AN ORDINANCE No. 2022-095

To authorize the special use of the property known as 933 West Grace Street for the purpose of a mixed-use building containing up to 21 dwelling units and commercial space, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality by the City Attorney

PUBLIC HEARING: APR 11 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 933 West Grace Street, which is situated in a B-4 Central Business District, desires to use such property for the purpose of a mixed-use building containing up to 21 dwelling units and commercial space, which use, among other things, is not currently allowed by section 30-440.3(3), concerning rear yards, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES:	9	NOES:	0	ABSTAIN:	
		_			
ADOPTED:	APR 11 2022	REJECTED:		STRICKEN:	
-				-	

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

- (a) Subject to the terms and conditions set forth in this ordinance, the property known as 933 West Grace Street and identified as Tax Parcel No. W000-0468/004 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled "Plat Showing #931 & #933 W. Grace Street, Richmond, Virginia, Surveyed for Switzerland Town, LLC," prepared by Baseline Land Surveying, and dated July 16, 2020, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as "the Property," is hereby permitted to be used for the purpose of a mixed-use building containing up to 21 dwelling units and commercial space, hereinafter referred to as "the Special Use," substantially as shown on the plans entitled "931-933 W Grace St, Richmond VA 23220 USA," prepared by Walter Parks Architect, and dated January 21, 2022, and hereinafter referred to as "the Plans," copies of which are attached to and made a part of this ordinance.
- (b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as "the Owner." The conditions contained in this ordinance shall be binding on the Owner.
- § 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:
- (a) The Special Use of the Property shall be as a mixed-use building containing up to 21 dwelling units and commercial space, substantially as shown on the Plans. The first floor commercial space shall contain non-residential uses permitted by the underlying zoning district in which the Property is situated.

- (b) No off street parking shall be required for the Special Use.
- (c) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.
- (d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.
- (e) The height of the Special Use shall not exceed four stories, substantially as shown on the Plans.
- (f) No fewer than seven bicycle parking spaces shall be provided, substantially as shown on the Plans.
- § 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:
- (a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.
- (b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.
- (c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

- (d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.
- (e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.
- § 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:
- (a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.
- (b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.
- (c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.
- (d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.
- (e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as

amended, and all future amendments to such laws. Failure to comply with the terms and conditions

of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2020), as amended, and all future amendments to such law, or any other applicable

laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit

granted hereby becomes null and void, whether as a result of the Owner relinquishing this special

use permit in a writing addressed to the Director of Planning and Development Review or

otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed

for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building

permit substantially in accordance with the Plans for the Special Use subject to the terms and

conditions set forth in this ordinance. An application for the building permit shall be made within

730 calendar days following the date on which this ordinance becomes effective. If either the

application for the building permit is not made within the time period stated in the previous

sentence or the building permit terminates under any provision of the Virginia Statewide Building

Code, this ordinance and the special use permit granted hereby shall terminate and become null

and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

andin D. Ril

City Clerk



2022-037



City of Richmond

900 East Broad Street 2nd Floor of City Hall Richmond, VA 23219 www.rva.gov

Item Request

File Number: PRE.2022.0023

O & R Request

DATE: February 14, 2022 **EDITION:**1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)

(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer Lincoln Saunders

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic

Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 933 West Grace Street for the purpose

of a mixed-use building, containing up to twenty-one dwelling units and commercial space,

upon certain terms and conditions.

ORD. OR RES. No.

PURPOSE: To authorize the special use of the property known as 933 West Grace Street for the purpose of a mixed-use building, containing up to twenty-one dwelling units and commercial space, upon certain terms and conditions.

REASON: The applicant is requesting a Special Use Permit which would allow for a mixed use building including multi-family and commercial uses within a B-4 Central Business zoning district. While the proposed uses are currently permitted within the B-4, the use does not meet certain feature requirements within the B-4 district, including Rear yard depth requirements. A Special Use Permit is therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its April 4, 2022, meeting.

File Number: PRE.2022.0023

BACKGROUND: The property is located in the VCU neighborhood on West Grace Street, between North Harrison and Shafer Streets. The property is currently a 4,150 sq. ft. building on a 6,379 sq. ft. (.15 acre) parcel of land. The application is for a four story, mixed use building.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Destination Mixed Use. This designation is defined as a "Key gateways featuring prominent destinations, such as retail, sports venues, and large employers, as well as housing and open space."

Primary Uses: Retail/office/personal service, multi-family residential, cultural, and open space.

Secondary Uses: Institutional and government. (p. 64)

The surrounding land uses include mixed-use residential and commercial with some institutional uses to the in the vicinity, especially along Broad Street to the north. The current zoning for this property is B-4 Central Business zoning district. Adjacent properties to the east north, and west are located within the same B-4 Zone. Properties adjacent and directly to the south are zoned R-73 Multifamily Residential District. The density of the proposed development is approximately 140 units per acre.

FISCAL IMPACT / **COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$2,400 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: March 14, 2022

CITY COUNCIL PUBLIC HEARING DATE: April 11, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission

April 4, 2022

AFFECTED AGENCIES: Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
http://www.richmondgov.com/

Application is hereby submitted for: (check one)		
☑ special use permit, new☐ special use permit, plan amendment		
☐ special use permit, plan amendment ☐ special use permit, text only amendment		
in special use permit, text only amendment		
Project Name/Location		
Property Address: 931-933 W. Grace Street, Richmond, VA 23230		Date: 5/12/2021
Tax Map #: W0000468004 Fee: \$2,400.00		
Total area of affected site in acres: 0.146		<u> </u>
(See page 6 for fee schedule, please make check payable to the "City	of Richmond")
Zoning		
Current Zoning: B-4 - Business		
Existing Use: 426-B Restaurant/Bar		
Droposed Use		
Proposed Use (Please include a detailed description of the proposed use in the requi Addition of three new stories of multi-family residential space atop an existing		
Existing Use: Restaurant/bar; the current tenant upfits are not a part of the		an building. The building will have 21 drills
Is this property subject to any previous land use cases?		
Yes No		
If Yes, please list the Ordinance Number:_		
Applicant/Contact Person: T. Preston Lloyd, Jr.		
Company: Williams Mullen		
Mailing Address: 200 S. 10th Street, Suite 1600		
City: Richmond Telephone: _(804) 420-6615	State: VA	Zip Code: <u>23219</u>
Telephone: _(804) 420-6615	Fax: _() N/A
Email: plloyd@williamsmullen.com		
Property Owner: Switzerland Town LLC		
If Business Entity, name and title of authorized signee: A	ıntar Abouzakı, Manaç	ger
(The person or persons executing or attesting the execution of this Ap	onlication on behalf	of the Company certifies that he or
she has or have been duly authorized and empowered to so execute o	•	of the company certifies that he of
Mailing Address: 807 E. Parham Road		
City: Richmond	State: <u>VA</u>	Zip Code: <u>23227</u>
Telephone: _(<u>804</u>) <u>519-8548</u>	Fax: _() <u>N/A</u>
Email:		
Property Owner Signature:		
T. Preston Lloyd, Jr., Acting Under	er Special Power of	f Attorney
The names, addresses, telephone numbers and signatures of all owners	s of the property ar	e required. Please attach additional

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or

photocopied signatures will not be accepted.

WILLIAMS MULLEN

Direct Dial: 804.420.6615 plloyd@williamsmullen.com

August 3, 2021

VIA E-MAIL

City of Richmond Department of Planning and Development Review Land Use Administration Division 900 E. Broad Street, Room 511 Richmond, Virginia 23219 Attn. Richard Saunders, Secretary, Planning Commission

Re. Applicant's Report | Special Use Permit Application 931-933 W. Grace Street, W0000468004

Ladies and Gentlemen:

This firm is counsel to Switzerland Town LLC, a Virginia limited liability company (the "Applicant"), on whose behalf we submit the enclosed materials referenced on Exhibit A (collectively, the "Application") for authorization of the special use of certain property further described herein pursuant to Section 30-1050.1 *et seq.* of the Code of the City (the "Code"). This letter will serve as the Applicant's Report.

Subject Property

The subject property, presently owned by the Applicant, is 0.146 acres, more or less, known as 931-933 W. Grace Street, Richmond, Virginia 23220, located near the corner of W. Grace Street and N. Harrison Street in the City of Richmond, Virginia, as depicted immediately below (the "Property").



Current Use & Zoning District Regulation

The Property, designated as B-4 Central Business District on the Zoning Map of the City, is currently improved as a single-story storefront used as a restaurant. Surrounding properties are designated as B-4 along W. Grace Street and R-73 to the rear across an alley, as shown on the Zoning Map excerpted immediately below. The Property's frontage on W. Grace Street is designated on the Zoning Map of the City as "priority street" frontage.



Proposed Special Use

Consistent with the site plan enclosed herewith (the "Site Plan"), the Applicant proposes the addition of 3 new stories of multi-family residential use comprised of 21 units atop an existing single-story commercial building located on the Property. This use is permitted as a matter of right within the B-4 district.

In connection with its special use of the Property, the Applicant requests relief from the rear yard setback requirement imposed by the Code. Per Section 30-440.3(3), the Property is subject to a 20-foot rear yard setback requirement due to the proximity of land zoned R-73 located immediately across the alley at the rear of the parcel. The Applicant proposes a rear yard setback of _____ feet, as shown on the Site Plan.

Conformance with Master Plan

The proposed special use of the Property conforms to the City's Master Plan, approved in the form of the Richmond 300 Master Plan (the "Master Plan"). According to the Master Plan, Richmond

City of Richmond Department of Planning and Development Review August 3, 2021 Page 3

300 intends the Property to be part of the VCU National/Regional Node. VCU's Monroe Park Campus anchors a cluster of shopping, dining, and housing for students and neighborhood residents alike. Further, the Richmond 300 Future Land Use Map categorizes the Property as Destination Mixed-Use. The Master Plan provides that areas designated Destination Mixed-Use are intended to be key gateways featuring prominent destinations, including retail and housing. Development in Destination Mixed-Use areas are recommended to include a mix of commercial and residential buildings with features that encourage walking, and buildings that are generally at least five stories tall. These vertically mixed-use buildings require commercial ground floor uses on street-oriented commercial frontages. The Property is currently comprised of a single-story commercial building used as a restaurant. Since the proposed development shown on the Site Plan would add three new stories of 21 multi-family residential units to the current building, the proposed development enhances the ability of the Property to achieve the future Destination Mixed-Use concept that the Master Plan outlines.

Additionally, residential units can be developed through compatible infill development and developing two to three stories of residential above existing commercial structures. New infill development incorporates high-quality architecture, complements the character of historic buildings, and matches the intensity of existing buildings with active ground floor uses that enliven the sidewalks. Given the location of the Property in the VCU National/Regional Node, the proposed infill development fits within the goals of the Master Plan as it would modernize the current building, provide additional housing, and maintain an active and engaged street front with a restaurant on the first floor. Further, since the Property is located on "priority street" frontage, deviation from the rear yard setback requirement set forth under Sec. 30-440.3(3) of the Code would improve the design and function of the development.

Charter Requirements

Based on the foregoing, the proposed use on the Property meets the criteria set forth in Section 17.11(b) of the Charter of the City that the Application is not (i) detrimental to the safety, health, morals and general welfare of the community involved; (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved; (iii) create hazards from fire, panic or other dangers; (iv) tend to cause overcrowding of land and an undue concentration of population; (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or (vi) interfere with adequate light and air.

Conclusion

The proposed special use of the Property, i.e., deviation from the rear yard setback requirement imposed by the Code, would further catalyze the ability to achieve the goals of the Master Plan. A reduction in the rear yard setback requirement would advance the land use policy priorities of City Council evidenced in the Master Plan, as authorized by the Charter of the City.

City of Richmond Department of Planning and Development Review August 3, 2021 Page 4

Thank you for your consideration of this matter. Please confirm your determination that the Application has been received and deemed complete by your office, and kindly contact us should you have any questions or require additional materials.

Very truly yours,

/s/

T. Preston Lloyd, Jr.

cc. The Hon. Katherine L. Jordan, Councilperson for 2nd District (via email)
Kevin J. Vonck, Ph.D., Acting Director, Department of Planning and Development Review (via email)
Nael Abouzaki (via email)

Enclosures

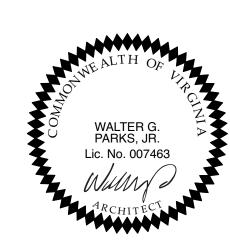
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GENERIC PERSPECTIVE

SHEET LIST

SHEET	NAME	ISSUE NUMBER	ISSUE/REV DATE
G.000	COVER SHEET		
G.001	GENERAL NOTES	01	01/20/22
G.002	COMMON AREAS ANSI ACCESS INFORMATION		
G.003	UNIT ANSI ACCESS INFORMATION		
G.004	FHA ACCESSIBILITY GUIDELINES		
G.005	FHA ACCESSIBILITY GUIDELINES		
G.006	SITE PLAN	01	01/20/22
G.007	GROSS BUILDING AREAS, OPEN SPACE CALCULATIONS, & UNIT COUNTS		
G.008	VERTICAL ASSEMBLIES		
G.009	1:4 INCLINED PLANE AND FENESTRATION CALCULATIONS		
A.101	LIFE SAFETY PLANS		
A.201	FIRST - 3RD FLOOR PLANS		
A,202	4TH AND ROOF PLANS		
A.211.3	FIRST FLOOR UNIT PLAN		
A.212.1.2	SECOND FLOOR UNIT PLAN		
A.212.3	SECOND FLOOR UNIT PLAN		
A.213.1.2	THIRD FLOOR UNIT PLAN		
A.213.3	THIRD FLOOR UNIT PLAN		
A.214.1.2	FOURTH FLOOR UNIT PLAN		
A.214.3	FOURTH FLOOR UNIT PLAN		
A.301	ELEVATIONS		
A.401	SECTIONS		
A.402	STAIRS PLANS & SECTIONS		
A.901	DOOR SCHEDULE		
A.902	WINDOW SCHEDULE		



31-933 W Grace St

REVI	SIONS DATE
TAG	DATE

walter PARKS ARCHITECT

313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 20.30 DATE: 1/21/22

G.000

GRACE PROJECT Analysis

Property Address: 931, 933 W Grace Street Zoning: B-4 - Business (Central Business) Planning District: Near West Traffic Zone: 1097 City Neighborhood Name: VCU Parcel Area: 6378.53 sf (0.146 acres) Parcel Area to midline of street & alley: 5,727sf

DIVISION 22. B-4 CENTRAL BUSINESS DISTRICT

SEC. 30-440.1. PERMITTED PRINCIPAL AND ACCESSORY USES.

The following uses of buildings and premises shall be permitted in the B-4 district.

A plan of development shall be required as specified in this section; construction of any new building of greater than 50,000 square feet of floor area; and construction of any new building or addition to any existing building where vehicular circulation, including driveways, parking areas or loading areas, is to be provided on the site; provided that a plan of development shall not be required for any use that is subject to location, character and extent approval by the city planning commission in accordance with section 17.07 of the City Charter.

(12) Dwelling units, provided that when such units are located within buildings fronting on streets designated as street oriented commercial frontage, a minimum of one-third or 1,000 square feet, whichever is greater, of the floor area of the ground floor of the building shall be devoted to other principal uses permitted in this district, and such uses shall have a depth of not less than 20 feet along the entire street oriented commercial frontage, except for ingress and egress. A plan of development shall be required as set forth in article X of this chapter for construction of any new building containing more than ten dwelling units (Ord. No. 2011-205-2012-1, 1-9-2012)

SEC. 30-440.3. YARDS.

(1) Front Yard.

(c) Where existing buildings are located on both adjacent lots along the same street frontage, the front yard shall be the same as the front yard provided for the existing building closest to the street, but in no case greater than ten feet.

(2) Side yards. No side yards shall be required.

(3) Rear yard. No rear yard shall be required except as provided in subsection (4) of this section, and except that where a rear lot line abuts or is situated across an alley from property in an R or RO district there shall be a rear yard of not less than 20 feet in depth.

(4) Side and rear yards adjacent to shelters. Side and rear yards adjacent to newly constructed buildings or portions thereof devoted to shelters shall be not less than 15 feet in depth.

Sec. 30-440.4. Screening.

(2) Where a use prohibited on a transitional site is situated across an alley from the side lot line of property in an R district, there shall be an opaque structural fence or wall not less than four feet in height erected along the alley line, but not within 15 feet of any street line.

SEC. 30-440.5. FLOOR AREA AND USABLE OPEN SPACE. (See section 30-1220)

- (1) Floor area ratio. The floor area ratio shall not exceed 6.0, provided that additional floor area for non dwelling uses shall be permitted as set forth in section 30-690
- Usable open space ratio. A usable open space ratio of not less than 0.08 shall be provided for newly constructed buildings or portions thereof devoted to dwelling uses or shelters.

Floor area ratio (FAR) means the total square foot amount of floor area on a lot for each square foot of land area. Floor area ratio is determined by dividing the floor area on a lot by the land area attributed to the lot.

Usable open space means that portion of a lot or that portion of a development site which is not covered by building area or vehicular area and including usable roof area and exterior balconies, terraces or patios not covered by enclosed building space.

Usable open space ratio means the total square foot amount of usable open space on a lot for each square foot of floor area on the lot or on the development site. The usable open space ratio is determined by dividing the amount of usable open space by the amount of floor area (devoted to dwellings uses).

Floor Area: Lot area to midline of streets & alley is 5,727sf x 6.0 FAR = 34,362 sf Usable Open Space: Building Area devoted to Dwelling Use (17,812.75 sf) x 0.08 = 1,425.02 sf

SEC. 30-440.6. HEIGHT.

There shall be no maximum height limit in the B-4 central business district, provided that no portion of a building shall penetrate an inclined plane originating at the centerline of each abutting street and extending over the lot at an inclination of one foot horizontal for each four feet vertical and provided, further, that such inclined plane may be penetrated by a building wall adjacent to a street for a horizontal distance not exceeding 50 percent of the length of the property line along such street.

Sec. 30-440.7. Building facade fenestration.

(1) Street level story.

a. Nondwelling uses. For nondwelling uses, a minimum of 60 percent of the building facade between two and eight feet in height along the street frontage shall be comprised of windows or glass doors or both that allow views into and out of the interior building space. Windows used to satisfy this requirement shall have a minimum height of four feet. In the case of a street level story having less than its full height above the mean grade level at the building façade along the street frontage of the lot, a minimum of 30 percent of the building façade above such mean grade level shall be comprised of windows or glass doors or both that allow views into and out of the interior building space, provided that in the case of any portion of a story having less than five feet of its height above the grade level at the building facade along the street frontage of the lot, the requirements of this subsection (1) "a" shall not apply.

b. Dwelling uses. For dwelling uses, windows or glass doors or both that allow views out of the interior of the building space shall comprise a minimum of 30 percent of the building facade between two and eight feet in height along the street frontage. In the case of a street level story having less than its full height above the mean grade level at the building façade along the street frontage of the lot, windows or glass doors or both that allow views out of the interior building space shall comprise a minimum of 15 percent of the building facade above such mean grade level, provided that in the case of any portion of a story having less than five feet of its height above the grade level at the building façade along the street frontage of the lot, the requirements of this subsection (1) "b" shall not apply. In all cases, windows shall be double-hung, single-hung, awning or casement type, and fixed windows shall be permitted only as a component of a system including operable windows within a single wall opening.

(2) Upper stories.

GENERAL NOTES

1. PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE BUILDING CODES.

2. VERIFY EXISTING CONDITIONS, DIMENSIONS AND VERTICAL ELEVATIONS THAT AFFECT THE WORK INDICATED IN THESE DOCUMENTS AND NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES. DISCREPANCIES AND CONDITIONS THAT REQUIRE ADDITIONAL DOCUMENTATION BEYOND THAT SHOWN IN THESE PROJECT DOCUMENTS IN ORDER FOR THE CONTRACTOR TO PERFORM HIS WORK SHALL BE PROVIDED AND INCLUDED IN THE CONTRACTOR'S BASE BID.

3. DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON DRAWINGS SHALL GOVERN. ALL DIMENSIONS ARE TAKEN TO FACE OF STUDS OR EXISTING MASONRY/ CONCRETE OR OTHER EXISTING CONSTRUCTION, UNLESS OTHERWISE INDICATED.

4. OBTAIN AND PAY FOR ALL PERMITS, PROCESS AND COMPLETE ALL INSPECTIONS AND REPORTS, SECURE FINAL BUILDING CODE OFFICIAL SIGN-OFFS AND OBTAIN A CERTIFICATE OF OCCUPANCY. PROVIDE THE OWNER WITH A BONAFIDE RELEASE OF ALL LIENS WITH EACH SUBCONTRACTOR'S SIGNATURE.

5. INSTALL ARCHITECT'S SIGN WITHIN 30 DAYS OF NOTICE TO PROCEED, ADJACENT TO CONTRACTOR'S SIGN OR AS APPROVED BY THE OWNER. ARCHITECT'S SIGN SHALL BE FURNISHED BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN SIGN IN NEAT APPEARANCE THROUGH DURATION OF THE CONTRACT. REMOVE AND TURN OVER SIGN TO THE ARCHITECT AT PROJECT COMPLETION.

6. SCHEDULE A KICK OFF MEETING WITH ARCHITECT, CONTRACTOR AND MAJOR SUBCONTRACTORS TO COORDINATE ALL BUILDING SYSTEMS.

7. PROVIDE ALL TEMPORARY FACILITIES AND UTILITIES REQUIRED FOR COMPLETION OF THE PROJECT.

8. IF LEAD PAINT IS ENCOUNTERED, COMPLY WITH OSHA 29CFR 1926.62

9. PROTECT ALL EXISTING ELEMENTS AND FINISHES TO BE SALVAGED. REUSED OR MAINTAINED, FROM DAMAGE. REPAIR DAMAGE TO EXISTING BUILDING FROM CONSTRUCTION ACTIVITIES TO LIKE NEW OR ORIGINAL CONDITIONS WITHOUT ADDITIONAL COSTS TO THE OWNER.

10. ISOLATE CONSTRUCTION ACTIVITIES FROM OCCUPIED AREAS, PARKED VEHICLES, ADJACENT BUILDINGS OR PROPERTY FOR NOISE, DUST, HEAT LOSS AND GENERAL ACCESS.

11. KEEP CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS AT ALL TIMES.

12. PROVIDE A SUBMITTAL/ SHOP DRAWING LOG WITHIN 30 DAYS OF NOTICE TO PROCEED TO THE ARCHITECT. LOG MUST INDICATE ANTICIPATED DATES FOR DESIGN PROFESSIONAL REVIEW. PROVIDE SHOP DRAWINGS AND/ OR SUBMITTALS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION OF ALL ITEMS. PRIOR TO SUBMITTING SHOP DRAWINGS AND SUBMITTALS, REVIEW EACH ITEM FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. ALL SUBMITTALS SHALL BE FOR PRODUCTS SPECIFIED OR INDICATED. SUBSTITUTIONS MUST BE SO IDENTIFIED AND MAY REQUIRE ADDITIONAL REVIEW TIME BY THE ARCHITECT OR

13. ALL ITEMS FOR CONSTRUCTION SHALL BE NEW, UNUSED AND OF HIGHEST QUALITY. INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.

14. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY OR IN ROOF APPLICATIONS (CURBS, BLOCKING ETC.) SHALL BE PRESSURE PRESERVATIVE TREATED.

15. ALL GLAZING SHALL COMPLY WITH HAZARDOUS LOCATION REQUIREMENTS AS INDICATED IN BUILDING CODE.

16. PROVIDE CAULKING BETWEEN DISSIMILAR MATERIALS IN ORDER TO INSURE WEATHER TIGHTNESS, FIRE RATINGS, AND/ OR CONTINUITY OF FINISHES. CAULKING AT ALL JOINTS WHERE FIRE RATINGS ARE REQUIRED SHALL BE FIRE RATED AND COMPATIBLE WITH INDEPENDENT LAB TESTED ASSEMBLY.

17. PROVIDE ADEQUATE FRAMING/ BLOCKING OR CONCEALED SUPPORTS AND FASTENING DEVICES FOR ALL ITEMS TO BE MOUNTED TO THE CEILINGS OR WALLS.

18. EXTEND ALL FLOOR, WALL, AND CEILING FINISHES UNDER OR BEHIND ANY ITEM OF EQUIPMENT, FURNITURE, ETC.

19. SIGNAGE: ALL SIGNAGE FOR FIRE EQUIPMENT SHALL BE PERMANENTLY INSTALLED AND BE READILY VISIBLE ON THE ENTRANCE DOOR. LETTERS MUST CONTRAST WITH THE SIGN BACKGROUND. SIGNAGE MUST BE 4" IN HEIGHT AND SHALL READ "SPRINKLER CONTROL VALVES".

PROVIDE TACTILE WARNING SIGNAGE STATING "EXIT" AT DOORS TO ENCLOSED STAIRWAYS, ADJACENT TO THE LATCH SIDE OF THE DOOR, 60 INCHES ABOVE FINISHED FLOOR TO THE CENTERLINE OF THE SIGN.

20. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF FIRE RATED ASSEMBLIES THAT ARE PENETRATED BY BUILDING SYSTEMS. REPAIR AND/OR FILL ALL VOIDS AND HOLES IN FLOORS, WALLS, CEILINGS, AND ROOFS WITH SOLID MATERIAL TO MATCH ADJACENT CONSTRUCTION, FIRE RATINGS AND PERFORMANCE.

21. PROVIDE 1/8" THICK, 4" TALL BRUSHED ALUMINUM NUMBERS AT EACH APARTMENT ENTRY DOOR, UNLESS OTHERWISE NOTED.

22. WHERE NEW ROOFING IS INDICATED, PROVIDE FLASHING AT ADJOINING STRUCTURES AND PENETRATIONS TO ENSURE THEY ARE WATERTIGHT AND MAINTAIN REQUIRED WARRANTY. UNLESS OTHERWISE INDICATED, EXTEND ROOF MEMBRANE UP THE BACK OF PARAPETS AND UNDER COPINGS TO BUILDING EXTERIOR.

23. BUILDING TO BE WATERTIGHT AGAINST ELEMENTS.

24. WHERE TUBS ARE LOCATED AGAINST FIRE RATED ASSEMBLIES, PROVIDE ADDITIONAL LAYER OF 1/2" GYPSUM TO COVER TUB FLANGE UP TO CEILING.

25. PROVIDE 4" MINIMUM BETWEEN HINGE SIDE OF DOOR OPENINGS AND NEAREST ADJOINING WALL OR PARTITION, UNLESS OTHERWISE NOTED.

26. PROVIDE 1/2" GYPSUM BOARD IN ATTICS ABOVE AND IN LINE WITH DWELLING UNIT SEPARATION WALLS.

27. EACH FINISH SUB-CONTRACTOR SHALL INSPECT THE SUBSTRATE AND DETERMINE THE SUITABILITY FOR THE TYPE OF MATERIAL TO BE INSTALLED. REPORT ALL UNSUITABLE CONDITIONS TO CONTRACTOR FOR CORRECTION. CARPET AND TILE CONTRACTORS SHALL PROVIDE FLASH PATCHING AS REQUIRED FOR A TRUE AND LEVEL FINISH. CLEAN ALL SURFACES TO RECEIVE NEW FINISHES OF FOREIGN MATERIAL THAT WOULD ADVERSELY AFFECT THE APPLICATION AND PERFORMANCE OF NEW FINISHES. COMMENCEMENT OF WORK IS ACKNOWLEDGEMENT OF THE CONTRACTOR'S ACCEPTANCE OF THE SUBSTRATE.

28. COMPLY WITH THE CITY OF RICHMOND CROSS CONNECTION AND BACKFLOW PROGRAM REQUIREMENTS. PROVIDE DETAIL DRAWINGS OF EXISTING UTILITIES AND NEW BACKFLOW AND SPRINKLER INSTALLATIONS TO THE DEPARTMENT OF UTILITIES FOR APPROVAL PRIOR TO INSTALLATION.

29. PROVIDE ALL HOOKUPS REQUIRED FOR INDICATED EQUIPMENT.

30. SPRINKLER SYSTEM SHALL BE PROVIDED ON A DESIGN-BUILD BASIS WITH SHOP DRAWINGS INCLUDING A PROFESSIONAL ENGINEER SEAL FOR APPROVAL BY BUILDING CODE OFFICIAL. SPRINKLER CONTRACTOR SHALL VERIFY THE OWNER'S SPRINKLER SUPERVISION METHOD SELECTION AND COORDINATE WITH THE FIRE ALARM SUB CONTRACTOR. COORDINATE ALL COMPONENTS WITH OTHER TRADES TO MINIMIZE CONFLICTS.

31. PROVIDE PORTABLE FIRE EXTINGUISHER ON EACH COMPLETED FLOOR DURING CONSTRUCTION IN ACCORDANCE WITH NFPA 10 (STANDARDS FOR THE INSTALLATION OF PORTABLE FIRE EXTINGUISHERS).

32. GUARANTEE ALL WORK FOR A MINIMUM PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

GENERAL HAZARD NOTES

1. UNDERGROUND STORAGE TANKS (UST), IF FOUND, ARE TO BE "CLOSED IN PLACE". ANALYZE A MINIMUM OF 8 SOIL SAMPLES ADJACENT TO THE BOTTOM OF THE USTS FOR TOTAL PETROLEUM HYDROCARBON VIA EPA METHOD 8015B.

. REMOVE ALL ABOVE GROUND STORAGE TANKS FROM THE SITE IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE REGULATIONS.

 ASBESTOS-CONTAINING MATERIALS, IF FOUND, ARE TO BE MANAGED UNDER A SITE-SPECIFIC OPERATIONS AND MAINTENANCE PROGRAM DEVELOPED IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES BY A LICENSED ASBESTOS PROJECT DESIGNER.

4. LEAD-BASED PAINT, IF FOUND, SHALL BE ENCAPSULATED IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS UNLESS OTHERWISE NOTED. AREAS IDENTIFIED WITH LEAD PAINT SUBJECT TO PAINT REMOVAL SHALL BE PERFORMED IN A CONTROLLED MANNER PER OSHA 29 CFR 1926.62.

5. POLYCHLORINATED BIPHENYLS - PCB CONTAINING LIGHT BALLASTS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL APPLICABLE REGULATIONS BY AN ELECTRICAL CONTRACTOR FAMILIAR WITH PCBS.

6. ALL AREAS CONTAINING PIGEON GUANO SHALL BE PROPERLY CLEANED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

SANITARY SEWER AND STORM SEWER NOTES

1. BASED ON CITY GIS THE EXISTING BUILDING IS SERVED BY THE CSS FROM THE ALLEY OFF N. HARRISON STREET. THE SEWER MAIN IN N. HARRISON STREET IS A 20"X30" (EG)BR. THE PROPOSED 21 ONE BEDROOM UNITS WILL GENERATE 200 GPD EACH. THIS EQUATES TO A PEAK FLOW OF 0.014 MGD OR 0.064 CFS. THE EXISTING RESTAURANT WILL REMAIN AT ITS SAME FLOW RATE. PRIOR TO APPLYING FOR ANY PERMITS. ENGINEER TO CONFIRM SEWER SIZE. PIPE MATERIAL, AND PIPE CAPACITY DURING SITE CONSTRUCTION PLAN REVIEW.

>2. A FULLY ENGINEERED SITE CONSTRUCTION PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO APPLYING FOR ANY PERMITS. THE CONSTRUCTION PLAN SHALL INCLUDE EXISTING AND POST DEVELOPMENT SANITARY SEWER AND STORMWATER FLOW RATES. EXISTING AND PROPOSED SANITARY SEWER QUANTITIES SHALL ALSO BE PROVIDED.

PROJECT SCOPE

THIS PROJECT IS THE ADDITION OF THREE NEW STORIES OF MULTI-FAMILY RESIDENTIAL SPACE ATOP AN EXISTING SINGLE-STORY COMMERCIAL BUILDING ON WEST GRACE STREET IN THE FAN DISTRICT. THE BUILDING WILL HAVE 21 UNITS. THE EXISTING COMMERCIAL TENANT SPACE(S) UPFITS ARE NOT PART OF THIS SCOPE.

SEWER UTILITY MAP

PROJECT DIRECTORY

Switzerland Town LLC

Walter Parks Architect Contact: Walter Parks 313 North Adams Street Richmond, VA 23220 804.644.4761

Civil Engineer HG Design Studio Contact: Edward Glass

5701 Grove Avenue Richmond, VA 23226 804.740.7500

Structural Engineer Balzer & Associates Contact: Randy Tritt

Midlothian, VA 23113? 804.794.0571

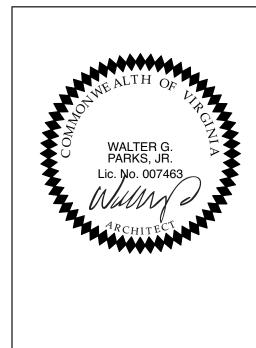
MEP Engineer O'Neil Engineering Services Contact: Patrick O'Neil 2420 New Dorset Terrace Powhatan, VA 23139 804.921.3589

ZONING MAP

VICINITY MAP



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REVISIONS TAG DATE 01 01/20/2022 walter PARKS ARCHITECT 313 N. ADAMS STREET RICHMOND, VIRGINIA 23220

t: 644-4761 / f: 644-4763

PROJECT #: 20.30 DATE: 1/21/22

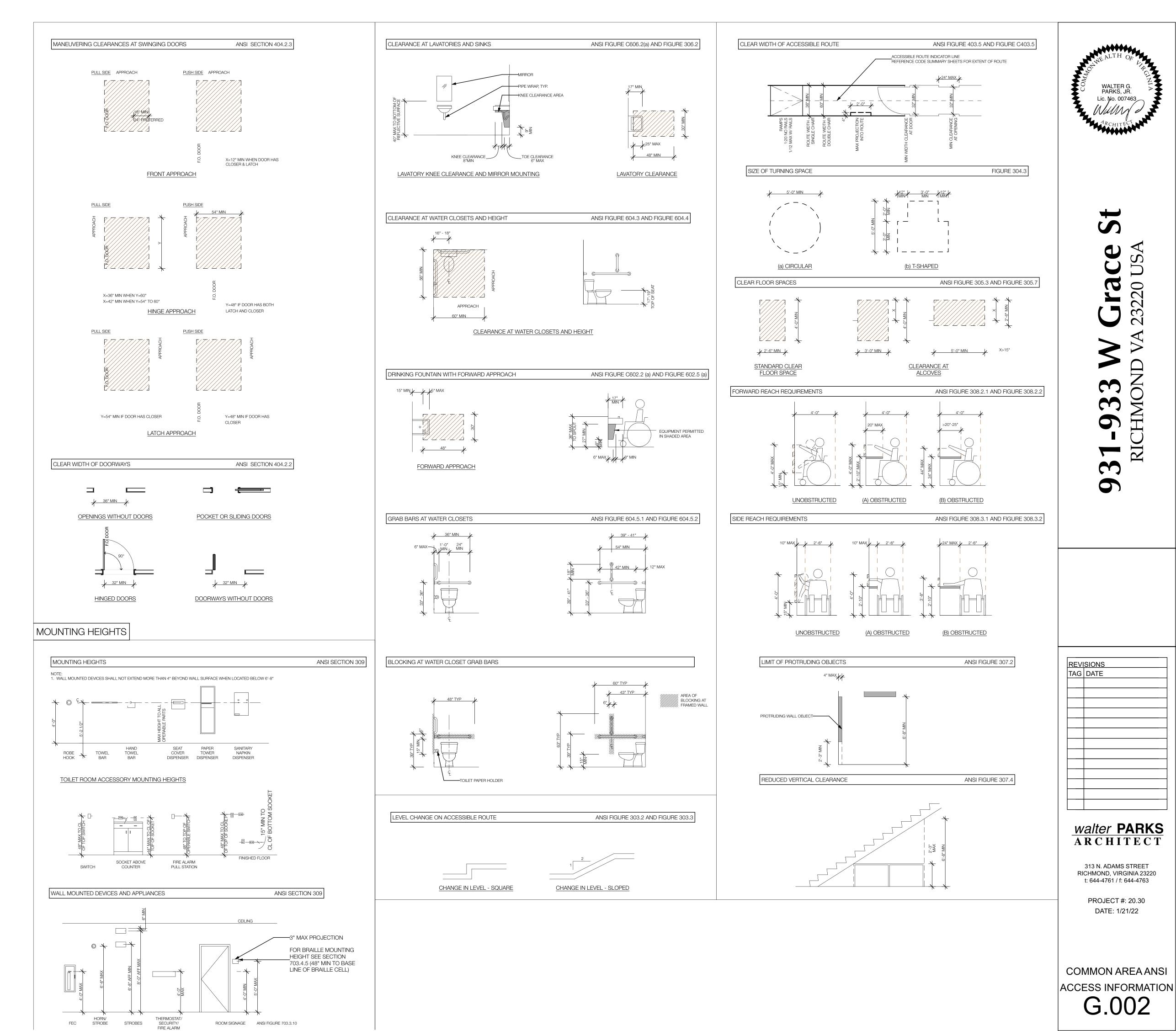
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1 inch = 100 feet

m the use of this map.

GENERAL NOTES



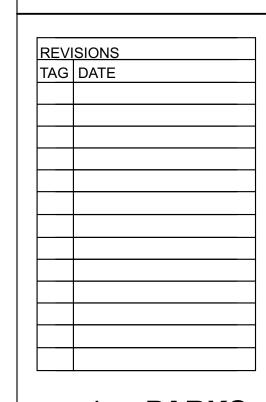


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walter PARKS ARCHITECT

313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

> PROJECT #: 20.30 DATE: 1/21/22

UNIT ANSI ACCESS INFORMATION

<u>HEAD</u>

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INTRODUCTION :

The regulations for the Point Founding Act score But all doors "designed to allow passage into and पर्यानीयोक पर्वेती कुरुरकार्रहरूक साथ हार्यानियरेक्सर्योष्ट्र अन्तर्येक एक वर्गीकुरू passage by ... persons in oderelchairs." The Fair-Housing Act Guidelines (the Guidelines) apply the amplifications to down that are part of an according rouse in public and communities areas of mide buildy housing developments, as well as deces into នាៅ ទៅពីស្ថិត covered ដើមទៅកែខ្លា astila.

Accessible doors in public and common use The Spir Mosning Art and the Guideline cover all decen designed to allow passage into and within all premiers, Flowerer, cloops in public and common use speed and primary carry dance of negative store town roun aims griffing besone regularments for accessibility than doors that are torawa inside each duedling nois. Therefore, to charify this difference, this chapter refers to drops to public and consists use area and pristary entr र्वकरण की २०५८मध्ये वेष्यतीतातु धरावेद प्रश्न २४ ८४ ८४ ६४ doors. Doors which are reserior to the dwelling cuit and which are subject to less earlingent equitenments for accessibility are referred to as asabie doors.

Accessible doors toust from the ANSI 4.15 requirements for clost width, maneuvering thesiances, thresholds, bardware, and opening force. Accordible designates

In Duois clear use years of an accessible route in gubbic and consider use spaces. They backede. but are nea Bushed to, doors residents use to enter haildings and drays hare and wishin thatbouses, public reseasures, laundry moras, and renzal offices.

2. Similarly energy doors to powered abvelling units exterior side only. Entry doors may open from a corridor or looby or can be pressed individual energy. doors somewed diseasty from the number.

ting gailigud, office deed are even studied intended for user passage and many be peoble in same of their opening width. Doors within the usia are not required to need the ANSI 4.53 Doors sequisements for manerowing elegenness, hardwater and opening ferrer but because an amountbly mate most be provided within the unit, thembooks must be low or nonexistent, see Chapter Four: "Accessible Route less and Through the Covered Dwdling Goit."

Crable doors include all secondary exterior क्षेत्रकार को कुल्बाहरूको स्थानित गुरुष चौराम धेराप घरिनाई। derks, basenniez, and puties. Usable doors also include all passage doors within the covered. dwelling mild, such as dears between nyons, doors into welk-to closers, and does into midity/storage. notems or acome that consists vasibles and divers. Not covered are dones to small closers such as Buenclases which typically have shelves within easy. raich. Aba not covered in cloures duran en imilinwithonical closers dedicated apocifically to furnaces or has ware hydress,

i šie addinšam, the Goldvěines also require that usable duers he provided to actual of the awalling that may not be accessible at the complete. non of constructions, such as an configurated basement or a garage attached to a single-many dwelling. unit (in the latter case, another shoe is used for the agraphia entrance). Unable dones at these locations will allow people with suchliky impairments to medify sheir meir letet to provide accessibility to these actus, such as fusiabling a roung from the dweitlieg rank into die garege. Christe doors also we-एक हे जर्द अनुसार का माजनीय होता के बेहर कर प्राप्त के इस का का माजने हुए when may have improved access to such almos,

DESEMAY WINTH AND DEPTH

DOORWAY CLEAR OPENING

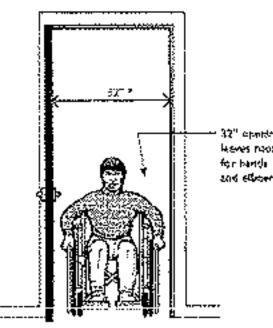
The commonly used binged, folding, or stiding doors installed as the standard manner provide a passage width that is extuored by bord, the door standing his the decrease and door stops, if present. Thus, the available genergy width is less than the शंद्रक भर्द सीहर संस्कृता,

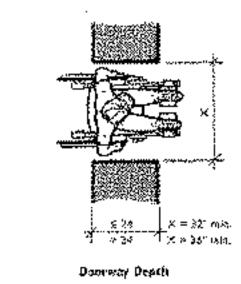
spaces and primary exervidence of dwelling units must provide a clear opening of 12 inches. retainment. This recent the clear opening must not belies than 30 before, but it may be more. The Guidelines show as the doors (secondary excepted doors and doors that allow passage within the dwalling unit) to be a noroheat \$2 inches clear Width, Unide duois are lucerded to provide 34 inches of clear width. But because of portral installation practices, adjacent conditions, variation in produces with as binges, and rhicknesses of amagable majorish, the document may vary force the 3.2-inch effer width by a constitution small enguess. Telegrances of 1/4 inch to 3/8 inch are considered. an acceptable range for avaids doors. This scienasce does not apply to accessible deces-

DOGRWAY DEPTH

la beth politic and common use spaces and within dwelking entits, the wall thickness of all coold openings mins be no greates than 24 inches if the widels of the docement of passage with minimum 32 suches. Coorneys with a depth greater than 24. inches areas he widehed so provide the 36-inch minimum clear width for an accessible room.

> " - 22" elekt minimust for accessible doors 32º continua cicer widen for estible doors





HINGED BOORS, SINGLE-LEAF

the design where standing to a 90-degree open the decreway, the vixe of door used for the main. entry dear must be wide enough so that when open 80 degrees, it provides 62 bathes missimum dess width. Main entry doors to dwelling units: rasy be thicker than doors used within the nair, offen melding it neaessary to leveall a door wide: deen 34 Syches as the main course (In addition,)

Accessible hinged doors to public and common use spaces may be equipped with push har or paulo type inodware even though the har bey prostude is su she 32-inds dest width. The વિકાર્યક્રમાં એક સ્ટાઇન કર્યા છે. તેમ માના કરાવી કોંગ્રેલ લાગ્યાલું છે. approximately 36 inches minimum above the floor) to allow sufficient room for prople pushing होहुस्तर्या क्या का यांब्राकीकार्यक्र विधायकुर्ण महे राज्यक्रि the disserver without catching their arms, shoul deer, we closing on the partie bardware. In no case three the best extend more than 4 lookes from the dent because is then becomes a hazardous protesieing phiest, see ANSI 4.4 Proceeding Objects.

In the interior of dwelling enits it is posible for residents of landlosts to adapt the required so the time of initial construction.

HINGED DOORS, DOUBLE-LEAR

Two nateurs double-lest doors (two binged doors) mounted to a simple frame may be slightly mask difficult to open and closs that a single door. Double-leaf doors can be a useful choice where space for the door swing is lineard and where doors are florly to stand open. If narrow double-leaf Soots are next, the nominal 32-frich clear opening must be extinuited between door faces when in a 90 dagree open position. Where larger double-leaf doughage inscalled, and if only one leaf is arrive. that leaf must be usable, i.e., provide the nominal ACESTON offers represent to

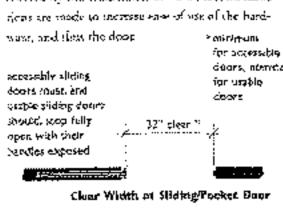
POCKET, SLIDING, AND FOLDING DOORS Porker, disling (e.g., automatic slotling doors at a main entrance), and folding doors may be invalled ीर public and comment use बहुबर बार्ख भा these tyrics must men the secunion requirements of ANSI 4.13 Dones. The following description will focus on this caregory of doors when insufficient thin

Types of Doors

At his god doors the 32-inch opening is measured from the stop on the latch side jamb to the family position. Because the door, when open, tenular in most huilding godes require a 36-inch door at the tosis entry.) Wishin the dwelling ratio, a 34-soch wide door, having in the transland manusco is counted ered a asable done became it provides an "ecceptable" norminal National electroporting of an least 31.

number 32-buck (less opening to create a wider and more esable dourway by installing offset or swing-aleat hinges, by semoving the lower portion. of the door stop, or by thing body Wish standard hings, a door, when open tensing in the door opening; swing-class hinges allow a door to swing completely out of the doorway and increase she clear opening of the donoway. See Product Resource East, Appendix A. for manufacturers of swing-clear langes. Buildean are constoned ship they may not herall a 32-both wide door (which offersively yields a 30 to 30-1 (2 inch optning) and capear residents to make modifications later to hirsy the door up to the 32-inch numbral widek

berling sein. Liptike hioged doors, pecket, sliding, stid Salifang doors, emmarch Estale es eus et all aposa dos floor space and pay thandons be an advertage where planning small rooms. This rategory of doors has addishored formers perceiting to the groups of grave the door protestes within the Abarony and the type of hardware installed. Hardware on familiar develoing unit doors is not concred by the fixedesines; however, recommends. for accessible



installed in packet doors are difficult for reasy

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may be equipped with

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that thereises a 13"

COOTING) opening to

a 3% 0° door is the

nar reviess bi-fold door

that can be possible. and still provide the

accessible minimum

Notes in italia 1990

are recommendation

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3)1 nogranz| clear —-

321 Close spening

цьогожітакейу 361

Cer opening

Measuring Clear Width at Hinged Doors

Use of Swing-Clear Hinger

127 c/ear 7

Clear Width at Accordion-fold Door

Clear Widen as Bl-Fold Door

Usable Stiding/Pocket Door

creestible dotats.

