

INTRODUCED: March 14, 2022

AN ORDINANCE No. 2022-095

To authorize the special use of the property known as 933 West Grace Street for the purpose of a mixed-use building containing up to 21 dwelling units and commercial space, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: APR 11 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 933 West Grace Street, which is situated in a B-4 Central Business District, desires to use such property for the purpose of a mixed-use building containing up to 21 dwelling units and commercial space, which use, among other things, is not currently allowed by section 30-440.3(3), concerning rear yards, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: APR 11 2022 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 933 West Grace Street and identified as Tax Parcel No. W000-0468/004 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing #931 & #933 W. Grace Street, Richmond, Virginia, Surveyed for Switzerland Town, LLC,” prepared by Baseline Land Surveying, and dated July 16, 2020, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a mixed-use building containing up to 21 dwelling units and commercial space, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “931-933 W Grace St, Richmond VA 23220 USA,” prepared by Walter Parks Architect, and dated January 21, 2022, and hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a mixed-use building containing up to 21 dwelling units and commercial space, substantially as shown on the Plans. The first floor commercial space shall contain non-residential uses permitted by the underlying zoning district in which the Property is situated.

- (b) No off street parking shall be required for the Special Use.
- (c) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.
- (d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.
- (e) The height of the Special Use shall not exceed four stories, substantially as shown on the Plans.
- (f) No fewer than seven bicycle parking spaces shall be provided, substantially as shown on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

- (a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.
- (b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.
- (c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as

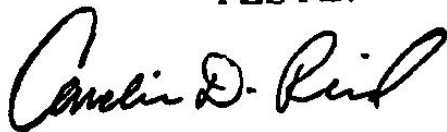
amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:
TESTE:**

A handwritten signature in black ink, appearing to read "Carmelin D. Reed". The signature is fluid and cursive, written over the printed name "Carmelin D. Reed".

City Clerk



City of Richmond

Item Request File Number: PRE.2022.0023

RECEIVED
By City Attorney's Office at 10:07 am, Mar 10, 2022

RECEIVED
By CAO Office at 10:54 am, Feb 15, 2022

2022-037

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

O & R Request

DATE: February 14, 2022

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic
Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 933 West Grace Street for the purpose
of a mixed-use building, containing up to twenty-one dwelling units and commercial space,
upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 933 West Grace Street for the purpose
of a mixed-use building, containing up to twenty-one dwelling units and commercial space, upon certain
terms and conditions.

REASON: The applicant is requesting a Special Use Permit which would allow for a mixed use building
including multi-family and commercial uses within a B-4 Central Business zoning district. While the
proposed uses are currently permitted within the B-4, the use does not meet certain feature requirements
within the B-4 district, including Rear yard depth requirements. A Special Use Permit is therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning
Ordinance, the City Planning Commission will review this request and make a recommendation to City
Council. This item will be scheduled for consideration by the Commission at its April 4, 2022, meeting.

BACKGROUND: The property is located in the VCU neighborhood on West Grace Street, between North Harrison and Shafer Streets. The property is currently a 4,150 sq. ft. building on a 6,379 sq. ft. (.15 acre) parcel of land. The application is for a four story, mixed use building.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Destination Mixed Use. This designation is defined as a "Key gateways featuring prominent destinations, such as retail, sports venues, and large employers, as well as housing and open space."

Primary Uses: Retail/office/personal service, multi-family residential, cultural, and open space.

Secondary Uses: Institutional and government. (p. 64)

The surrounding land uses include mixed-use residential and commercial with some institutional uses to the in the vicinity, especially along Broad Street to the north. The current zoning for this property is B-4 Central Business zoning district. Adjacent properties to the east north, and west are located within the same B-4 Zone. Properties adjacent and directly to the south are zoned R-73 Multifamily Residential District. The density of the proposed development is approximately 140 units per acre.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$2,400 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: March 14, 2022

CITY COUNCIL PUBLIC HEARING DATE: April 11, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
April 4, 2022

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- ☒ **special use permit, new**
☐ **special use permit, plan amendment**
☐ **special use permit, text only amendment**

Project Name/Location

Property Address: 931-933 W. Grace Street, Richmond, VA 23230 Date: 5/12/2021

Tax Map #: W0000468004 Fee: \$2,400.00

Total area of affected site in acres: 0.146

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: B-4 - Business

Existing Use: 426-B Restaurant/Bar

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Addition of three new stories of multi-family residential space atop an existing single story commercial building. The building will have 21 units

Existing Use: Restaurant/bar; the current tenant upfits are not a part of the project scope.

Is this property subject to any previous land use cases?

Yes

☐

No

☒

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: T. Preston Lloyd, Jr.

Company: Williams Mullen

Mailing Address: 200 S. 10th Street, Suite 1600

City: Richmond State: VA Zip Code: 23219

Telephone: (804) 420-6615 Fax: () N/A

Email: plloyd@williamsmullen.com

Property Owner: Switzerland Town LLC

If Business Entity, name and title of authorized signee: Antar Abouzaki, Manager

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 807 E. Parham Road

City: Richmond State: VA Zip Code: 23227

Telephone: (804) 519-8548 Fax: () N/A

Email: _____

Property Owner Signature:

T. Preston Lloyd, Jr., Acting Under Special Power of Attorney

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

August 3, 2021

VIA E-MAIL

City of Richmond Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
Attn. Richard Saunders, Secretary, Planning Commission

**Re. Applicant's Report | Special Use Permit Application
931-933 W. Grace Street, W0000468004**

Ladies and Gentlemen:

This firm is counsel to Switzerland Town LLC, a Virginia limited liability company (the "Applicant"), on whose behalf we submit the enclosed materials referenced on Exhibit A (collectively, the "Application") for authorization of the special use of certain property further described herein pursuant to Section 30-1050.1 *et seq.* of the Code of the City (the "Code"). This letter will serve as the Applicant's Report.

Subject Property

The subject property, presently owned by the Applicant, is 0.146 acres, more or less, known as 931-933 W. Grace Street, Richmond, Virginia 23220, located near the corner of W. Grace Street and N. Harrison Street in the City of Richmond, Virginia, as depicted immediately below (the "Property").



Current Use & Zoning District Regulation

The Property, designated as B-4 Central Business District on the Zoning Map of the City, is currently improved as a single-story storefront used as a restaurant. Surrounding properties are designated as B-4 along W. Grace Street and R-73 to the rear across an alley, as shown on the Zoning Map excerpted immediately below. The Property's frontage on W. Grace Street is designated on the Zoning Map of the City as "priority street" frontage.



Proposed Special Use

Consistent with the site plan enclosed herewith (the "Site Plan"), the Applicant proposes the addition of 3 new stories of multi-family residential use comprised of 21 units atop an existing single-story commercial building located on the Property. This use is permitted as a matter of right within the B-4 district.

In connection with its special use of the Property, the Applicant requests relief from the rear yard setback requirement imposed by the Code. Per Section 30-440.3(3), the Property is subject to a 20-foot rear yard setback requirement due to the proximity of land zoned R-73 located immediately across the alley at the rear of the parcel. The Applicant proposes a rear yard setback of ____ feet, as shown on the Site Plan.

Conformance with Master Plan

The proposed special use of the Property conforms to the City's Master Plan, approved in the form of the Richmond 300 Master Plan (the "Master Plan"). According to the Master Plan, Richmond

300 intends the Property to be part of the VCU National/Regional Node. VCU's Monroe Park Campus anchors a cluster of shopping, dining, and housing for students and neighborhood residents alike. Further, the Richmond 300 Future Land Use Map categorizes the Property as Destination Mixed-Use. The Master Plan provides that areas designated Destination Mixed-Use are intended to be key gateways featuring prominent destinations, including retail and housing. Development in Destination Mixed-Use areas are recommended to include a mix of commercial and residential buildings with features that encourage walking, and buildings that are generally at least five stories tall. These vertically mixed-use buildings require commercial ground floor uses on street-oriented commercial frontages. The Property is currently comprised of a single-story commercial building used as a restaurant. Since the proposed development shown on the Site Plan would add three new stories of 21 multi-family residential units to the current building, the proposed development enhances the ability of the Property to achieve the future Destination Mixed-Use concept that the Master Plan outlines.

Additionally, residential units can be developed through compatible infill development and developing two to three stories of residential above existing commercial structures. New infill development incorporates high-quality architecture, complements the character of historic buildings, and matches the intensity of existing buildings with active ground floor uses that enliven the sidewalks. Given the location of the Property in the VCU National/Regional Node, the proposed infill development fits within the goals of the Master Plan as it would modernize the current building, provide additional housing, and maintain an active and engaged street front with a restaurant on the first floor. Further, since the Property is located on "priority street" frontage, deviation from the rear yard setback requirement set forth under Sec. 30-440.3(3) of the Code would improve the design and function of the development.

Charter Requirements

Based on the foregoing, the proposed use on the Property meets the criteria set forth in Section 17.11(b) of the Charter of the City that the Application is not (i) detrimental to the safety, health, morals and general welfare of the community involved; (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved; (iii) create hazards from fire, panic or other dangers; (iv) tend to cause overcrowding of land and an undue concentration of population; (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or (vi) interfere with adequate light and air.

Conclusion

The proposed special use of the Property, i.e., deviation from the rear yard setback requirement imposed by the Code, would further catalyze the ability to achieve the goals of the Master Plan. A reduction in the rear yard setback requirement would advance the land use policy priorities of City Council evidenced in the Master Plan, as authorized by the Charter of the City.

City of Richmond Department of Planning and Development Review
August 3, 2021
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Thank you for your consideration of this matter. Please confirm your determination that the Application has been received and deemed complete by your office, and kindly contact us should you have any questions or require additional materials.

Very truly yours,

/s/

T. Preston Lloyd, Jr.

cc. The Hon. Katherine L. Jordan, Councilperson for 2nd District (via email)
Kevin J. Vonck, Ph.D., Acting Director, Department of Planning and Development Review
(via email)
Nael Abouzaki (via email)

Enclosures

45209201_3



SHEET	NAME	ISSUE NUMBER	ISSUE/REV. DATE
G.000	COVER SHEET		
G.001	GENERAL NOTES	01	01/20/22
G.002	COMMON AREAS ANSI ACCESS INFORMATION		
G.003	UNIT ANSI ACCESS INFORMATION		
G.004	FHA ACCESSIBILITY GUIDELINES		
G.005	FHA ACCESSIBILITY GUIDELINES		
G.006	SITE PLAN	01	01/20/22
G.007	GROSS BUILDING AREAS, OPEN SPACE CALCULATIONS, & UNIT COUNTS		
G.008	VERTICAL ASSEMBLIES		
G.009	1:4 INCLINED PLANE AND FENESTRATION CALCULATIONS		
A.101	LIFE SAFETY PLANS		
A.201	FIRST - 3RD FLOOR PLANS		
A.202	4TH AND ROOF PLANS		
A.211.3	FIRST FLOOR UNIT PLAN		
A.212.1.2	SECOND FLOOR UNIT PLAN		
A.212.3	SECOND FLOOR UNIT PLAN		
A.213.1.2	THIRD FLOOR UNIT PLAN		
A.213.3	THIRD FLOOR UNIT PLAN		
A.214.1.2	FOURTH FLOOR UNIT PLAN		
A.214.3	FOURTH FLOOR UNIT PLAN		
A.301	ELEVATIONS		
A.401	SECTIONS		
A.402	STAIRS PLANS & SECTIONS		
A.901	DOOR SCHEDULE		
A.902	WINDOW SCHEDULE		

[illegible]

COVER SHEET
G.000

GRACE PROJECT Analysis

Property Address: 931, 933 W Grace Street
Zoning: B-4 - Business (Central Business)
Planning District: Near West
Traffic Zone: 1097
City Neighborhood Name: VCU
Parcel Area: 6378.53 sf (0.146 acres)
Parcel Area to midline of street & alley: 5,727sf

DIVISION 22. B-4 CENTRAL BUSINESS DISTRICT

SEC. 30-440.1. PERMITTED PRINCIPAL AND ACCESSORY USES.

The following uses of buildings and premises shall be permitted in the B-4 district.

A plan of development shall be required as specified in this section; construction of any new building of greater than 50,000 square feet of floor area; and construction of any new building or addition to any existing building where vehicular circulation, including driveways, parking areas or loading areas, is to be provided on the site; provided that a plan of development shall not be required for any use that is subject to location, character and extent approval by the city planning commission in accordance with section 17.07 of the City Charter.

(12) Dwelling units, provided that when such units are located within buildings fronting on streets designated as street oriented commercial frontage, a minimum of one-third or 1,000 square feet, whichever is greater, of the floor area of the ground floor of the building shall be devoted to other principal uses permitted in this district, and such uses shall have a depth of not less than 20 feet along the entire street oriented commercial frontage, except for ingress and egress. A plan of development shall be required as set forth in article X of this chapter for construction of any new building containing more than ten dwelling units (Ord. No. 2011-205-2012-1, 1-9-2012)

SEC. 30-440.3. YARDS.

(1) Front Yard.

(c) Where existing buildings are located on both adjacent lots along the same street frontage, the front yard shall be the same as the front yard provided for the existing building closest to the street, but in no case greater than ten feet.

(2) Side yards. No side yards shall be required.

(3) Rear yard. No rear yard shall be required except as provided in subsection (4) of this section, and except that where a rear lot line abuts or is situated across an alley from property in an R or RO district there shall be a rear yard of not less than 20 feet in depth.

(4) Side and rear yards adjacent to shelters. Side and rear yards adjacent to newly constructed buildings or portions thereof devoted to shelters shall be not less than 15 feet in depth.

Sec. 30-440.4. Screening.

(2) Where a use prohibited on a transitional site is situated across an alley from the side lot line of property in an R district, there shall be an opaque structural fence or wall not less than four feet in height erected along the alley line, but not within 15 feet of any street line.

SEC. 30-440.5. FLOOR AREA AND USABLE OPEN SPACE.

(See section 30-1220)

- (1) Floor area ratio. The floor area ratio shall not exceed 6.0, provided that additional floor area for non dwelling uses shall be permitted as set forth in section 30-690.
- (2) Usable open space ratio. A usable open space ratio of not less than 0.08 shall be provided for newly constructed buildings or portions thereof devoted to dwelling uses or shelters.

Floor area ratio (FAR) means the total square foot amount of floor area on a lot for each square foot of land area. Floor area ratio is determined by dividing the floor area on a lot by the land area attributed to the lot.

Usable open space means that portion of a lot or that portion of a development site which is not covered by building area or vehicular area and including usable roof area and exterior balconies, terraces or patios not covered by enclosed building space.

Usable open space ratio means the total square foot amount of usable open space on a lot for each square foot of floor area on the lot or on the development site. The usable open space ratio is determined by dividing the amount of usable open space by the amount of floor area (devoted to dwellings uses).

Floor Area: Lot area to midline of streets & alley is 5,727sf x 6.0 FAR = 34,362 sf

Usable Open Space: Building Area devoted to Dwelling Use (17,812.75 sf) x 0.08 = 1,425.02 sf

SEC. 30-440.6. HEIGHT.

There shall be no maximum height limit in the B-4 central business district, provided that no portion of a building shall penetrate an inclined plane originating at the centerline of each abutting street and extending over the lot at an inclination of one foot horizontal for each four feet vertical and provided, further, that such inclined plane may be penetrated by a building wall adjacent to a street for a horizontal distance not exceeding 50 percent of the length of the property line along such street.

Sec. 30-440.7. Building facade fenestration.

(1) Street level story.

a. Nondwelling uses. For nondwelling uses, a minimum of 60 percent of the building facade between two and eight feet in height along the street frontage shall be comprised of windows or glass doors or both that allow views into and out of the interior building space. Windows used to satisfy this requirement shall have a minimum height of four feet. In the case of a street level story having less than its full height above the mean grade level at the building facade along the street frontage of the lot, a minimum of 30 percent of the building facade above such mean grade level shall be comprised of windows or glass doors or both that allow views into and out of the interior building space, provided that in the case of any portion of a story having less than five feet of its height above the grade level at the building facade along the street frontage of the lot, the requirements of this subsection (1) "a" shall not apply.

b. Dwelling uses. For dwelling uses, windows or glass doors or both that allow views out of the interior of the building space shall comprise a minimum of 30 percent of the building facade between two and eight feet in height along the street frontage. In the case of a street level story having less than its full height above the mean grade level at the building facade along the street frontage of the lot, windows or glass doors or both that allow views out of the interior building space shall comprise a minimum of 15 percent of the building facade above such mean grade level, provided that in the case of any portion of a story having less than five feet of its height above the grade level at the building facade along the street frontage of the lot, the requirements of this subsection (1) "b" shall not apply. In all cases, windows shall be double-hung, single-hung, awning or casement type, and fixed windows shall be permitted only as a component of a system including operable windows within a single wall opening.

(2) Upper stories.

GENERAL NOTES

1. PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE BUILDING CODES.

2. VERIFY EXISTING CONDITIONS, DIMENSIONS AND VERTICAL ELEVATIONS THAT AFFECT THE WORK INDICATED IN THESE DOCUMENTS AND NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES. DISCREPANCIES AND CONDITIONS THAT REQUIRE ADDITIONAL DOCUMENTATION BEYOND THAT SHOWN IN THESE PROJECT DOCUMENTS IN ORDER FOR THE CONTRACTOR TO PERFORM HIS WORK SHALL BE PROVIDED AND INCLUDED IN THE CONTRACTOR'S BASE BID.

3. DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON DRAWINGS SHALL GOVERN. ALL DIMENSIONS ARE TAKEN TO FACE OF STUDS OR EXISTING MASONRY/ CONCRETE OR OTHER EXISTING CONSTRUCTION, UNLESS OTHERWISE INDICATED.

4. OBTAIN AND PAY FOR ALL PERMITS, PROCESS AND COMPLETE ALL INSPECTIONS AND REPORTS, SECURE FINAL BUILDING CODE OFFICIAL SIGN-OFFS AND OBTAIN A CERTIFICATE OF OCCUPANCY. PROVIDE THE OWNER WITH A BONAFIDE RELEASE OF ALL LIENS WITH EACH SUBCONTRACTOR'S SIGNATURE.

5. INSTALL ARCHITECT'S SIGN WITHIN 30 DAYS OF NOTICE TO PROCEED, ADJACENT TO CONTRACTOR'S SIGN OR AS APPROVED BY THE OWNER. ARCHITECT'S SIGN SHALL BE FURNISHED BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN SIGN IN NEAT APPEARANCE THROUGH DURATION OF THE CONTRACT. REMOVE AND TURN OVER SIGN TO THE ARCHITECT AT PROJECT COMPLETION.

6. SCHEDULE A KICK OFF MEETING WITH ARCHITECT, CONTRACTOR AND MAJOR SUBCONTRACTORS TO COORDINATE ALL BUILDING SYSTEMS.

7. PROVIDE ALL TEMPORARY FACILITIES AND UTILITIES REQUIRED FOR COMPLETION OF THE PROJECT.

8. IF LEAD PAINT IS ENCOUNTERED, COMPLY WITH OSHA 29CFR 1926.62

9. PROTECT ALL EXISTING ELEMENTS AND FINISHES TO BE SALVAGED, REUSED OR MAINTAINED, FROM DAMAGE. REPAIR DAMAGE TO EXISTING BUILDING FROM CONSTRUCTION ACTIVITIES TO LIKE NEW OR ORIGINAL CONDITIONS WITHOUT ADDITIONAL COSTS TO THE OWNER.

