



Commission for Architectural Review

Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-6569
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: _____

Historic District: _____

Applicant Information

Billing Contact

Owner Information

Billing Contact

Name: _____

Same as Applicant

Email: _____

Name: _____

Phone: _____

Email: _____

Company: _____

Phone: _____

Mailing Address: _____

Company: _____

Mailing Address: _____

Applicant Type: Owner Agent Lessee

Architect Contractor

Other (specify): _____

****Owner must sign at the bottom of this page****

Project Information

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

Signature of Owner

Date 04/29/2022

Certificate of Appropriateness

Application Instructions

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review

Staff Contact: (804)-646-6569 | alex.dandrige@rva.gov | alyson.oliver@rva.gov

Submission Instructions

Certain exterior work can be administratively approved by Staff. Please contact staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner's signature required
- One (1) copy of supporting documentation, as indicated on appropriate checklist (PDF)
- Application fee, if required, will be invoiced via the City's Online Permit Portal. Payment of the fee must be received before the application will be scheduled. Please see fee schedule brochure available on the CAR website for additional information.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.
- A complete application includes a signed application form, related checklist, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in Sec. 30-930.6(b).
- The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Schedule and Application Due Dates

- The CAR meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- The hearing of applications starts at 4:00pm via Microsoft Teams. The owner and/or applicant is encouraged to attend the meeting.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Exception: Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.

Fees

- **Full Demolition:** \$1,500
- **New construction/addition to a building other than for a single- or two-family dwelling or accessory building, including multi-family or mixed-use developments:** \$500
- **New construction/addition to a single- or two-family dwelling, or accessory building:** \$250
- **Amendments to previous certificates of appropriateness (COAs) concerning non-structural alterations, changes to signage, and changes to plans:** \$150
- **Extension of a certificate of appropriateness (COA):** \$25



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 2317 M Street Text

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> other |
| <input type="checkbox"/> mixed use building | |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|---|---|
| <input type="checkbox"/> addition | <input checked="" type="checkbox"/> roof |
| <input checked="" type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input checked="" type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input checked="" type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- ☒ property description, current conditions and any prior alterations or additions
- ☒ proposed work: plans to change any exterior features, and/or addition description
- ☒ current building material conditions and originality of any materials proposed to be repaired or replaced
- ☒ proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- ☒ elevations of all sides
- ☐ detail photos of exterior elements subject to proposed work
- ☒ historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> current site plan | <input checked="" type="checkbox"/> list of current windows and doors | <input checked="" type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> list of proposed window and door | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> current floor plans | <input type="checkbox"/> current roof plan | <input type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input type="checkbox"/> proposed roof plan | <input type="checkbox"/> perspective and/or line of sight |
| <input checked="" type="checkbox"/> legal "plat of survey" | | |

Certificate of Appropriateness for 2317 M Street

Property Description:

2317 M St. was built in 1853 by harness-maker William Salmon. It is a two-story, three-bay, frame house above a brick English basement. (This raised brick foundation has been parged and painted.)

The original house is Greek Revival with a hipped roof front porch that replaced a smaller porch, probably in the late '20s or early '30s.

Originally on the southeast corner was a two-story open porch, supported by brick piers at the basement level. Over the years, the space between the piers was enclosed with a variety of materials. The space thus created was partially incorporated into the house through existing doors.

Also enclosed at an unknown date was the first floor porch. The porch on the second floor is still open, although almost all of the original fabric has been lost. Another change to this porch system was the addition of a two-story set of wood stairs and landings to allow direct access to the second floor.

Other changes to the exterior include vinyl siding over the original clapboard on the first floor and vertical metal sheathing on the second floor. Windows on the front are original, with several "replacement" windows on the rear facade.

The applicant purchased the property at a tax auction in late 2021 at which time the house had been vacant for an indefinite period and was in serious disrepair, including significant structural rot that will require the removal of all siding materials to repair. The house never had central heat and the fireplaces had been abandoned in favor of stoves. but the two chimneys appear to be in relatively good repair above the roof line and will be retained.

Detailed scope of work:

1.Main Roof

Replace the failed terne metal, standing seam roof with a standing seam steel roof. Retain and flash both existing chimneys, sealing the flues at the top.

The box gutter on the front facade will be rebuilt and returned to active use. New downspout(s) from it to be round 3" copper

There is no sign the rear facade ever had a built-in gutter so the existing aluminum gutter to be replaced with a 6" surface-mounted K style aluminum gutter with round 4' downspouts.

2.Front Porch Roof

Replace failed flat lock terne metal with flat lock copper. Retain built-in gutter.

New downspout(s) to be round 3" copper.

3. Front Porch

Rebuild the existing front porch, retaining existing columns and pickets while replacing any failed elements with matching material. Replace the current decking with 1" tongue and groove material.

Replace failed brick steps with wood steps to match the original as seen in the attached photo. Add Richmond rail to these steps to code.

Repair existing brick porch piers with bricks and mortar to match existing.

4. Side Porch (new)

Remove all existing exterior stairs and landings, which were later replacements.

Build a new wooden side porch adjacent to the existing side door (# 102) with steps to the side alley. Richmond rail to code. See attached drawings.

5.Side Porch Roof over first floor door

Bracketed hood with copper roof. See attached photo.

6.Side Porches (original)

The house originally had side porches on the first and second floors. These porches were supported by brick piers at the basement level.

Basement level. At some point the area under the side porches was enclosed for a bathroom. The enclosure was done between the piers, variously in brick or wood. We propose removing all of the (largely failed) enclosing materials and re-enclosing with a new framing system. The original piers will be repaired or rebuilt with brick and mortar to match existing and the spaces between them parged and painted to match the rest of the existing foundation. This is on the sidewalk between the houses, and is not visible from the street.

First Floor. At some point the porch was enclosed for use as a kitchen. We propose rebuilding and re-enclosing it but in so doing making its origins as a porch clear with the use of pilasters, porch rails, and vertical elements. See attached drawing.

Second Floor. The porch is still open but at some point it became an outside entrance to the second floor. The decking was covered with roofing material and almost all of its original fabric is gone.

We propose rebuilding and enclosing this porch. In so doing we will make its origins as a porch clear with the use of pilasters, porch rails, and vertical elements See attached drawing.

7.Siding

The second floor is clad in vertical metal strips of uncertain date while the first floor is clad in vinyl. We propose removing both claddings and any original clapboard underneath. Any salvageable clapboard will be re-installed, beginning with the front of the house. The remainder will be sided in matching wood clapboard. Applicants will file an exterior paint scheme at a later date, using the color palette of CAR.

8.Foundation/English Basement (exterior)

The original brick foundation has been parged and the parging painted. Masonry to be repaired as needed and repairs parged and painted to match the rest of the existing foundation.

9.Doors (exterior)

Front door. Replace the later-added French door with a four-panel door, matching the existing door leading onto the side porch on the first floor, which has flat panels with applied molding on the outside. Original side lights will remain.

First Floor Side Door. Replace the door that was installed when this porch was enclosed with a new door with glass panels on the top. **(Pic of new door.)**

Basement Side door This will be a new door opening and will replace the (missing) door to the back yard. The same new door will be used as on the first floor. Note that neither of these doors are visible from the street.

