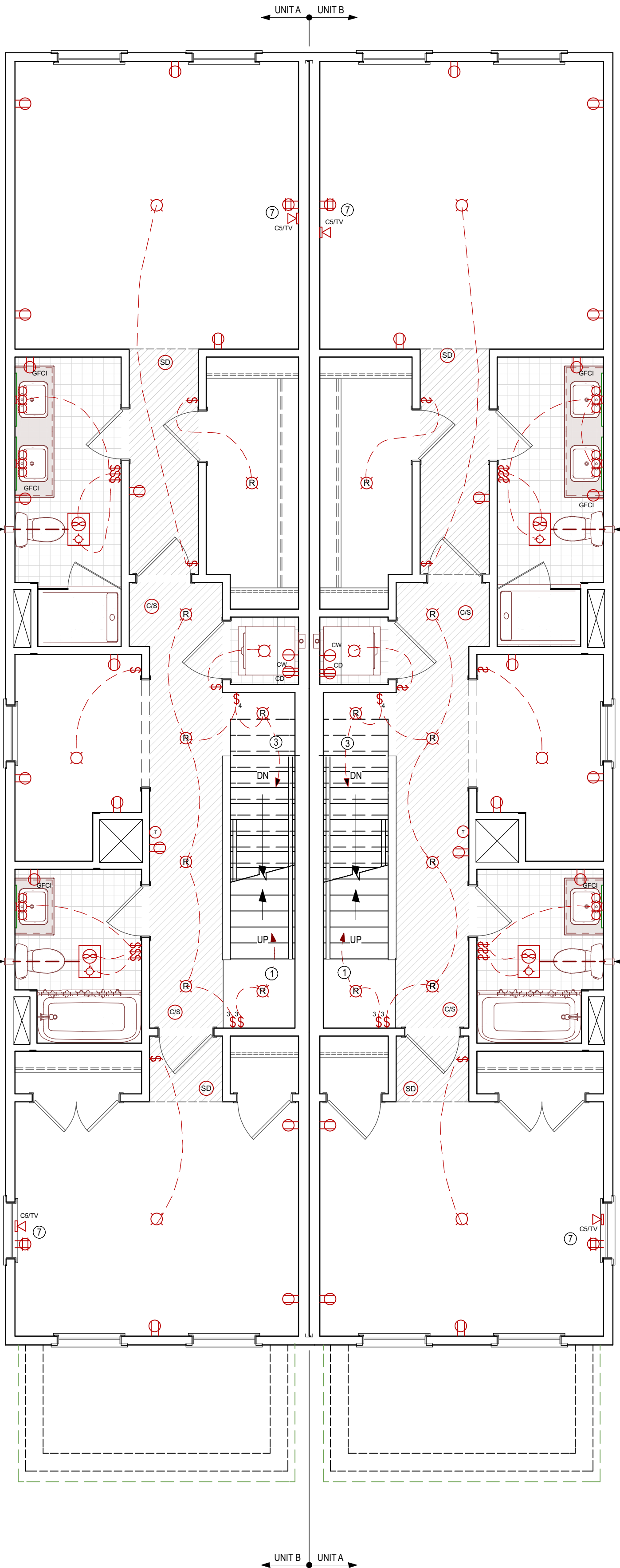


20	DESCRIPTION	QTY
	SWP PANEL	2
	ELECTRICAL PANEL	2
	DOORBELL	2
	DOOR CHIME	1
	THERMOSTAT	6
	CO/SMOKE DETECTOR	8
	SMOKE DETECTOR	6
	SINGLE POLE SWITCH	44
	THREE WAY SWITCH	28
	FOUR WAY SWITCH	4
	GARBAGE DISPOSAL SWITCH	2
	DUPLEX OUTLET	61
	DUPLEX GFCI OUTLET	14
	DUPLEX GFCI & USB OUTLET	4
	QUADRUPLUX OUTLET	12
	DUPLEX WEATHERPROOF OUTLET	6
	CLOTHES WASHER DEDICATED OUTLET	2
	CLOTHES DRYER DEDICATED OUTLET	2
	RANGE DEDICATED OUTLET	2
	REFRIGERATOR DEDICATED OUTLET	2
	DISHWASHER, HW	2
	MICROWAVE, HW	2
	CATS W/ TV	12
	CEILING-MOUNTED EXHAUST FAN	2
	CEILING-MOUNTED EXHAUST FAN WITH LIGHT	4
	EXTERIOR SCONCE LIGHT	4
	RECESSED CAN LIGHT	63
	RECESSED CAN LIGHT (WET LOCATION)	4
	FLUSH-MOUNT LIGHT	14
	BARE BULB PORCELAIN LAMPHOLDER	2
	VANITY SCONCE LIGHT	8
	J-BOX CEILING MOUNT	2