10. ISOLATE CONSTRUCTION ACTIVITIES FROM OCCUPIED AREAS, PARKED VEHICLES, ADJACENT BUILDINGS OR PROPERTY FOR NOISE, DUST, HEAT LOSS AND GENERAL ACCESS.

11. KEEP CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS AT ALL TIMES.

12. PROVIDE A SUBMITTAL/ SHOP DRAWING LOG WITHIN 30 DAYS OF NOTICE TO PROCEED TO THE ARCHITECT. LOG MUST INDICATE ANTICIPATED DATES FOR DESIGN PROFESSIONAL REVIEW. PROVIDE SHOP DRAWINGS AND/ OR SUBMITTALS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION OF ALL ITEMS. PRIOR TO SUBMITTING SHOP DRAWINGS AND SUBMITTALS, REVIEW EACH ITEM FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. ALL SUBMITTALS SHALL BE FOR PRODUCTS SPECIFIED OR INDICATED. SUBSTITUTIONS MUST BE SO IDENTIFIED AND MAY REQUIRE ADDITIONAL REVIEW TIME BY THE ARCHITECT OR ENGINEER.

13. ALL ITEMS FOR CONSTRUCTION SHALL BE NEW, UNUSED AND OF HIGHEST QUALITY. INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.

14. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY OR IN ROOF APPLICATIONS (CURBS, BLOCKING ETC.) SHALL BE PRESSURE PRESERVATIVE TREATED.

15. ALL GLAZING SHALL COMPLY WITH HAZARDOUS LOCATION REQUIREMENTS AS INDICATED IN BUILDING CODE.

16. PROVIDE CAULKING BETWEEN DISSIMILAR MATERIALS IN ORDER TO INSURE WEATHER TIGHTNESS, FIRE RATINGS, AND/ OR CONTINUITY OF FINISHES. CAULKING AT ALL JOINTS WHERE FIRE RATINGS ARE REQUIRED SHALL BE FIRE RATED AND COMPATIBLE WITH INDEPENDENT LAB TESTED ASSEMBLY.

17. PROVIDE ADEQUATE FRAMING/ BLOCKING OR CONCEALED SUPPORTS AND FASTENING DEVICES FOR ALL ITEMS TO BE MOUNTED TO THE CEILINGS OR WALLS.

18. EXTEND ALL FLOOR, WALL, AND CEILING FINISHES UNDER OR BEHIND ANY ITEM OF EQUIPMENT, FURNITURE, ETC.

19. SIGNAGE: ALL SIGNAGE FOR FIRE EQUIPMENT SHALL BE PERMANENTLY INSTALLED AND BE READILY VISIBLE ON THE ENTRANCE DOOR. LETTERS MUST CONTRAST WITH THE SIGN BACKGROUND. SIGNAGE MUST BE 4" IN HEIGHT AND SHALL READ "SPRINKLER CONTROL VALVES". PROVIDE TACTILE WARNING SIGNAGE STATING "EXIT" AT DOORS TO ENCLOSED STAIRWAYS, ADJACENT TO THE LATCH SIDE OF THE DOOR, 60 INCHES ABOVE FINISHED FLOOR TO THE CENTERLINE OF THE SIGN.

20. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF FIRE RATED ASSEMBLIES THAT ARE PENETRATED BY BUILDING SYSTEMS. REPAIR AND/OR FILL ALL VOIDS AND HOLES IN FLOORS, WALLS, CEILINGS, AND ROOFS WITH SOLID MATERIAL TO MATCH ADJACENT CONSTRUCTION, FIRE RATINGS AND PERFORMANCE.

21. PROVIDE 1/8" THICK, 4" TALL BRUSHED ALUMINUM NUMBERS AT EACH APARTMENT ENTRY DOOR, UNLESS OTHERWISE NOTED.

22. WHERE NEW ROOFING IS INDICATED, PROVIDE FLASHING AT ADJOINING STRUCTURES AND PENETRATIONS TO ENSURE THEY ARE WATERTIGHT AND MAINTAIN REQUIRED WARRANTY. UNLESS OTHERWISE INDICATED, EXTEND ROOF MEMBRANE UP THE BACK OF PARAPETS AND UNDER COPINGS TO BUILDING EXTERIOR.

23. BUILDING TO BE WATERTIGHT AGAINST ELEMENTS.

24. WHERE TUBS ARE LOCATED AGAINST FIRE RATED ASSEMBLIES, PROVIDE ADDITIONAL LAYER OF 1/2" GYPSUM TO COVER TUB FLANGE UP TO CEILING.

25. PROVIDE 4" MINIMUM BETWEEN HINGE SIDE OF DOOR OPENINGS AND NEAREST ADJOINING WALL OR PARTITION, UNLESS OTHERWISE NOTED.

26. PROVIDE 1/2" GYPSUM BOARD IN ATTICS ABOVE AND IN LINE WITH DWELLING UNIT SEPARATION WALLS.

27. EACH FINISH SUB-CONTRACTOR SHALL INSPECT THE SUBSTRATE AND DETERMINE THE SUITABILITY FOR THE TYPE OF MATERIAL TO BE INSTALLED. REPORT ALL UNSUITABLE CONDITIONS TO CORRECTION. CARPET AND TILE CONTRACTORS SHALL PROVIDE FLASH PATCHING AS REQUIRED FOR A TRUE AND LEVEL FINISH. CLEAN ALL SURFACES TO RECEIVE NEW FINISHES OF FOREIGN MATERIAL THAT WOULD ADVERSELY AFFECT THE APPLICATION AND PERFORMANCE OF NEW FINISHES. COMMENCEMENT OF WORK IS ACKNOWLEDGEMENT OF THE CONTRACTOR'S ACCEPTANCE OF THE SUBSTRATE.

28. COMPLY WITH THE CITY OF RICHMOND CROSS CONNECTION AND BACKFLOW PROGRAM REQUIREMENTS. PROVIDE DETAIL DRAWINGS OF EXISTING UTILITIES AND NEW BACKFLOW AND SPRINKLER INSTALLATIONS TO THE DEPARTMENT OF UTILITIES FOR APPROVAL PRIOR TO INSTALLATION.

29. PROVIDE ALL HOOKUPS REQUIRED FOR INDICATED EQUIPMENT.

30. SPRINKLER SYSTEM SHALL BE PROVIDED ON A DESIGN-BUILD BASIS WITH SHOP DRAWINGS INCLUDING A PROFESSIONAL ENGINEER SEAL FOR APPROVAL BY BUILDING CODE OFFICIAL. SPRINKLER CONTRACTOR SHALL VERIFY THE OWNER'S SPRINKLER SUPERVISION METHOD SELECTION AND COORDINATE WITH THE FIRE ALARM SUB CONTRACTOR. COORDINATE ALL COMPONENTS WITH OTHER TRADES TO MINIMIZE CONFLICTS.

31. PROVIDE PORTABLE FIRE EXTINGUISHER ON EACH COMPLETED FLOOR DURING CONSTRUCTION IN ACCORDANCE WITH NFPA 10 (STANDARDS FOR THE INSTALLATION OF PORTABLE FIRE EXTINGUISHERS).

32. GUARANTEE ALL WORK FOR A MINIMUM PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

GENERAL HAZARD NOTES

1. UNDERGROUND STORAGE TANKS (UST), IF FOUND, ARE TO BE "CLOSED IN PLACE". ANALYZE A MINIMUM OF 8 SOIL SAMPLES ADJACENT TO THE BOTTOM OF THE USTS FOR TOTAL PETROLEUM HYDROCARBON VIA EPA METHOD 8015B.

2. REMOVE ALL ABOVE GROUND STORAGE TANKS FROM THE SITE IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE REGULATIONS.

3. ASBESTOS-CONTAINING MATERIALS, IF FOUND, ARE TO BE MANAGED UNDER A SITE-SPECIFIC OPERATIONS AND MAINTENANCE PROGRAM DEVELOPED IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES BY A LICENSED ASBESTOS PROJECT DESIGNER.

4. LEAD-BASED PAINT, IF FOUND, SHALL BE ENCAPSULATED IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS UNLESS OTHERWISE NOTED. AREAS IDENTIFIED WITH LEAD PAINT SUBJECT TO PAINT REMOVAL SHALL BE PERFORMED IN A CONTROLLED MANNER PER OSHA 29 CFR 1926.62.

5. POLYCHLORINATED BIPHENYLS - PCB CONTAINING LIGHT BALLASTS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL APPLICABLE REGULATIONS BY AN ELECTRICAL CONTRACTOR FAMILIAR WITH PCBs.

6. ALL AREAS CONTAINING PIGEON GUANO SHALL BE PROPERLY CLEANED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

SANITARY SEWER AND STORM SEWER NOTES

1. BASED ON CITY GIS THE EXISTING BUILDING IS SERVED BY THE CSS FROM THE ALLEY OFF N. HARRISON STREET. THE SEWER MAIN IN N. HARRISON STREET IS A 20"x30" (EQIBR). THE PROPOSED 21 ONE BEDROOM UNITS WILL GENERATE 200 GPD EACH. THIS EQUATES TO A PEAK FLOW OF 0.014 MGD OR 0.064 CFS. THE EXISTING RESTAURANT WILL REMAIN AT ITS SAME FLOW RATE. PRIOR TO APPLYING FOR ANY PERMITS, ENGINEER TO CONFIRM SEWER SIZE, PIPE MATERIAL, AND PIPE CAPACITY DURING SITE CONSTRUCTION PLAN REVIEW.

2. A FULLY ENGINEERED SITE CONSTRUCTION PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO APPLYING FOR ANY PERMITS. THE CONSTRUCTION PLAN SHALL INCLUDE EXISTING AND POST DEVELOPMENT SANITARY SEWER AND STORMWATER FLOW RATES. EXISTING AND PROPOSED SANITARY SEWER QUANTITIES SHALL ALSO BE PROVIDED.

PROJECT SCOPE

THIS PROJECT IS THE ADDITION OF THREE NEW STORIES OF MULTI-FAMILY RESIDENTIAL SPACE ATOP AN EXISTING SINGLE-STORY COMMERCIAL BUILDING ON WEST GRACE STREET IN THE FAN DISTRICT. THE BUILDING WILL HAVE 21 UNITS. THE EXISTING COMMERCIAL TENANT SPACE(S) UPFITS ARE NOT PART OF THIS SCOPE.

PROJECT DIRECTORY

Owner
Switzerland Town LLC

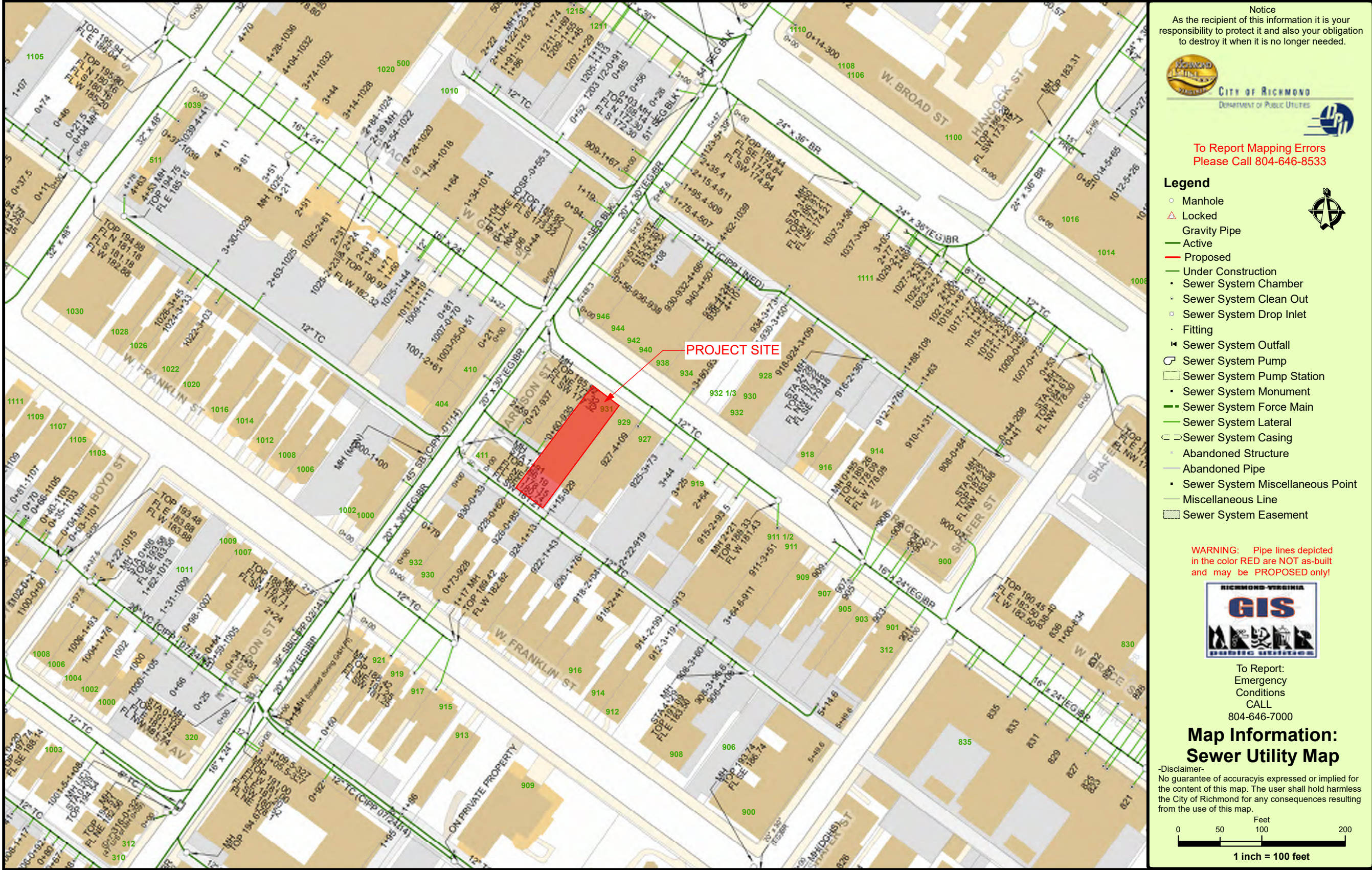
Architect
Walter Parks Architect
Contact: Walter Parks
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Richmond, VA 23220
804.644.4761

Civil Engineer
HG Design Studio
Contact: Edward Glass
5701 Grove Avenue
Richmond, VA 23228
804.740.7500

Structural Engineer
Balzer & Associates
Contact: Randy Tritt
15871 City View Drive, Suite 200
Midlothian, VA 23113
804.794.0571

MEP Engineer
O'Neil Engineering Services
Contact: Patrick O'Neil
2420 New Dorset Terrace
Powhatan, VA 23139
804.921.3589

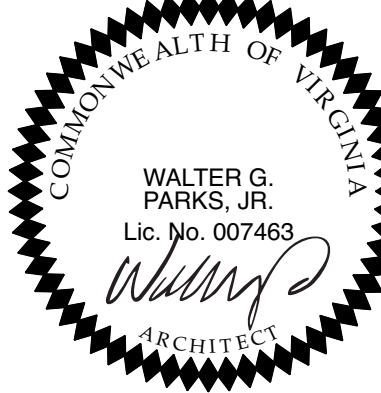
SEWER UTILITY MAP



ZONING MAP



VICINITY MAP



931-933 W Grace St
RICHMOND VA 23220 USA

REVISIONS
TAG DATE
01 01/20/2022

walter PARKS
ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 20.30
DATE: 1/21/22

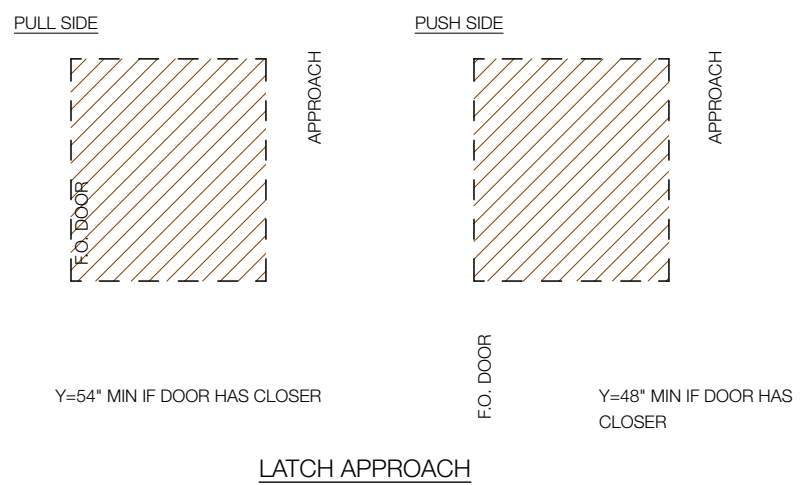
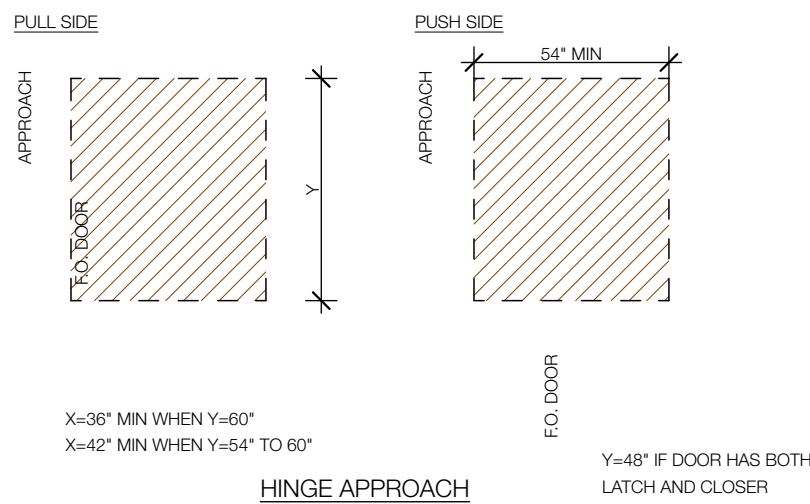
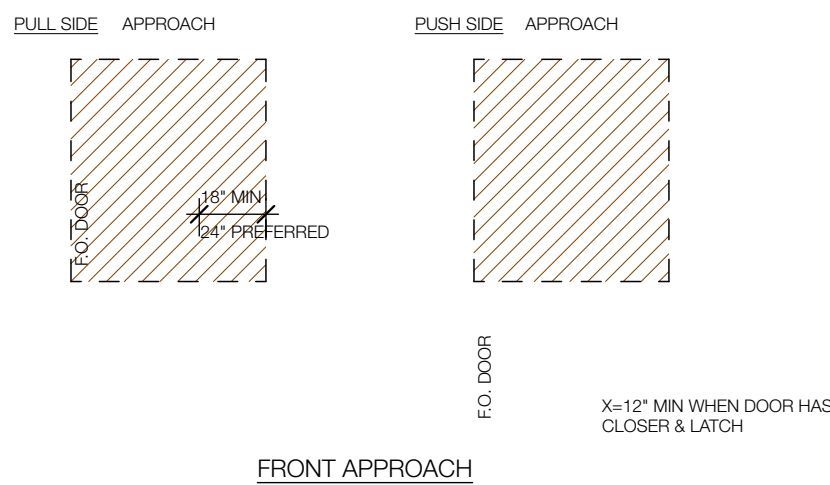
GENERAL NOTES
G.001