Pocket Doors. The traditional handle and intelle-

people to operate because the bardware is recessed. journ the face of the Gros so the Jane can dide. completely into the wall packet. If stretully monthered, it may be contille to install a \$2-inch. wide pocket dans that yields a zerazinai 32-instrdear opening however, without medifying the door histiwate, the duct is still difficult to open Lecking complete costrol of variables such

at the specific manufacturer's design of the door ancle assembly, the builder's inerallation werbod. the decision to install door stops (which very indisclaness), and other field correlations, it is recognition des descriptions with the street 32. inches be installed. If a 3%-inch wide door is installed, residence may anake the following simple modifications later so the door is excita to operate: add loop bandles on the door and a stop wither theor to prevent the door from Biding so far intothe wall pecket that the handle is tight against the door lamb. This resures that when the door is inthe open gostion she handle will remain exposed and 32 inches will remain clear for passage. Stiding Doors, inerties sliding doors are generally used as closer dinors tince they avoid problems caused by door swings, If installed, each panel or ස්පරු අතුලේ ආහෝද්ර ද හුදුන ඇති දුරුවා පළදුණුණු වේ 21. Jana 32 inches. It is recommended that hopbandles he metalled raiter than the more constitut received finger cups. Exterior sliding doors are discussed on page 5.10.

Folding Doors. Folding doors typically found in divesting units are either accordion or bi-fold. The are saude up of two or more attached or binged ixingly that fold regarder when opened. When which type of door is in the open position, the elect repening is reduced by the thickness of the folded door. Considering this, the emalest doctory in which cithes a bidded essentially or exceedion type done assembly can be installed in 56 inches. To improve the case of use of bi-folding

doors, hope handles can be inscalled in the ος συμπορεκδιώ Ιργαφορίε αν εδιονέα το τόν αδράσετα dealerne. Magnet patches and latches on accordingfolding doors often ore difficult to fine up with the receiving one of the catch for people with any hand or grap lunication

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parch or familia tur-

face, see Chapter 4

clear issece

Usable Stiding Door

Usable Folding Doca

DWELLING UNIT DOORS

PRIMARY ENTRY DOOR

The experient of the primary cutty door of covered dwelling units is part of public and common use ayaces, therefore, it must be on an accessible route and he accessible, i.e., mere the ANSI requirements of 4.13 Doors. This is true both of energy doors. gening off instructionalities arisently of papers containing multiple dwelling units, and of separate execution from gailfowh world barrong regression

Βετωγε μπικεή επιτή δοστι το σύνακο unity must be an an appearable route, thresholds of these doors rause be no higher than 374 inch and wast be headed with a slape no grower then 3:2. See additional discussion of shreebolds and steesable soon at dwelling units on page 4.12.

SECONDARY EXTERIOR DOORS

All secondary experies dones from the same or different reoms that provide passage outo extend darks, pariss, or beleasiles must be usable. For example, if a deck is served by French dwors or other double-leaf doors, and if only one half is sarivo, that leaf must be ossible, i.e., provide a normansi, 32-buga olesa opening, 36 burb kawayara varies, one jeal would out have to provide a nominal 32-inch class opening as long as both Haves, when open, do provido the nominal 52-tich. clear opening.

Since an accessible many cause be provided alternighout the only, thresholds at secretary parties down where historica to a maximum height of 3/4 inch. However, secondary shops that cear once marrior dockur parice, or belony surfaces ste allowed to have a 4-joch maximum step (or more if somitted by local building code) to prevent water inflication at door alls easy while exterior surface is constructed of an impervious staterial such as cohorere, brick, or flagstone. If the exercise anaface et a pervious manerial such as a weed deak. that will death adequately, the deciding must be maintained to within 1/2 inch of the intrater floor Heyel, New Ouspies Fourt "Accessible Route Into and Through the Covered Dwelling Upic."

Stiding glass duers are witen installed as secondary extrict doors. The Guidelines care that "disc nominal 32-inch clear opening provided by a अभाविद्यार (निवार प्रतिविद्य प्रतिविद्य प्रतिविद्या वेदला १४५० विद्यानी है। acceptable." Unfortunately, assety of the seatifuld ti-focu stiding glass door assemblies yield only 4 28-\$72-inch mexicana close opening in the full open.

paintain. Note: 28-1/2 leaches is not att acceptable 32-inch nominal dimension. Builders and product specificis rates candully salica door assemblies that weid the 32-inch comissal electropecting to clear agening from 31-578 to 32 inches at more?, Some economy suppliers have 6-foot stiding plans doeses that will ageer the sequired width. Other assemblies on the market larger than 6 feet also provide the required width. See Product Resource Lutt.

Appendix A.

Where sheing glass doors are used, it also may be necessary to madify the threshold either by yinlong the frame into the floor, or by adding a beveled edge. See Chapter Sour, "Acceptable Boure into and Toyough the Covered Unit' for additional discussion of thresholds along accessible rooms, funds: and leaches on sliding plass doors are often difficult no operate for conscour while any fixed Superation. Although our required by the Cuidelines, but because sliding glass door hardware is range diffimile to prodify at a fater time if needed than hardware on himpal doors, it is reconneeded that looks be installed that can be reised and lowered with a closed fixt or that require no finger manager fairer. When sliding glass doors are temp selected doors with loop handles or large triades to push or ped agains on the casiest to me.

in some parts of the country somethicson or building code requirements may restrict the size. of window or door openings placed in exector. walls. Where it is not many to have a 5-foot wide. क्रमांभावता र पुष्तांक्षम् कर हेवैच प्रकारीकार्य ५-किना प्रवेदन sliding door assembly does not provide adequate passage width, a passage door must still be provided shat will yield the 32-inch nominal clear width. One suggested relacion is to small a 36iach wide full glass swinging door eatquied with as symposiste width süfelight to provide equivalent ा प्रेमारीक होत्रस राज्य कि प्रसारको छिति। वहारो संहरत

 man men ANSI 4.13 Doors · • weathle depre (within insprior of diviting unit) i thuis enewide 32' nominal clear width (see page 3.5 · Bare no additional requirements except few or no chaeshald, see Chapter Four: "Accessible Roots ружбаг порт Span and Through ting Envered State. niterior of primitry

> Accessible and Usable Doors in Buildings Containing Covered Ewelling Units

> > to Operato Recommended

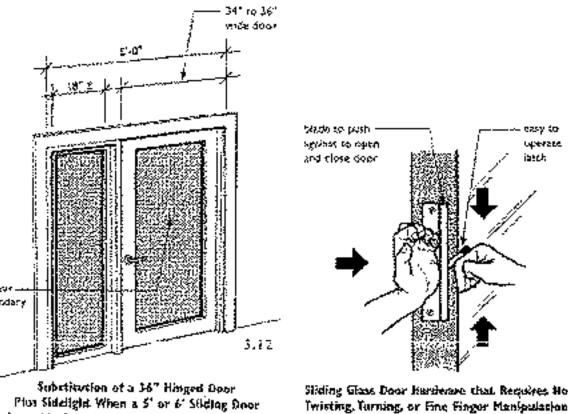
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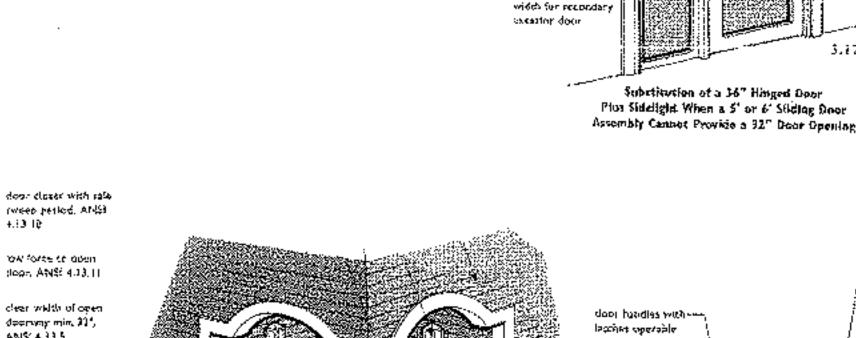
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A eccessible doors (in goolk and common use spaces

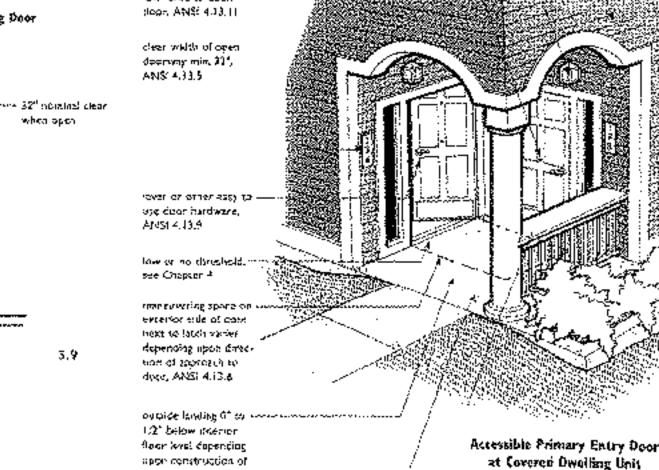
११९ई इस प्रथिति इसेट को कंपनिया अन्ति रूपाए वैकार)

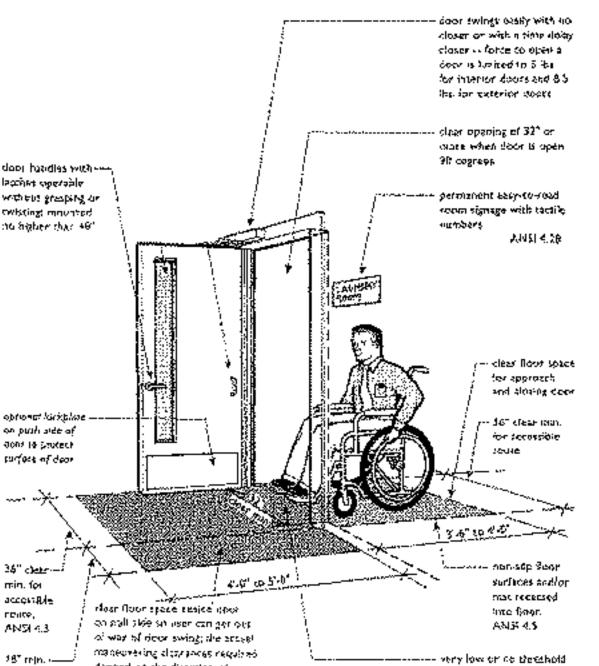
myst przwide 32 mbisnem člest WAR.





See AND 4.13 Doors





Features of ANSI Complying Accessible Boors

sapreach to both sidea of the

Abor, A38\$1 # 12.6

TAG DATE

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walter PARKS ARCHITECT

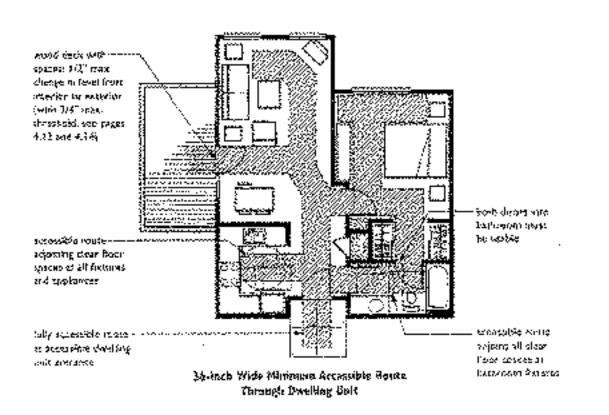
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

PROJECT #: 20.30 DATE: 1/21/22

FHA ACCESSIBILITY GUIDELINES G.004

REQUIREMENT #4 - Accessible Route Into and Through the Covered Dwelling Unit.

FHA ACCESSIBILITY GUIDELINES



Accessible Route onto Baltony
Constructed of Concrete, Brick, or Playstone
May Be Anterrupted by a 4-lock Step

* Step allocation to take to since continue to since con

Suringing Primary Entry Door at Concrete handing showing allowable changes in level at gainest courty doors with direct exterior scoop onto more to or other impervious lending surface where 1/2 inch maximum changes in level are periodical.

1-1/1* relations

12 there remarks the periodical dispersions of the following the periodical dispersions of the following the periodical dispersions of the following the following

-- 2/4° aanemaa

4.13

ACCESSIBLE ROUTEINTO AND TREODOR THE COVERED UNIT

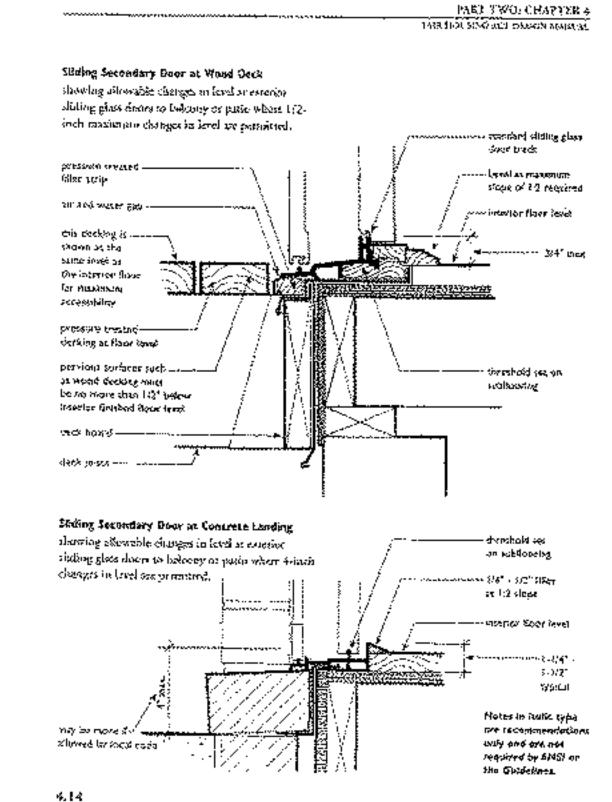
Swinging Succentury Door at Concepts Landing

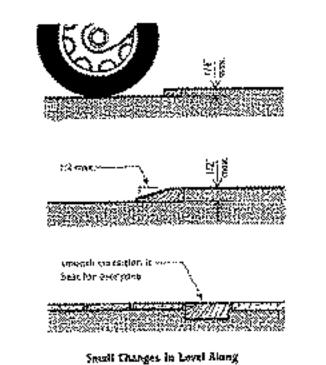
showing allowable changes in level as extensor swinging doors some concent or other impervious (moding applace velocity 4-justs changes in fixed)

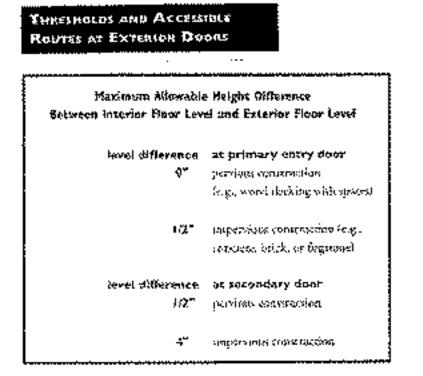
may be blone----

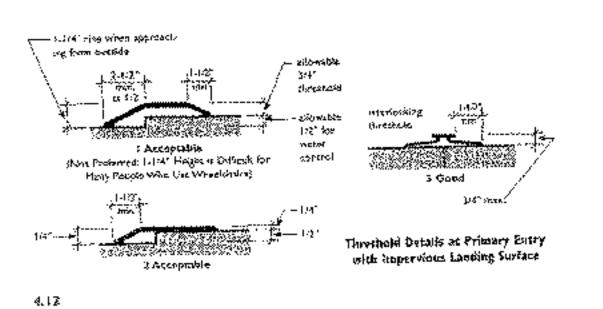
if required by

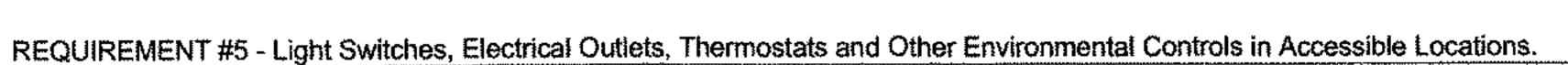
ass permitted.



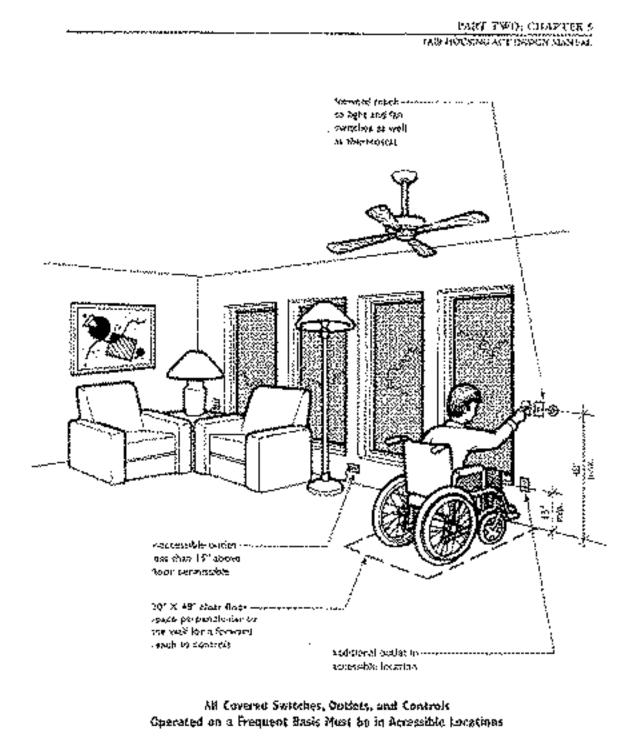


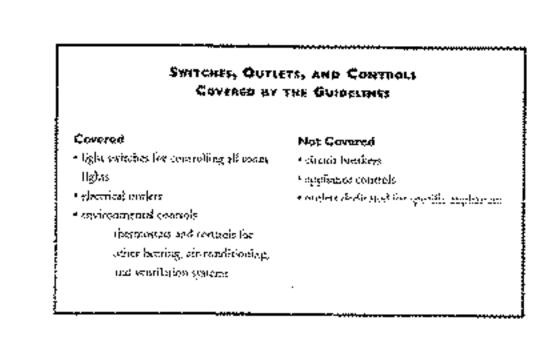


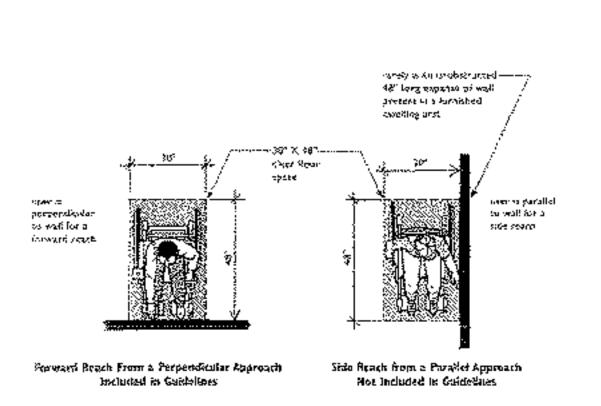


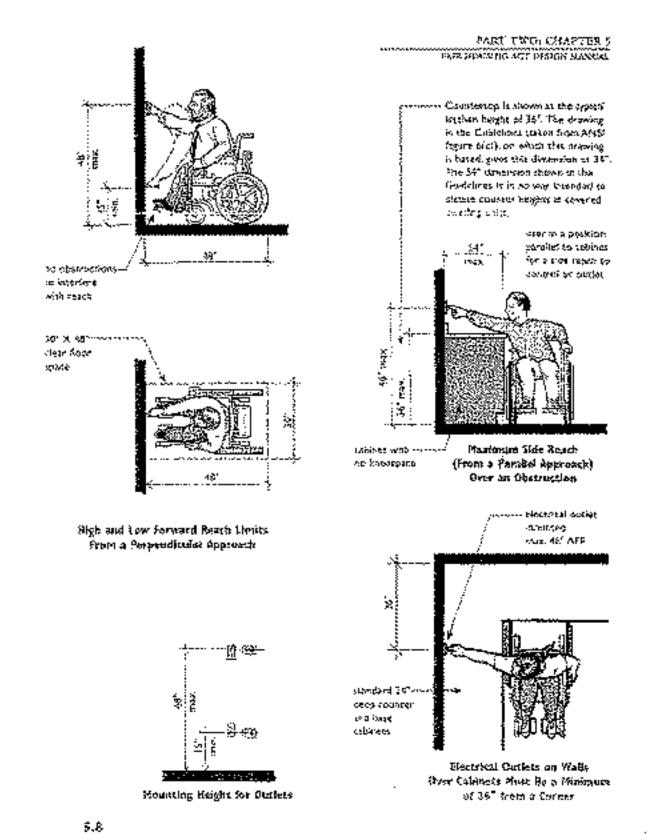


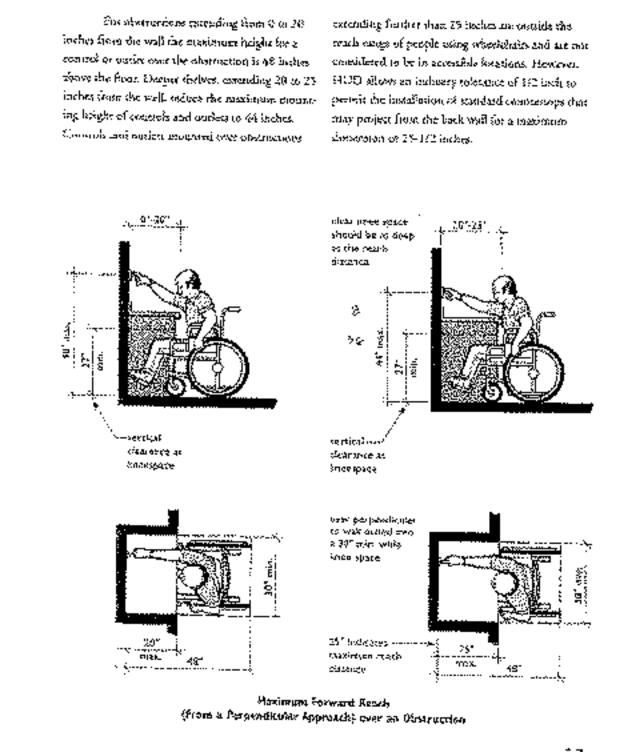
Accessible Soute anto Balcony Croaced with the Addition of a Rained Partform (Added by