10.Windows

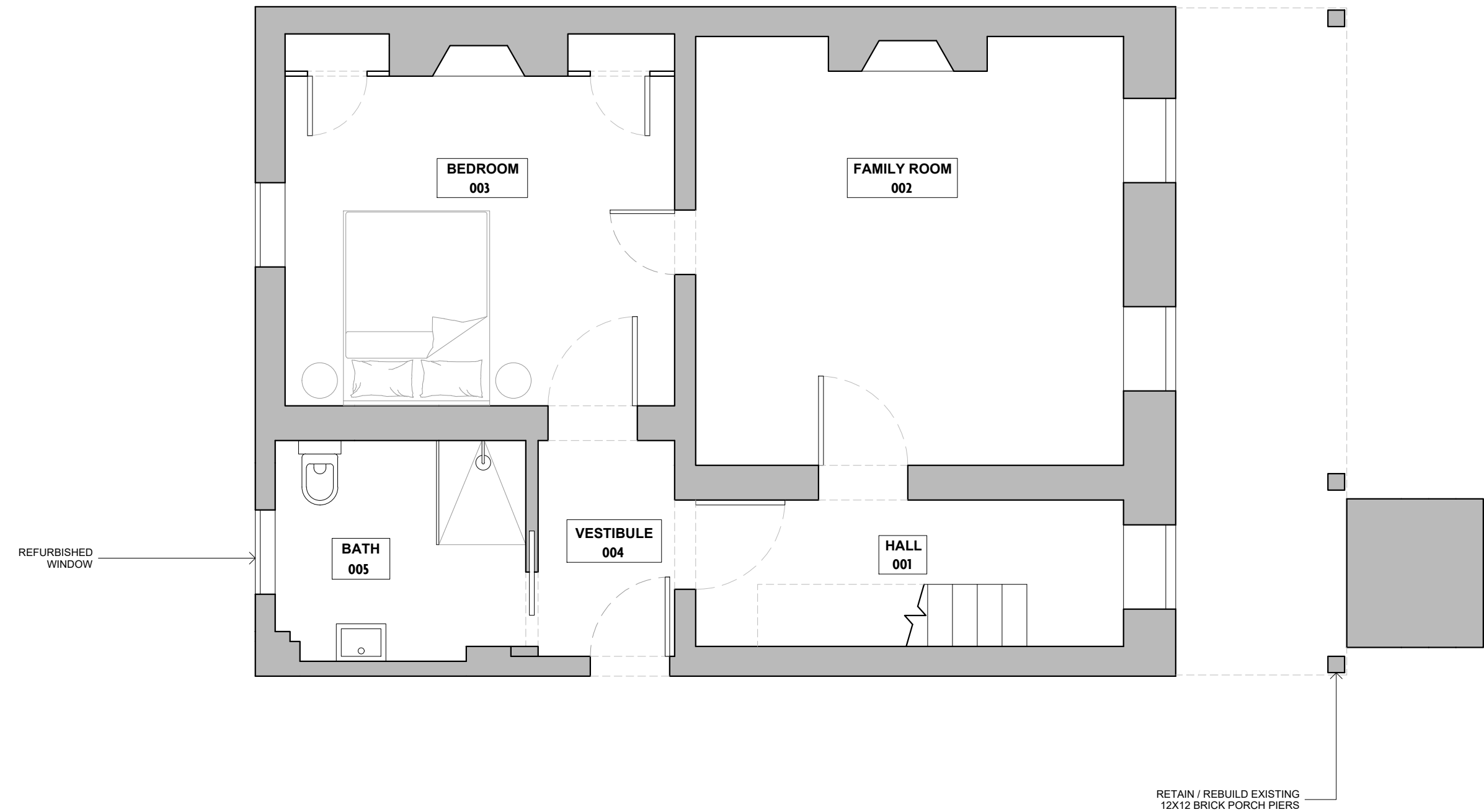
Front façade. Retain and repair all existing sash. Any required replacements shall match the original wooden sashes.

West facade There are no windows and none are proposed

East facade. The house originally had three windows, one in the rear room on each floor. On the second floor, we propose installing a window in the new outside wall (window 204). The wooden sash would match the rest of the sash on the first and second floors (6 over 6). This would be the only window in the east façade.

South façade. On the first floor replace the modern replacement window #103 with sash that matches the other windows on the first and second floors. At the basement level, replace the modern "replacement" window #004 with sash to match original windows on this level; add matching window at #005

11. HVAC units. There will be two units, one 30x30 and one 30x12. They will be located in the backyard at the SW corner of the house, 8" away from the house and 36" from the property line. The two units need to be 12" away from each other. Backyard is enclosed with a six foot wooden fence, and there is no alley.



1. PROPOSED BASEMENT PLAN

M STREET

2317 M Street
Richmond, Virginia 23223

KEY PLAN:

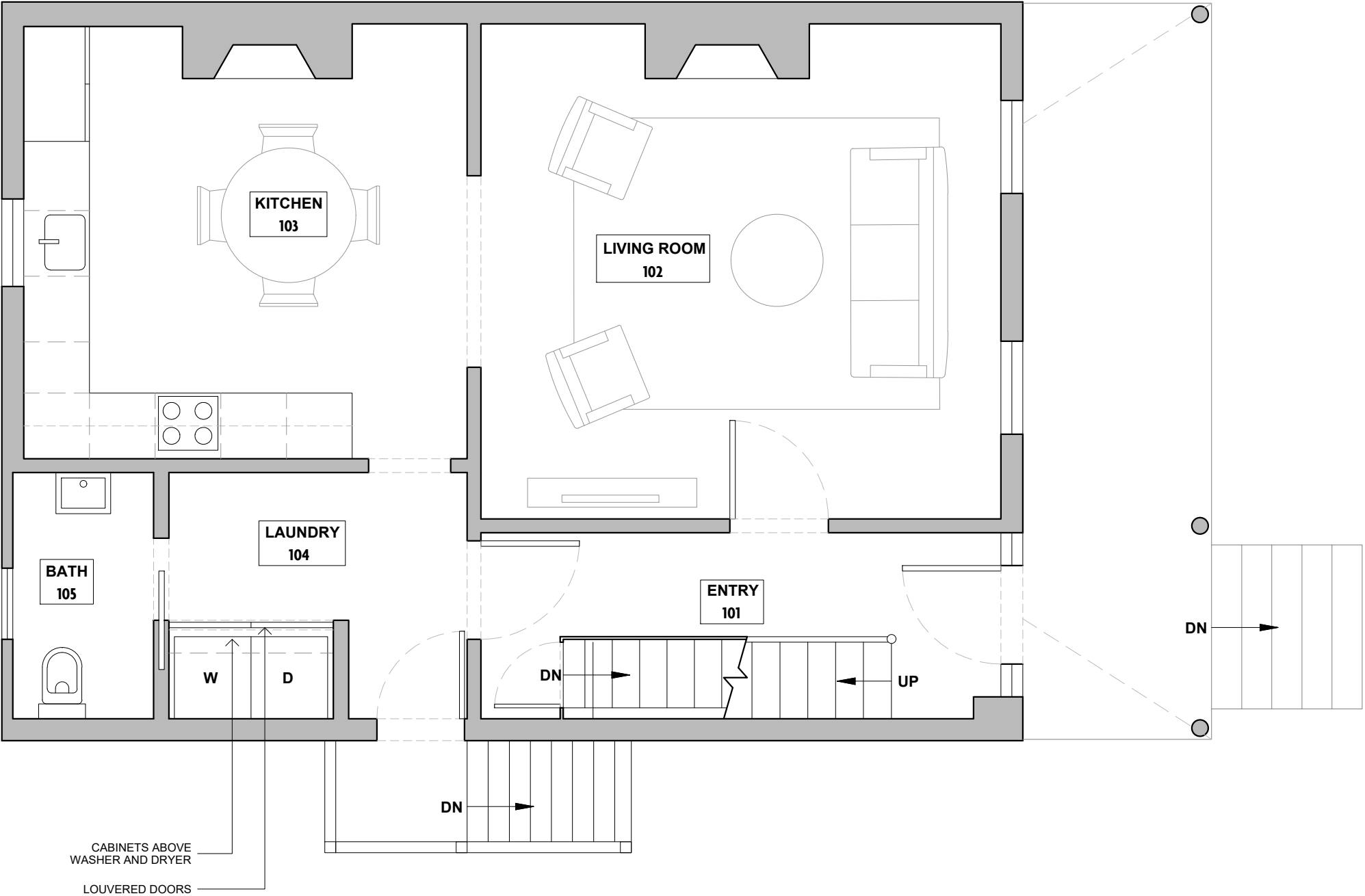
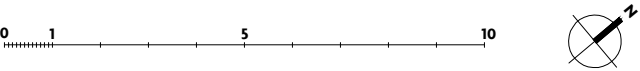
REVISION:

NOTES:

6'-9" CEILING HEIGHT

PROJECT 2317 M STREET	
DRAWING TITLE PROPOSED BASEMENT PLAN	
A110	
PURPOSE OF ISSUE PERMIT SET	
SCALE 1/4"=1' @ 11X17	DATE 23 MAR 2022

1. PROPOSED GROUND FLOOR PLAN



M STREET

2317 M Street
Richmond, Virginia 23223

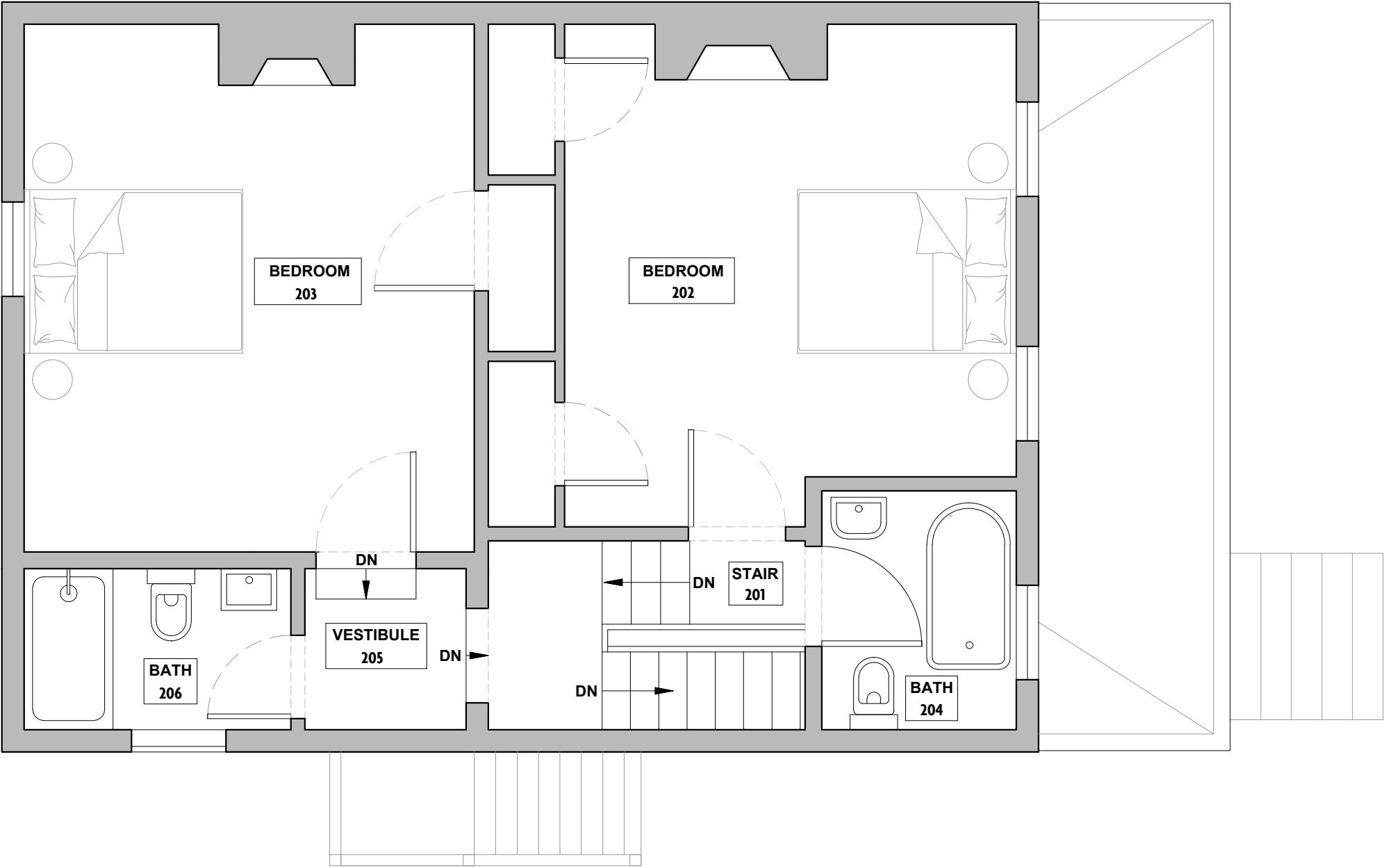
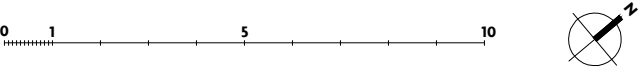
KEY PLAN:

REVISION:

NOTES:
9'-1" CEILING HEIGHT

PROJECT 2317 M STREET	
DRAWING TITLE PROPOSED GROUND FLOOR PLAN	
A111	
PURPOSE OF ISSUE PERMIT SET	
SCALE 1/4"=1' @ 11X17	DATE 23 MAR 2022

1. PROPOSED SECOND FLOOR PLAN



M STREET

2317 M Street
Richmond, Virginia 23223

KEY PLAN:

REVISION:

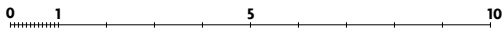
NOTES:

7'-6" CEILING HEIGHT

PROJECT 2317 M STREET	
DRAWING TITLE PROPOSED SECOND FLOOR PLAN	
A112	
PURPOSE OF ISSUE PERMIT SET	
SCALE 1/4"=1' @ 11X17	DATE 23 MAR 2022



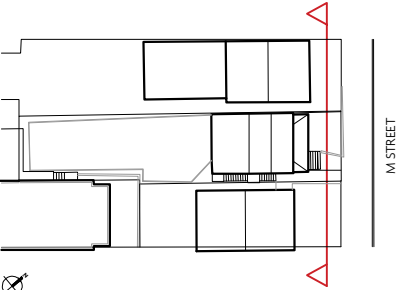
1. PROPOSED NORTH ELEVATION



M STREET

2317 M Street
Richmond, Virginia 23223

KEY PLAN:



REVISION:

NOTES:

PROJECT 2317 M STREET	
DRAWING TITLE PROPOSED NORTH ELEVATION	
A210	
PURPOSE OF ISSUE PERMIT SET	
SCALE 1/4"=1' @ 11X17	DATE 23 MAR 2022

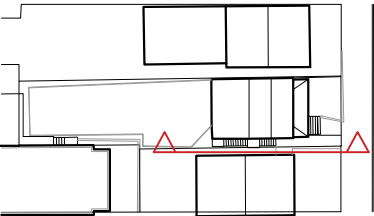


1. PROPOSED EAST ELEVATION

M STREET

2317 M Street
Richmond, Virginia 23223

KEY PLAN:

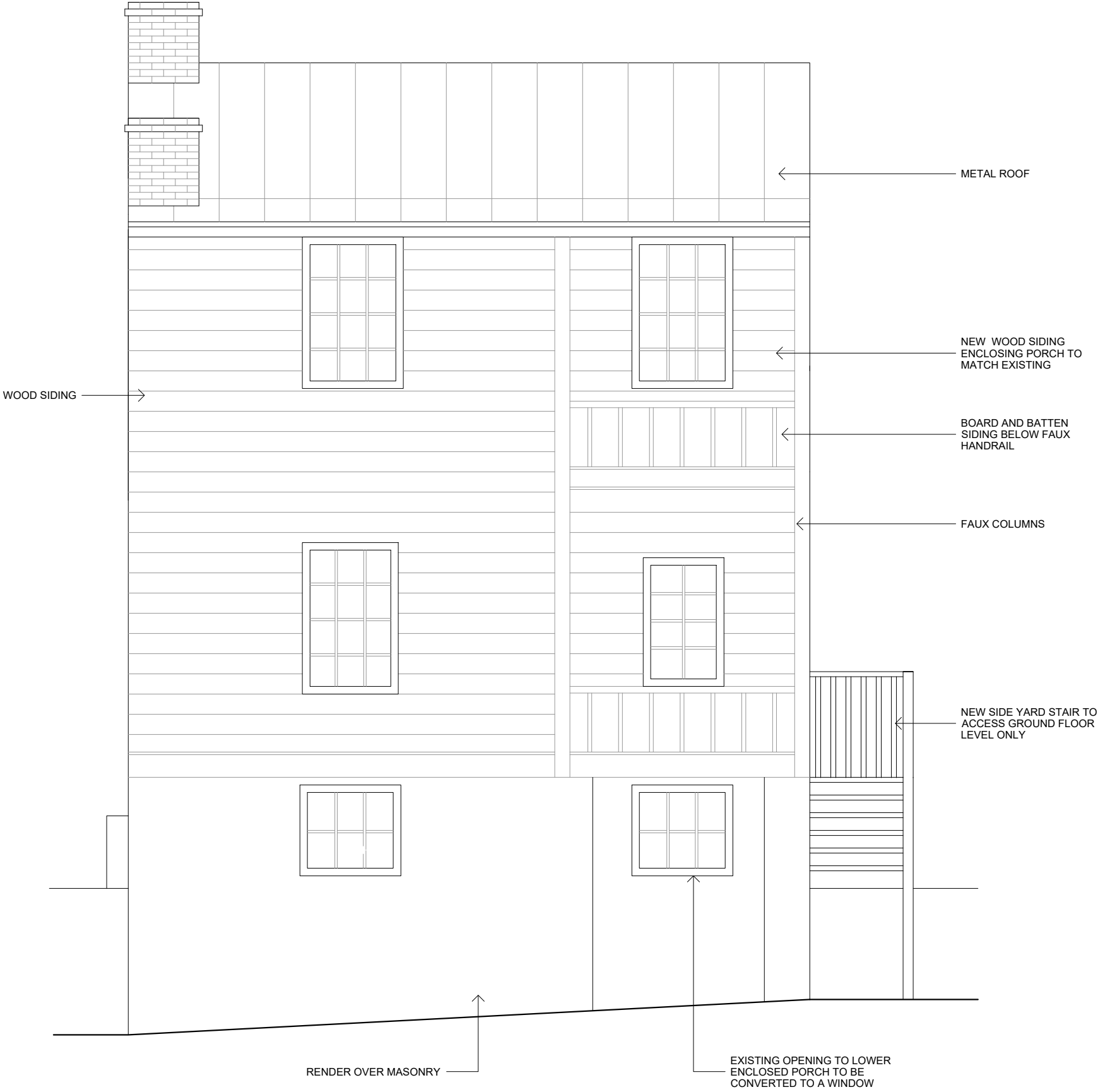
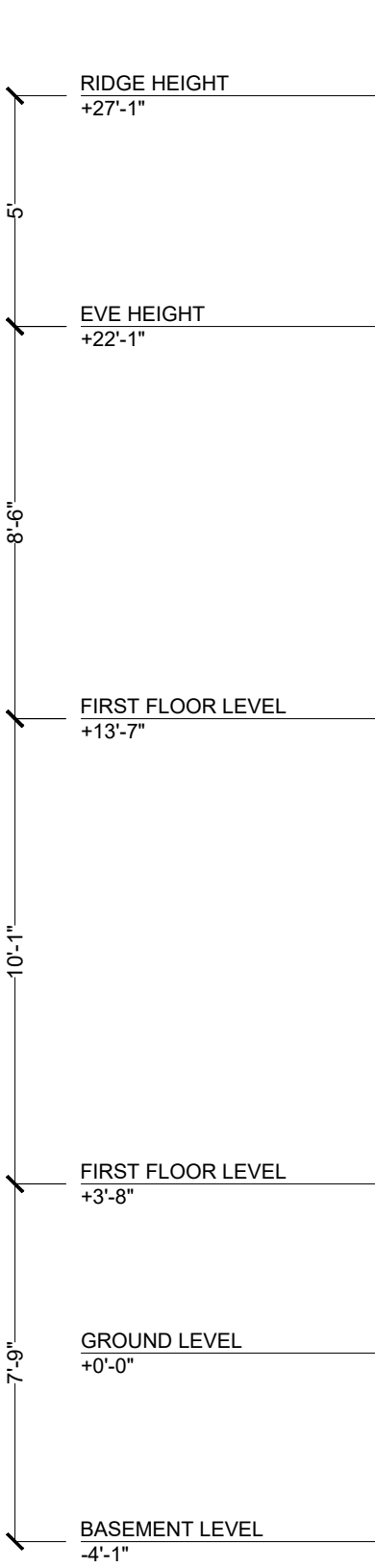
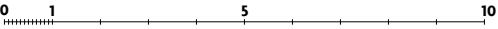


REVISION:

NOTES:

PROJECT 2317 M STREET	
DRAWING TITLE PROPOSED EAST ELEVATION	
A211	
PURPOSE OF ISSUE PERMIT SET	
SCALE 1/4"=1' @ 11X17	DATE 23 MAR 2022

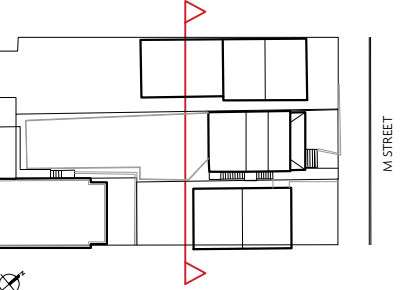
1. PROPOSED SOUTH ELEVATION



M STREET

2317 M Street
Richmond, Virginia 23223

KEY PLAN:



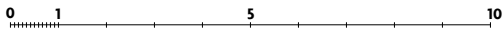
REVISION:

NOTES:

PROJECT 2317 M STREET	
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A212	
PURPOSE OF ISSUE PERMIT SET	
SCALE 1/4"=1' @ 11X17	DATE 23 MAR 2022



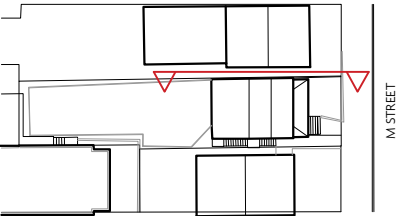
1. PROPOSED WEST ELEVATION



M STREET

2317 M Street
Richmond, Virginia 23223

KEY PLAN:



REVISION:

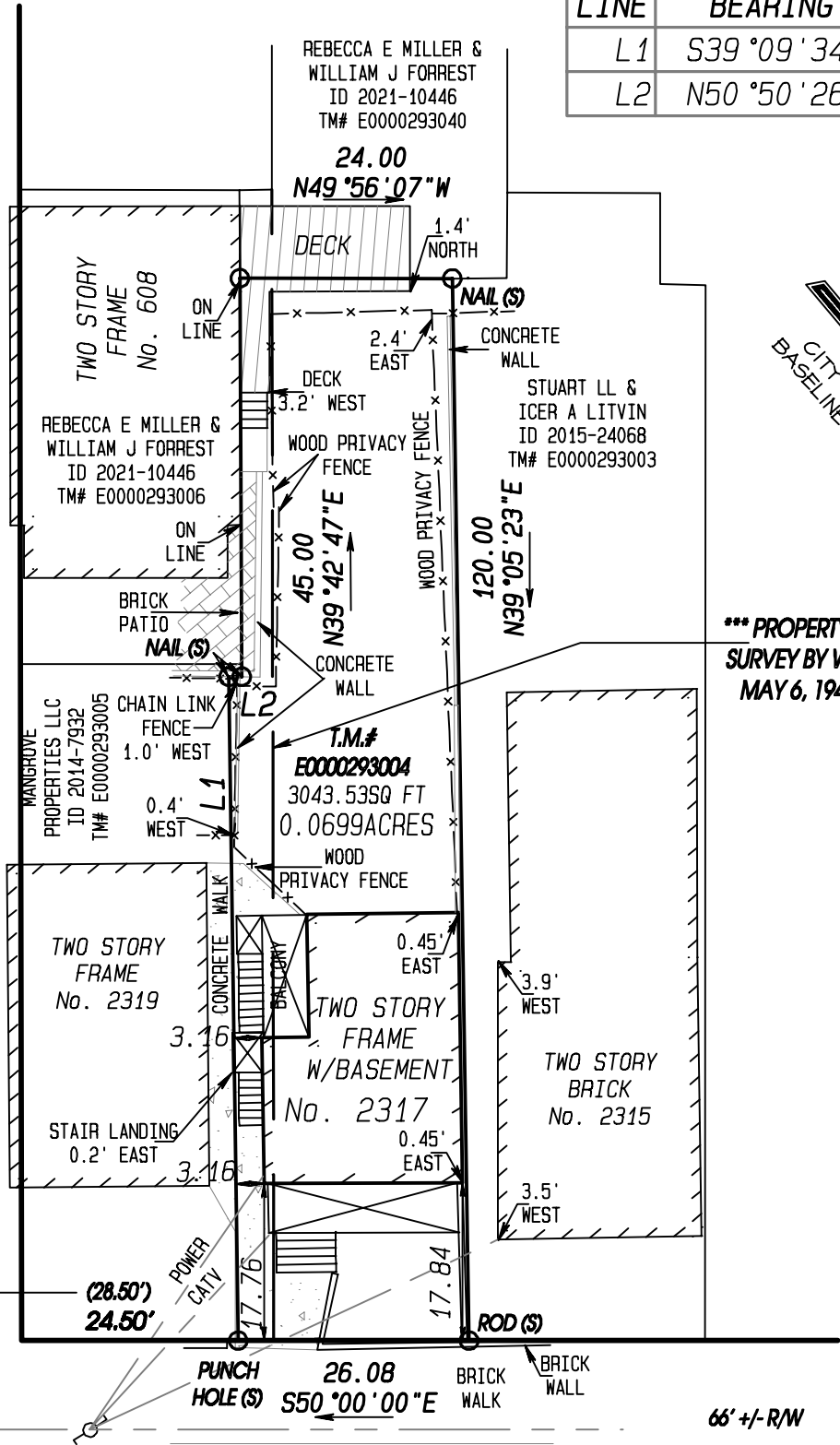
NOTES:

PROJECT 2317 M STREET	
DRAWING TITLE PROPOSED WEST ELEVATION	
A213	
PURPOSE OF ISSUE PERMIT SET	
SCALE 1/4"=1' @ 11X17	DATE 23 MAR 2022
	REVISION -

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
CURRENT OWNER: 2317 M ST LLC ID 2021-34897
REFERENCE: PLAT BY T. CRAWFORD REDD, SEPT. 10, 1915. D.B. 236D, PG. 398

LINE	BEARING	DISTANCE
L1	S39°09'34"W	75.00
L2	N50°50'26"W	1.50

24TH STREET

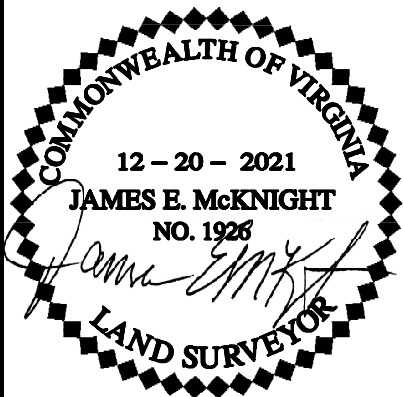


*** PROPERTY LINE SHOWN IN ERROR
SURVEY BY W.W. LA PRADE & BROS.
MAY 6, 1940 - D.B. 421A, PG. 131

M STREET

TIE DISTANCE OF 28.50' SHOWN IN ERROR
ON SURVEY BY W.W. LA PRADE & BROS.
MAY 6, 1940 - D.B. 421A, PG. 131

PLAT SHOWING IMPROVEMENTS
ON No. 2317 M STREET, IN THE
CITY OF RICHMOND, VIRGINIA.



THIS IS TO CERTIFY THAT ON DECEMBER 20, 2021, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS SURVEY IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS.

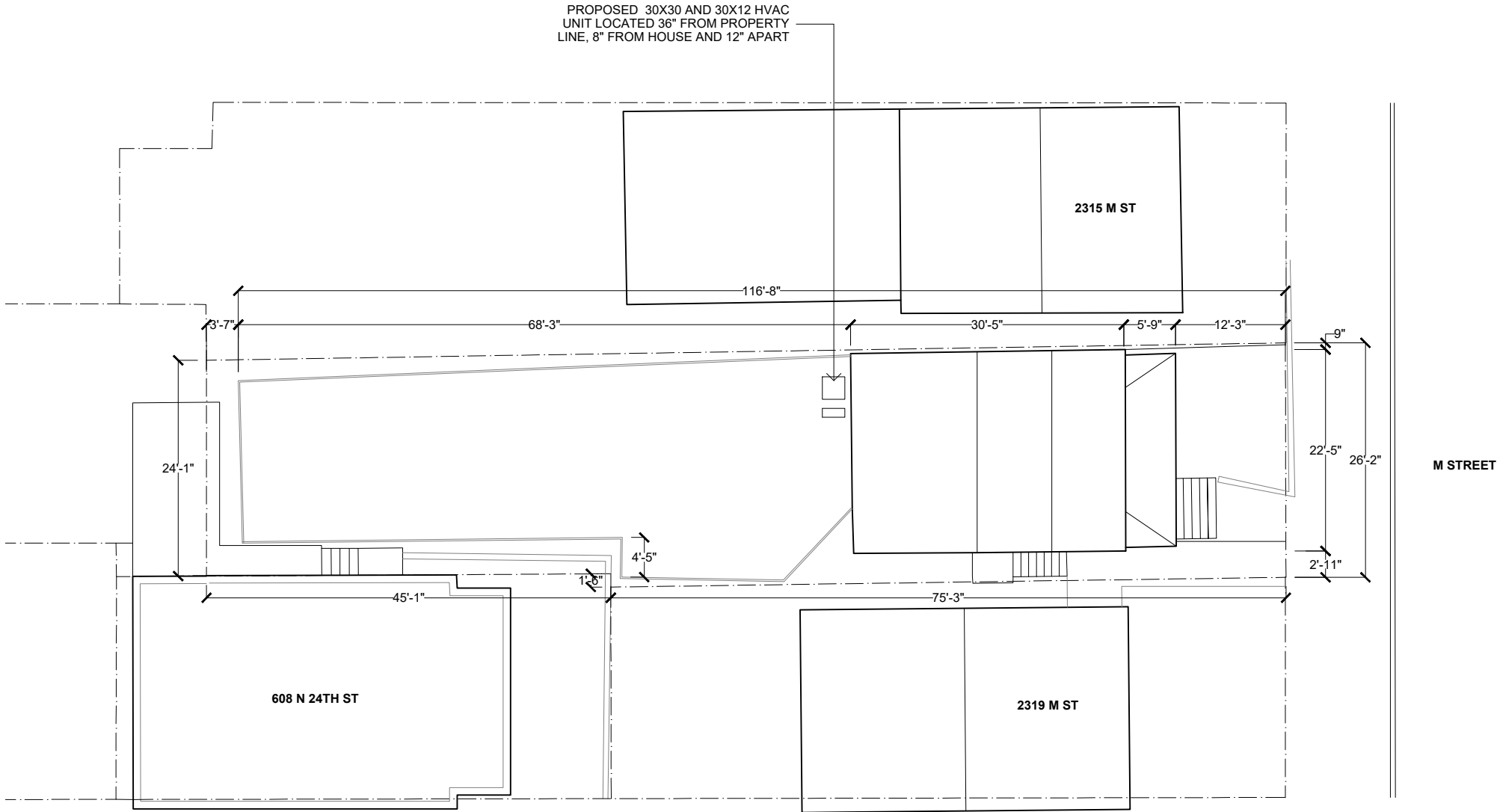
SCALE: 1" = 25'