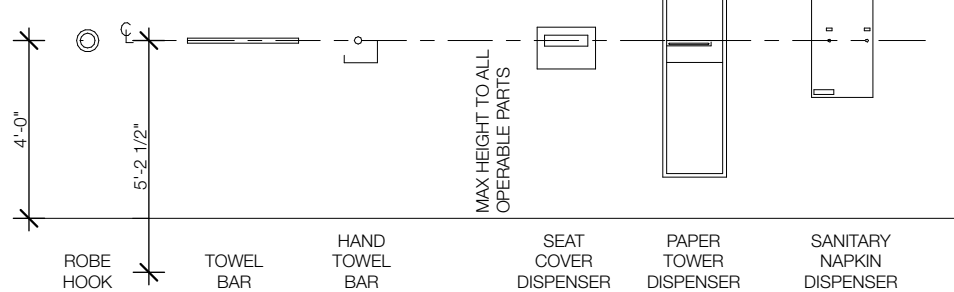
walter **PARKS**
ARCHITECT

PROJECT #: 20.30
DATE: 1/21/22

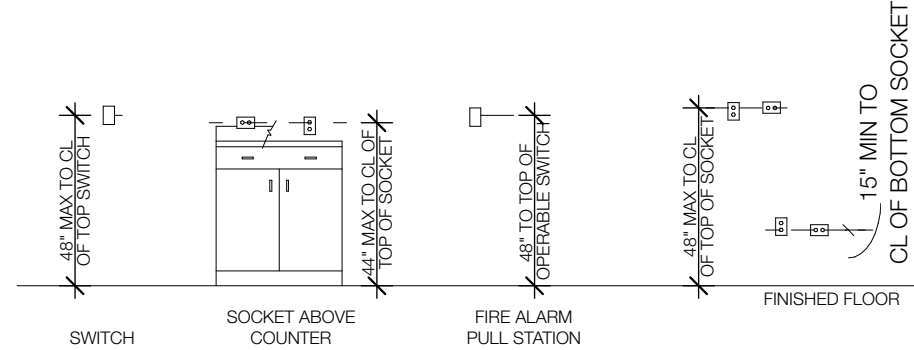
COMMON AREA ANSI
ACCESS INFORMATION
G.002



NOTE:
1. WALL MOUNTED DEVICES SHALL NOT EXTEND MORE THAN 4" BEYOND WALL SURFACE WHEN LOCATED BELOW 6'-8"



TOILET ROOM ACCESSORY MOUNTING HEIGHTS



The image contains two technical drawings. The left drawing is a side elevation of a lavatory vanity. It shows a mirror mounted on the wall above a vanity unit. A vertical dimension line on the left indicates a height of '40" MAX TO BOTTOM OF REFLECTIVE SURFACE'. Labels with arrows point to the 'MIRROR', 'PIPE WRAP TYP.', and 'KNEE CLEARANCE AREA'. Below the vanity, there are two dimension lines: one for 'KNEE CLEARANCE 8" MIN' and another for 'TOE CLEARANCE 6" MAX'. The right drawing is a top-down plan view of a lavatory. It shows a rectangular vanity with a hatched area representing the mirror. Dimensions are given for the mirror: '17" MIN' for the top edge, '25" MAX' for the bottom edge, and '48" MIN' for the total width. A vertical dimension on the right indicates a depth of '30" MIN'.

40" MAX TO BOTTOM OF REFLECTIVE SURFACE

MIRROR

PIPE WRAP TYP.

KNEE CLEARANCE AREA

6" MIN

KNEE CLEARANCE 8" MIN

TOE CLEARANCE 6" MAX

17" MIN


25" MAX

48" MIN


30" MIN

LAVATORY KNEE CLEARANCE AND MIRROR MOUNTING

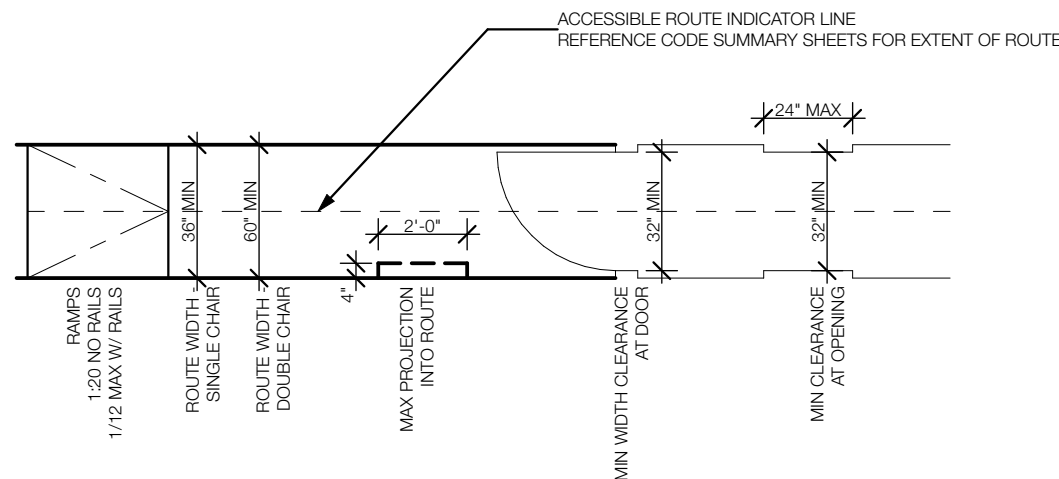
LAVATORY CLEARANCE



CHANGE IN LEVEL - SQUARE



CHANGE IN LEVEL - SLOPED



(a) CIRCULAR

(b) T-SHAPED

The diagrams illustrate the required clearances for different areas:

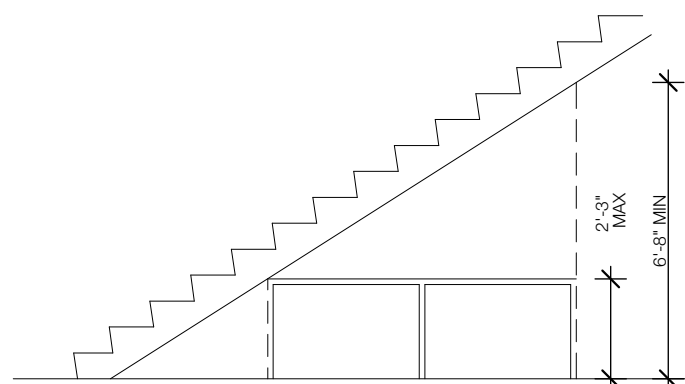
- STANDARD CLEAR FLOOR SPACE:** A square area with a width of 4'-0" MIN and a depth of 2'-6" MIN.
- CLEARANCE AT ALCOVES:** A rectangular area with a width of 4'-0" MIN and a depth of 2'-6" MIN. The alcove opening is 3'-0" MIN wide.
- STAIRS:** A rectangular area with a width of 6'-0" MIN and a depth of 2'-6" MIN. The stairs are 15" wide.

Figure 1 illustrates three types of wheelchair use scenarios, labeled (A) UNOBSTRUCTED, (B) (A) OBSTRUCTED, and (C) (B) OBSTRUCTED. Each diagram shows a person in a wheelchair with a table in front of them. The dimensions are as follows:

- (A) UNOBSTRUCTED: The width is 4'-0" and the height is 4'-0" MAX.
- (B) (A) OBSTRUCTED: The width is 4'-0", the table height is 20" MAX, and the total height is 4'-10" MAX.
- (C) (B) OBSTRUCTED: The width is 4'-0", the table height is >20"-25", and the total height is 4'-10" MAX.

Diagram illustrating a corner detail with a protruding wall object. The object is labeled "PROTRUDING WALL OBJECT" and has a height of "4" MAX" and a width of "2" - 3" MIN". A gap of "6" - 12" MIN" is indicated between the object and the corner.

REDUCED VERTICAL CLEARANCE



PART TWO: CHAPTER 5
FAIR HOUSING ACT DESKTOP MANUAL

The regulations for the Fair Housing Act state that all doors "designed to allow passage into and within all premises are sufficiently wide to allow passage by persons in wheelchairs." The Fair Housing Act Guidelines (the Guidelines) apply the requirements to doors that are part of an accessible route in public and common use areas of multifamily housing developments, as well as doors into and within covered dwelling units.

The Fire Fighting Act and the Guidelines cover all doors designed to allow passage into and within all premises. However, doors in public and common use areas and primary entry doors of covered dwelling units must meet more stringent requirements for accessibility than doors that are located inside each dwelling unit. Therefore, to clarify this difference, this chapter refers to doors in public and common use areas and primary entry doors of covered dwelling units as **accessible doors**. Doors which are interior to the dwelling unit and which are subject to less stringent requirements for accessibility are referred to as **inhabitable doors**.

Accessible doors must meet the ANSI 4.13 requirements for door width, maneuvering clearance, thresholds, hardware, and opening force. Accessible doors are:

1. Doors that are part of an accessible route in public and common use spaces. They include, but are not limited to, doors residents use to enter buildings and doors into and within clubhouses, public swimming, laundry rooms, and rental offices.
2. Primary entry doors to covered dwelling units exterior side only. Entry doors may open from a corridor or lobby or can be private individual entry doors accessed directly from the outside.

Usable doors are doors within the dwelling unit intended for user passage and must be usable in terms of clear opening width. Doors within the unit are not required to meet the ADA 4.13 Doors requirements for maneuvering clearance, hand- and/or opening force; but doors in an accessible route must be provided within the unit; thresholds must be low or nonexistent. see Chapter Four: "Accessible Route Into and Through the Covered Dwelling Unit."

Usable doors include all secondary exterior doors at dwelling units that open onto private decks, balconies, and patios. Usable doors also include all passage doors within the covered dwelling unit, such as doors between rooms, doors into walk-in closets, and doors into utility/storage rooms or rooms that contain washers and dryers. Not covered are doors to small closets such as linen closets which typically have shelves within easy reach. Also not covered are doors direct to small mechanical doors dedicated specifically to furnaces or hot water heaters.

In addition, the Guidelines also require that usable doors be provided to areas of the dwelling that may not be accessible at the completion of construction, such as an unfinished basement or a garage attached to a single-story dwelling unit (in the latter case, another door is used for the secondary entrance). Usable doors at these locations will allow people with mobility impairments to modify their units later to provide accessibility to these areas, such as installing a ramp from the dwelling unit into the garage. Usable doors also are important for people with walkers or canes so they may have improved odors or such access.

DOORWAY CLEAR OPENING
The commonly used hinged, folding, or sliding doors installed in the standard manner provide a passage width that is reduced by both the door standing in the doorway and door sills, if present. Thus, the available passage width is less than the size of the door.

Accessible doors in public and common use, spaces and primary entry doors of dwelling units must provide a clear opening of **32 inches minimum**. This means the clear opening must not be less than 32 inches, but it may be more. The Guidelines allow **usable doors** (secondary exterior doors and doors that allow passage within the dwelling unit) to be a **nominal 32 inches** clear width. Usable doors are intended to provide 32 inches of clear width. But because of natural installation practices, alignment conditions, variations in products such as hinges, and thicknesses of visible materials, the doorway may vary from the 32-inch clear width by a nominal or small amount. Tolerances of 1/4 inch to 3/8 inch are considered an acceptable range for usable doors. This tolerance does not apply to accessible doors.

In both public and common use spaces and within dwelling units, the wall thickness of all closed openings must be no greater than 24 inches if the width of the doorway or passage is the minimum 32 inches. Doorways with a depth greater than 24 inches must be widened to provide the 36-inch minimum clear width for an accessible route.



HINGED DOORS, SINGLE-LEAF

At hinged doors the 20-inch opening is measured from the top on the latch side (and to the base of the door when standing) to a 20-degree open position. Because the door, when open, remains in the doorway, the size of door used for the main entry door must be wide enough so that when open 50 degrees, it provides 52 inches minimum clear width. Main entry doors in dwelling units may be thicker than doors used within the home, when making it necessary to install a door wider than 24 inches at the main entry. (In addition, most building codes require a 36-inch door at the main entry.) Within the dwelling unit, a 34-inch wide door, hung in the standard manner, is considered a usable door because it provides an "acceptable" nominal 35-inch clear opening of at least 33.58 inches clear.

Accessible hinged doors in public and common use spaces may be equipped with push bar or panic type hardware even though the bar may protrude into the 52-inch clear width. The hardware should be mounted high enough, approximately 46 inches minimum above the floor, to allow sufficient room for people pushing themselves in manual wheelchair or people pushing the doorway without catching their arms, shoulders, or clothing on the panic hardware. In no case may the bar extend more than 4 inches from the door because it then becomes a hazardous protruding object, see ANSI A54.4 Protruding Objects.

In the interests of dwelling units it is possible for residents on a low-rise to adapt the nominal 32-inch clear opening to create a wider and more usable doorway by installing offset or swing-clear hinges, by removing the lower portion of the door stop, or by using blind. With standard hinges, a door, when open, remains in the door opening; swing-clear hinges allow a door to swing completely out of the doorway and increase the clear opening of the doorway. See Product Requirements List, Appendix A, for manufacturers of swing-clear hinges. Builders are cautioned that they may not install a 32-inch wide door (which effectively yields a 30 to 30 1/2 inch opening) and expect residents to make modifications such as hinging the door up to the 32-inch nominal width required as the time of initial construction.

Two narrow, double-leaf doors (two hinged doors) mounted on a single frame may be slightly more difficult to open and close than a single door. Double-leaf doors can be a useful choice where space for the door swing is limited and where doors are likely to stand open. If narrow double-leaf doors are used, the nominal 32-inch clear opening must be maintained between door leaves when in a 90-degree open position. Where larger double-leaf doors are installed, and if only one leaf is active, that leaf must be usable, i.e., provide the nominal 32-inch clear opening.

Drucker, sliding (e.g., automatic sliding doors) is a main interference, and folding doors may be installed in public and common use areas and in those rooms that must meet the technical requirements of ANSI A117.19. The following discussion will focus on the category of doors when installed retain hardware.

Unlike hinged doors, pocket, sliding, and folding doors, overhead doors are not all types. A door floor space and top threshold, is an advantage when planning small rooms. This category of doors has additional features pertaining to the amount of space this door occupies when the doorway and the type of hardware installed.

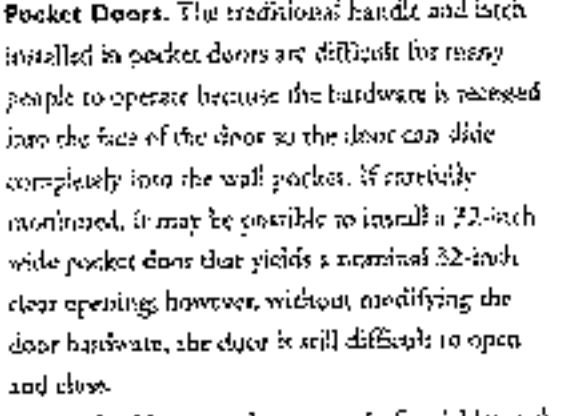
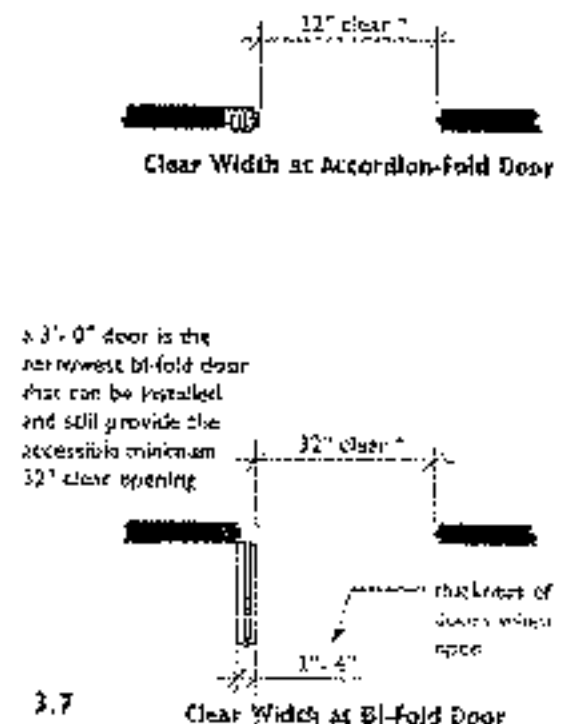
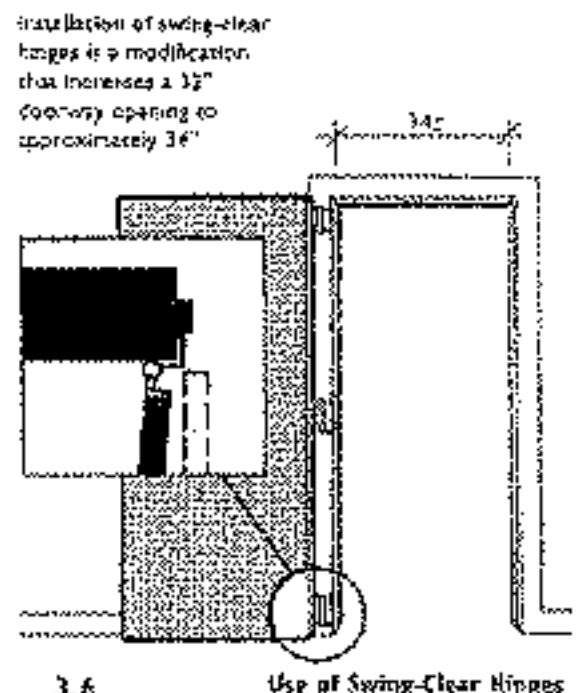
Hardware on interior sliding doors is less covered by the Guidelines; however, recommendations are made to increase use of use of the hardware, and they the

continues

Accessibly sliding doors must, and usable sliding doors must, keep fully open with their handles exposed

32" clear

Clear Width of Sliding/Pocket Door

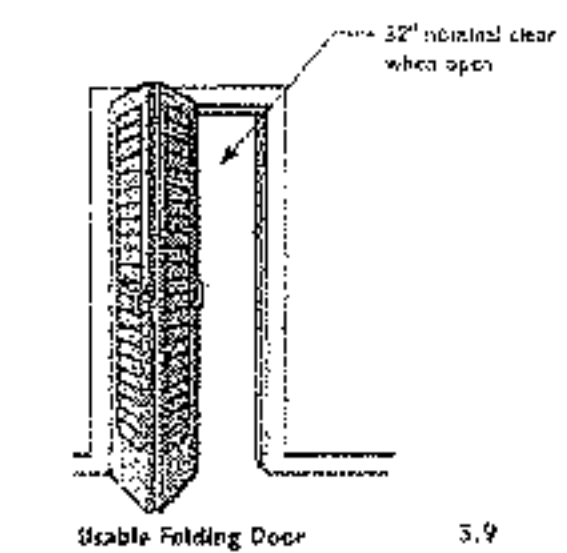
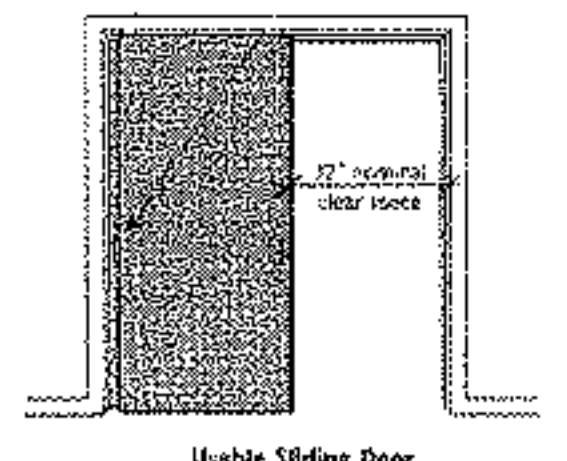


Locking completes control of variables such as the specific manufacturer's design of the door and, specifically, the builder's installation method. The decision to install door stops (which vary in thickness) and other field conditions, it is recommended that pocket doors wider than 32 inches be installed. If a 36-inch wide door is installed, cautions may include the following: simple modifications later to the door to enable its operation; add loop handles on the door and a stop at the floor to prevent the door from sliding so far into the wall pocket that the handle is split against the door jamb. This requires that the depth of the door is the upper position; the handle will remain exposed and 32 inches will remain clear for passage.