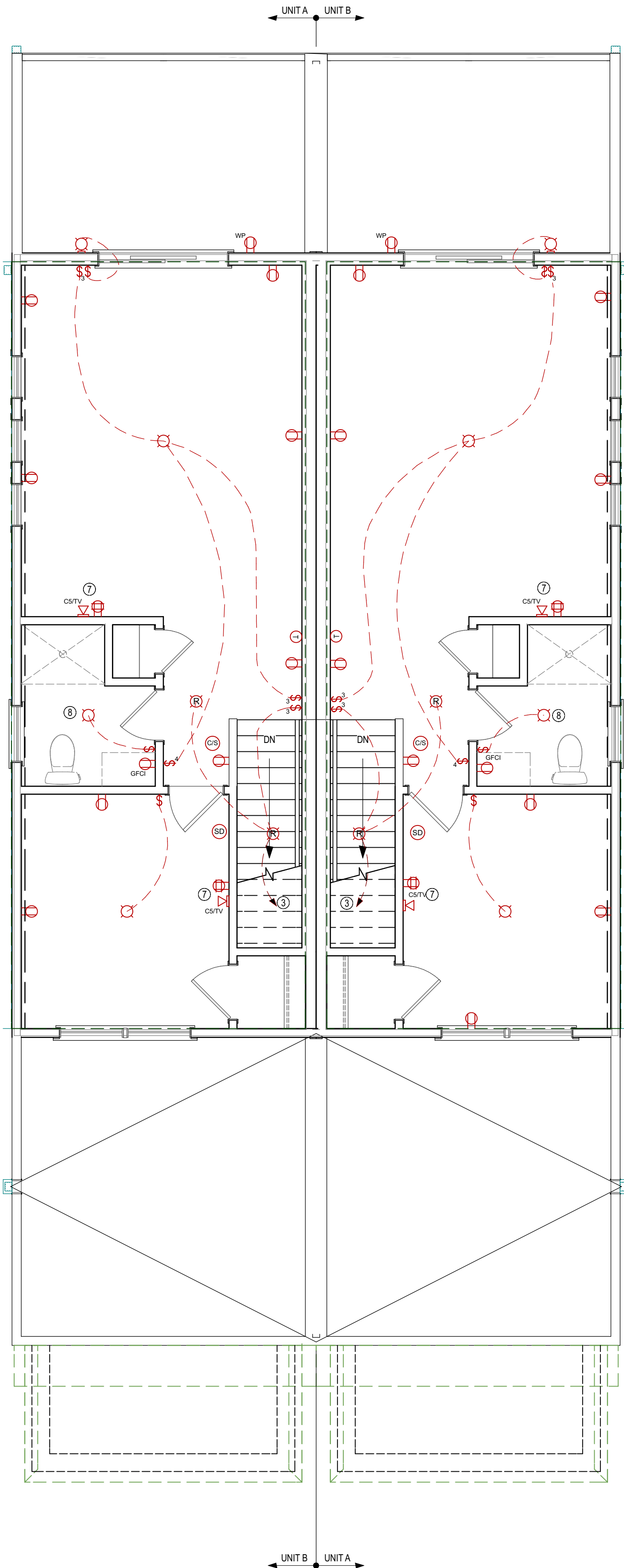
1 1ST FLOOR ELECTRICAL PLAN

SCALE: 1/4 IN = 1 FT



2 2ND FLOOR ELECTRICAL PLAN

SCALE: 1/4 IN = 1 FT



3 3RD FLOOR ELECTRICAL PLAN

SCALE: 1/4 IN = 1 FT

KEYNOTE LEGEND - ELECTRICAL PLAN(S)	
①	TO LIGHT & SWITCH ABOVE
②	VENT EXHAUST THROUGH 2ND FLOOR RIM JOIST VIA 4" HARD PIPE
③	TO LIGHT & SWITCH BELOW
④	VENT EXHAUST THROUGH GABLE END WALL VIA 4" HARD PIPE
⑤	J-BOX FOR OPTIONAL CHANDELIER
⑥	AIR CONDITIONER COMPRESSOR
⑦	CONTRACTOR/ OWNER TO DETERMINE EXACT LOCATION OF ALL TV OUTLETS PRIOR TO INSTALLATION
⑧	PROVIDE FANLIGHT IN CEILING & VANITY SCONCE LIGHT IF OPTIONAL BATH IS SELECTED
⑨	HVAC UNIT - CONSULT WIMECH. CONTRACTOR
⑩	36"W REFRIGERATOR WIPEX WATER LINE