SWITCHES, OUTLIES, AND CONTROLS IN ACCESSIBLE LOCATIONS

REVISIONS
TAG DATE

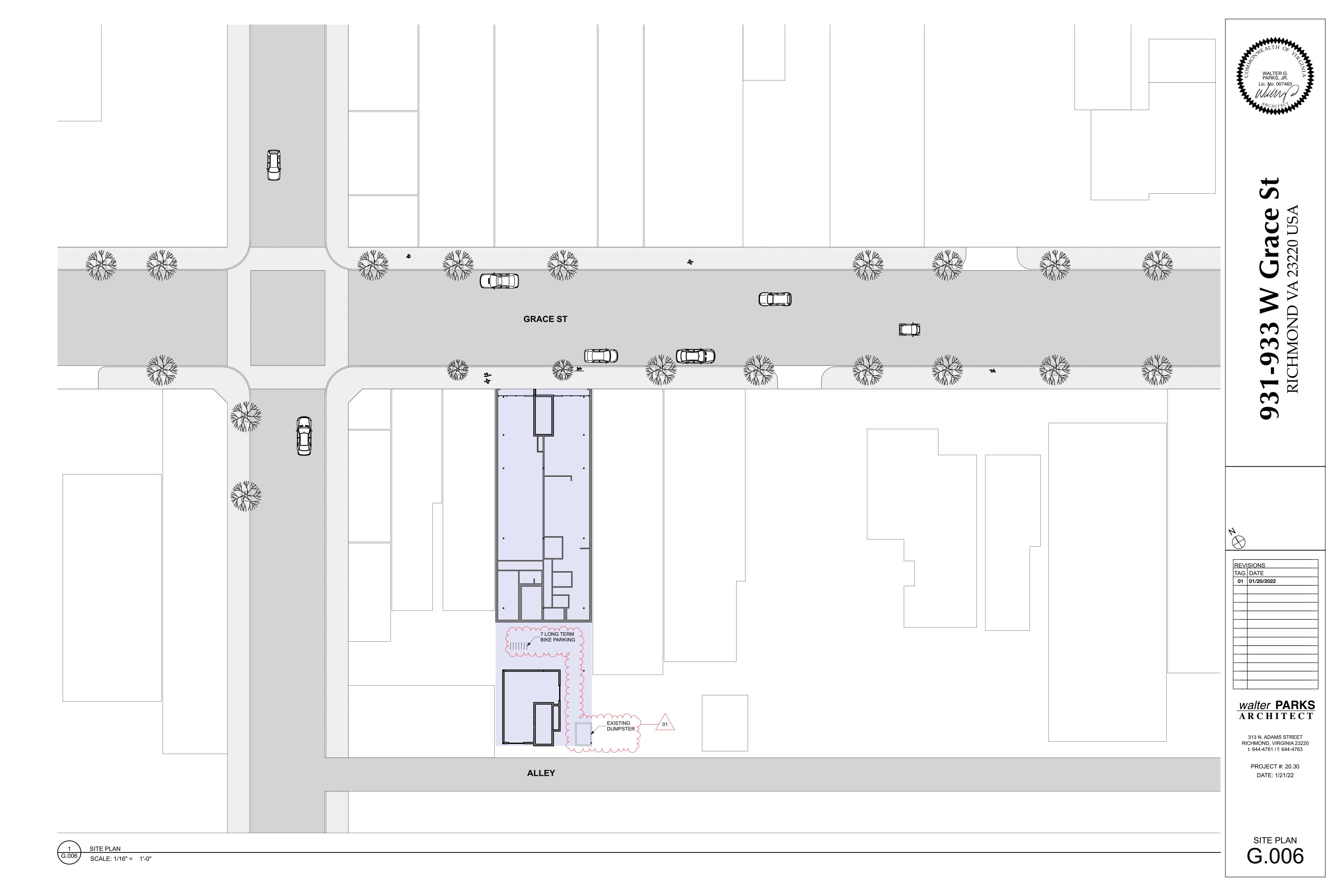
Walter PARKS

ARCHITECT

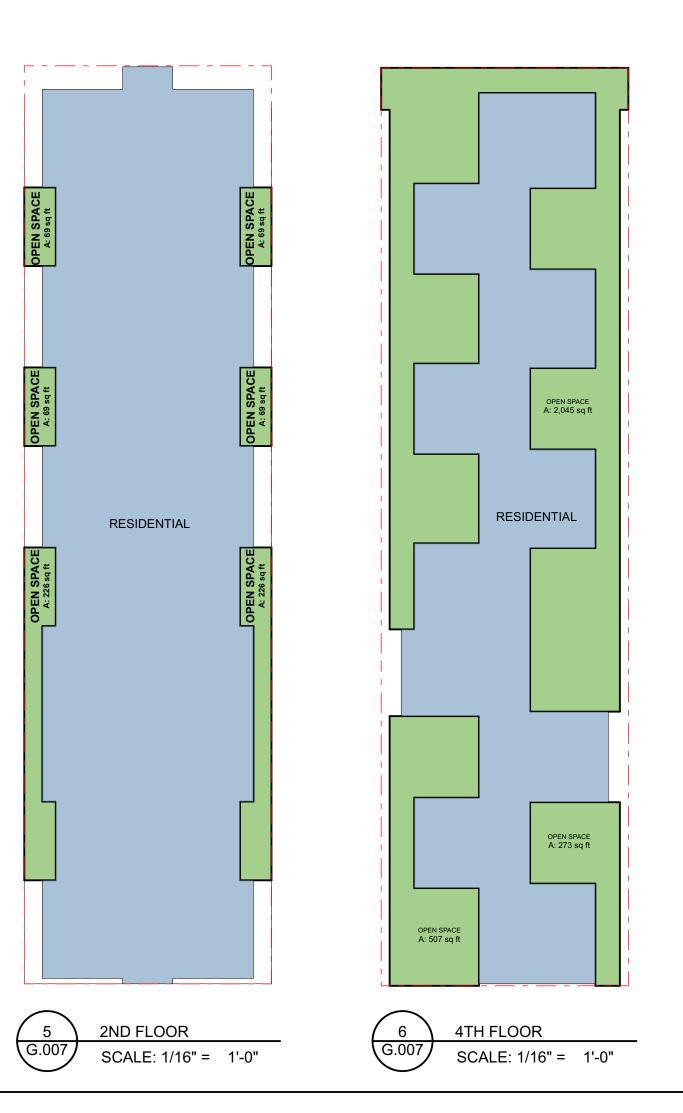
313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 20.30 DATE: 1/21/22

FHAACCESSIBILITY
GUIDELINES
G 005



OPEN SPACE AREA



OPEN SPACE AREA		
HOME STORY	AREA	
2ND FLOOR		
	726.48	
4TH FLOOR		
	2,823.77	
	3,550.25 sq ft	

OPEN SPACE AREA		7 [UNIT SUMMARY PER FLOOR			
HOME STORY	AREA	HOM	//E STORY	ZONE CATEGORY	QUANTITY	
OOR	I	FIRST FLO	OR			
	726.48	7		1 Bed/1 Bath	1	
OOR		1			1	
	2,823.77	2ND FLOO	R			
	3,550.25 sq ft	1 [1 Bed/1 Bath	10	
	1,,,,,,	_			10	
		3RD FLOO	R			
				1 Bed/1.5 Bath loft	10	
					10	
					0.1	

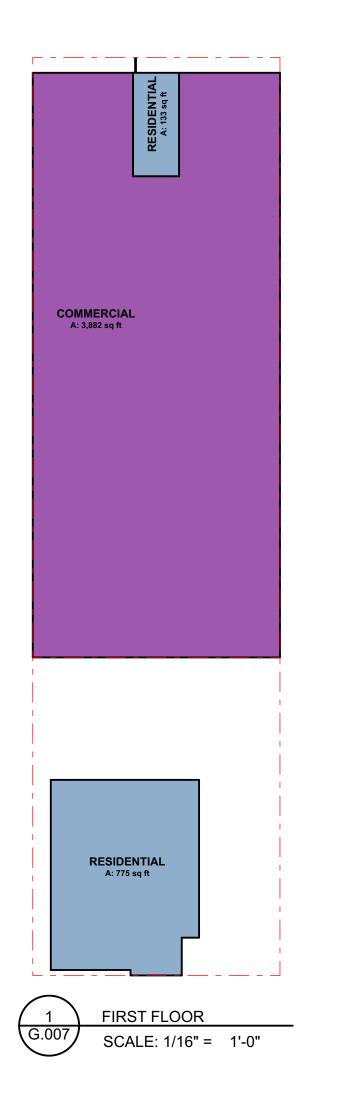
	UNIT MATRIX	
UNIT TYPE	QUANTITY	AREA
1 Bed/1 Bath	•	
	12	5,547.31
1 Bed/1.5 Bath loft		
	9	4,066.50
	21	9,613.81 sq ft

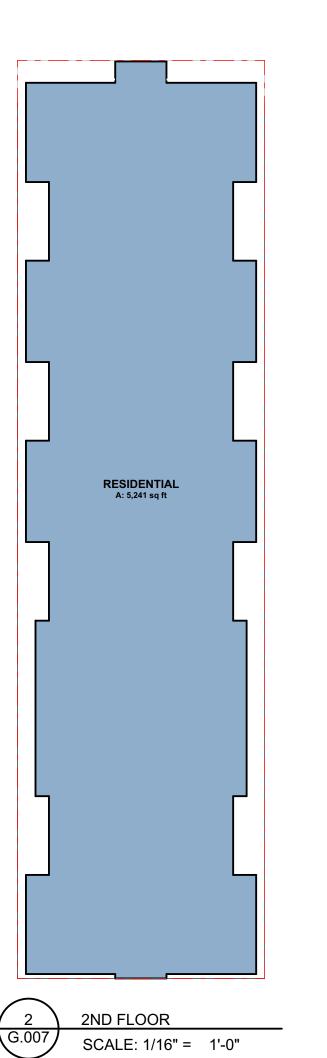
	UNITITYPE	SUMMARY PER F	LOOK	_
Home Story Name	Zone Category	Element ID	Quantity	Measured Are
FIRST FLOOR				
	1 Bed/1 Bath	TYPE A	1	604.94
			1	604.94 sq ft
2ND FLOOR				
	1 Bed/1 Bath	TYPE 1A	1	439.12
	1 Bed/1 Bath	TYPE 1B	1	444.57
	1 Bed/1 Bath	TYPE 1C	1	474.24
	1 Bed/1 Bath	TYPE 1D	1	456.74
	1 Bed/1 Bath	TYPE 1E	1	456.93
	1 Bed/1 Bath	TYPE 1F	1	474.24
	1 Bed/1 Bath	TYPE 1G	1	437.28
	1 Bed/1 Bath	TYPE 1H	1	442.42
	1 Bed/1 Bath	TYPE 2A	1	447.94
	1 Bed/1 Bath	TYPE 2B	1	431.61
			10	4,505.09 sq ft
3RD FLOOR				
	1 Bed/1 Bath	TYPE A	1	437.28
	1 Bed/1.5 Bath loft	TYPE 3A	1	439.06
	1 Bed/1.5 Bath loft	TYPE 3B	1	474.05
	1 Bed/1.5 Bath loft	TYPE 3C	1	456.74
	1 Bed/1.5 Bath loft	TYPE 4A	1	444.57
	1 Bed/1.5 Bath loft	TYPE 4B	1	456.75
	1 Bed/1.5 Bath loft	TYPE 4C	1	474.05
	1 Bed/1.5 Bath loft	TYPE 4D	1	442.42
	1 Bed/1.5 Bath loft	TYPE 5A	1	447.60
	1 Bed/1.5 Bath loft	TYPE 5B	1	431.26
			10	4,503.78 sq ft
	T		21	9,613.81 sq ft

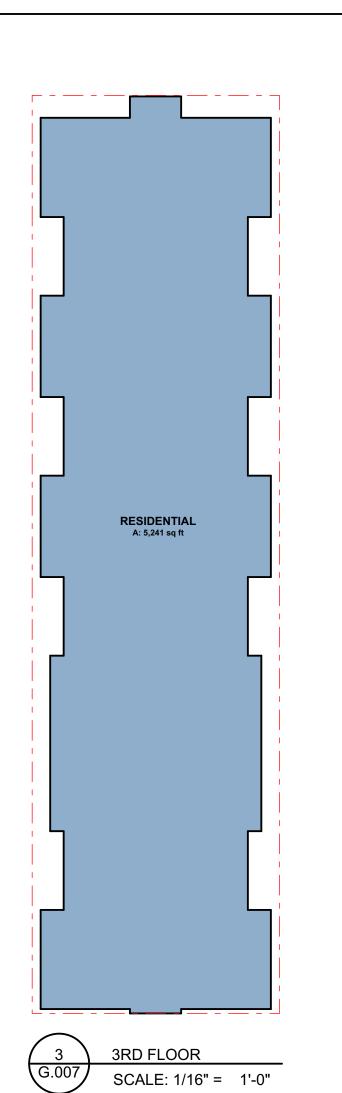
UNIT TYPE SUMMARY				
ZONE CATEGORY	UNIT TYPE	QUANTITY	MEASURED AREA	
1 Bed/1 Bath		-		
	TYPE 1A	1	439.12	
	TYPE 1B	1	444.57	
	TYPE 1C	1	474.24	
	TYPE 1D	1	456.74	
	TYPE 1E	1	456.93	
	TYPE 1F	1	474.24	
	TYPE 1G	1	437.28	
	TYPE 1H	1	442.42	
	TYPE 2A	1	447.94	
	TYPE 2B	1	431.61	
	TYPE A	2	1,042.22	
		12	5,547.31 sq ft	
1 Bed/1.5 Bath loft	•	•	•	
	TYPE 3A	1	439.06	
	TYPE 3B	1	474.05	
	TYPE 3C	1	456.74	
	TYPE 4A	1	444.57	
	TYPE 4B	1	456.75	
	TYPE 4C	1	474.05	
	TYPE 4D	1	442.42	
	TYPE 5A	1	447.60	
	TYPE 5B	1	431.26	
		9	4,066.50 sq ft	
		21	9,613.81 sq ft	

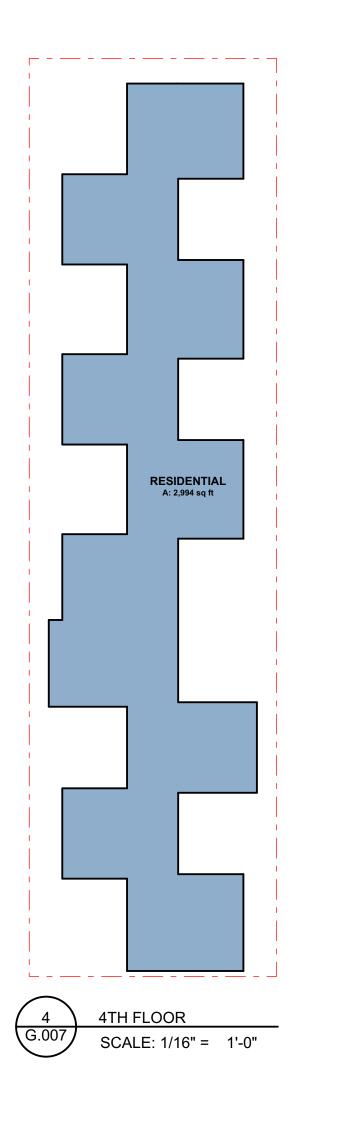
		WE ALTH C
	COM	WALTER G PARKS, JF Lic. No. 0074
	The state of the s	ARCHITEC

GROSS AREA









FLOOR	NA	ME	AREA
FIRST FLOOR			
	COMMERC	IAL	3,881.82
	RESIDENTI.	AL	907.93
			4,789.75 sq ft
2ND FLOOR			
	RESIDENTI.	AL	5,240.98
			5,240.98 sq ft
3RD FLOOR			
	RESIDENTI	AL	5,240.98
			5,240.98 sq ft
4TH FLOOR			
	RESIDENTI.	AL	2,994.33
			2,994.33 sq ft
			18,266.04 sq ft
		TOTALS	
ZONE	NAME		AREA
COMMERCIAL		1	
		3,881.82	
RESIDENTIAL		1	_
		14,384.22	
		18,266.04	4 sq ft
	RESIDENTIAL	L FLOOR A	
HOME	STORY		AREA
FIRST FLOOR		1	
		907.93	
2ND FLOOR			

5,240.98

5,240.98

2,994.33

14,384.22 sq ft

3RD FLOOR

4TH FLOOR

GBA SUMMARY

REVISIONS TAG DATE

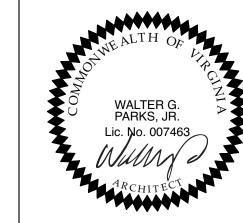
walter PARKS ARCHITECT

313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

PROJECT #: 20.30 DATE: 1/21/22

GROSS BUILDING AREAS, OPEN SPACE CALCULATIONS, & UNIT COUNTS

G.007



931-933 W Grace St RICHMOND VA 23220 USA

REVISIONS
TAG DATE

Walter PARKS

ARCHITECT

313 N. ADAMS STREET RICHMOND, VIRGINIA 2322 t: 644-4761 / f: 644-4763

PROJECT #: 20.30 DATE: 1/21/22

VERTICAL ASSEMBLIES

G.008

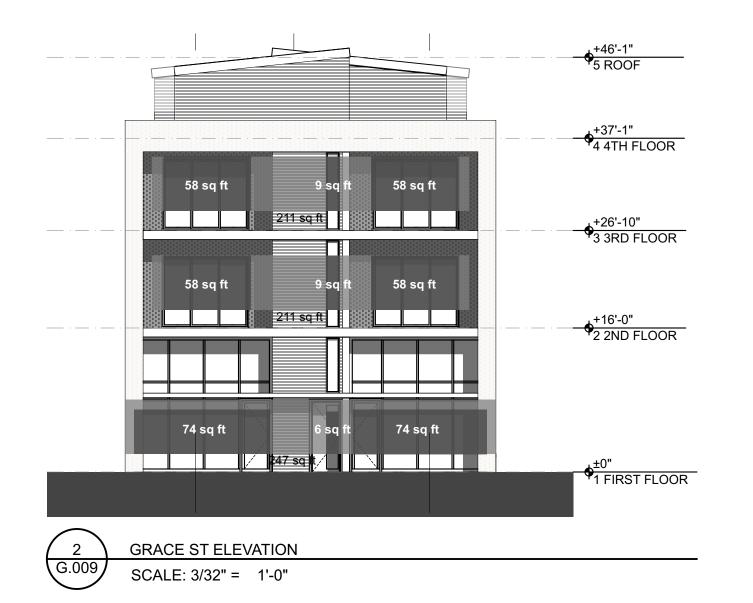
FENESTRATION LEGEND

OVERALL AREA BETWEEN 2'-8' RANGE
WINDOW & DOORS WITHIN 2'-8' RANGE

CALCULATION SCHEDULE

LEVEL 1 (STREET) - 60% REQUIRED	
GLAZING	74
GLAZING	6
GLAZING	74
TOTAL OPENING AREA	154
TOTAL AREA WITHIN 2' TO 8' RANGE	247
154 SF/247 SF (PERCENTAGE)	62%

LEVELS 2 - 3 — 30% REQUIRED	
GLAZING	į
GLAZING	
GLAZING	į
TOTAL OPENING AREA	12
TOTAL AREA WITHIN 2' TO 8' RANGE	2
125 SF/211 SF (PERCENTAGE)	59



GRACE ST.