Sliding Doors. Interior sliding doors are generally used as closet doors since they avoid problems caused by door swings. If installed, each panel or door must provide a nominal clear opening of at least 1/2 inches. It is recommended that loop handles be installed rather than the more common recessed finger cups. Exterior sliding doors are discussed on page 3.10.

Folding Doors. Folding doors typically found in dwelling units are either accordion or bi-fold. They are made up of two or more attached or hinged panels that fold together when opened. When either type of door is in the open position, the clear opening is reduced by the thickness of the folded door. Considering this, the smallest doorway in which either a bi-fold assembly or accordion type door assembly can be installed is 36 inches.

To improve the ease of use of bi-folding doors, loop handles can be installed in the recommended locations as shown in the adjacent drawing. Magnet catches and latches on accordion-folding doors often are difficult to line up with the receiving end of the catch for people with any hand or gross dexterity.



PRIMARY ENTRY DOOR

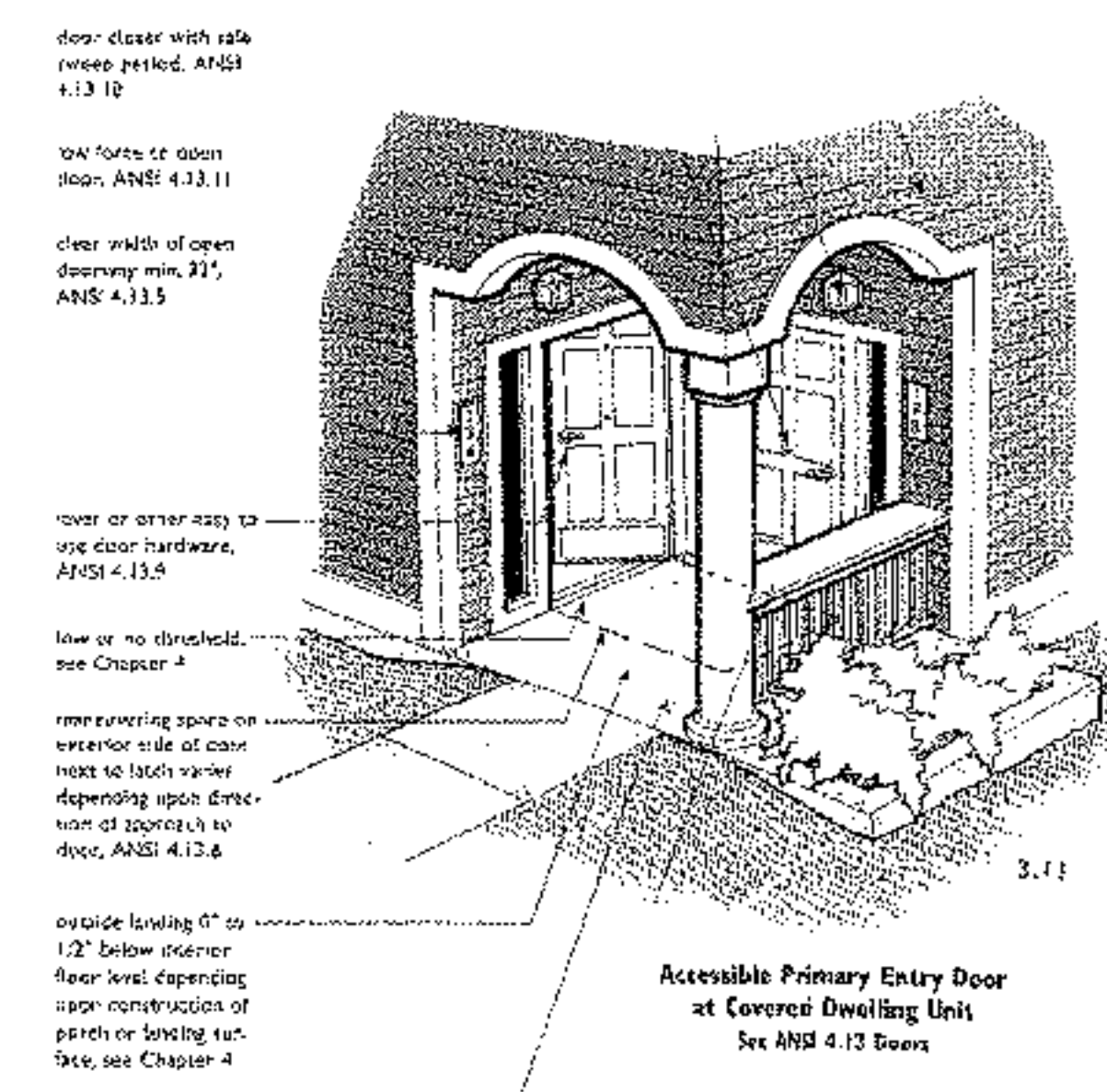
The exterior of the primary entry door of covered dwelling units is part of public and common use spaces; therefore, it must be on an accessible route and be accessible, i.e., meet the ANSI requirements of 4.13 Doors. This is true both of entry doors opening off interior corridors internal to a building concerning multiple dwelling units, and of separate exterior ground floor dwelling unit entrances.

Because primary entry doors on covered units must be on an accessible route, thresholds at these doors must be no higher than 5/8 inch and must be beveled with a slope no greater than 1:2. See additional discussion of thresholds and accessible route at dwelling units on page 4.12.

All secondary exterior doors from the same or different rooms that provide passage onto exterior decks, patios, or balconies must be usable. For example, if a deck is served by French doors or other double-leaf doors, and if only one leaf is active, that leaf must be usable, i.e., provide a nominal 32-inch clear opening. If both leaves are active, one leaf would not have to provide a nominal 32-inch clear opening as long as both leaves, when open, do provide the nominal 32-inch clear opening.

Since an accessible route must be provided throughout the unit, thresholds at secondary exterior doors also are limited to a maximum height of 3/4 inch. However, secondary doors that can swing either inward or outward and that are allowed to have a 4-inch maximum step in height at secondary building doors to prevent cross infiltration at door sills only if the exterior surface is constructed of an impervious material such as concrete, brick, or flagstone. If the exterior surface is a porous material such as a wood deck that will drain adequately, the decking must be maintained to within 1/2 inch of the interior floor level. See Chapter Four, "Accessible Route Into and Through the Covered Dwelling Unit."

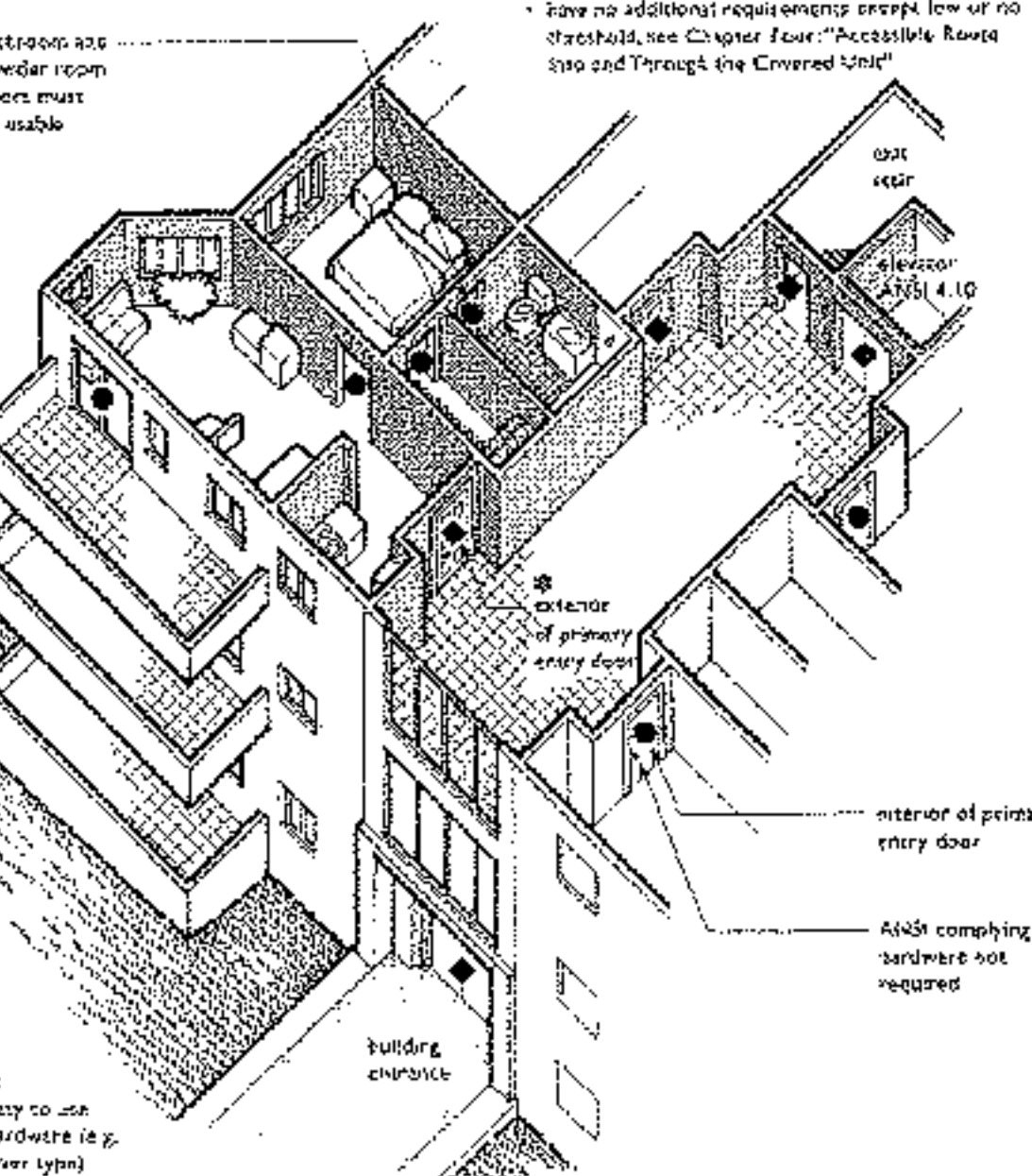
Sliding glass doors are often installed as secondary exterior doors. The Guidelines note that "the nominal 32-inch clear opening provided by standard 6-foot sliding patio door assembly is acceptable." Unfortunately, many of the standard 6-foot sliding glass door assemblies yield only a 2 1/2-inch maximum clear opening in the full open



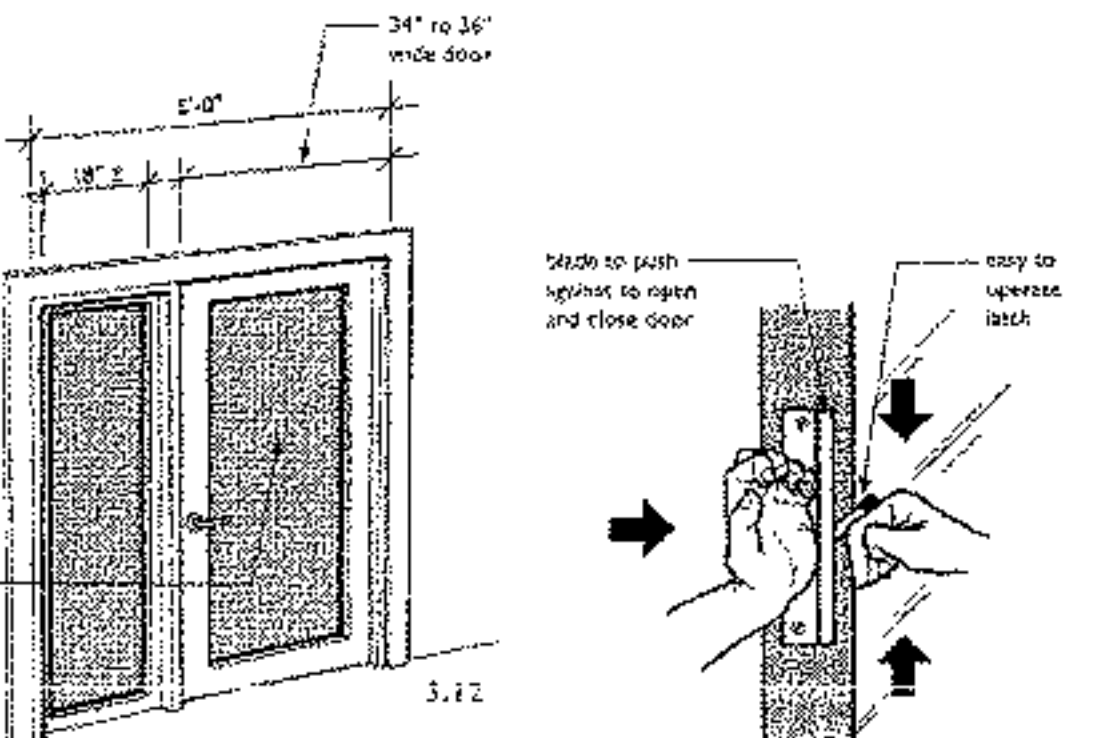
- ◆ **accessible doors** in public and common use spaces
 - not on public side of dwelling unit entry floor
 - must provide 32" minimum clear width
 - must meet ANSI A.13 Doors

• **usable doors** (within interior of dwelling unit)

- must provide 32" nominal clear width (at page 3.6)
- have no additional requirements except low or no threshold, see Chapter Four: "Accessible Route Into and Through the Covered Unit"

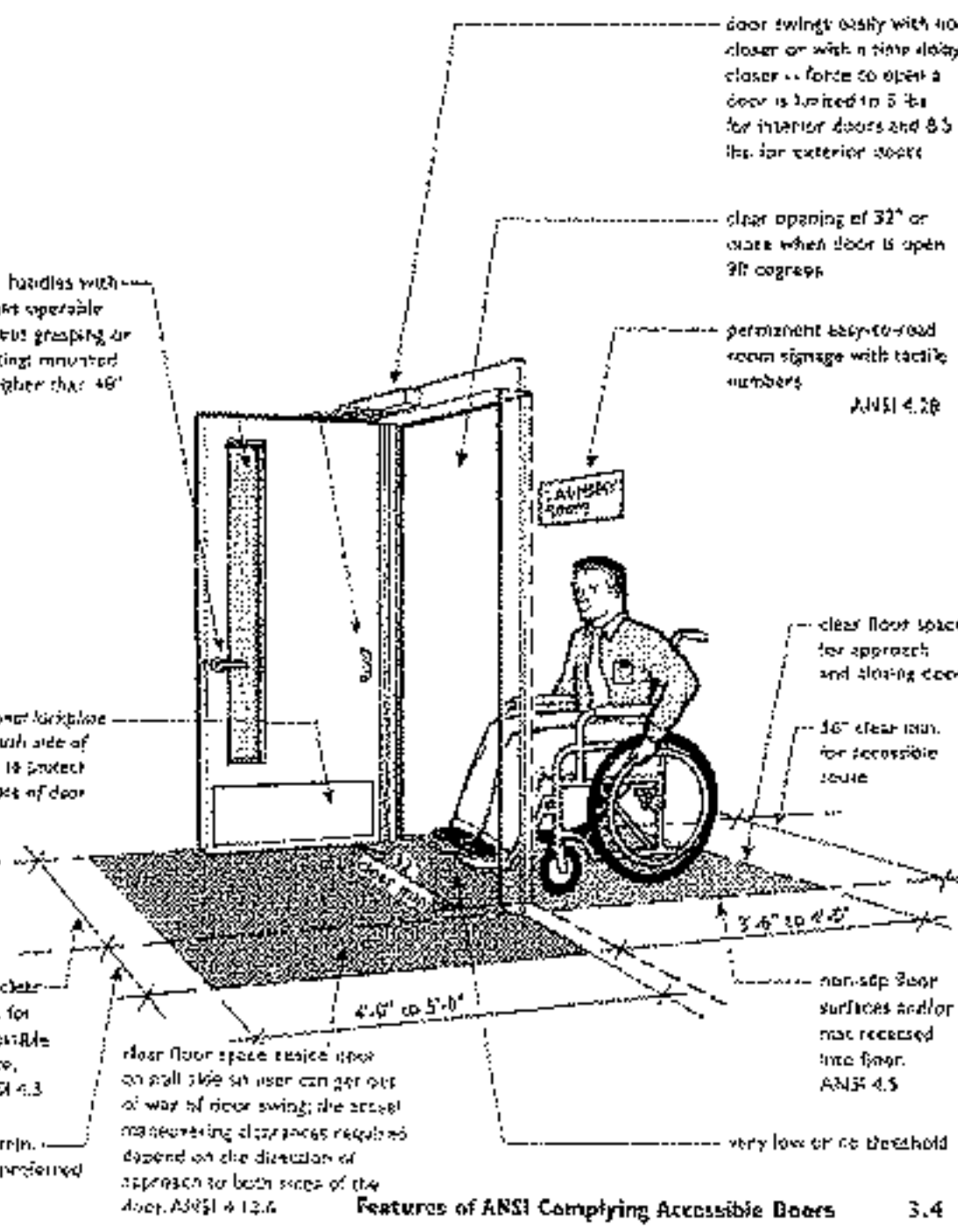


Accessible and Usable Doors in Buildings Containing Covered Dwelling Units

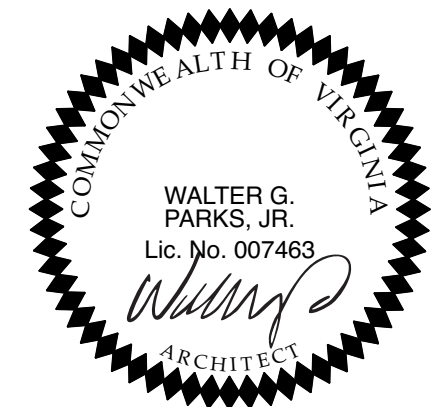


Substitution of a 36" Hinged Door
Plus Sidelight When a 5' or 6' Sliding Door
Assembly Cannot Provide a 32" Door Opening

Sliding Glass Door Hardware that Requires No
Twisting, Turning, or Fine Finger Manipulation
to Operate Recommended



ANSI 4.13	Features of ANSI Complying Accessible Doors	3.4
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931-933 W Grace St
RICHMOND VA 23220 USA