201 TWIN RIDGE LANE
RICHMOND, VIRGINIA 23235
TELEPHONE (804) 320-2646

JOB NUMBER: 89052817

1. PROPOSED SITE PLAN



M STREET

2317 M Street
Richmond, Virginia 23223

KEY PLAN:

REVISION:

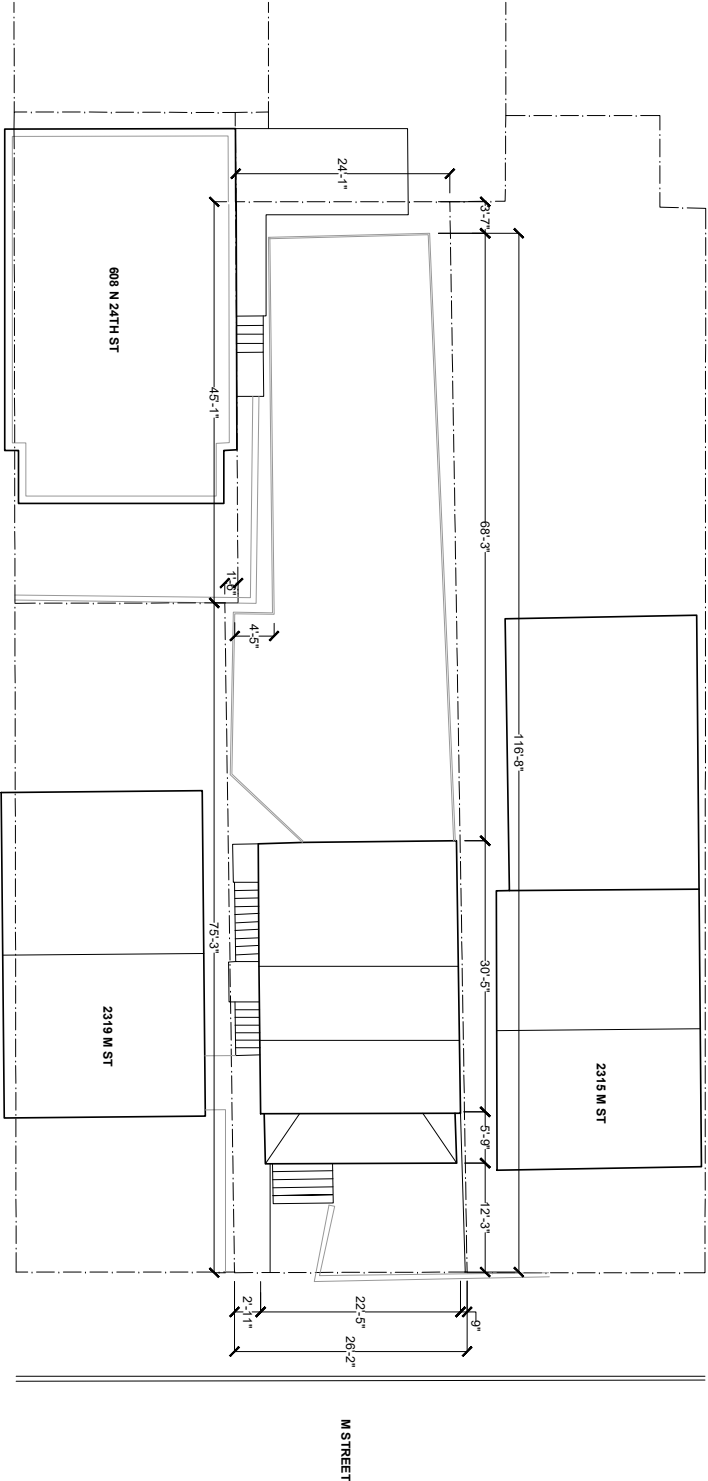
NOTES:

PROJECT 2317 M STREET	
DRAWING TITLE PROPOSED SITE PLAN	
A002	
PURPOSE OF ISSUE -	
SCALE 1:16 @ 11X17	DATE 23 MAR 2022
DRAWN BY CO	REVISION -



2317 M Street
Richmond, Virginia 23223

KEY PLAN:



1. EXISTING SITE PLAN



<div>PROJECT</div> <div>2317 M STREET</div> <div>DRAWING TITLE</div> <div>EXISTING SITE PLAN</div> <div>A001</div> <div>PURPOSE OF ISSUE</div> <div>-</div> <div>SCALE</div> <div>1/8" @ 11X17</div> <div>DRAWN BY</div> <div>CO</div>		<div>DATE</div> <div>22 JAN 2022</div> <div>REVISION</div> <div>-</div>
NOTES:		
REVISION:		



2317 M Street
Richmond, Virginia 23223

KEY PLAN:

REVISION:

NOTES:

6'-9" CEILING HEIGHT

PROJECT

2317 M STREET

DRAWING TITLE

EXISTING BASEMENT PLAN

A100

PURPOSE OF ISSUE

-

SCALE

1/4"=1' @ 11X17

DATE

22 JAN 2022

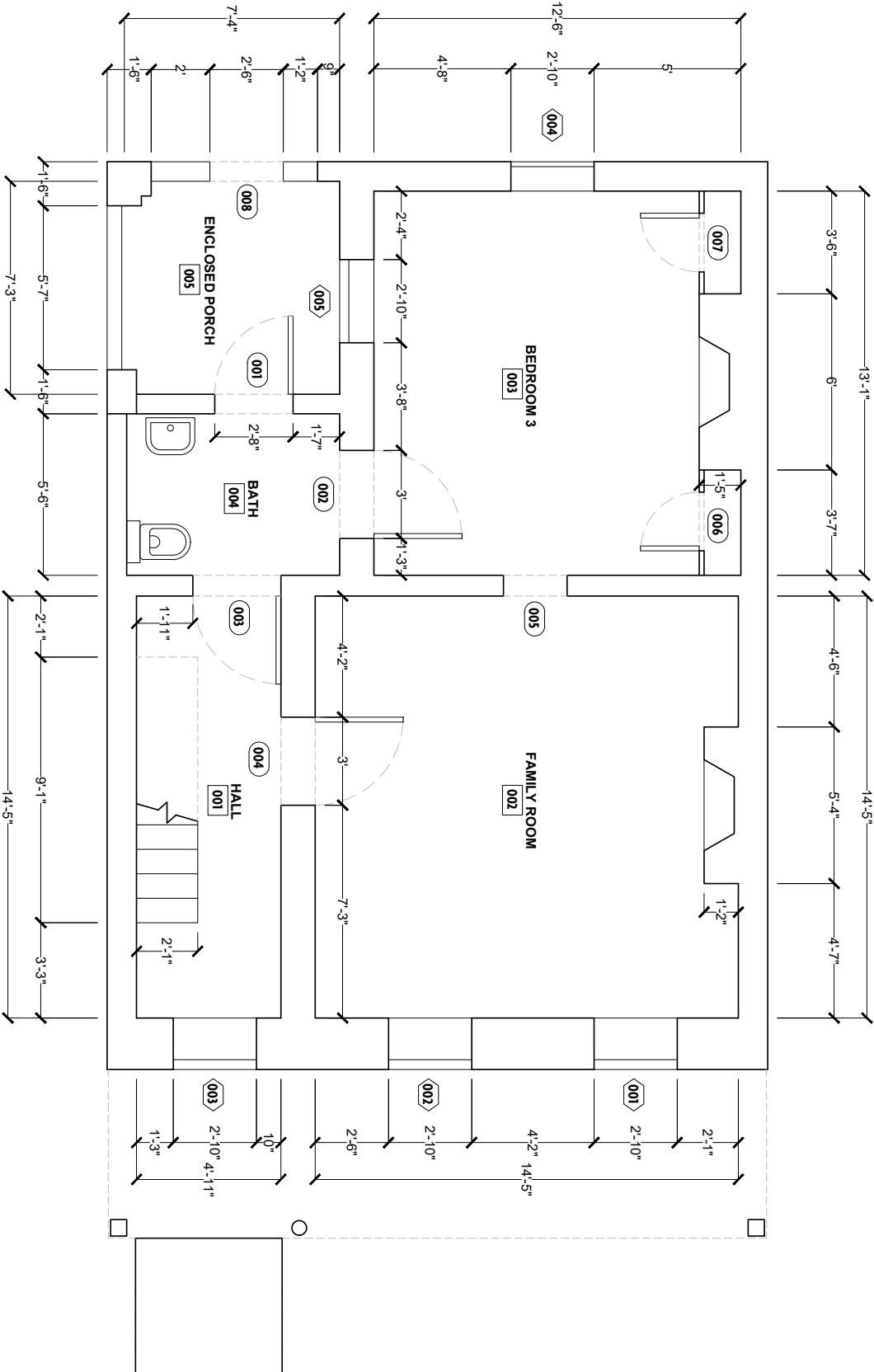
DRAWN BY

CO

REVISION

-

1. EXISTING BASEMENT PLAN





2317 M Street
Richmond, Virginia 23223

KEY PLAN:

REVISION:

NOTES:
9'7" CEILING HEIGHT

PROJECT
2317 M STREET

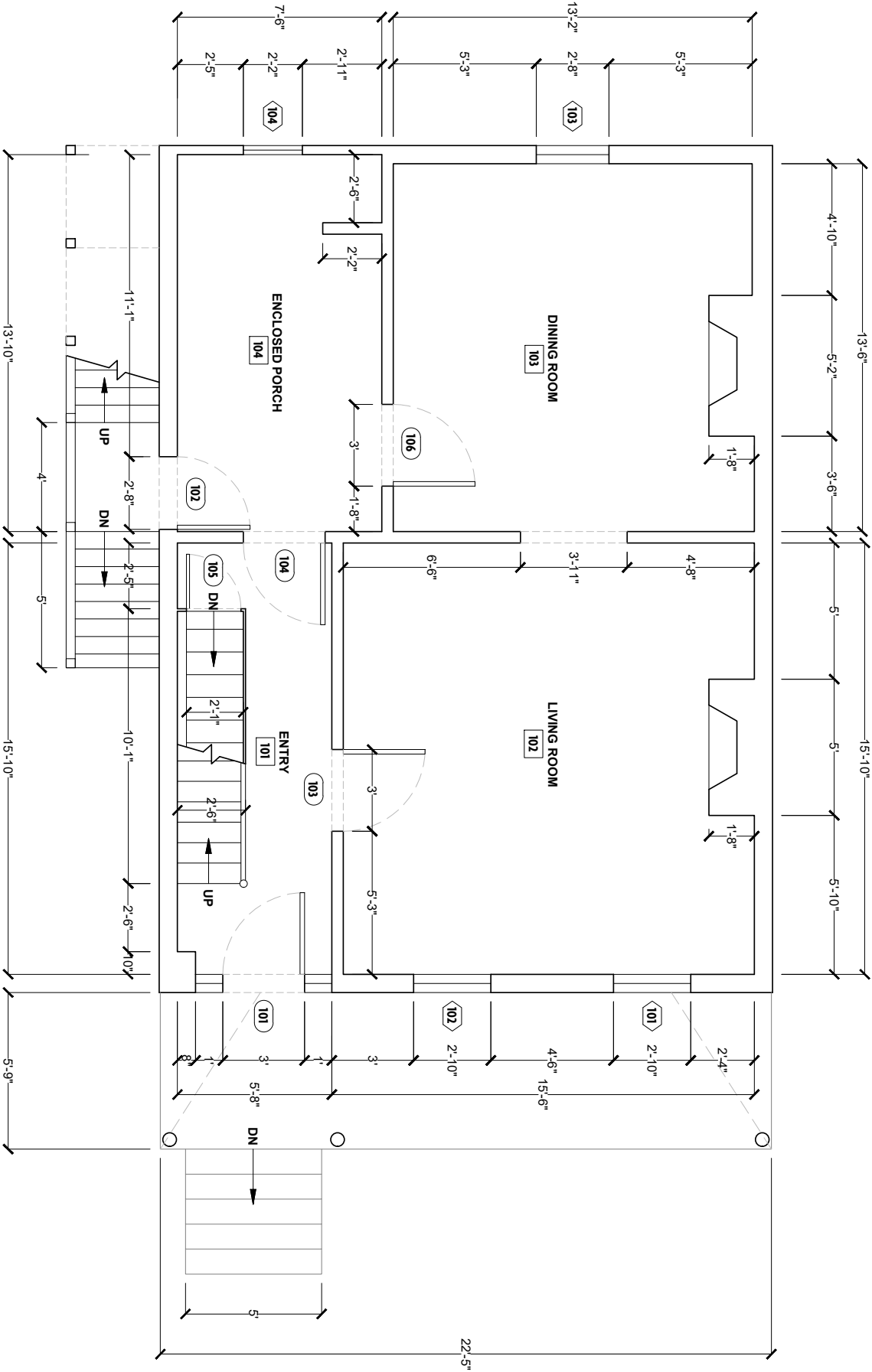
DRAWING TITLE
EXISTING GROUND FLOOR PLAN