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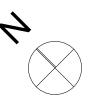
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

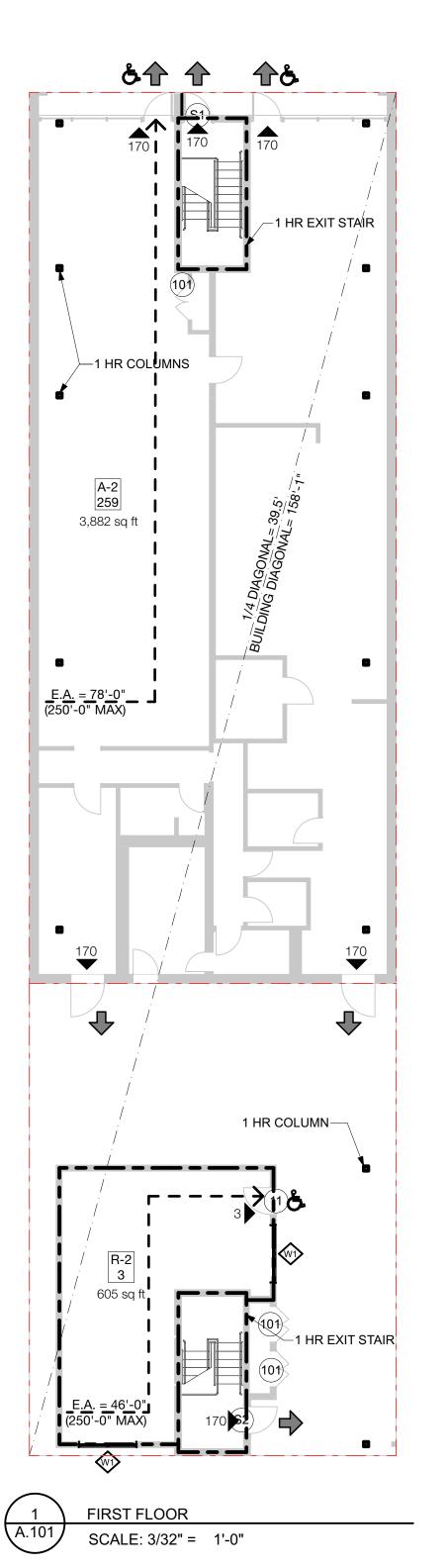
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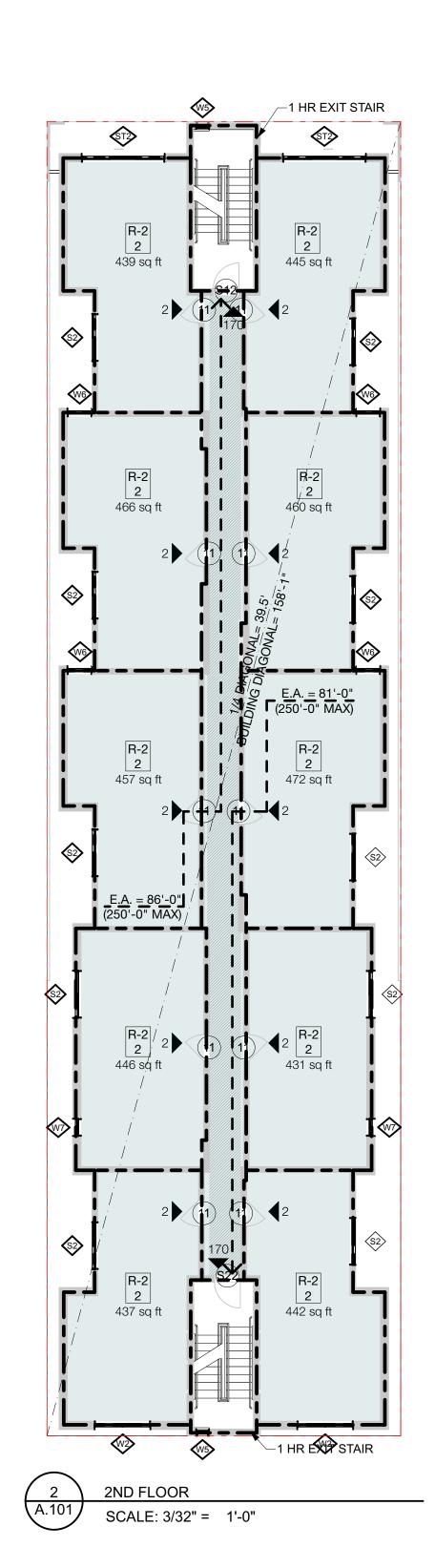
> PROJECT #: 20.30 DATE: 1/21/22

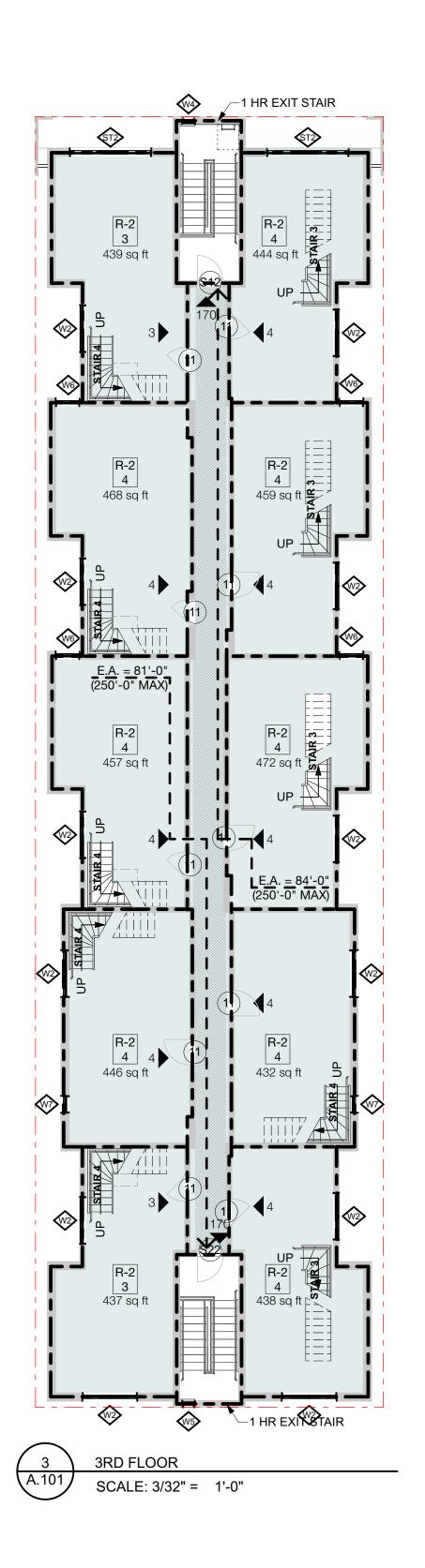
1:4 INCLINED PLANE
AND FENESTRATION
CALCULATIONS

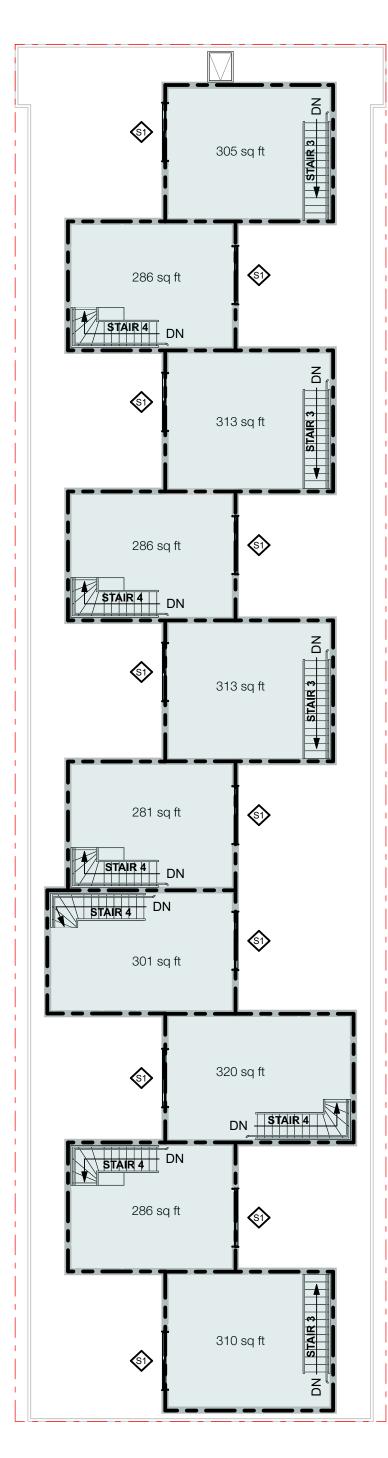
G.009











4TH FLOOR

SCALE: 3/32" = 1'-0"

CODE INFORMATION

APPLICABLE CODES		2015 VIRGINIA MECHANICAL CODE (VMC) 2014 NATIONAL ELECTRIC CODE (NFPA-70) 2015 VIRGINIA PLUMBING CODE 2015 VIRGINIA ENERGY CONSERVATION CODE (VECC) 2009 INTERNATIONAL CODE COUNCIL (ICC-ANSI A117.1) NATIONAL FIRE ALARM CODE (NFPA-72) STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13)				
OTHER REQUIRED STANDARDS		STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13) FAIR HOUSING ACT DESIGN MANUAL				
NARRATIVE		ADDITION OF THREE NEW STORIES OF N				
ZONING		AN EXISTING SINGLE-STORY COMMERCIAL BUILDING. B-4 CENTRAL BUSINESS DISTRICT				
	REF.	5 4 SERTINE BOOKEDS DISTINCT				
LICE OPOLIDO	1121.	DECIDENTIAL	COMMEDIAL			
USE GROUPS		RESIDENTIAL	COMMERCIAL			
		R-2	A-2			
CONSTRUCTION TYPES		VA	VA			
AUTOMATIC SPRINKLER SYSTEM		NFPA:	-13			
ALLOWABLE AREA PER FLOOR	VACC T. 506.2,	36,000	34,500			
ALLOWABLE INCREASE FOR	,	NOT USED	NOT USED			
OPEN PERIMETER TOTAL ALLOWABLE AREA PER						
FLOOR		36,000	34,500			
ACTUAL AREAS:						
LEV 1 (COMMERCIAL)			3,882			
LEV 1 (RESIDENTIAL)		926				
LEV 2		4,984				
LEV 3		4,984				
LEV 4		3,016				
TOTAL ACTUAL AREAS:		0,010				
TOTAL ACTUAL AREAS.		13,910	3,882			
ALLOWABLE BUILDING HEIGHT	VACC 504.3	70'	70'			
ALLOWABLE BUILDING STORIES	VACC 504.4	4	3			
ACTUAL BUILDING HEIGHT		31'-10"	16'			
ACTUAL BUILDING STORIES		4 STORIES	1 STORY			
MAX. FLOOR AREA/PER	VACC T. 1004.1.2	200 GROSS	15 NET			
OCCUPANT TOTAL OCCUPANT LOAD		70	259			
1011/12 0000171111 20715			200			
DWELLING UNITS:						
TOTAL UNITS		21				
ACCESSIBLE DWELLING	VACC 4407 C C C					
UNITS REQD. (TYPE A)	VACC 1107.6.2.2.1	1 (NO ELEVATO	OH SERVICE)			
REQUIRED FIRE RATINGS						
PRIMARY FRAME	T-601	1	1			
EXTERIOR BEARING WALLS	T-601	1	1			
INTERIOR BEARING WALLS NONBEARING WALLS AND	T-601	1	1			
PARTITIONS INTERIOR	T-601	0	0			
FLOOR CONSTRUCTION	T-601	1	1			
ROOF CONSTRUCTION	T-601	1	1			
SHAFTS		1	1			
REQUIRED OCCUPANCY SEPARATIONS	VACC 508.4					
BETWEEN R-2 TENANTS. * 1 HR. FR PROVIDED	VACC 708.3	1				
BETWEEN R-2 TENANTS AND						
CORRIDORS * 1 HR. FR PROVIDED	VACC 1020.1	0.5				
BETWEEN R-2 & A2 USE GROUPS	VACC 508.4	1				
ditedi e						
REQUIRED EXITS PER BUILDING	VACC T. 1006.3.1	2	2			
TRAVEL DISTANCE REQUIRED	VACC T. 1017.2	250'	250'			
DEAD END CORRIDOR	VACC 1020.4	50'	20'			
PLUMBING FIXTURE						
CALCULATIONS						
CALCULATED PER OCCUPANCY	VACC T. 2902.1					
OCCUPANTS PER AREA						
WATER CLOSETS (REQUIRED)		1 PER DWELLING UNIT	1 PER 75			
WATER CLOSETS (PROVIDED)		MINIMUM 1 PER DWELLING UNIT				
URINALS (PROVIDED)		N/A				
LAVATORIES (REQUIRED)		1 PER DWELLING UNIT	1 PER 200			
LAVATORIES (PROVIDED)		MINIMUM 1 PER DWELLING UNIT				
DRINKING FOUNTAIN			. nen			
(REQUIRED) DRINKING FOUNTAIN		N/A	1 PER 500			
(PROVIDED)		N/A				
BATHTUBS/ SHOWERS		1 PER DWELLING UNIT	N/A			
SERVICE SINK (REQUIRED)		N/A	1			

GENERAL NOTES - CODE

A. PROVIDE A LISTED FIRESTOP, CONTINUOUS AT PERIMETER GAPS OF ALL RATED CONSTRUCTION AS REQUIRED TO MAINTAIN THE SPECIFIED RATING.

B. REFER TO OCCUPANCY LOAD SCHEDULE FOR OCCUPANCY TOTALS.

LEGEND 2 HOUR HORIZONTAL ASSEMBLY 1 HOUR HORIZONTAL ASSEMBLY EXIT ACCESS PATH WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING -REFER TO ELECTRICAL DRAWINGS) 2 HOUR FIRE RATING 1 HOUR FIRE RATING ••••• 1/2 HOUR FIRE RATING E.A. = X'-X" EXIT ACCESS TRAVEL (DISTANCE) ACCESSIBLE ENTRANCE



EXIT CAPACITY (VCC 2015 1005.1)

BUILDING EXIT DISCHARGE

A.101



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REVI	SIONS
TAG	DATE

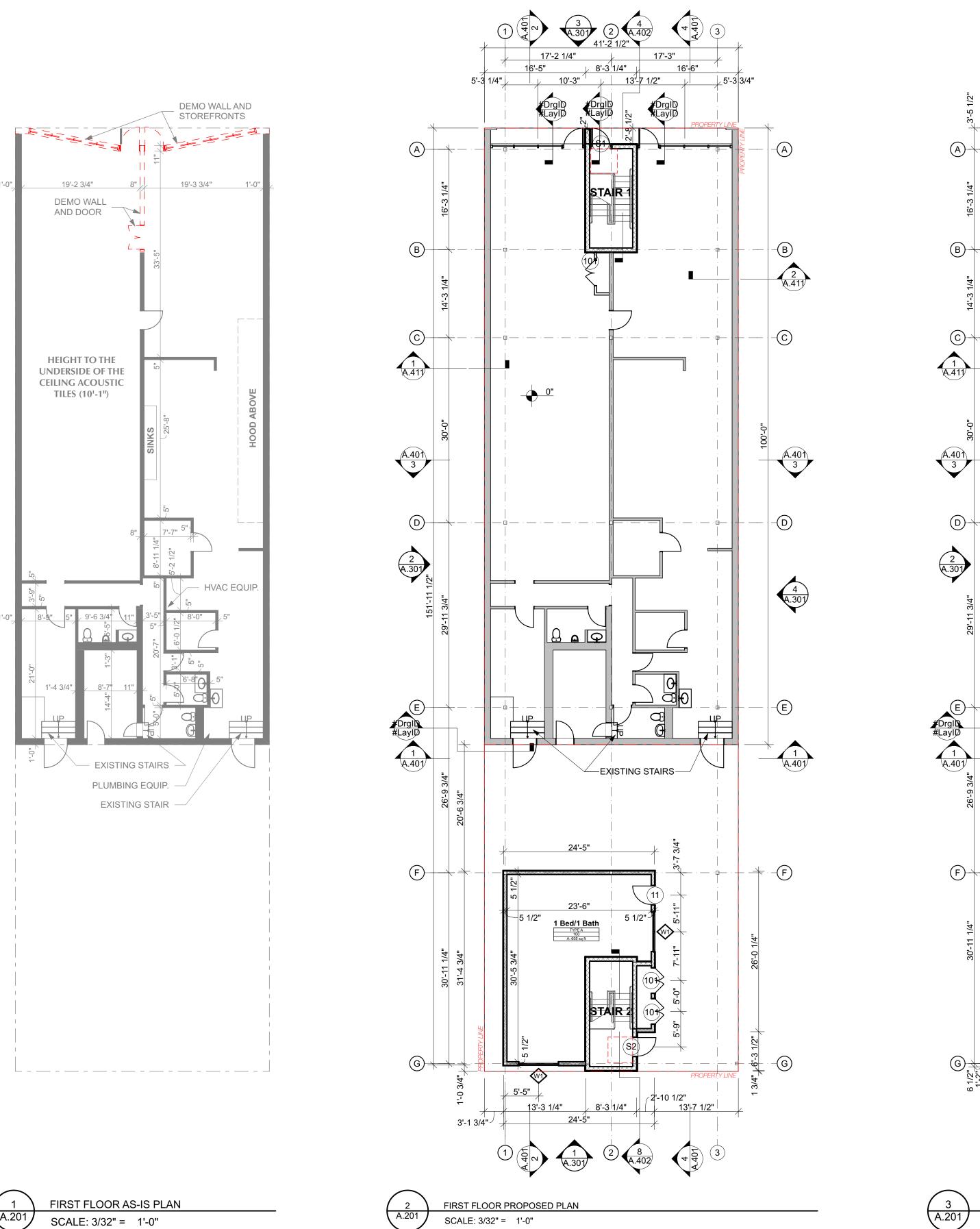
93

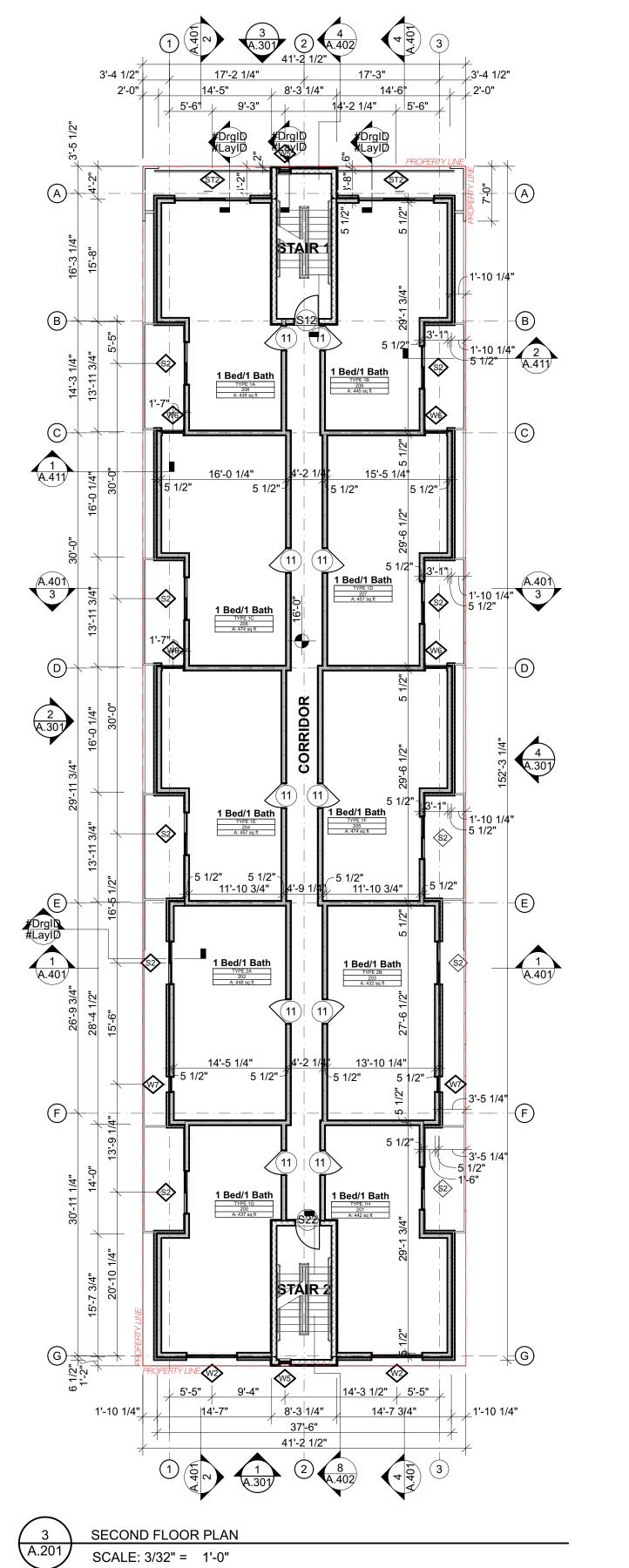
walter PARKS ARCHITECT

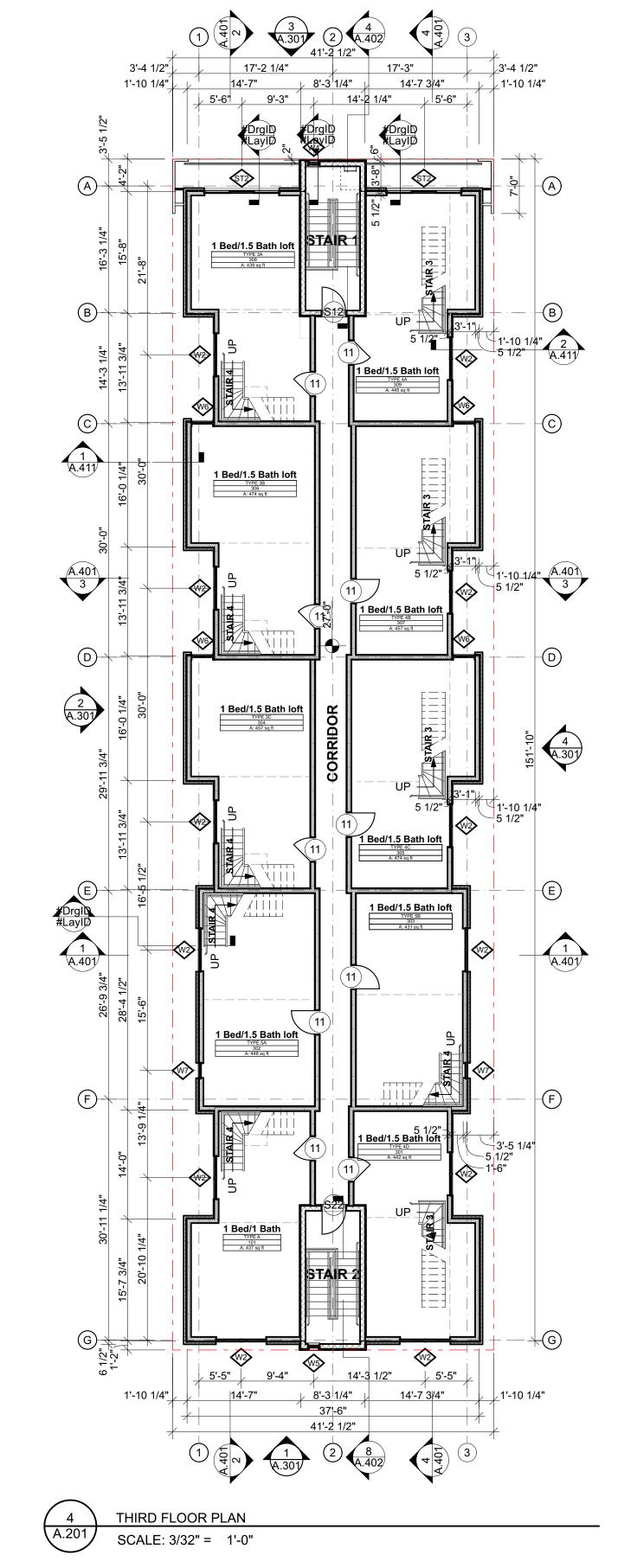
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

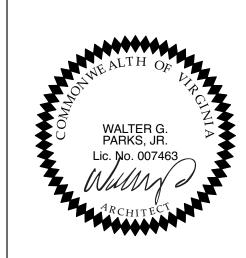
> PROJECT #: 20.30 DATE: 1/21/22

LIFE SAFETY PLANS

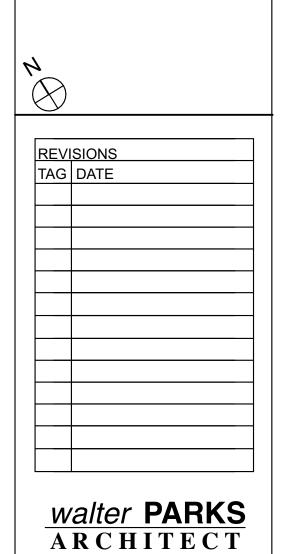








931-933 W GraceRICHMOND VA 23220 USA



313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

PROJECT #: 20.30 DATE: 1/21/22

FIRST - 3RD FLOOR
PLANS
A.201

-4'-3 1/4" 10'-9 1/2"

4'-3<u>1/4"</u> 10'-9 1/2"

2 A.301 STAIR 4 DN

10'-9 1/2"

STAIR 4 DN

STAIR 4 DN

5 1/2" 1 Bed/1.5 Bath Loft 302 305 sqft

13'-0 1/2"

5 1/2" 10'-4"

10'-9 1/2"

4'-3 1/4"

4'-3 1/4" ****

1 Bed/1.5 Bath Loft 300 = 286 sqft

1 Bed/1.5 Bath Loft 308 286 sqft

> 4'-3 1/4" 10'-10 1/2"

1 Bed/1.5 Bath Loft 307 313 sqft

1 Bed/1.5 Bath Loft 305 313 sqft

> 2'-0 1/4" 13'-1 1/2"

DN STAIR 4

1 Bed/1.5 Bath Loft 301 310 sqft

19'-0 1/4"