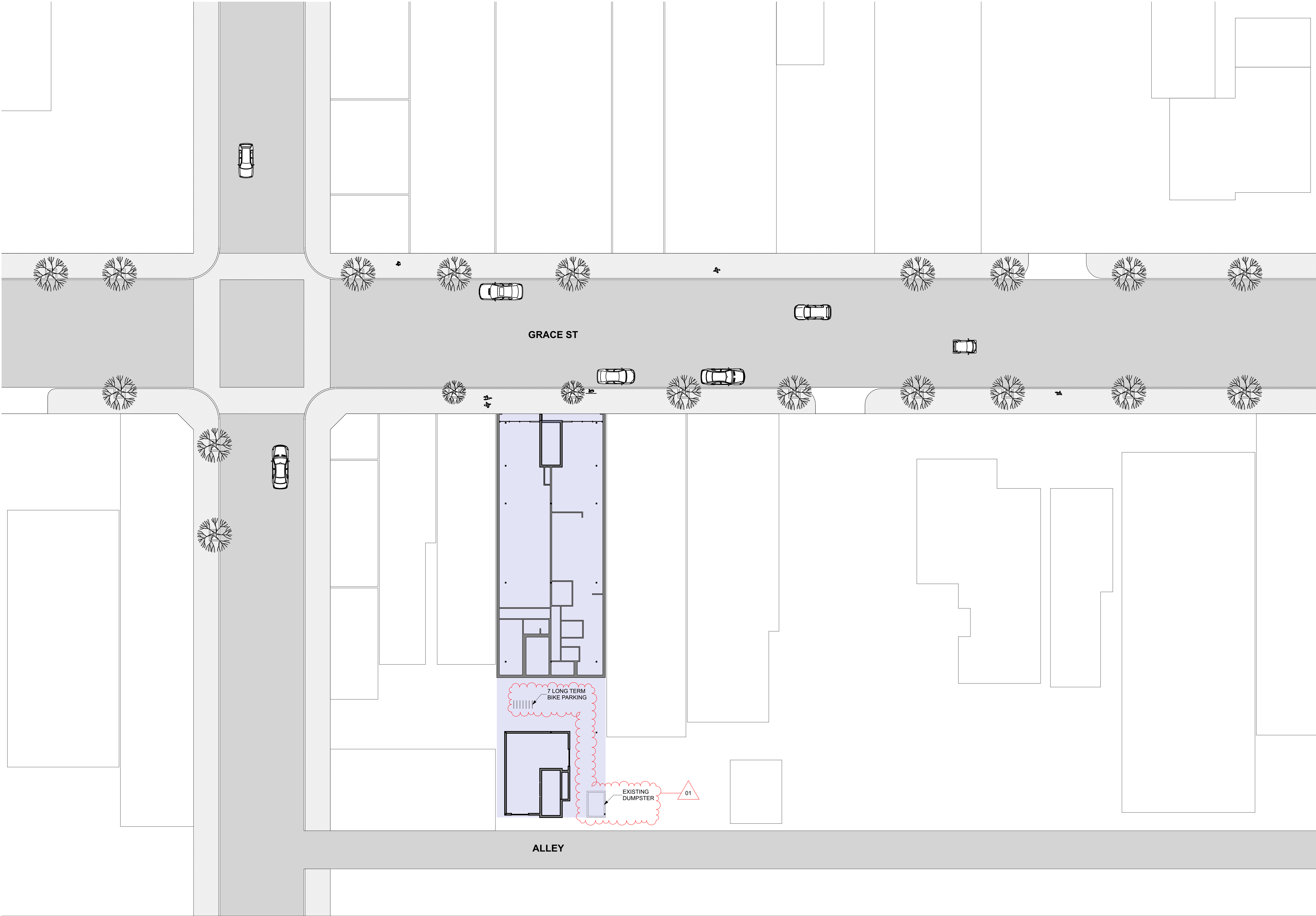
[illegible]

walter **PARKS**
ARCHITECT

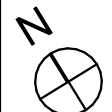
313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 20.30
DATE: 1/21/22

FHA ACCESSIBILITY GUIDELINES G.004



931-933 W Grace St
RICHMOND VA 23220 USA



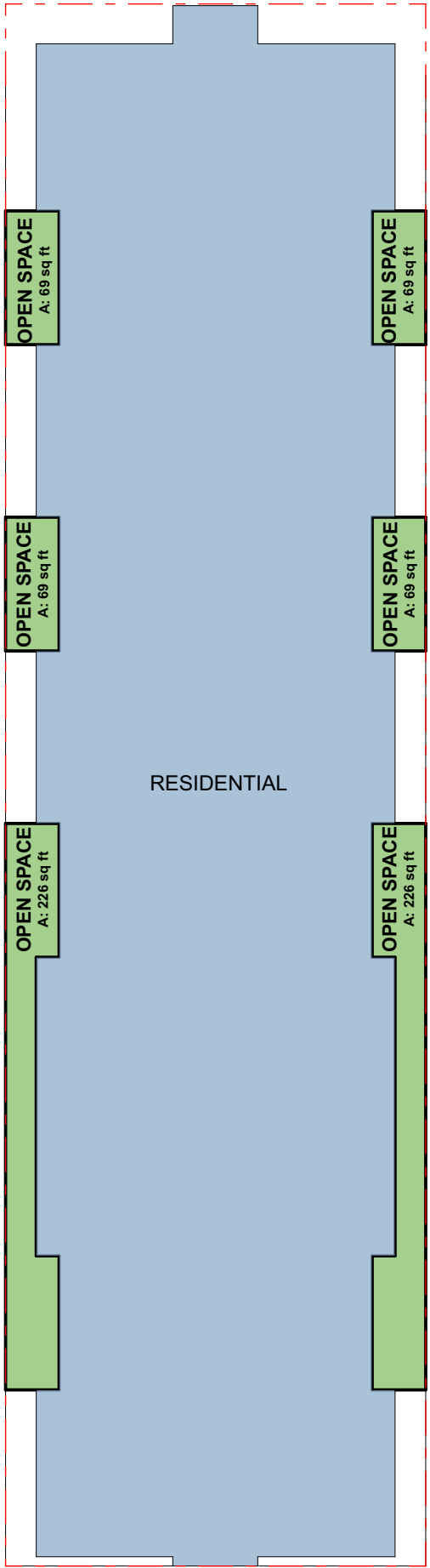
REVISIONS	
TAG	DATE
01	01/20/2022

walter PARKS
ARCHITECT

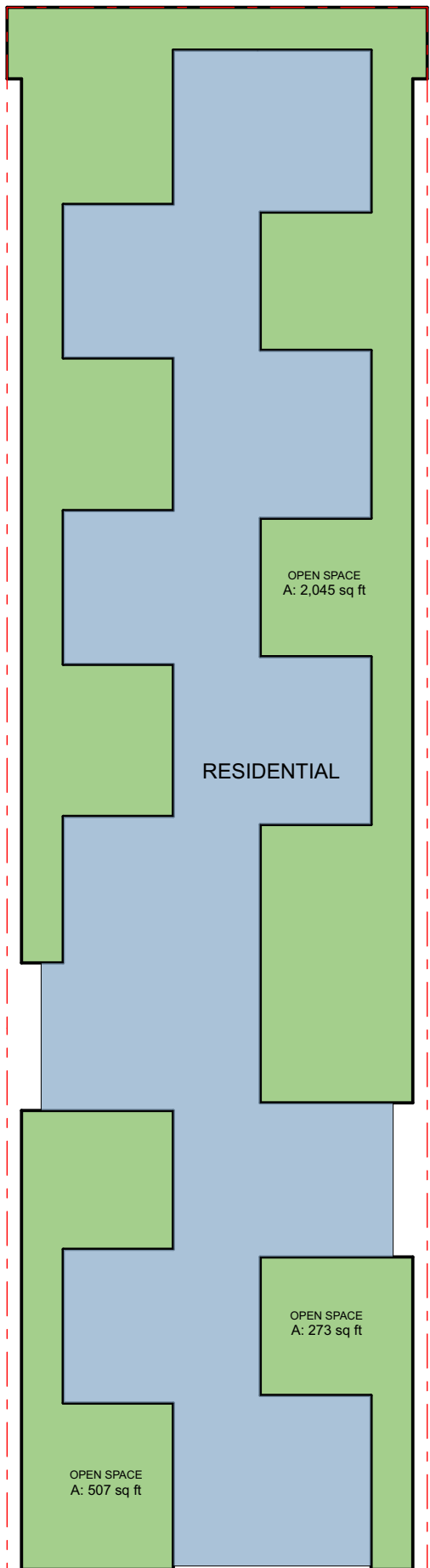
313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

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OPEN SPACE AREA



5
G.007 2ND FLOOR
SCALE: 1/16" = 1'-0"



6
G.007 4TH FLOOR
SCALE: 1/16" = 1'-0"

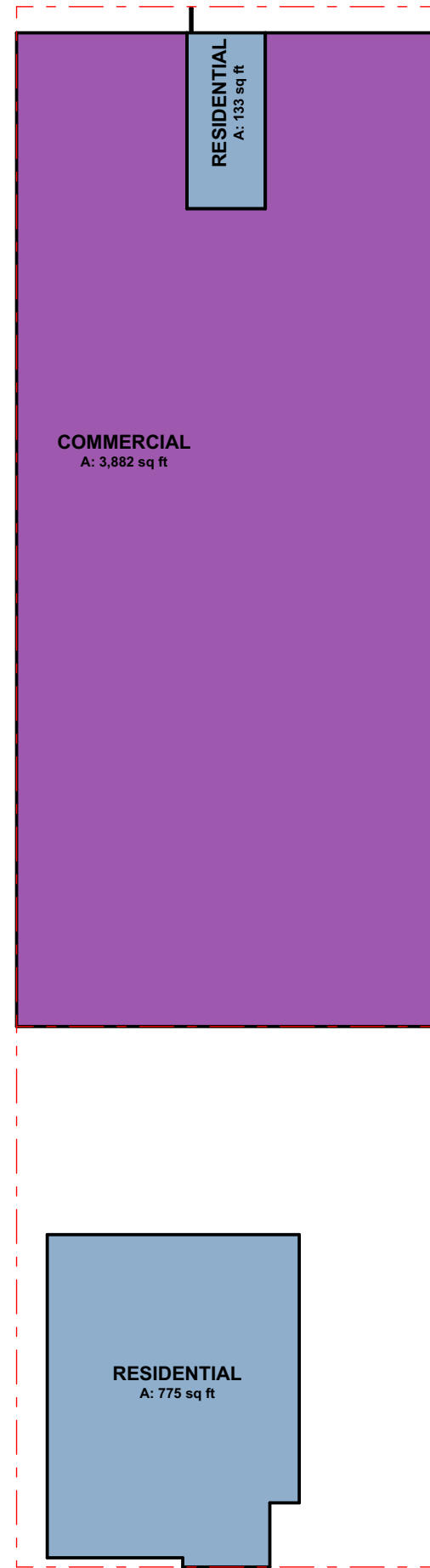
OPEN SPACE AREA	
HOME STORY	AREA
2ND FLOOR	726.48
4TH FLOOR	2,823.77
	3,550.25 sq ft

UNIT SUMMARY PER FLOOR		
HOME STORY	ZONE CATEGORY	QUANTITY
FIRST FLOOR	1 Bed/1 Bath	1
		1
2ND FLOOR	1 Bed/1 Bath	10
		10
3RD FLOOR	1 Bed/1.5 Bath loft	10
		10
		21

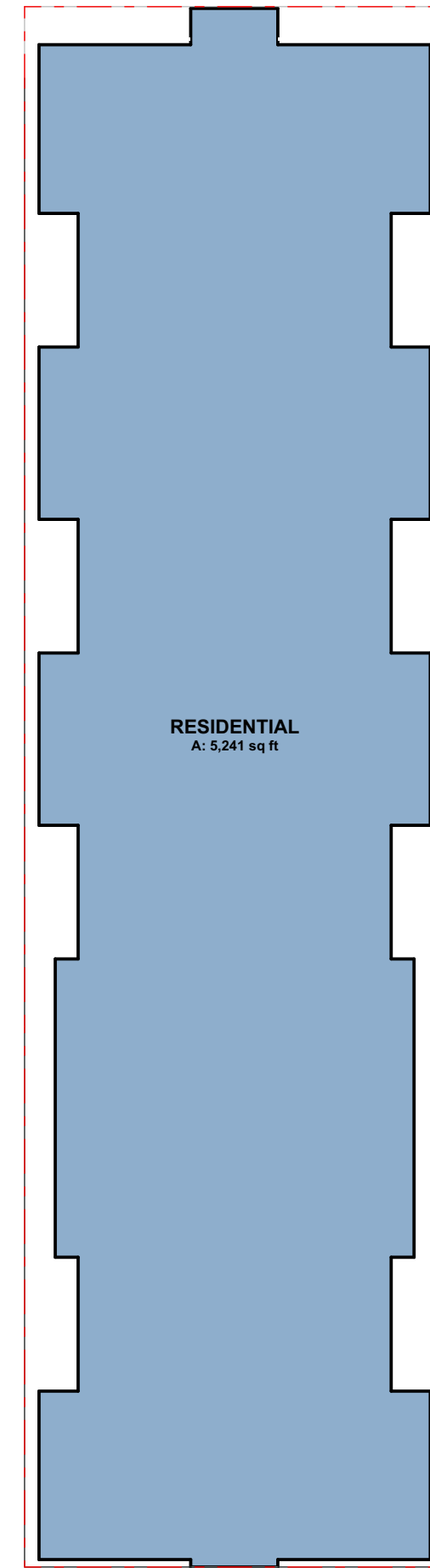
UNIT MATRIX		
UNIT TYPE	QUANTITY	AREA
1 Bed/1 Bath	12	5,547.31
1 Bed/1.5 Bath loft	9	4,066.50
	21	9,613.81 sq ft

UNIT TYPE SUMMARY PER FLOOR				
Home Story Name	Zone Category	Element ID	Quantity	Measured Area
FIRST FLOOR	1 Bed/1 Bath	TYPE A	1	604.94
			1	604.94 sq ft
2ND FLOOR	1 Bed/1 Bath	TYPE 1A	1	439.12
	1 Bed/1 Bath	TYPE 1B	1	444.57
	1 Bed/1 Bath	TYPE 1C	1	474.24
	1 Bed/1 Bath	TYPE 1D	1	456.74
	1 Bed/1 Bath	TYPE 1E	1	456.93
	1 Bed/1 Bath	TYPE 1F	1	474.24
	1 Bed/1 Bath	TYPE 1G	1	437.28
	1 Bed/1 Bath	TYPE 1H	1	442.42
	1 Bed/1 Bath	TYPE 2A	1	447.94
	1 Bed/1 Bath	TYPE 2B	1	431.61
			10	4,505.09 sq ft
3RD FLOOR	1 Bed/1 Bath	TYPE A	1	437.28
	1 Bed/1.5 Bath loft	TYPE 3A	1	439.06
	1 Bed/1.5 Bath loft	TYPE 3B	1	474.05
	1 Bed/1.5 Bath loft	TYPE 3C	1	456.74
	1 Bed/1.5 Bath loft	TYPE 4A	1	444.57
	1 Bed/1.5 Bath loft	TYPE 4B	1	456.75
	1 Bed/1.5 Bath loft	TYPE 4C	1	474.05
	1 Bed/1.5 Bath loft	TYPE 4D	1	442.42
	1 Bed/1.5 Bath loft	TYPE 5A	1	447.60
	1 Bed/1.5 Bath loft	TYPE 5B	1	431.26
			10	4,503.78 sq ft
			21	9,613.81 sq ft

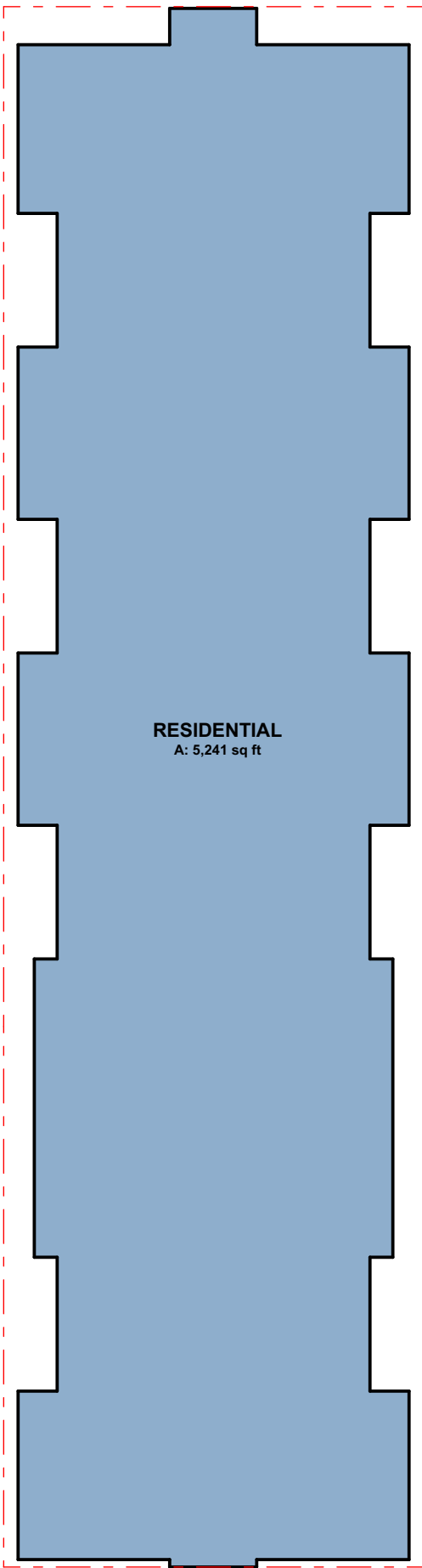
GROSS AREA



1
G.007 FIRST FLOOR
SCALE: 1/16" = 1'-0"



2
G.007 2ND FLOOR
SCALE: 1/16" = 1'-0"



3
G.007 3RD FLOOR
SCALE: 1/16" = 1'-0"



4
G.007 4TH FLOOR
SCALE: 1/16" = 1'-0"

GBA SUMMARY		
FLOOR	NAME	AREA
FIRST FLOOR	COMMERCIAL	3,881.82
	RESIDENTIAL	907.93
		4,789.75 sq ft
2ND FLOOR	RESIDENTIAL	5,240.98
		5,240.98 sq ft
3RD FLOOR	RESIDENTIAL	5,240.98
		5,240.98 sq ft
4TH FLOOR	RESIDENTIAL	2,994.33
		2,994.33 sq ft
		18,266.04 sq ft

GBA TOTALS	
ZONE NAME	AREA
COMMERCIAL	3,881.82
RESIDENTIAL	14,384.22
	18,266.04 sq ft

RESIDENTIAL FLOOR AREA	
HOME STORY	AREA
FIRST FLOOR	907.93
2ND FLOOR	5,240.98
3RD FLOOR	5,240.98
4TH FLOOR	2,994.33
	14,384.22 sq ft

UNIT TYPE SUMMARY			
ZONE CATEGORY	UNIT TYPE	QUANTITY	MEASURED AREA
1 Bed/1 Bath	TYPE 1A	1	439.12
	TYPE 1B	1	444.57
	TYPE 1C	1	474.24
	TYPE 1D	1	456.74
	TYPE 1E	1	456.93
	TYPE 1F	1	474.24
	TYPE 1G	1	437.28
	TYPE 1H	1	442.42
	TYPE 2A	1	447.94
	TYPE 2B	1	431.61
	TYPE A	2	1,042.22
		12	5,547.31 sq ft
1 Bed/1.5 Bath loft	TYPE 3A	1	439.06
	TYPE 3B	1	474.05
	TYPE 3C	1	456.74
	TYPE 4A	1	444.57
	TYPE 4B	1	456.75
	TYPE 4C	1	474.05
	TYPE 4D	1	442.42
	TYPE 5A	1	447.60
	TYPE 5B	1	431.26
		9	4,066.50 sq ft
		21	9,613.81 sq ft

COMMONWEALTH OF VIRGINIA

WALTER G. PARKS, JR.