A101

PURPOSE OF ISSUE

-

SCALE	DATE
1/4"=1' @ 11X17	22 JAN 2022
DRAWN BY	REVISION
CO	-



1. EXISTING GROUND FLOOR PLAN



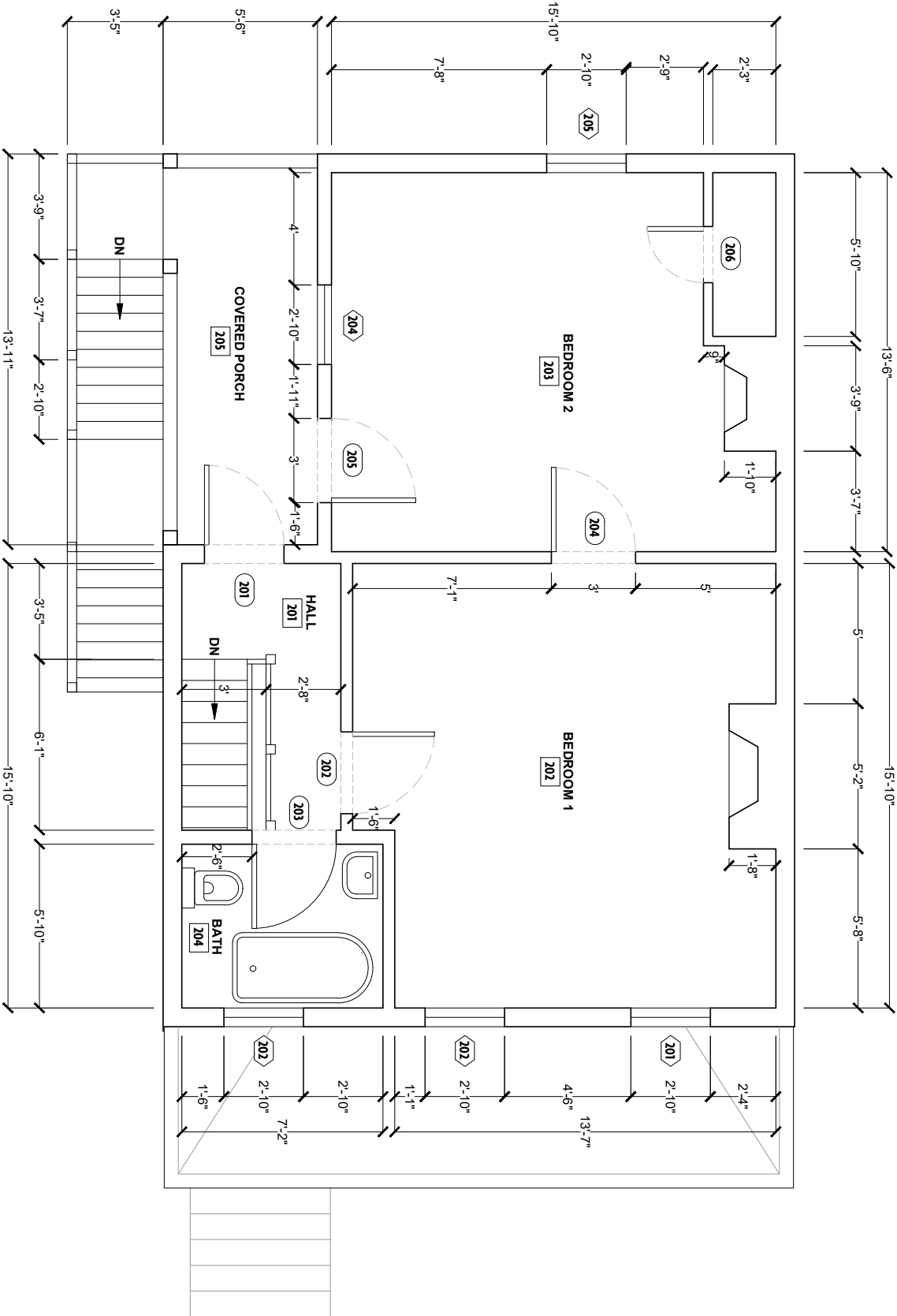
2317 M Street
Richmond, Virginia 23223

KEY PLAN

REVISION:

NOTES:
7'-6" CEILING HEIGHT

PROJECT 2317 M STREET	
DRAWING TITLE EXISTING SECOND FLOOR PLAN	
A102	
PURPOSE OF ISSUE -	
SCALE 1/4"=1' @ 11X17	DATE 22 JAN 2022
DRAWN BY CO	REVISION -

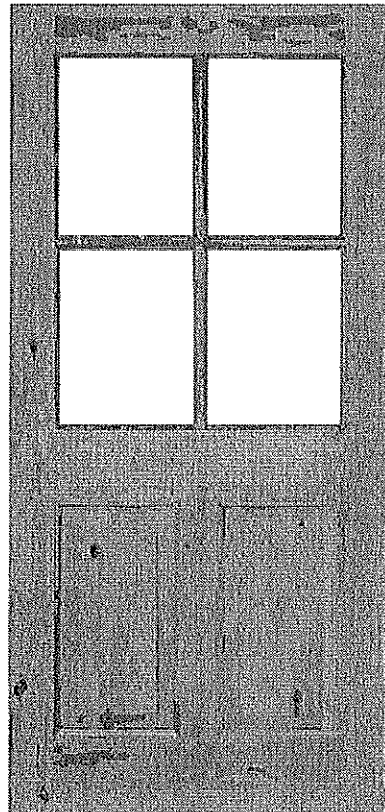


Example of bracketed roof overhang at side door





Close X

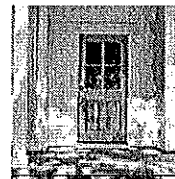
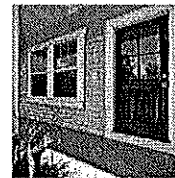
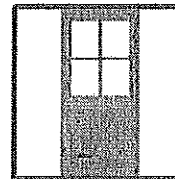


Hover Image to Zoom

36 in. x 80 in. Rustic Knotty Alder 4-Lite Clear Glass 2-Panel Unfinished Wood Front Door Slab

by **Krosswood Doors**

Product Images



Live Chat



Front elevation

Shows existing aluminum and metal siding.
All windows on the front are original.



Rear Elevation

Second floor and basement level have original windows. Doorway at basement level is into a storage area, under the original first floor porch, already enclosed previously. Note hanging gutter at roof line.



East Elevation

Shows modern staircase to second floor, which will be removed, and replaced with stairs and landing at first floor side door.



West Elevation

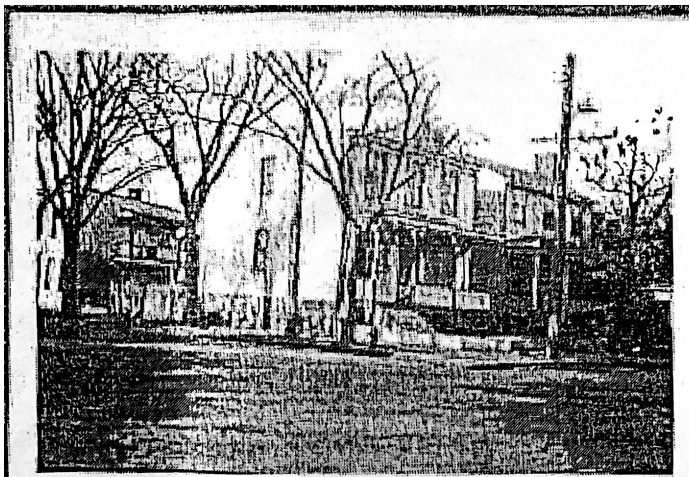
Brick retaining wall to remain, metal and vinyl replaced with siding to match original.



12:30 PM

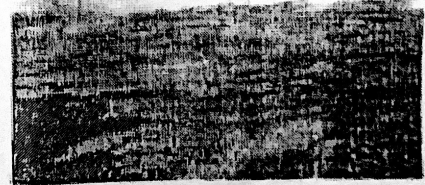
2317 M Street 1950s.png

Historic photos from the 1950's, showing wooden steps up to the current porch, and wooden siding.



2317 - 7th St. S. May 1857.22.78

From the Varenine files
Subject w/o wall
w/ clapboard & wood steps →



2317 - 7th St. S. May 1857.22.78

Windows:

001 Original window, restore
002 Original window, restore
003 Original window, restore
004 Original window, restore
008 Door missing, replace with original window 005

101 Original window, restore
102 Original window, restore
103 Replacement window (one over one) to be removed, replace with 6 over 6 wooden sash to match original
104 Replacement window (one over one) to be removed, replace with 6 over 6 wooden sash to match original

201 Original window, restore
202 Original window, restore
203 Original window, restore
204 Original window, remove, restore, and use for window 204 proposed on rear

Doors:

009 New Door: two panels in bottom, 4-lite above, see proposed spec. sheet
101 French door replacement existing, will replace with new four-panel wood door to match existing exterior door @102.
102 Original four panel door chopped off to fit irregular doorway. Replace with New Door: two panels in bottom, 4-lite above, see proposed spec. sheet
201 Four-Panel exterior door, restore and re-use as interior door.
205 Four-Panel exterior door, restore and re-use as interior door.