4'-3 1/4" 1'-5" 10'-10 1/2" PEVISIONS

INSTALLATION METHOD: BRICK

EVEN & ODD FLOORS, RUNNING BOND

EVEN FLOORS, POLISH EXPOSED

ODD FLOORS, POLISH EXPOSED

*UNLESS OTHERWISE NOTED

FOR ARCHITECT TO APPROVE

EVEN FLOORS

ODD FLOORS

ALL FLOORS

*ALL TRIM AT CORRIDOR PT9 WALLS

PROVIDE SAMPLES FOR ARCHITECT

GRAY STAIN TO MATCH CORRIDOR LVT (LVT3). PROVIDE OPTIONS & SAMPLES

EVEN FLOORS

COORDINATE W/ CT1

COORDINATE W/ CT2

COORDINATE W/ CT3

ODD FLOORS

EDGES

EDGES

EVEN FLOORS

ODD FLOORS

CORRIDORS

Location

CORRIDORS

UNIT BATH

UNIT BATH

UNIT BATH

UNIT BATH

UNIT

UNIT

UNIT

CORRIDOR

CORRIDOR

CORRIDOR

CORRIDOR

CORRIDOR

CORRIDOR*

CORRIDOR

CORRIDOR

STAIRS

UNIT KITCHEN

UNIT KITCHEN

UNIT BATHROOMS, WALL

CABINETS @ KITCHENS

51875 MID GRAYED BLUE

71 STORM CLOUD

29 MOON ROCK

WHITE

WHITE

STORAGE & UTILITY CLOSETS

STORAGE & UTILITY CLOSETS

UNIT KITCHEN

UNIT KITCHEN

UNIT KITCHEN & BATH

UNIT KITCHEN & BATH

CORRIDOR, STAIR LANDINGS

STAIR & CORRIDOR @ PT9 WALLS* PAINTED TO MATCH

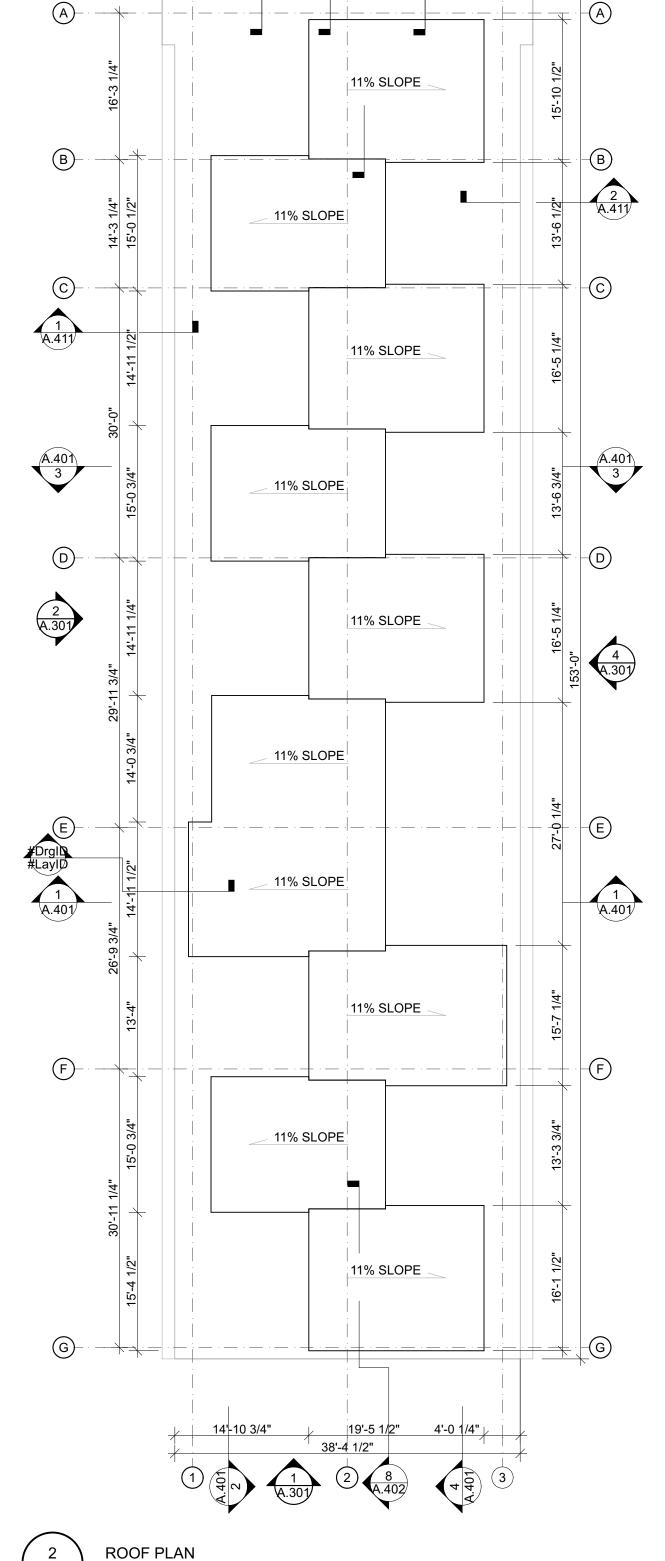
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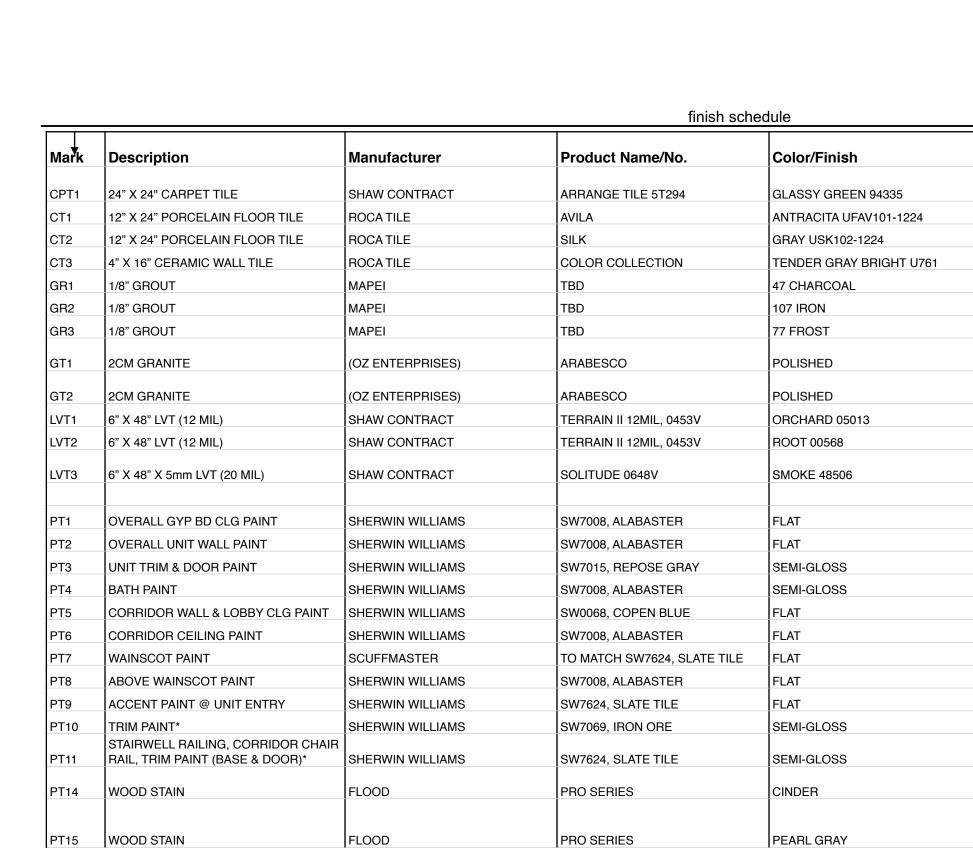
> PROJECT #: 20.30 DATE: 1/21/22

4TH FLOOR, ROOF
PLAN, & FINISH
SCHEDULE
A.202



SCALE: 3/32" = 1'-0"

(1)	4TH FLOOR	
(A.202)	SCALE: 3/32" =	1'-(



ARMSTRONG

JOHNSONITE

JOHNSONITE

LEEDO

LEEDO

LEEDO

12" VINYL COMPOSITION TILE

RESILIENT WALL BASE (VINYL)

VINYL TREADS

LAMINATE CABINETRY

LAMINATE CABINETRY

LAMINATE CABINETRY

VYL2

WD2

STANDARD EXCELON IMPERIAL

TRADITIONAL WALL BASE

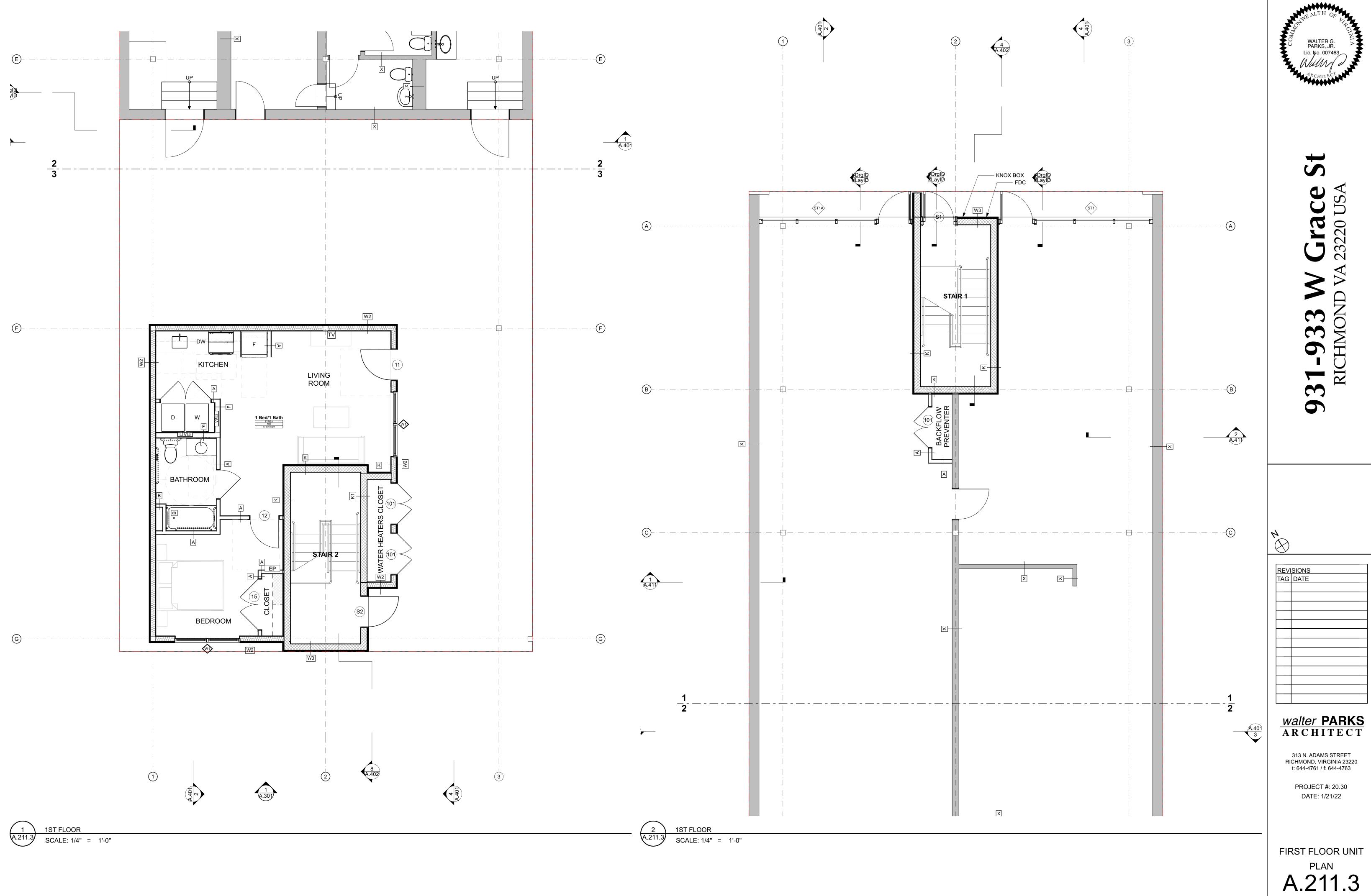
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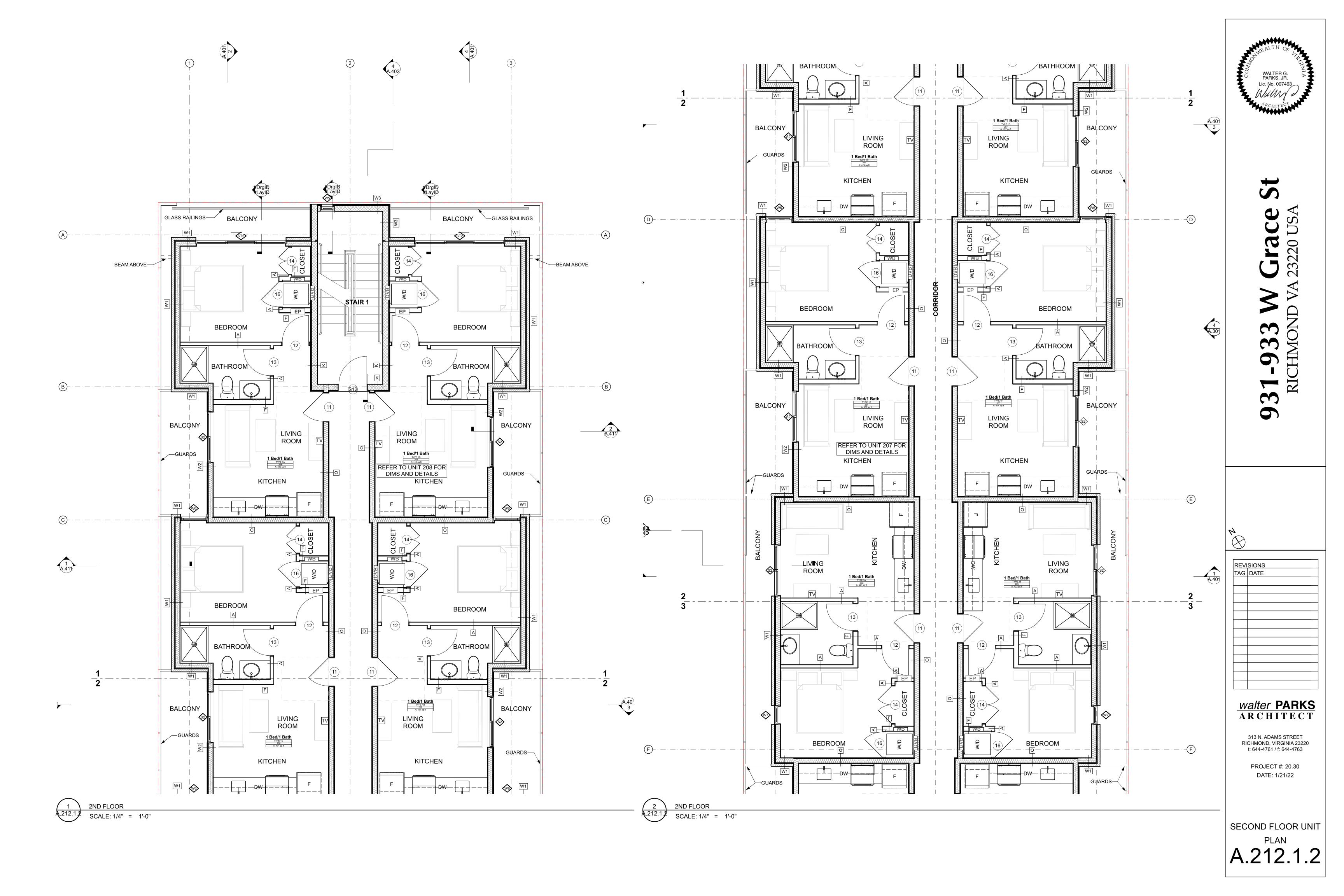
SAFE-T-RIB

ASCONA

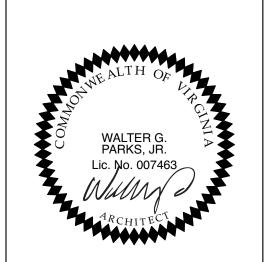
ASCONA

ASCONA





2ND FLOOR SCALE: 1/4" = 1'-0"



931-933 W Grace S

N N

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TAG	DATE						

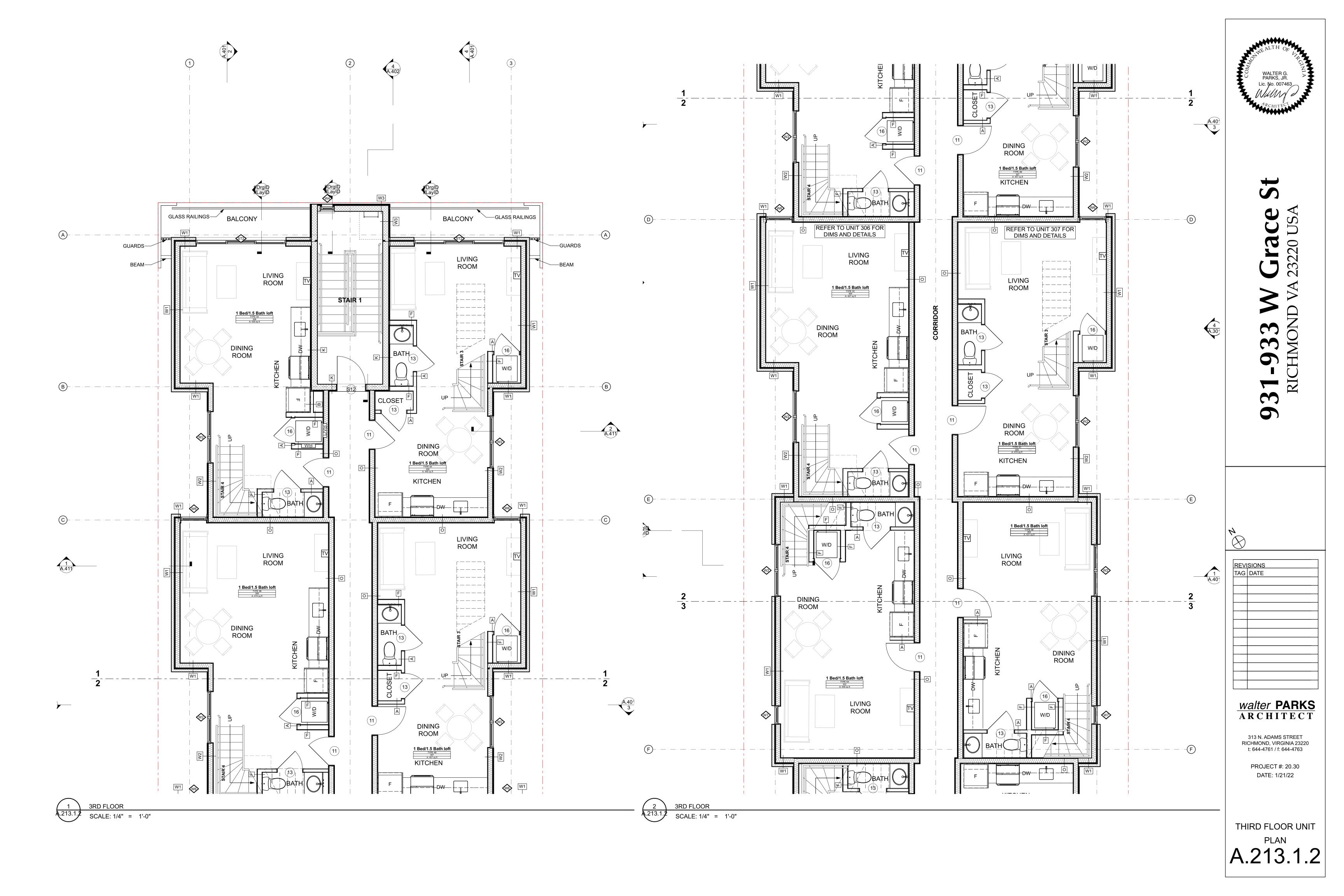
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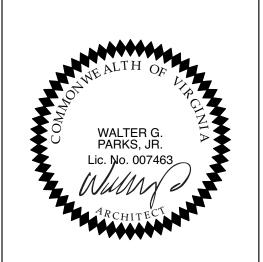
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> PROJECT #: 20.30 DATE: 1/21/22

SECOND FLOOR UNIT
PLAN

A.212.3





31-933 W Grace S RICHMOND VA 23220 LISA

7

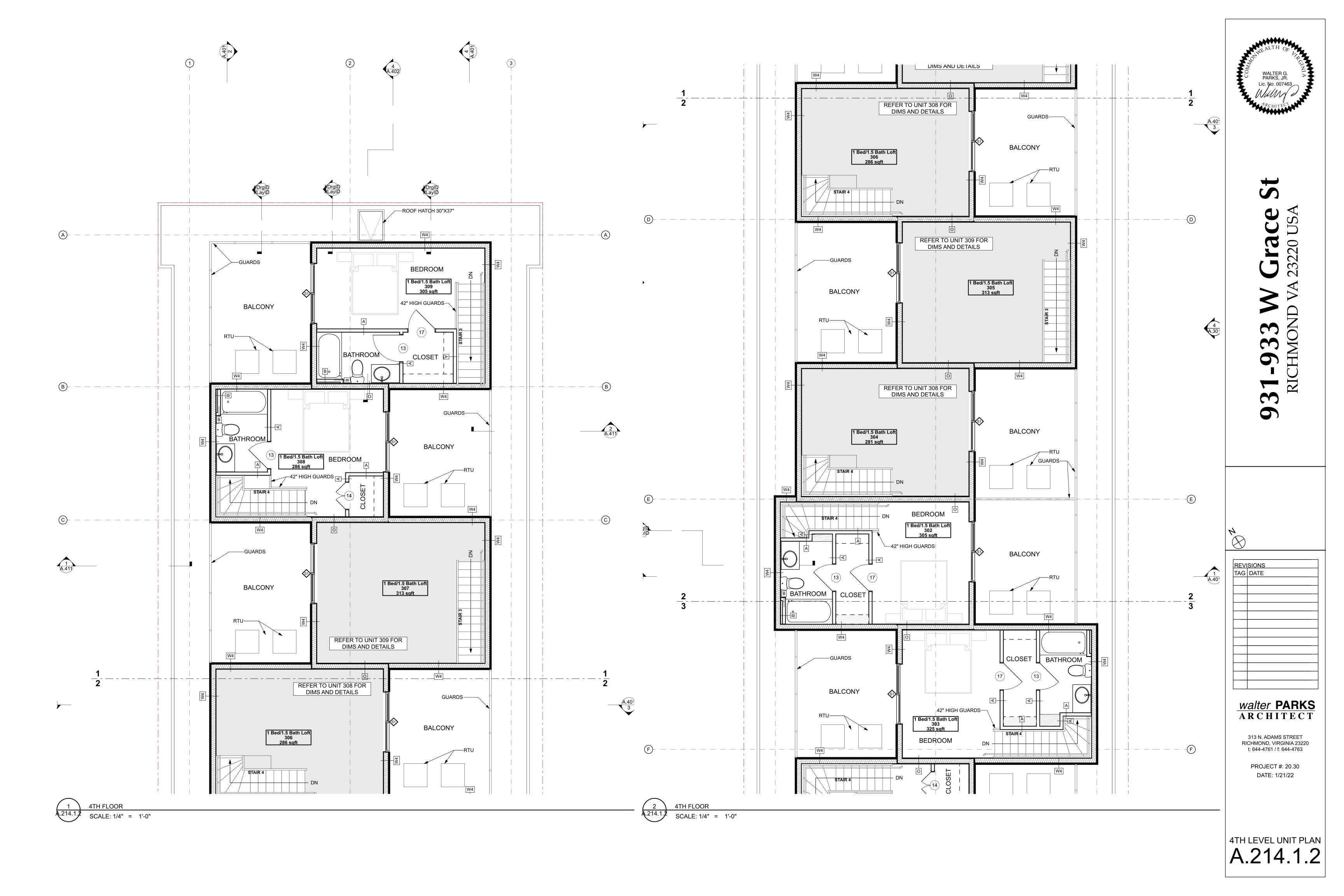
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TAG	DATE						

walter PARKS ARCHITECT

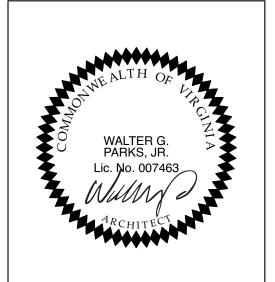
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> PROJECT #: 20.30 DATE: 1/21/22