Lic. No. 007463

ARCHITECT

931-933 W Grace St

RICHMOND VA 23220 USA

REVISIONS

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313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

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GROSS BUILDING
AREAS, OPEN SPACE
CALCULATIONS, & UNIT
COUNTS
G.007

LEVELS 1ST - 4TH



LEVELS 1ST - 4TH



VERTICAL ASSEMBLIES

G.008

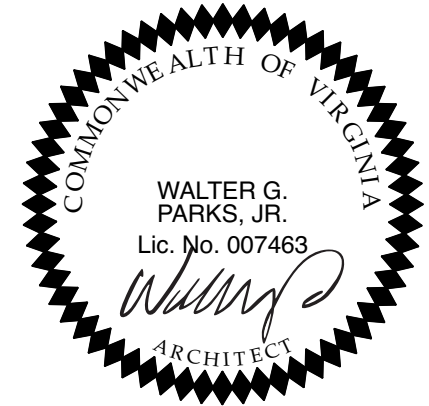
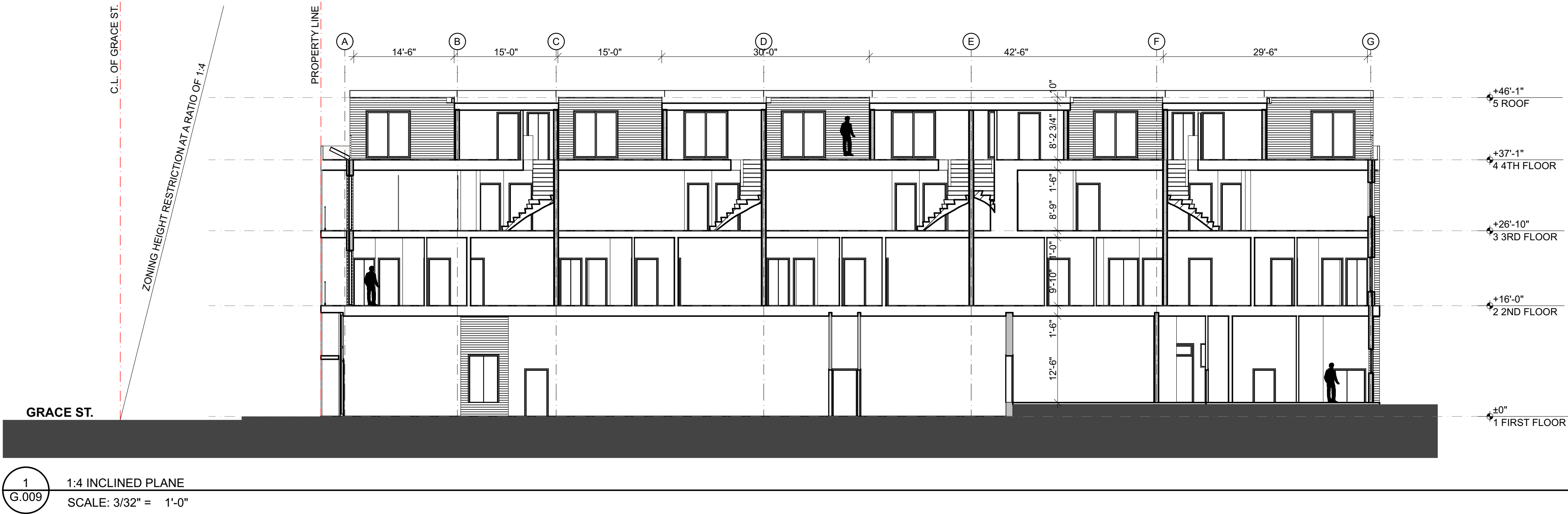
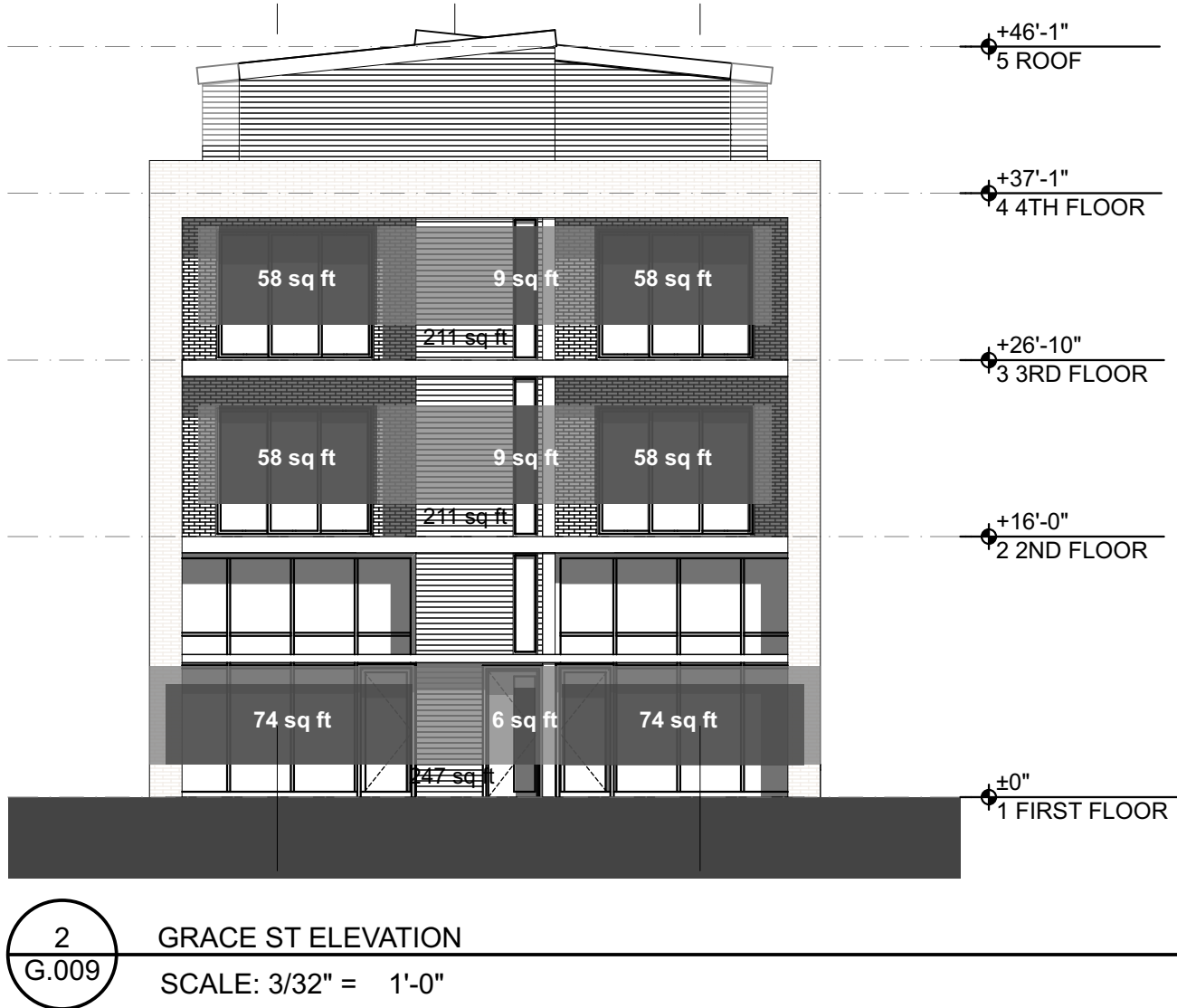
FENESTRATION LEGEND

- OVERALL AREA BETWEEN 2'-8" RANGE
- WINDOW & DOORS WITHIN 2'-8" RANGE

CALCULATION SCHEDULE

LEVEL 1 (STREET) - 60% REQUIRED	
GLAZING	74
GLAZING	6
GLAZING	74
TOTAL OPENING AREA	154
TOTAL AREA WITHIN 2' TO 8' RANGE	247
154 SF/247 SF (PERCENTAGE)	62%

LEVELS 2 - 3 — 30% REQUIRED	
GLAZING	58
GLAZING	9
GLAZING	58
TOTAL OPENING AREA	125
TOTAL AREA WITHIN 2' TO 8' RANGE	211
125 SF/211 SF (PERCENTAGE)	59%



931-933 W Grace St
RICHMOND VA 23220 USA

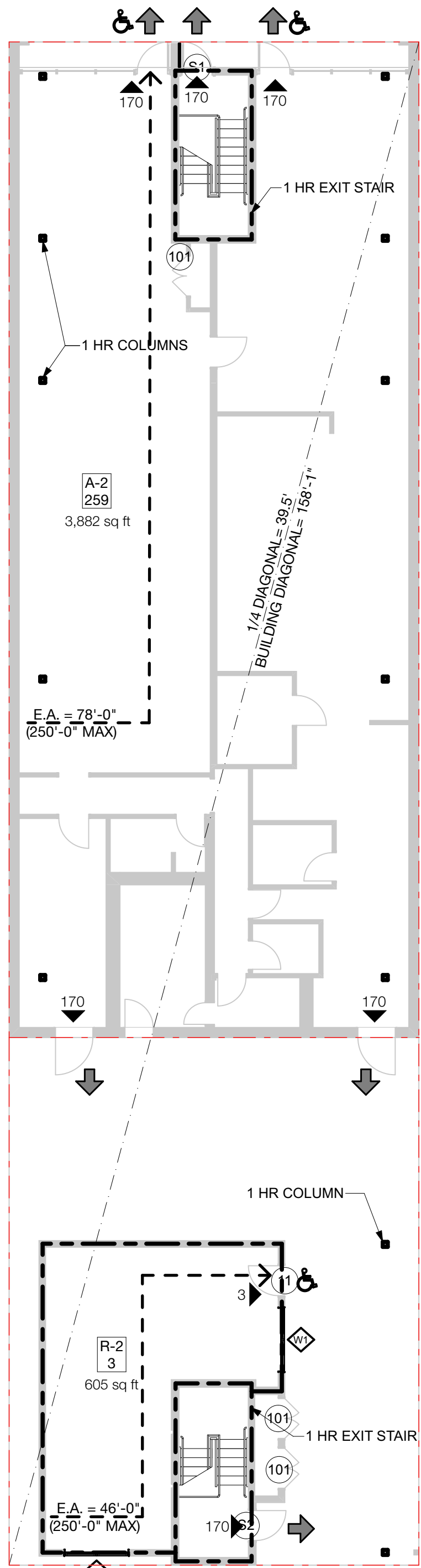
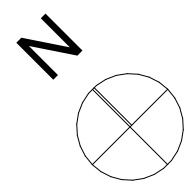
REVISIONS	
TAG	DATE

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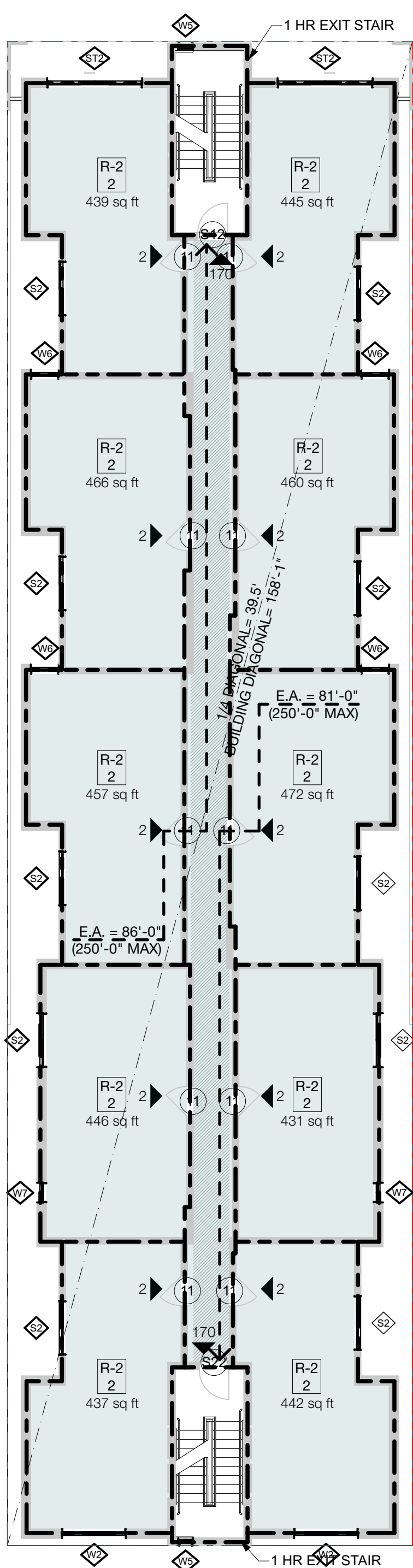
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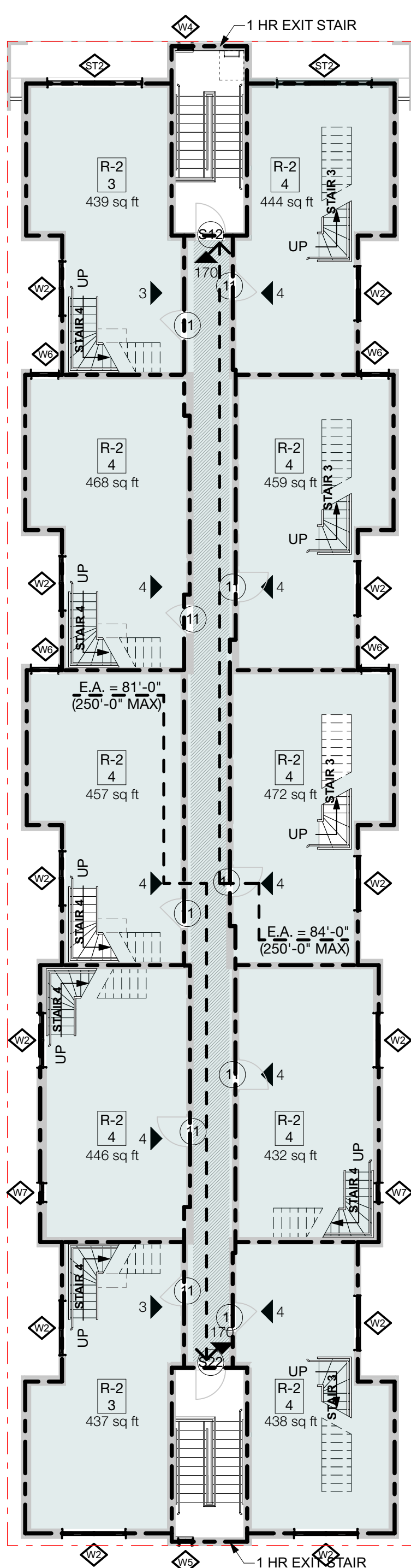
1:4 INCLINED PLANE
AND FENESTRATION
CALCULATIONS
G.009



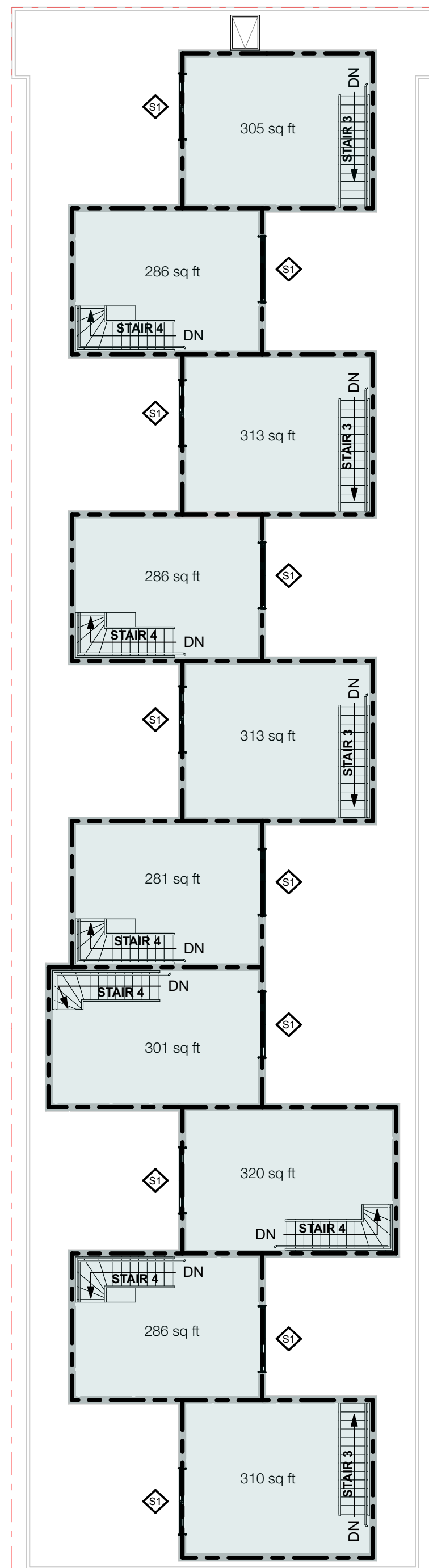
1 FIRST FLOOR
A.101 SCALE: 3/32" = 1'-0"



2 2ND FLOOR
A.101 SCALE: 3/32" = 1'-0"



3 3RD FLOOR
A.101 SCALE: 3/32" = 1'-0"



4 4TH FLOOR
A.101 SCALE: 3/32" = 1'-0"

CODE INFORMATION

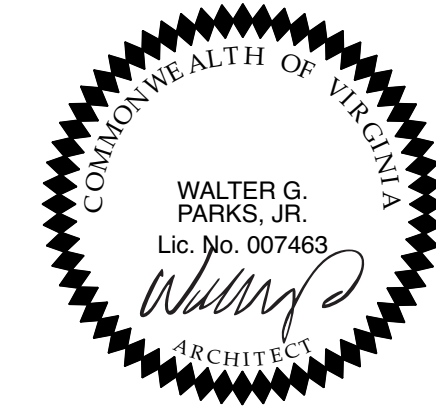
APPLICABLE CODES		2015 VIRGINIA CONSTRUCTION CODE (VCC) 2015 VIRGINIA MECHANICAL CODE (VMC) 2014 NATIONAL ELECTRIC CODE (NFPA-70) 2015 VIRGINIA PLUMBING CODE 2015 VIRGINIA ENERGY CONSERVATION CODE (VECC) 2009 INTERNATIONAL CODE COUNCIL (ICC-ANSI A117.1) NATIONAL FIRE ALARM CODE (NFPA-72) STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13) FAIR HOUSING ACT DESIGN MANUAL		
OTHER REQUIRED STANDARDS		ADDITION OF THREE NEW STORIES OF MULTI-FAMILY RESIDENTIAL SPACE ATOP AN EXISTING SINGLE-STORY COMMERCIAL BUILDING.		
NARRATIVE		B-4 CENTRAL BUSINESS DISTRICT		
ZONING				
	REF.			
USE GROUPS		RESIDENTIAL	COMMERCIAL	
		R-2	A-2	
CONSTRUCTION TYPES		VA	VA	
AUTOMATIC SPRINKLER SYSTEM		NFPA-13		
ALLOWABLE AREA PER FLOOR	VACC T. 506.2,	36,000	34,500	
ALLOWABLE INCREASE FOR OPEN PERIMETER		NOT USED	NOT USED	
TOTAL ALLOWABLE AREA PER FLOOR		36,000	34,500	
ACTUAL AREAS:				
LEV 1 (COMMERCIAL)			3,882	
LEV 1 (RESIDENTIAL)		926		
LEV 2		4,984		
LEV 3		4,984		
LEV 4		3,016		
TOTAL ACTUAL AREAS:		13,910	3,882	
ALLOWABLE BUILDING HEIGHT	VACC 504.3	70'	70'	
ALLOWABLE BUILDING STORIES	VACC 504.4	4	3	
ACTUAL BUILDING HEIGHT		31'-10"	16'	
ACTUAL BUILDING STORIES		4 STORIES	1 STORY	
MAX. FLOOR AREA/PER OCCUPANT	VACC T. 1004.1.2	200 GROSS	15 NET	
TOTAL OCCUPANT LOAD		70	259	
DWELLING UNITS:				
TOTAL UNITS		21		
ACCESSIBLE DWELLING UNITS RECD. (TYPE A)	VACC 1107.6.2.2.1	1 (NO ELEVATOR SERVICE)		
REQUIRED FIRE RATINGS				
PRIMARY FRAME	T-601	1	1	
EXTERIOR BEARING WALLS	T-601	1	1	
INTERIOR BEARING WALLS	T-601	1	1	
NONBEARING WALLS AND PARTITIONS INTERIOR	T-601	0	0	
FLOOR CONSTRUCTION	T-601	1	1	
ROOF CONSTRUCTION	T-601	1	1	
SHAFTS		1	1	
REQUIRED OCCUPANCY SEPARATIONS				
BETWEEN R-2 TENANTS * 1 HR. FR PROVIDED	VACC 708.3	1		
BETWEEN R-2 TENANTS AND CORRIDORS * 1 HR. FR PROVIDED	VACC 1020.1	0.5		
BETWEEN R-2 & A2 USE GROUPS	VACC 508.4	1		
REQUIRED EXITS PER BUILDING		VACC T. 1006.3.1	2	2
TRAVEL DISTANCE REQUIRED	VACC T. 1017.2	250'	250'	
DEAD END CORRIDOR	VACC 1020.4	50'	20'	
PLUMBING FIXTURE CALCULATIONS				
CALCULATED PER OCCUPANCY	VACC T. 2902.1			
OCCUPANTS PER AREA				
WATER CLOSETS (REQUIRED)		1 PER DWELLING UNIT	1 PER 75	
WATER CLOSETS (PROVIDED)		MINIMUM 1 PER DWELLING UNIT		
URINALS (PROVIDED)		N/A		
LAVATORIES (REQUIRED)		1 PER DWELLING UNIT	1 PER 200	
LAVATORIES (PROVIDED)		MINIMUM 1 PER DWELLING UNIT		
DRINKING FOUNTAIN (REQUIRED)		N/A	1 PER 500	
DRINKING FOUNTAIN (PROVIDED)		N/A		
BATHTUBS/ SHOWERS		1 PER DWELLING UNIT	N/A	
SERVICE SINK (REQUIRED)		N/A	1	
SERVICE SINK (PROVIDED)		N/A	1	

GENERAL NOTES - CODE

- A. PROVIDE A LISTED FIRESTOP CONTINUOUS AT PERIMETER. GAPS OF ALL RATED CONSTRUCTION AS REQUIRED TO MAINTAIN THE SPECIFIED RATING.
- B. REFER TO OCCUPANCY LOAD SCHEDULE FOR OCCUPANCY TOTALS.