#### GENERAL ELECTRICAL NOTES

- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
- HOMEOWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION AND TYPE FOR OUTLETS, LIGHTS, SWITCHES, DATA, PHONE, AUDIO, ETC.
- FIXTURES TO BE SELECTED BY HOME OWNER.
- CONTRACTOR TO VERIFY LOCATION OF ELECTRICAL SERVICE PANEL PRIOR TO CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VERIFY METER LOCATION, CABLE SIZES, AND THEIR RESPECTIVE LOCATIONS. ALL ELECTRICAL EQUIPMENT AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2012 IRC.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, GARAGES, OR ANY OTHER WET LOCATION SHALL BE GFCI PER NATIONAL ELECTRICAL CODE REQUIREMENTS. EXTERIOR RECEPTACLES SHALL HAVE WEATHERPROOF COVERS.
- ALL SWITCHES TO BE AT 48" A.S.F. OUTLETS TO BE 15" O.C. A.S.F. U.N.O. OUTLETS OVER COUNTERTOPS TO BE 3" ABOVE COUNTER COUNTER FROM BOTTOM. (A.S.F. = ABOVE SUBFLOOR).
- SMOKE DETECTORS SHALL BE PROVIDED IN ALL ROOMS USED FOR SLEEPING PURPOSES AND ALSO IN THE AREA GIVING ACCESS TO EACH SLEEPING AREA. THEY SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. DETECTORS SHALL BE INTERCONNECTED TO ACTIVATE SIMULTANEOUSLY. REFERENCE SECTION R314.
- FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. REFERENCE SECTION R315.
- RECESSED LIGHTING ABOVE SHOWER AND IN CLOSETS TO HAVE SHOWER LENS PROTECTOR AS PER CODE.
- LIGHTING IN CLOSET SHALL HAVE A MINIMUM DISTANCE OF 6" FROM SHELF EDGE FOR RECESSED LIGHTS AND 12" FOR SURFACE MOUNTED.

#### GENERAL PLUMBING & HVAC NOTES

- IF KEYNOTES ARE USED, REFERENCE KEYNOTE LEGEND ON THIS SHEET FOR DESCRIPTION.
- IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO VERIFY METER LOCATIONS, SEWER LOCATIONS, PLUMBING SIZES, AND THEIR RESPECTIVE LOCATIONS.
- ALL PLUMBING SYSTEMS INCLUDING HOT & COLD WATER, WASTE & VENT, AND GAS DISTRIBUTION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2012 IRC PLUMBING CODE.
- WATER CLOSETS SHALL BE OF THE TYPE NOT TO 1.6 GALLONS OF WATER MAXIMUM FLUSH.
- SHOWER HEADS AND FAUCETS SHALL NOT EXCEED WATER FLOW OF 3 GALLONS PER MINUTE AT 80 PSI OPERATING PRESSURE.
- GAS SUPPLY SHALL BE 3'-0" MIN. FROM WINDOW OPENING AND SOURCE OF ELECTRICAL IGNITION.
- INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 84" ABOVE SHOWER DRAINS.
- OUTSIDE HOSE BIBS SHALL BE PROVIDED WITH AN APPROVED BACKFLOW PROTECTIVE DEVICE.
- INSULATE WASTE LINES FOR SOUND CONTROL.
- DRYER VENT LENGTH NOT TO EXCEED 25'-0". SUBTRACT 5'-0" FOR EACH 90-DEGREE ELBOW AND 2'-1/2" FOR EACH 45-DEGREE ELBOW. LENGTH OF DUCT MAY EXCEED 25'-0" ONLY IF MANUFACTURER SPECIFICATIONS ALLOW AND ARE ON SITE AT TIME OF INSPECTION.
- DO NOT DRILL OR CUT INTO ANY LVL FRAMING AND/OR ENGINEERED TRUSSES TO INSTALL MECHANICALS. REFER TO MANUFACTURERS SPECIFICATIONS FOR DRILLING / CUTTING HOLES IN ENGINEERED JOISTS.
- MAKE-UP AIR SHALL BE PROVIDED WITH EXHAUST HOODS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM.



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INFO@NVISIONTEKBIM.COM  
CELL: 804.372.0991  
RICHMOND, VA 23236

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RICHMOND, VA 23223

#### TITLE

ELECTRICAL PLANS

#### DOCUMENT PHASE:

PERMIT SET

#### PLOT DATE:

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9:57:14 AM

#### DRAWN BY:

DUSTIN HETRICK

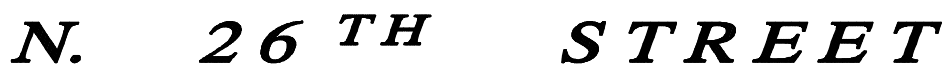
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#### SHEET

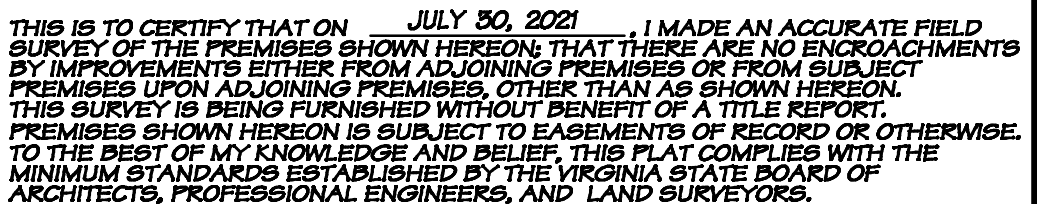
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17 OF 17

KYONG Y & MOON C KIM  
ID 2010-10973  
TM# E00006200020



*PLAT SHOWING IMPROVEMENTS ON LOT 12,  
SQUARE 37, "HECKLER'S PLAN", IN  
THE CITY OF RICHMOND, VIRGINIA.*



**McKNIGHT**  
*& ASSOCIATES, P.C.*

LAND SURVEYORS      PLANNERS

**JOB NUMBER: 92063308**