THIRD FLOOR UNIT PLAN A.213.3



SCALE: 1/4" = 1'-0"



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N N

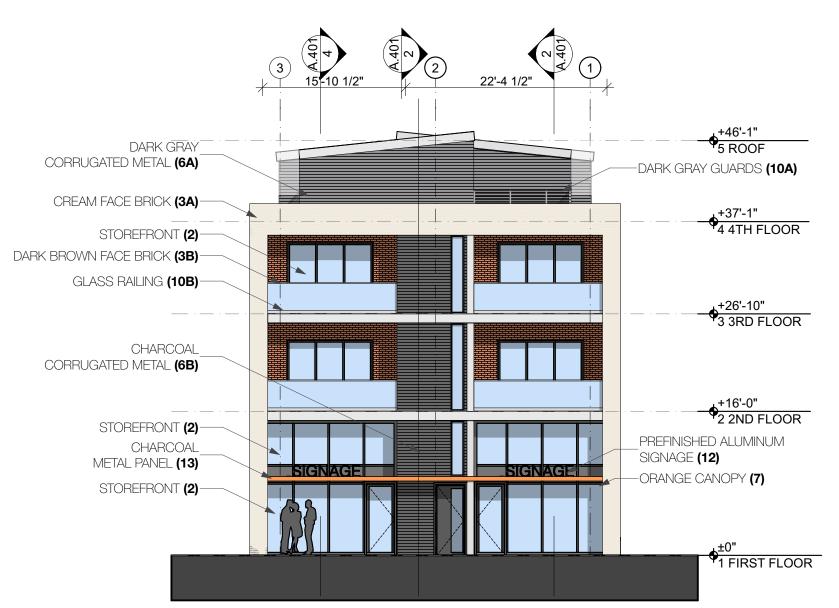
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TAG	SIONS DATE

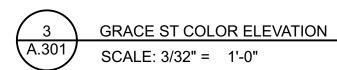
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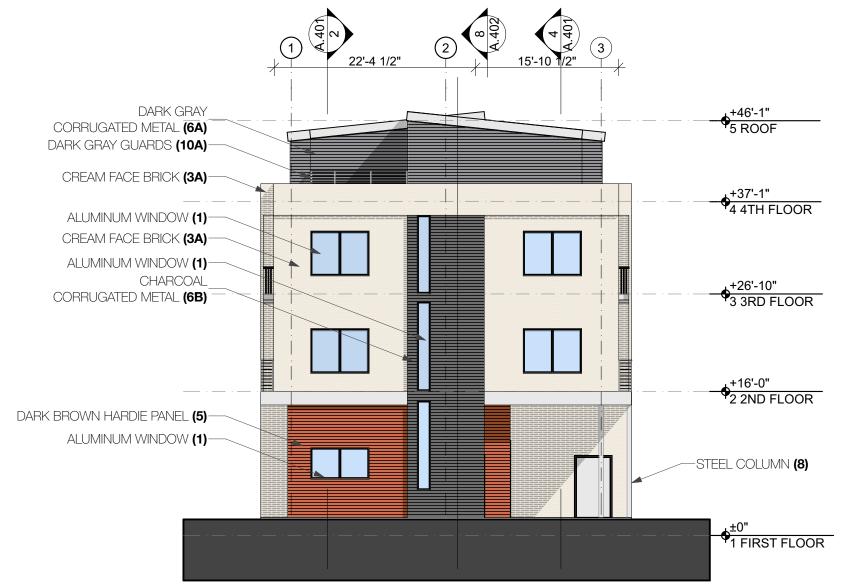
> PROJECT #: 20.30 DATE: 1/21/22

4TH LEVEL UNIT PLAN
A.214.3









ALLEY COLOR ELEVATION

A.301 SCALE: 3/32" = 1'-0"

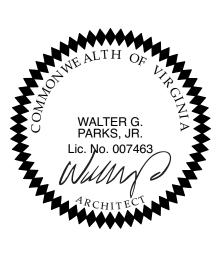
EXTERIOR FINISHES

SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
1	WINDOWS / DOORS	TBD	TBD	BLACK	OVERALL	CLEAR GLASS
2	STOREFRONT	KAWNEER	TBD	BLACK	OVERALL	CLEAR GLASS
ЗА	BRICK, ENGINEER SIZE	PALMETTO BRICK COMPANY	TBD	CREAM (WIRE CUT)	OVERALL	ENGINEER SIZE, SHADE & WISE
3B	BRICK, ENGINEER SIZE	PALMETTO BRICK COMPANY	TBD	DARK BROWN (WIRE CUT)	BUILDING FRONTAGE	ENGINEER SIZE, SHADE & WISE
4	MORTAR COLOR	FLAMINGO BRIXMENT	TBD	TBD	OVERALL	
5	FIBER CEMENT SYSTEM	TBD	TBD	DARK BROWN	RECESSED WALLS AT BALCONIES	
6A	CORRUGATED METAL	TBD	TBD	DARK GRAY	4TH LEVEL	
6B	CORRUGATED METAL	TBD	TBD	CHARCOAL	STAIR WAYS	
7	CANOPY	TBD	ALUMINUM	ORANGE	BUILDING FRONTAGE ENTRIES	
8	STEEL COLUMNS / BEAMS / CHANNELS PAINT	SHERWIN WILLIAMS	SW6990, CAVIAR	SEMI-GLOSS*	OVERALL	EXTERIOR PAINT, PREP & PRIME, POWDER COATED - 10 YEAR WARRANTY
9	COPING PAINT	SHERWIN WILLIAMS	SW6990, CAVIAR	SEMI-GLOSS*	OVERALL	MARINE GRADE - 30 YEAR WARRANTY
10A	STEEL GUARDRAIL / RAILINGS	SHERWIN WILLIAMS	SW6990, CAVIAR	SEMI-GLOSS*	BALCONIES	MARINE GRADE - 30 YEAR WARRANTY
10B	GLASS RAILINGS	TBD	TBD	BLACK	BALCONIES	CLEAR GLASS
11	PAVERS	TBD	TBD	GRAY	2ND FLOOR TERRACES & ROOF TERRACES	
12	PREFINISHED ALUMINUM SIGNAGE	TBD	1'-3" TALL REVERSED CHANNEL LETTERS	CLEAR ANODIZED	BUILDING FRONTAGE	BACK LIT
13	STEEL METAL PANEL	TBD	TBD	CHARCOAL	BUILDING ENTRIES STOREFRONTS	

* ALL PAINT FINISHES TO BE POWDER COATED.



931-933 W Grace StRICHMOND VA 23220 USA

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> PROJECT #: 20.30 DATE: 1/21/22

A.301

+46'-1" 5 ROOF

+37'-1" 4 4TH FLOOF

+26'-10" 3 3RD FLOOI

+16'-0" 2 2ND FLOOI

±0" 1 FIRST FLO

+46'-1" 5 ROOF

+37'-1" 4 4TH FLOOR

+26'-10" 3 3RD FLOOR

+16'-0" 2 2ND FLOOR

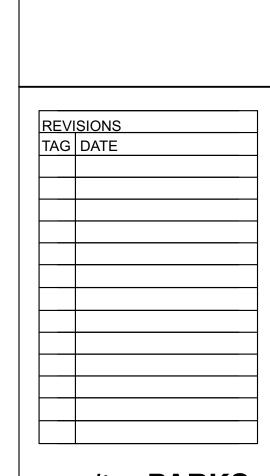
3 SECTION 3
A.401 SCALE: 3/32" = 1'-0"

SECTION 1

SCALE: 3/32" = 1'-0"

22'-4 1/2" 2 15'-10 1/2" 3



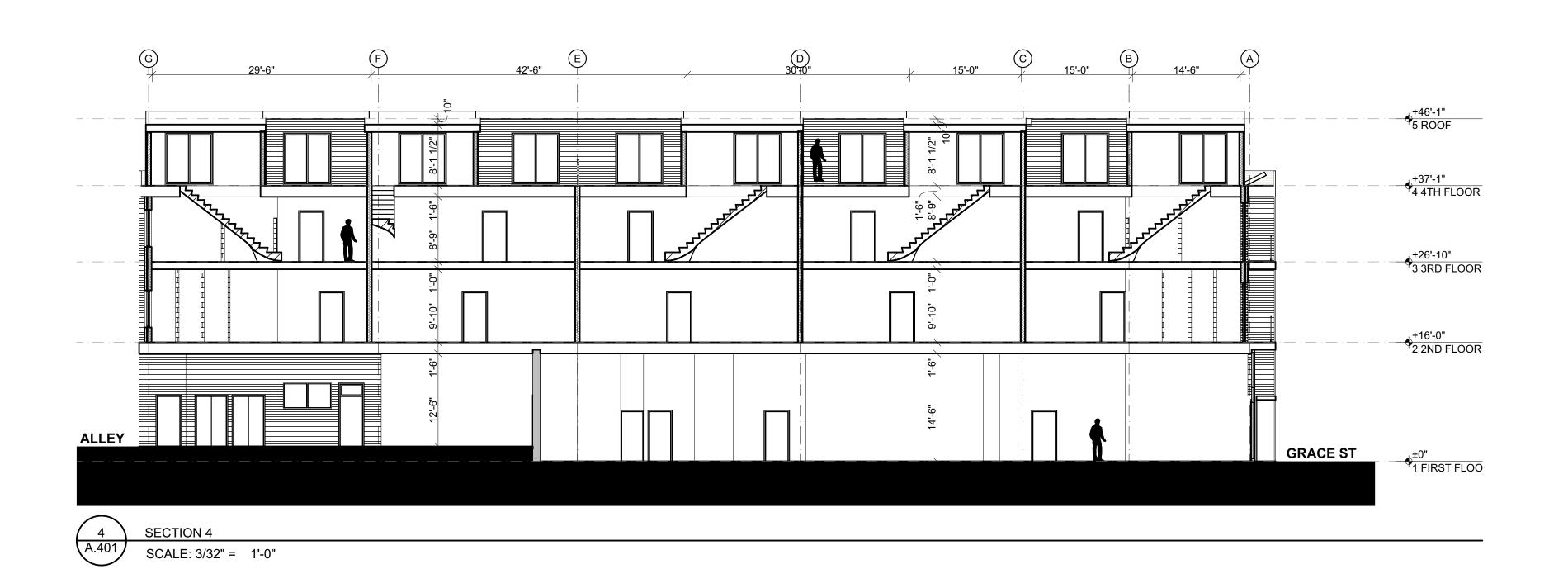


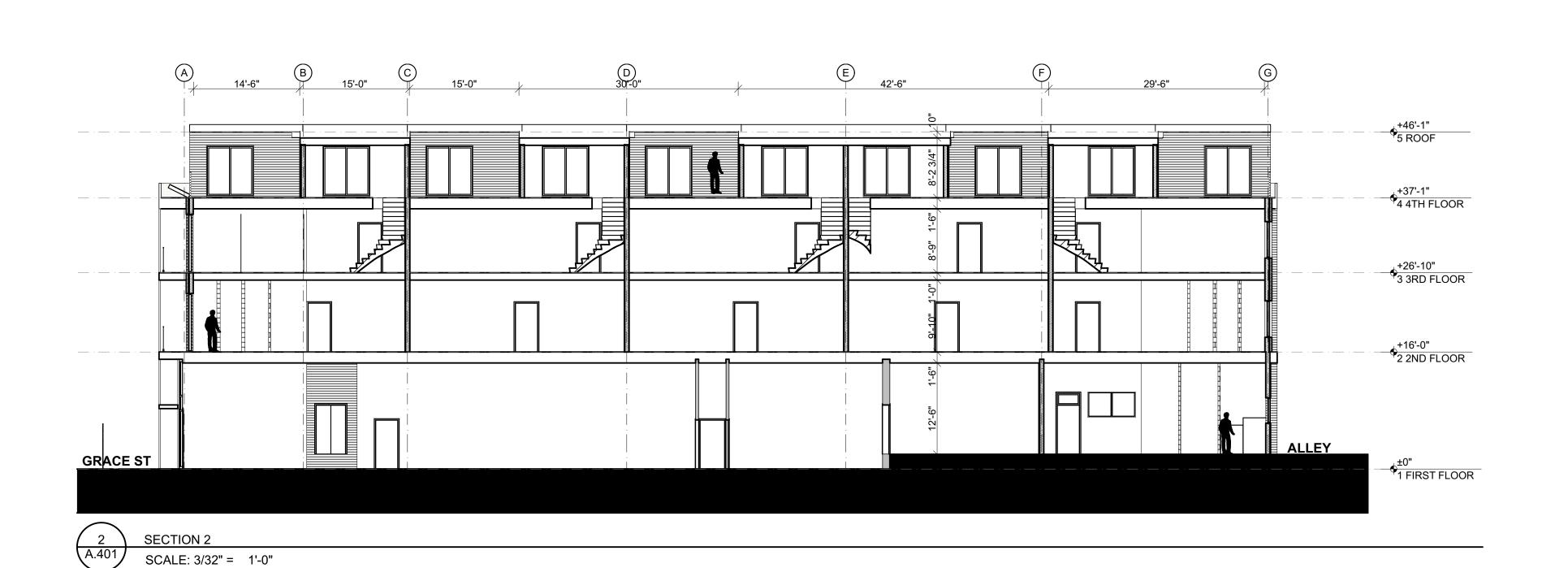
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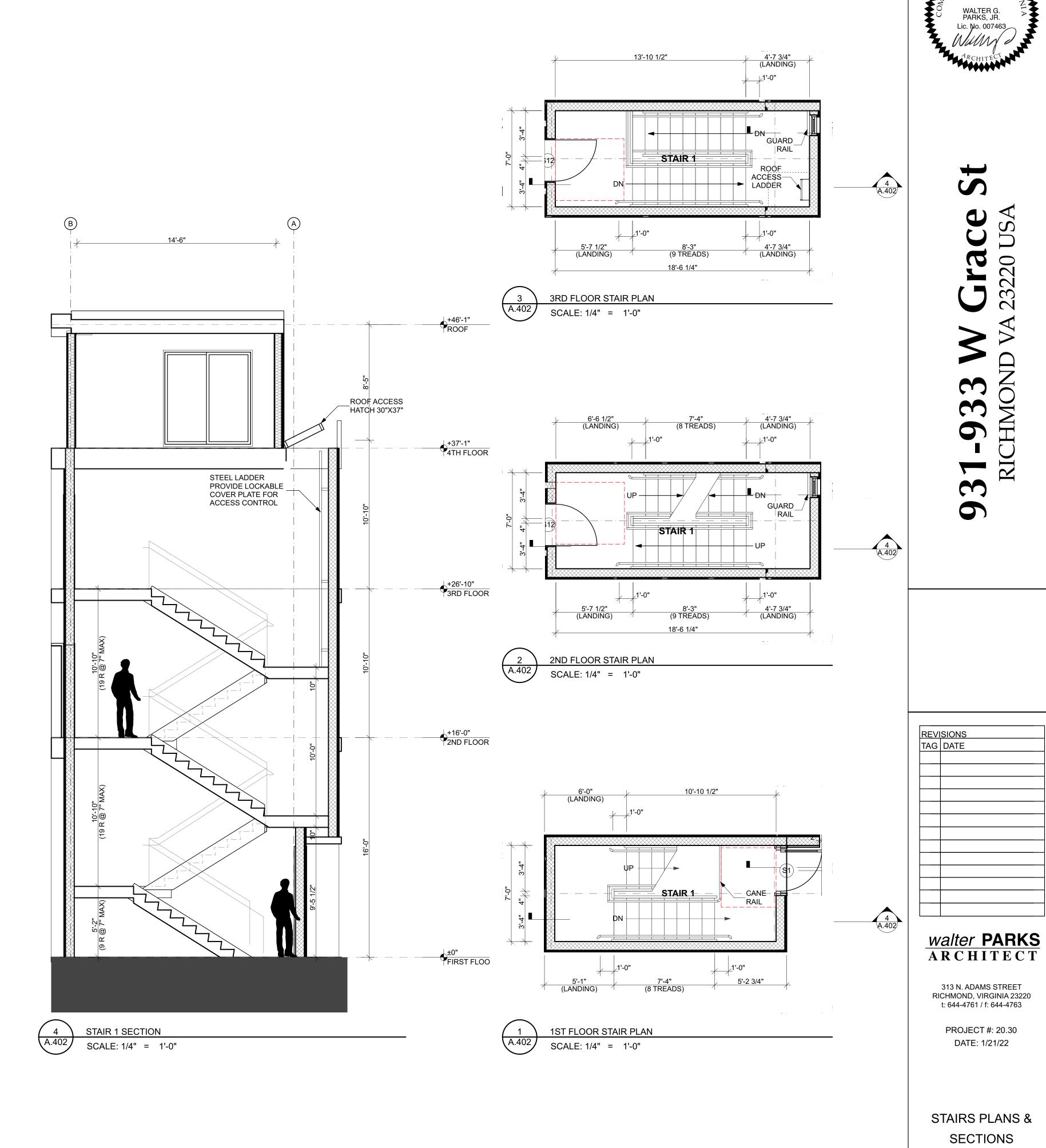
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PROJECT #: 20.30 DATE: 1/21/22

SECTIONS A.401

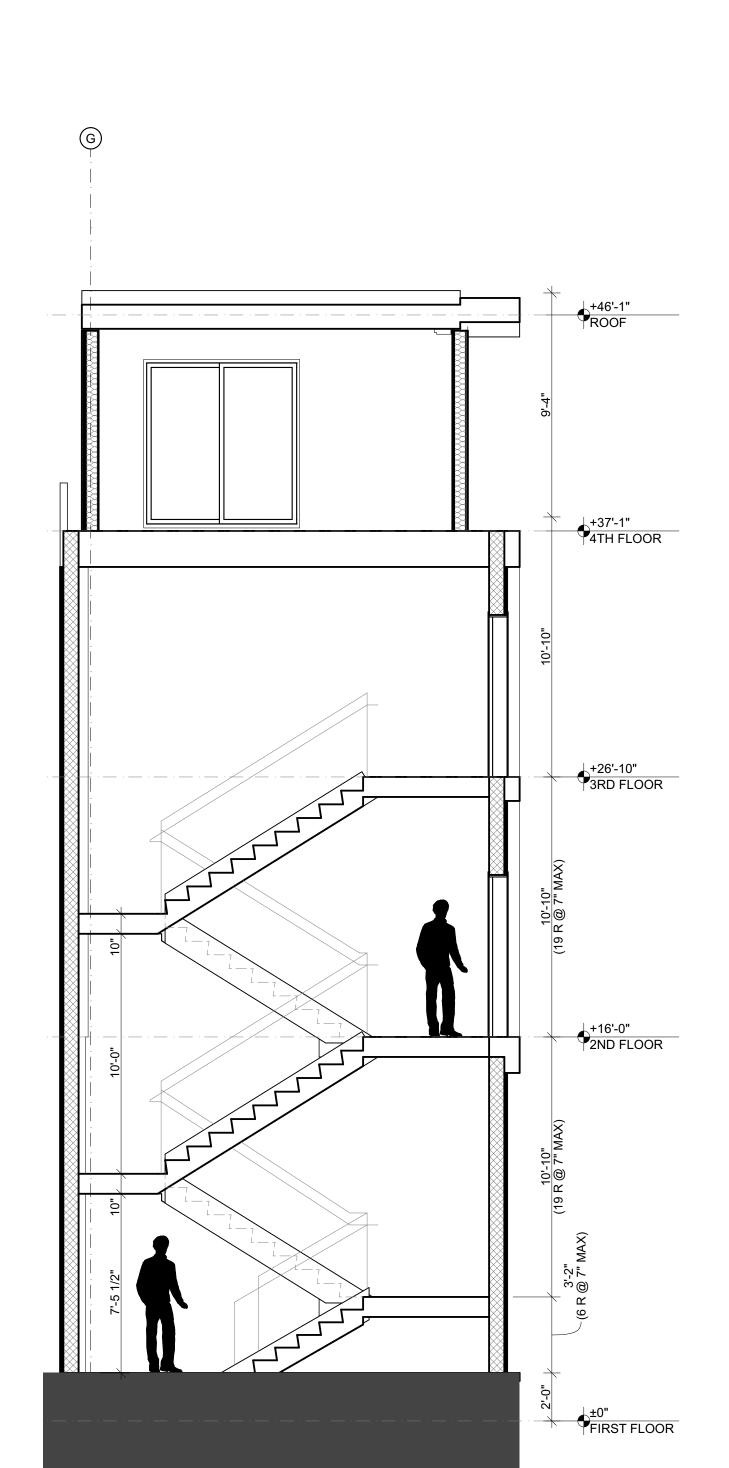






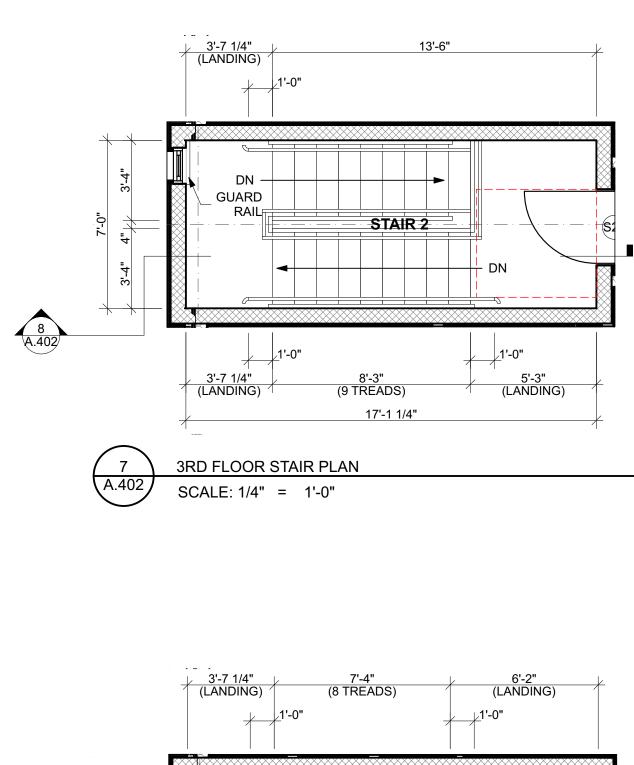
3220 US

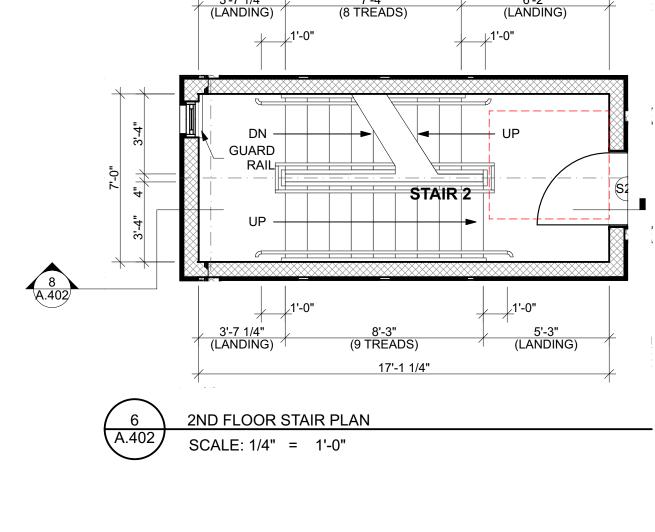
A.402

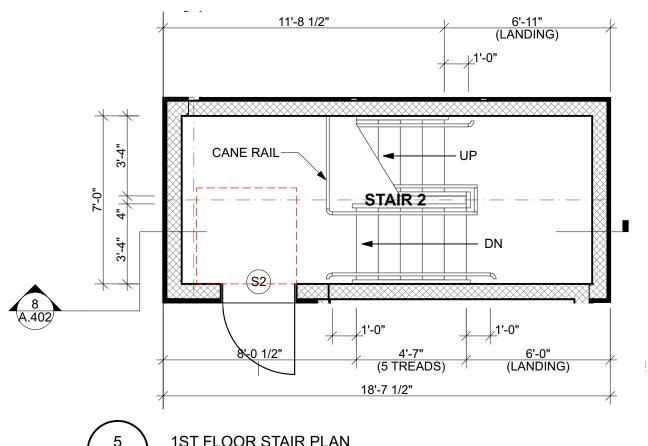


STAIR 2 SECTION

SCALE: 1/4" = 1'-0"