LEGEND

	2 HOUR HORIZONTAL ASSEMBLY
	1 HOUR HORIZONTAL ASSEMBLY
	EXIT ACCESS PATH WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS)
	2 HOUR FIRE RATING
	1 HOUR FIRE RATING
	1/2 HOUR FIRE RATING
	EXIT ACCESS TRAVEL (DISTANCE)
	ACCESSIBLE ENTRANCE
	EXIT CAPACITY (VCC 2015 1005.1)
	BUILDING EXIT DISCHARGE



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RICHMOND VA 23220 USA

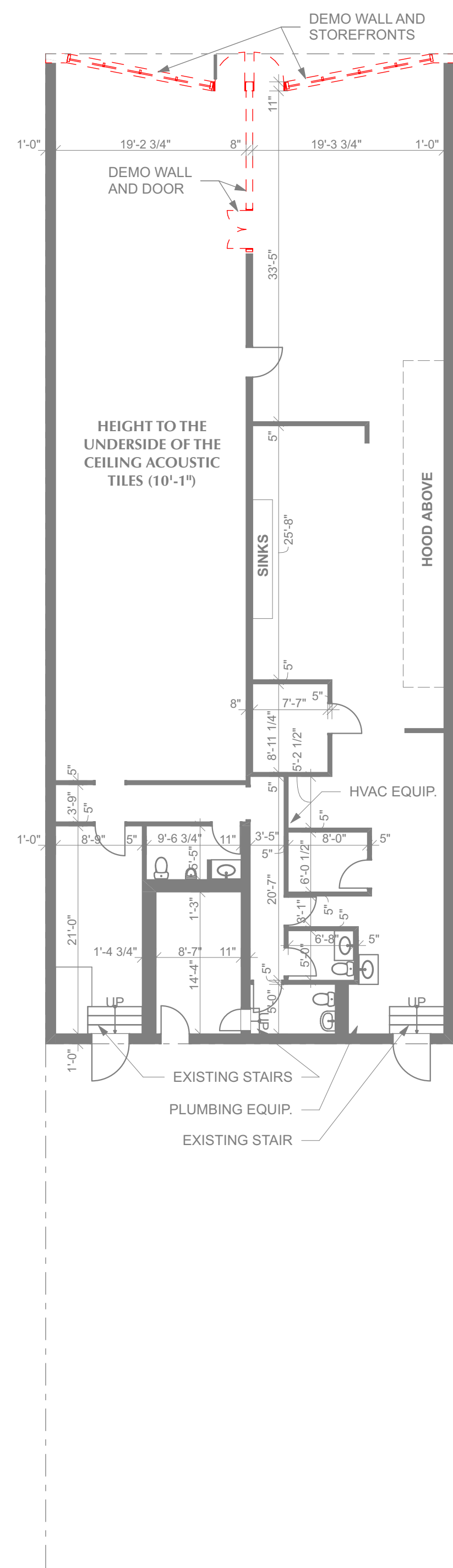
REVISIONS	
TAG	DATE

walter PARKS
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LIFE SAFETY PLANS
A.101



The floor plan illustrates a symmetrical four-unit residential building. A central vertical corridor (11) provides access to two stairwells, STAIR 1 at the top and STAIR 2 at the bottom. Each unit is a one-bedroom, one-bathroom configuration. Units 1 and 2 are located on the left side of the corridor, while units 3 and 4 are on the right. The plan includes detailed dimensions for all rooms and corridors, door swing indicators, and window locations. The building is bounded by property lines on the top, bottom, and right sides.

Unit Details:

- Unit 1 (Left):** 1 Bed/1 Bath, 11'-10 3/4" x 11'-10 3/4".
- Unit 2 (Right):** 1 Bed/1 Bath, 11'-10 3/4" x 11'-10 3/4".
- Unit 3 (Left):** 1 Bed/1 Bath, 11'-10 3/4" x 11'-10 3/4".
- Unit 4 (Right):** 1 Bed/1 Bath, 11'-10 3/4" x 11'-10 3/4".

Corridor and Stair Dimensions:

- Corridor (11):** 4'-2 1/2" wide.
- Stair 1:** 5'-12" x 5'-12".
- Stair 2:** 5'-12" x 5'-12".

Room Dimensions:

- Bedrooms:** 11'-10 3/4" x 11'-10 3/4".
- Bathrooms:** 5'-12" x 5'-12".
- Living Areas:** 11'-10 3/4" x 11'-10 3/4".

Door and Window Indicators:

- Doors are marked with a diamond symbol and a number (1, 2, 3, 4).
- Windows are marked with a diamond symbol and a number (1, 2, 3, 4).

Property Lines:

- Top: 3'-4 1/2" x 2'-0".
- Bottom: 1'-10 1/4" x 1'-10 1/4".
- Right: 1'-10 1/4" x 1'-10 1/4".

Architectural Floor Plan Details:

- Units:**
 - 1 Bed/1.5 Bath loft (Units 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 8

COMMONWEALTH OF VIRGINIA

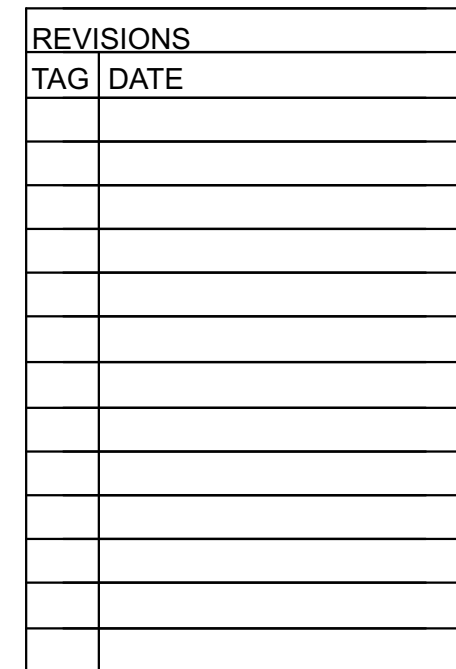
WALTER G. PARKS, JR.

Lic. No. 007463

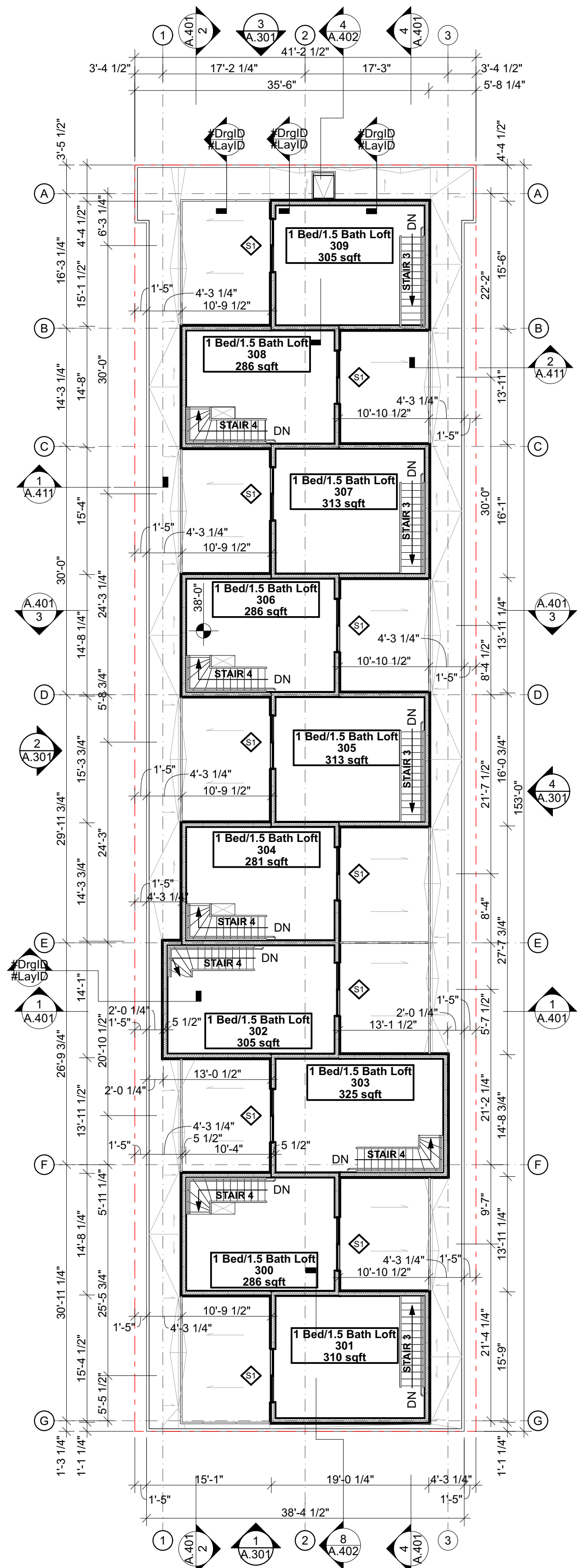
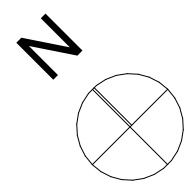
Walter G. Parks, Jr.

ARCHITECT

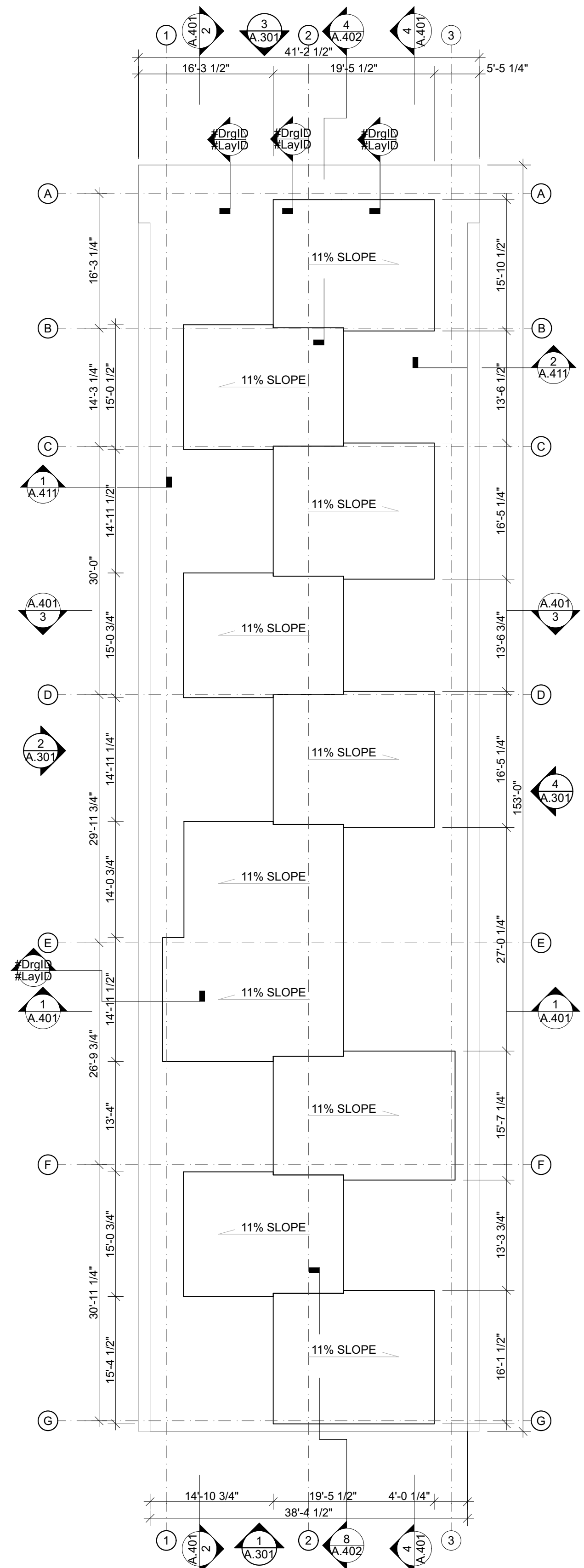
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RICHMOND VA 23220 USA



FIRST - 3RD FLOOR
PLANS
A.201



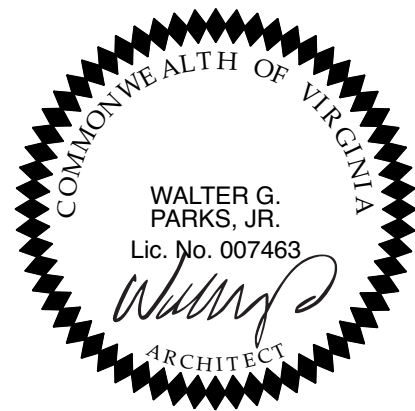
1
A.202
4TH FLOOR
SCALE: 3/32" = 1'-0"



2
A.202
ROOF PLAN
SCALE: 3/32" = 1'-0"

finish schedule

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
CPT1	24" X 24" CARPET TILE	SHAW CONTRACT	ARRANGE TILE 5T294	GLASSY GREEN 94335	CORRIDORS	INSTALLATION METHOD: BRICK
CT1	12" X 24" PORCELAIN FLOOR TILE	ROCA TILE	AVILA	ANTRACITA UFV101-1224	UNIT BATH	EVEN FLOORS
CT2	12" X 24" PORCELAIN FLOOR TILE	ROCA TILE	SILK	GRAY USK102-1224	UNIT BATH	ODD FLOORS
CT3	4" X 16" CERAMIC WALL TILE	ROCA TILE	COLOR COLLECTION	TENDER GRAY BRIGHT U761	UNIT KITCHEN	EVEN & ODD FLOORS, RUNNING BOND
GR1	1/8" GROUT	MAPEI	TBD	47 CHARCOAL	UNIT BATH	COORDINATE W/ CT1
GR2	1/8" GROUT	MAPEI	TBD	107 IRON	UNIT BATH	COORDINATE W/ CT2
GR3	1/8" GROUT	MAPEI	TBD	77 FROST	UNIT KITCHEN	COORDINATE W/ CT3
GT1	2CM GRANITE	(OZ ENTERPRISES)	ARABESCO	POLISHED	UNIT KITCHEN & BATH	EVEN FLOORS, POLISH EXPOSED EDGES
GT2	2CM GRANITE	(OZ ENTERPRISES)	ARABESCO	POLISHED	UNIT KITCHEN & BATH	ODD FLOORS, POLISH EXPOSED EDGES
LVT1	6" X 48" LVT (12 MIL)	SHAW CONTRACT	TERRAIN II 12MIL, 0453V	ORCHARD 05013	UNIT	EVEN FLOORS
LVT2	6" X 48" LVT (12 MIL)	SHAW CONTRACT	TERRAIN II 12MIL, 0453V	ROOT 00568	UNIT	ODD FLOORS
LVT3	6" X 48" X 5mm LVT (20 MIL)	SHAW CONTRACT	SOLITUDE 0648V	SMOKE 48506	CORRIDOR, STAIR LANDINGS	CORRIDORS
PT1	OVERALL GYP BD CLG PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	UNIT	
PT2	OVERALL UNIT WALL PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	UNIT	
PT3	UNIT TRIM & DOOR PAINT	SHERWIN WILLIAMS	SW7015, REPOSE GRAY	SEMI-GLOSS	UNIT	
PT4	BATH PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	SEMI-GLOSS	UNIT	
PT5	CORRIDOR WALL & LOBBY CLG PAINT	SHERWIN WILLIAMS	SW0068, COPEN BLUE	FLAT	CORRIDOR	
PT6	CORRIDOR CEILING PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	CORRIDOR	
PT7	WAINSCOT PAINT	SCUFFMASTER	TO MATCH SW7624, SLATE TILE	FLAT	CORRIDOR	
PT8	ABOVE WAINSCOT PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	CORRIDOR	
PT9	ACCENT PAINT @ UNIT ENTRY	SHERWIN WILLIAMS	SW7624, SLATE TILE	FLAT	CORRIDOR	
PT10	TRIM PAINT*	SHERWIN WILLIAMS	SW7069, IRON ORE	SEMI-GLOSS	CORRIDOR*	
PT11	STAIRWELL RAILING, CORRIDOR CHAIR RAIL, TRIM PAINT (BASE & DOOR)*	SHERWIN WILLIAMS	SW7624, SLATE TILE	SEMI-GLOSS	STAIR & CORRIDOR @ PT9 WALLS	
PT14	WOOD STAIN	FLOOD	PRO SERIES	CINDER	CORRIDOR	
PT15	WOOD STAIN	FLOOD	PRO SERIES	PEARL GRAY	CORRIDOR	
VCT1	12" VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCELON IMPERIAL TEXTURE	51875 MID GRAYED BLUE	STORAGE & UTILITY CLOSETS	
VYL1	RESILIENT WALL BASE (VINYL)	JOHNSONITE	TRADITIONAL WALL BASE	71 STORM CLOUD	STORAGE & UTILITY CLOSETS	
VYL2	VINYL TREADS	JOHNSONITE	SAFE-T-RIB	29 MOON ROCK	STAIRS	
WD1	LAMINATE CABINETRY	LEEDO	ASCONA	WHITE	UNIT KITCHEN	EVEN FLOORS
WD2	LAMINATE CABINETRY	LEEDO	ASCONA	WHITE	UNIT KITCHEN	ODD FLOORS
WD3	LAMINATE CABINETRY	LEEDO	ASCONA	WHITE	UNIT BATHROOMS, WALL CABINETS @ KITCHENS	ALL FLOORS