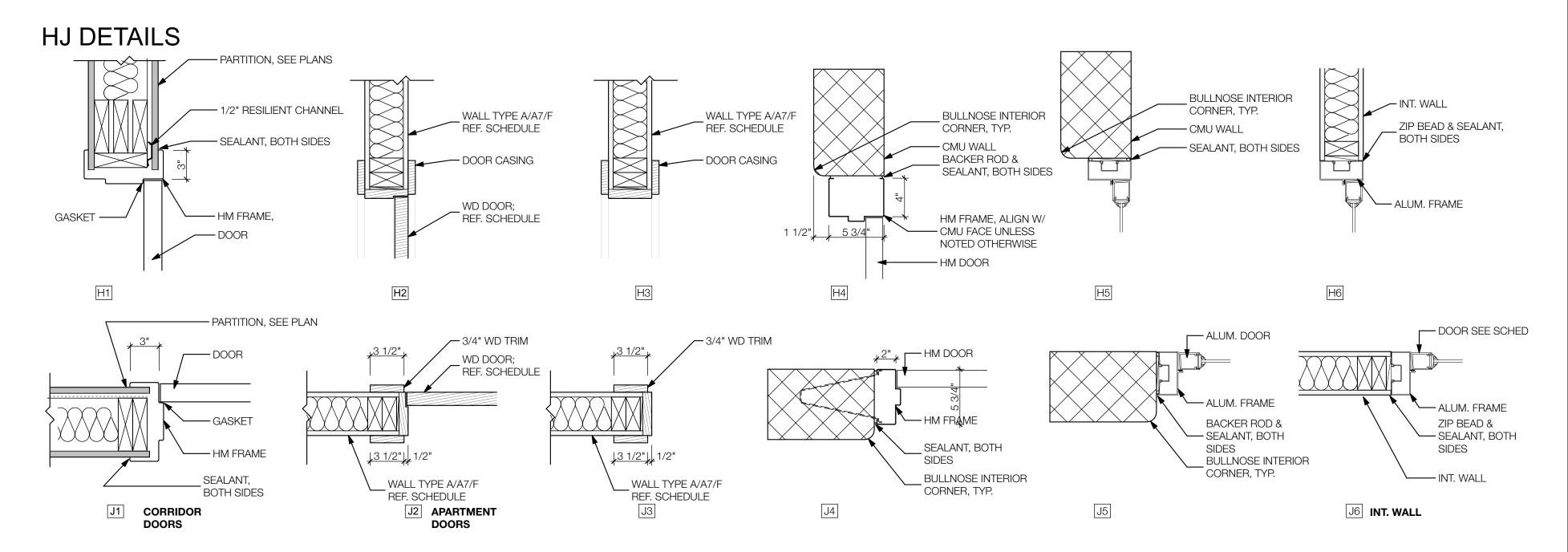




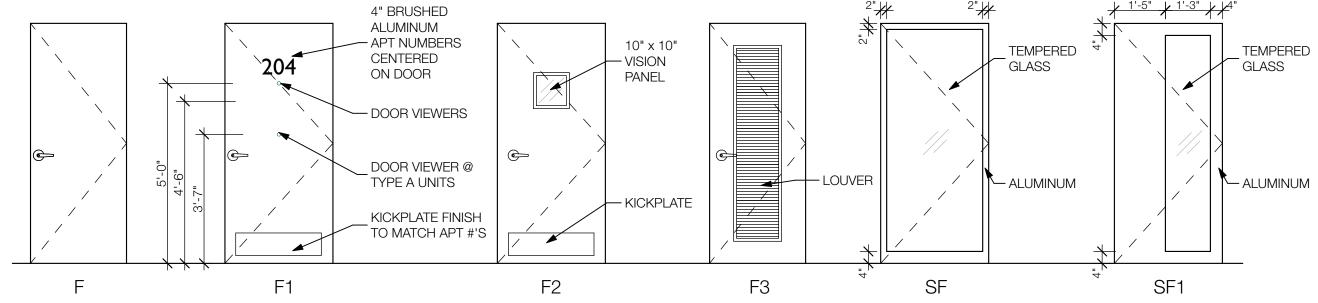
1ST FLOOR STAIR PLAN SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

DOOR NO	DOOR				FRAME		HARDWARE	FIRE	LOCATION	NOTES	
	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	MATERIAL	HEAD/JAMB#	SET#	RATING		
	UNITS										
11	3'-0"	6'-8"	1 3/4"	scw	F1	НМ	1	1		UNIT ENTRY	
12	2'-10"	6'-8"	1 3/8"	SCW	F	WD	3	3		BEDROOM	
13	2'-10"	6'-8"	1 3/8"	SCW	F	WD	3	3		BATHROOM	
14	2'-10"	6'-8"	1 3/8"	HCW	F	WD	4	4		CLOSET	
15	5'-0"	6'-8"	1 3/8"	HCW	F3	WD	5	5		W/D CLOSET	
16	2'-10"	6'-8"	1 3/8"	HCW	F3	WD	4	4		W/D CLOSET	
17	2'-10"	6'-8"	1 3/8"	HCW	F	WD	4	4		WALK IN CLOSET	
	соммо	N AREAS		•							
101	4'-0"	6'-8"	1 3/8"							WATER HEATER CLOSET	
S1	3'-0"	7'-6"	1 3/4"	AL	SF1	AL		16		STAIR 1 EXIT	
S2	3'-0"	6'-8"	1 3/4"	AL	SF	AL		16		STAIR 2 EXIT	
S12	3'-0"	6'-8"	1 3/4"	SCW	F2	НМ		14		STAIR 1	
S22	3'-0"	6'-8"	1 3/4"	SCW	F2	НМ		14		STAIR 2	
ST1	3'-0"	7'-6"	1 3/4"	AL	SF1	AL		10		RESTAURANT	



DOOR TYPES



NOTE: SEE DOOR SCHEDULE FOR ALL HARDWARE

HARDWARE SETS

HARDWARE SETS:

DOOR STOP

1 1/2 PR HINGES

DOOR STOP

ALL LOCKSETS, LATCHSETS: SCHLAGE LEVER RESIDENTIAL (EXCEPT AS NOTED), BRUSHED STAINLESS. PROVIDE MASTER AND GRANDMASTER KEYING SYSTEM

1. APARTMENT ENTRY DOORS (INT): 6. BALCONY
PASSAGE LOCKSET
THUMBTURN DEADBOLT 7. UTIL.

EYE VIEWER

GASKET/ WEATHERSTRIPPING

1 PR BB HINGES

1 SPRING HINGE

DOOR SWEEP

8. TOILET, SINGLE OCCUPANT

1 PR INGLE OCCUPANT

1 1/2 PR HINGES

CLOSER

DOOR STOP

DOOR STOP

CLOSER

2. APARTMENT ENTRY DOORS (EXT): 9. ENTRY
PASSAGE LOCKSET PANIC EXIT
THUMBTURN DEADBOLT NO ENTRY
EYE VIEWER 1 1/2 PR BB HINGES
WEATHERSTRIPPING CLOSER
1 PR BB HINGES DOOR STOP

1 SPRING HINGE
DOOR SWEEP
DOOR STOP
PUSH/PULL
CARD READER

3. BEDROOM AND BATHROOM:
PRIVACY LOCKSET

10. GENERAL CARD ACCESS
PUSH/PULL
CARD READER

1 1/2 PR BB HINGES
CLOSER

DOOR STOP

11. EXIT

4. CLOSETS
PANIC EXIT

LATCHSET
NO ENTRY

1 1/2 PR HINGES
1 1/2 PR BB HINGES

5. CLOSET (DOUBLE DOORS)

2 BALL CATCH (AT TOP OF DR)

3 PR HINGES

2 DUMMY PULLS

2 DOOR STOPS

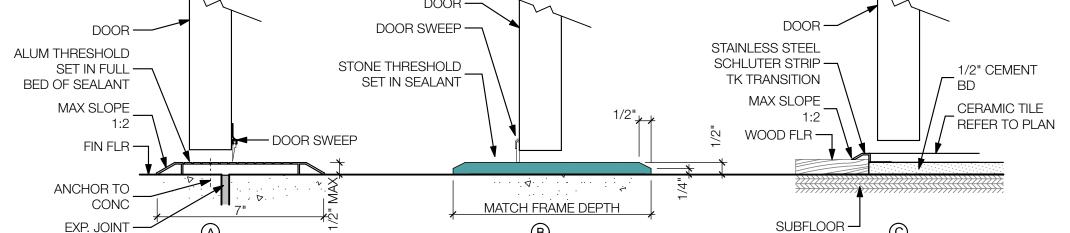
12. PASSAGE

PASSAGE SET

1 1/2 PR BB HINGES

CLOSER

DOOR STOP

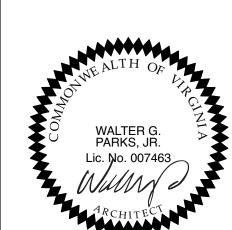


THRESHOLDS

INT. CONCRETE - EXT. CONCRETE

(ENTRANCES)

CARPET TILE - WOOD WOOD - TILE (APT. ENTRIES)



931-933 W Grace StRICHMOND VA 23220 USA

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TAG	DATE	

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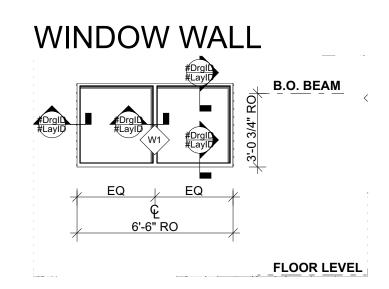
313 N. ADAMS STREET RICHMOND, VIRGINIA 23220 t: 644-4761 / f: 644-4763

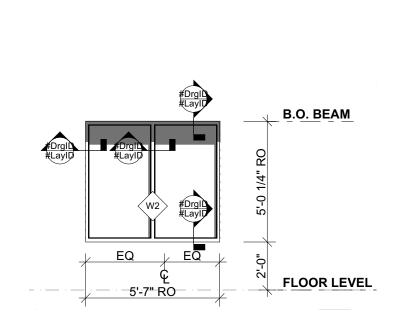
PROJECT #: 20.30 DATE: 1/21/22

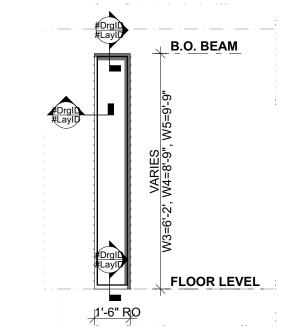
DOOR SCHEDULE

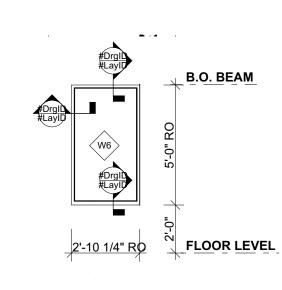
WINDOW SCHEDULE

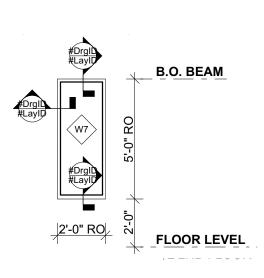
WINDOW NO	APPROX. SIZE		MATERIAL	TYPE	GLAZING	DETAILS	NOTES/ COMMENTS	
	WIDTH	HEIGHT						
	WINDOW WALL							
W1	6'-6"	3'-0"	AL	CASEMENT	G2	4		
W2	6'-6"	5'-0"	AL	CASEMENT	G2	4		
W3	1'-6"	6'-3"	AL	FIXED	G1	3		
W4	1'-6"	9'-6"	AL	FIXED	G1	3		
W5	1'-6"	10'-0"	AL	FIXED	G1	3		
W6	1'-9"	5'-0"	AL	CASEMENT	G2	3		
W7	1'-7"	5'-0"	AL	CASEMENT	G2	3		
	STOREFRONT							
ST1	15'-1"	15'-0"	AL	ES	G1 & G3	10		
ST1A	15'-1"	15'-0"	AL	ES	G1 & G3	10		
ST2	9'-8"	8'-0"	AL	ES	G2	4		
	SLIDING DOOR		•			•		
S1	6'-6"	7'-0"	AL		G2	4		
S2	5'-6"	7'-0"	AL		G2	4		
	SCHEDULE KEY							
ES	EXTERIOR STOREFRONT							
G1	SINGLE PANE INTERIOR CLEAR GLAZING							
G2	LOW-E GLAZING 0.25 - 0.30 SHGC, U-VALUE 0.32 MAX							
G3	SPANDREL (CORRUGATED METAL) PANEL							



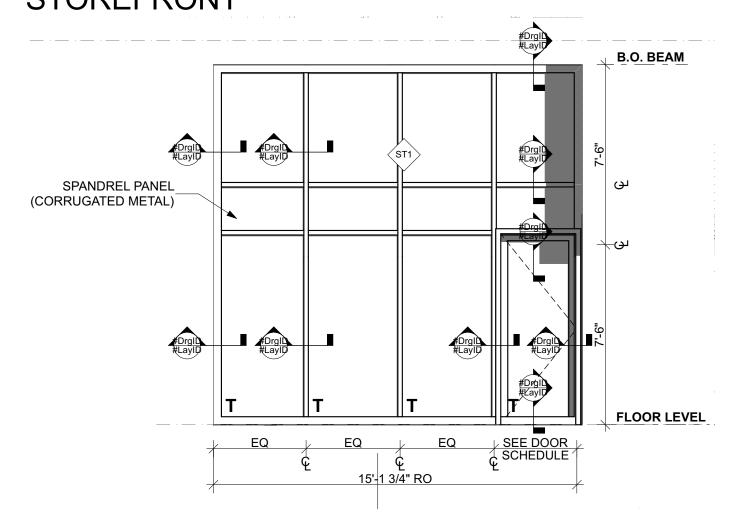


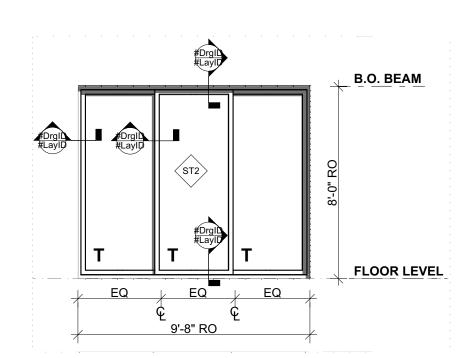






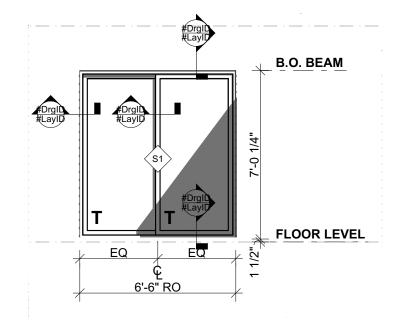
STOREFRONT

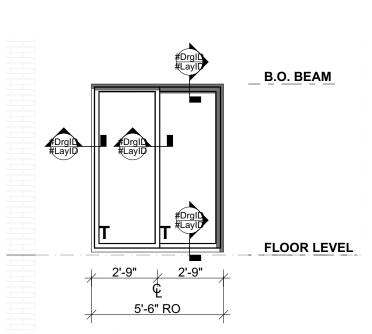




NOTE: ST1A IS A MIRRORED REPLICA OF ST1, SEE GRACE ST ELEVATION.

SLIDING DOOR





WALTER G. PARKS, JR.
Lic. No. 007463

931-933 W Grace St

REVISIONS TAG DATE		
TAG DATE	REV	SIONS
	TAG	DATE

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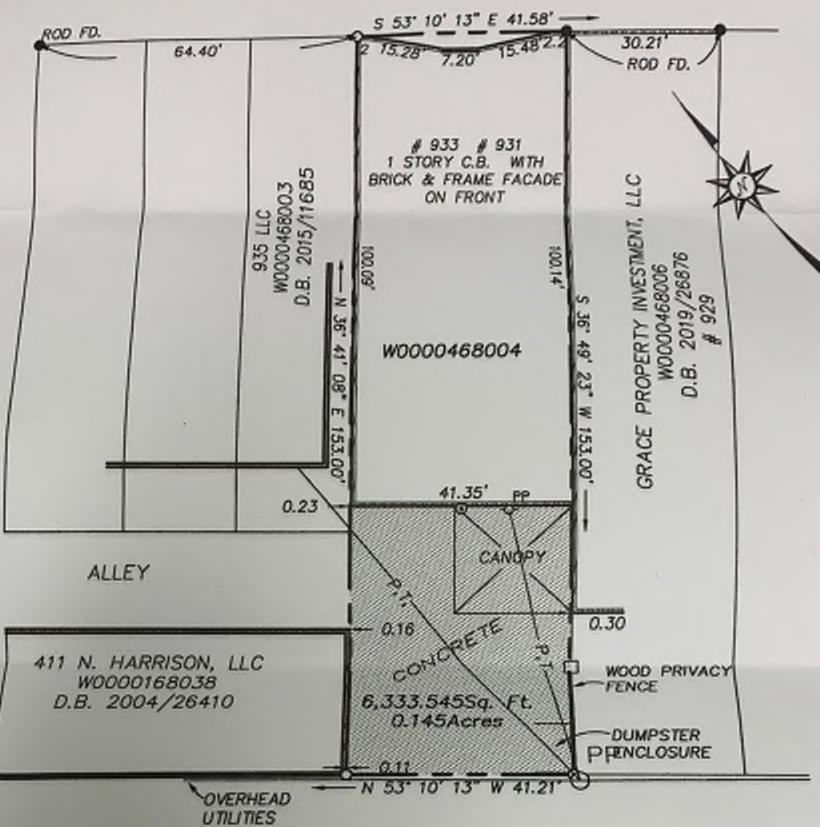
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> PROJECT #: 20.30 DATE: 1/21/22

WINDOW SCHEDULE
A.902

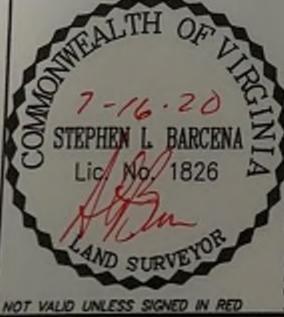
W. GRACE STREET

N. HARRISON STREET



VARIABLE WIDTH ALLEY

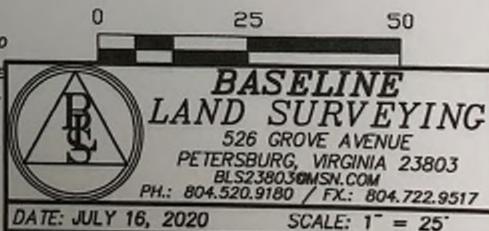
PLAT SHOWING # 931 & # 933 W. GRACE STREET RICHMOND, VIRGINIA SURVEYED FOR SWITZERLAND TOWN, LLC



THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE BINDER AND IS SUBJECT TO ANY ENCUMBRANCES THAT ONE MAY REVEAL ANY ENCUMBRANCES THAT ONE MAY REVEAL
THIS IS TO CERTIFY THAT ON 7/16/20 TO THE
BEST OF MY PROFESSIONAL KNOWLEDGE AND
BELIEF I MADE AN ACCURATE FIELD SURVEY OF
THE PREMISES SHOWN HEREON;
THAT ALL IMPROVEMENTS KNOWN OR VISIBLE
ARE SHOWN HEREON; THAT THERE ARE NO
VISIBLE ENCROACHMENTS BY IMPROVEMENTS
EITHER FROM ADJOINING PREMISES OR FROM
SUBJECT PREMISES UPON ADJOINING PREMISES
OTHER THAN AS SHOWN HEREON.
THIS PROPERTY IS IN JONE "Y" OF THE HID

THIS PROPERTY IS IN ZONE "X" OF THE HUD

DEFINED FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL # 5101290037D, DATED 4/02/09



DRAWN BY: SLB

CHECKED BY: CALC. CHK .: SLB

PREVIOUS JOB NO.

REV .:

JOB NO.: 22434

F.B. 203/8