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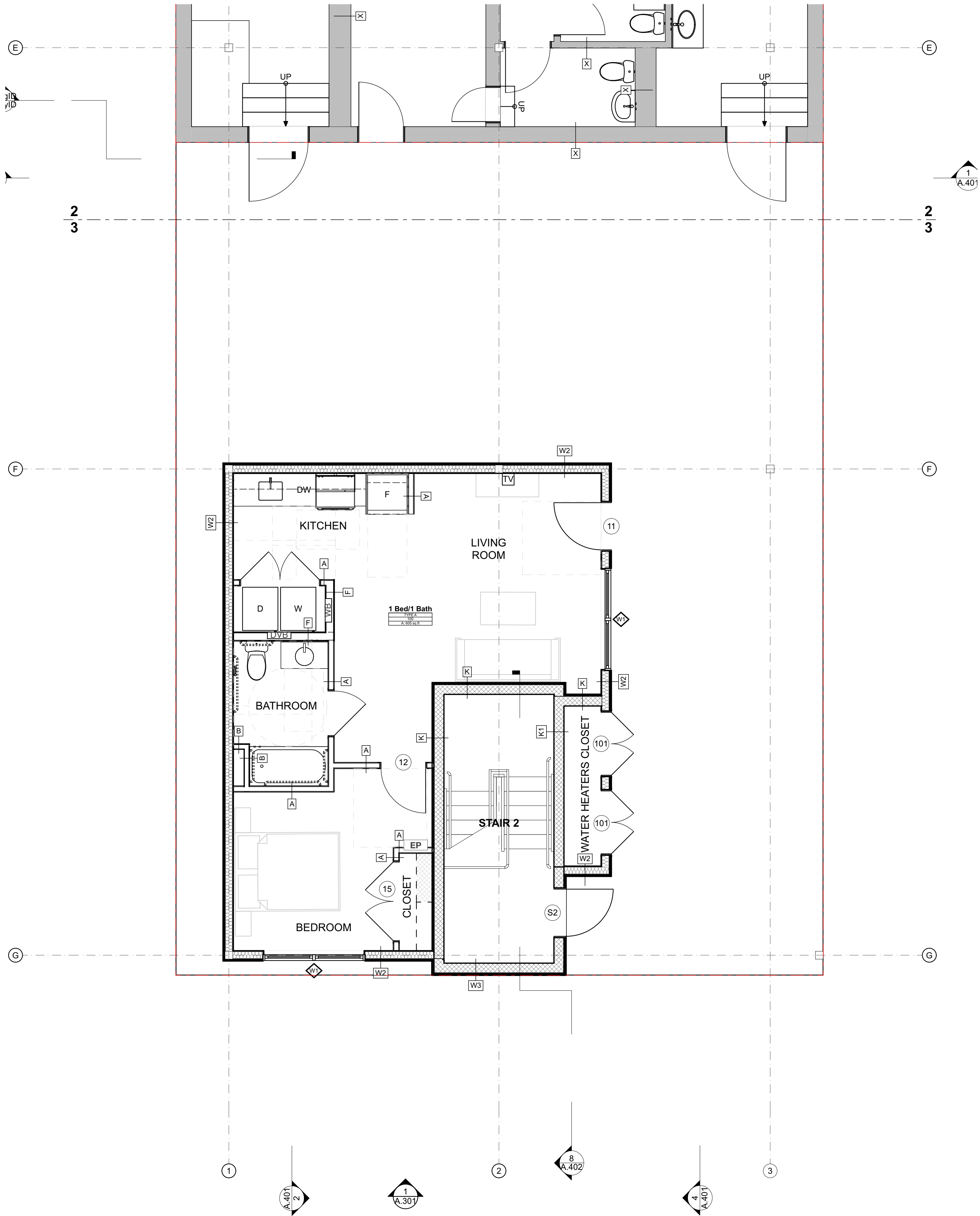
REVISIONS
TAG DATE

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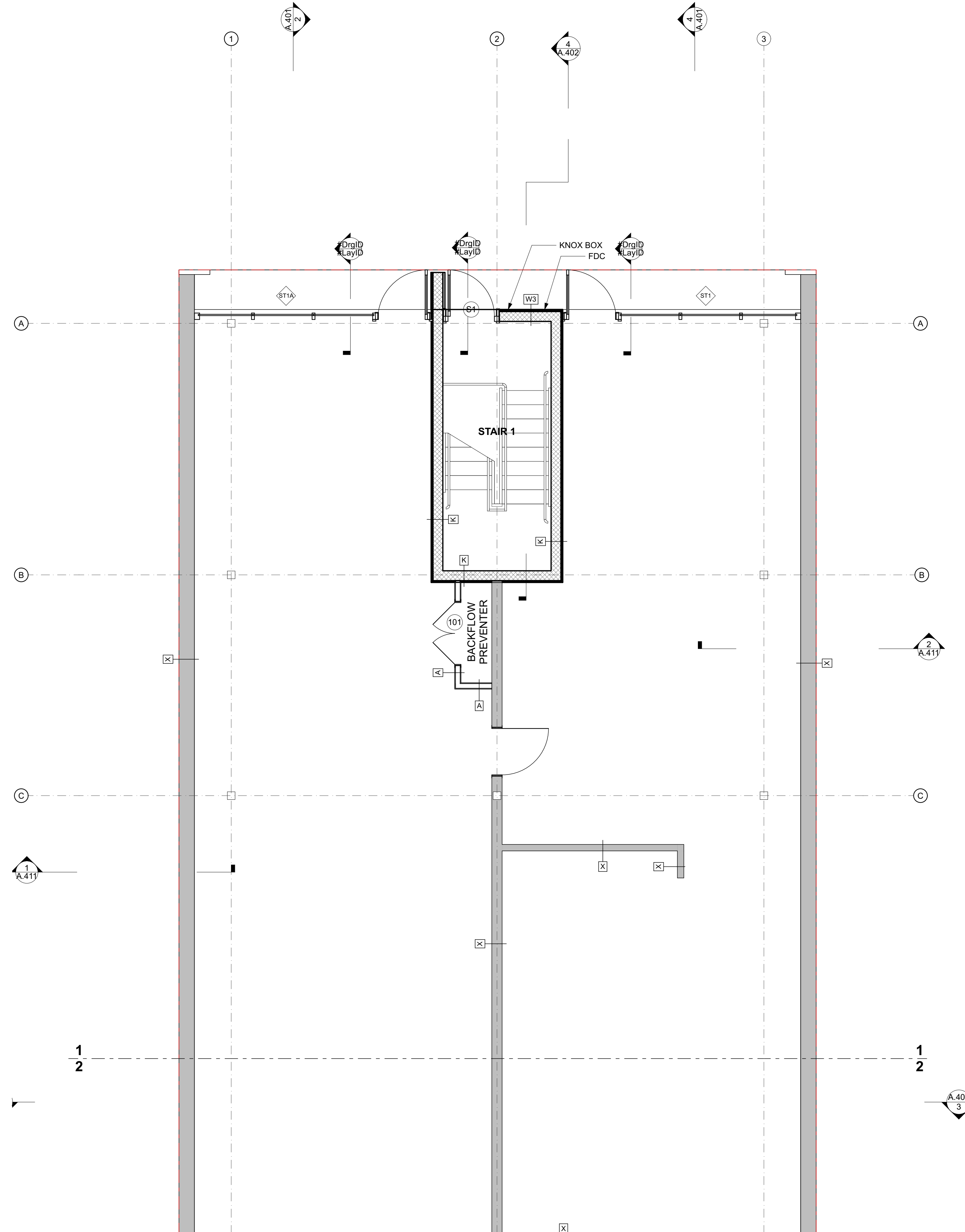
313 N. ADAMS STREET
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PROJECT #: 20.30
DATE: 1/21/22

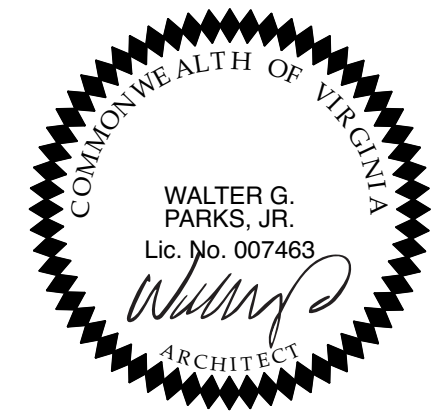
4TH FLOOR, ROOF
PLAN, & FINISH
SCHEDULE
A.202



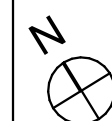
1 1ST FLOOR
SCALE: 1/4" = 1'-0"



2 1ST FLOOR
SCALE: 1/4" = 1'-0"



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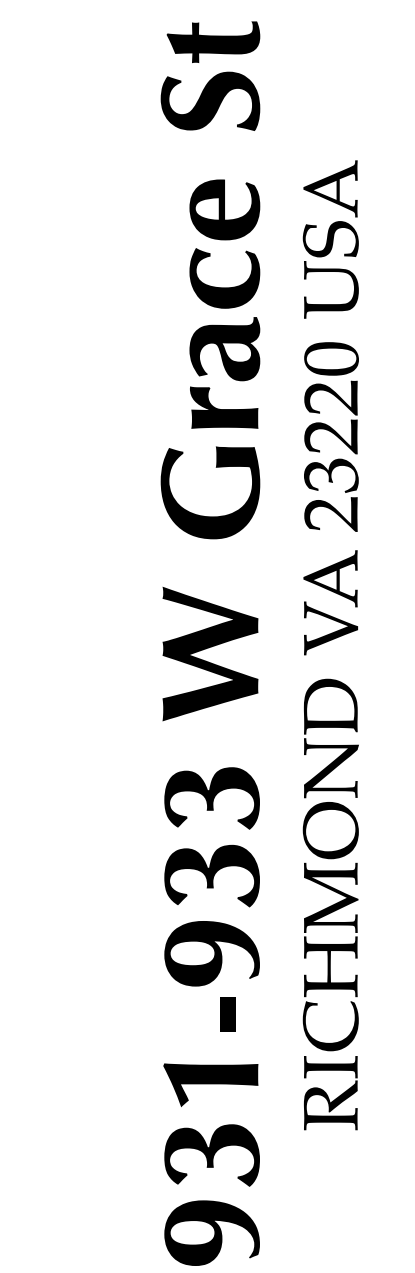
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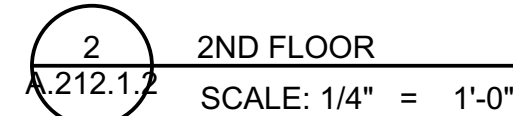
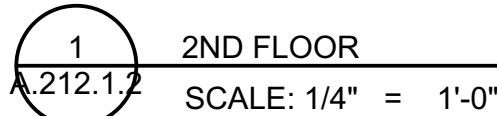
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DATE: 1/21/22

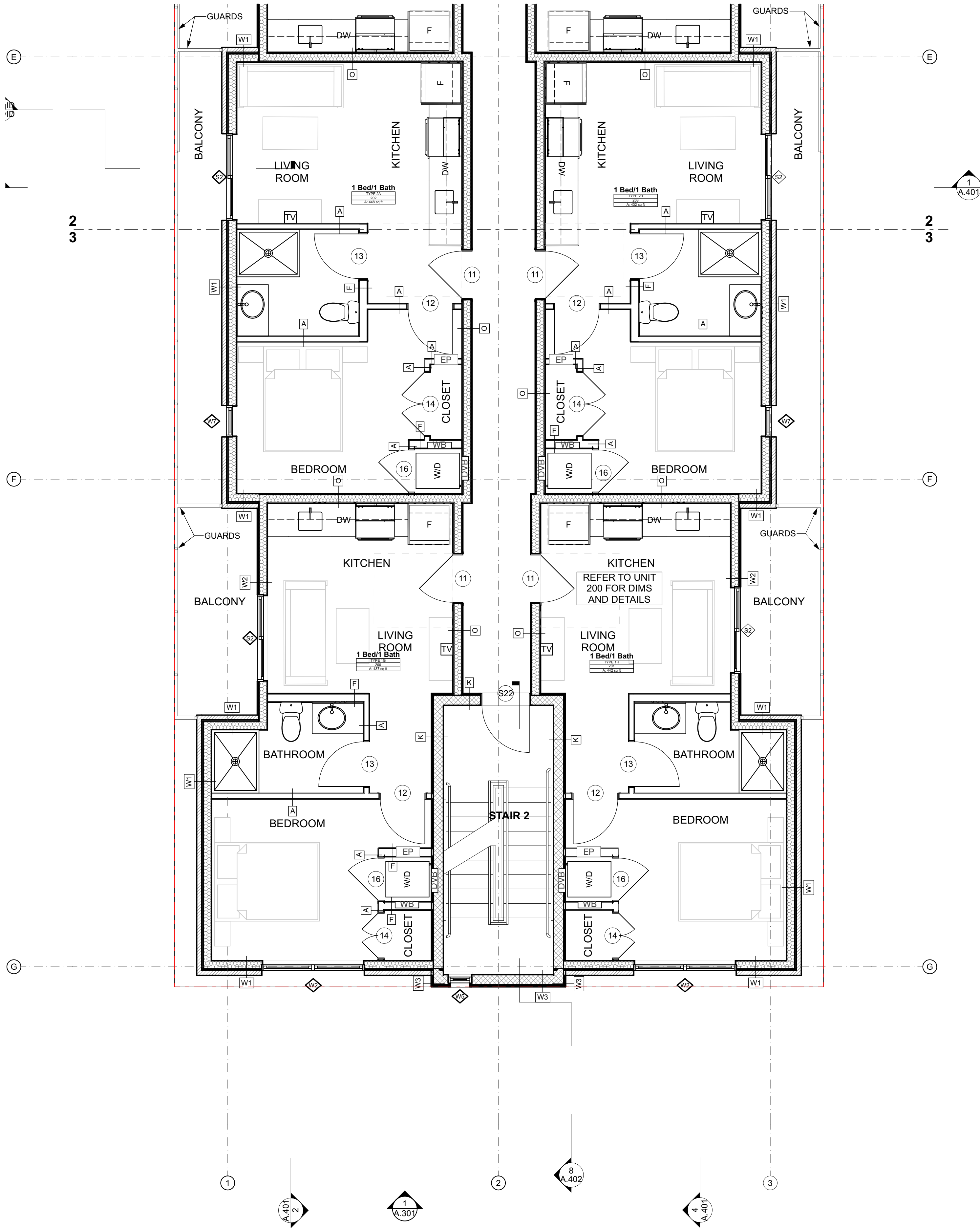
FIRST FLOOR UNIT
PLAN
A.211.3

[illegible]

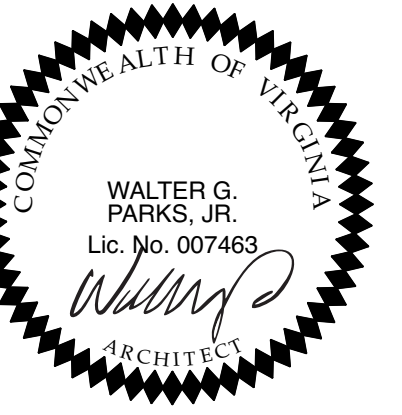
PROJECT #: 20.30
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SECOND FLOOR UNIT
PLAN
A.212.1.2





1
A.212.3
2ND FLOOR
SCALE: 1/4" = 1'-0"



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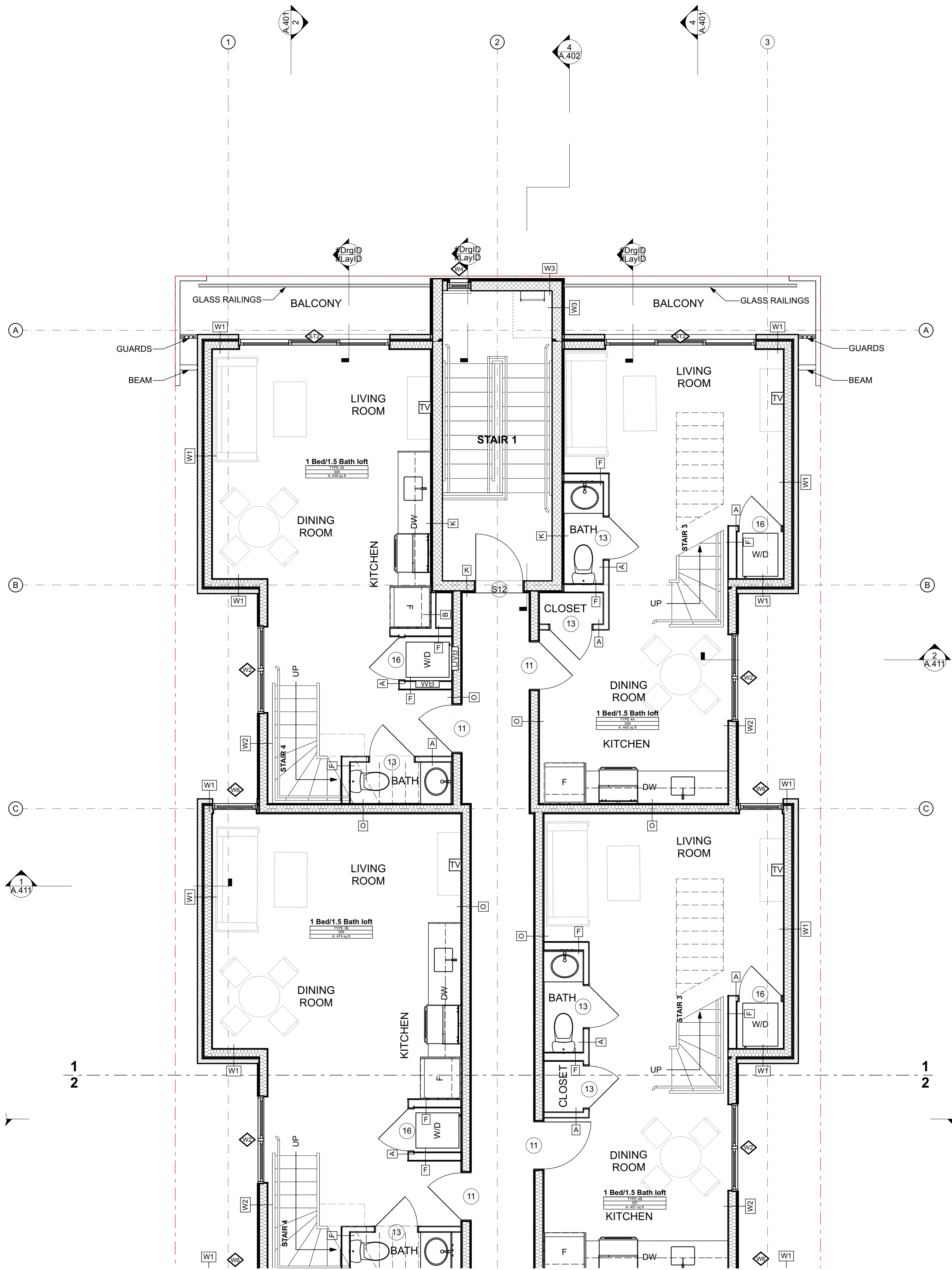
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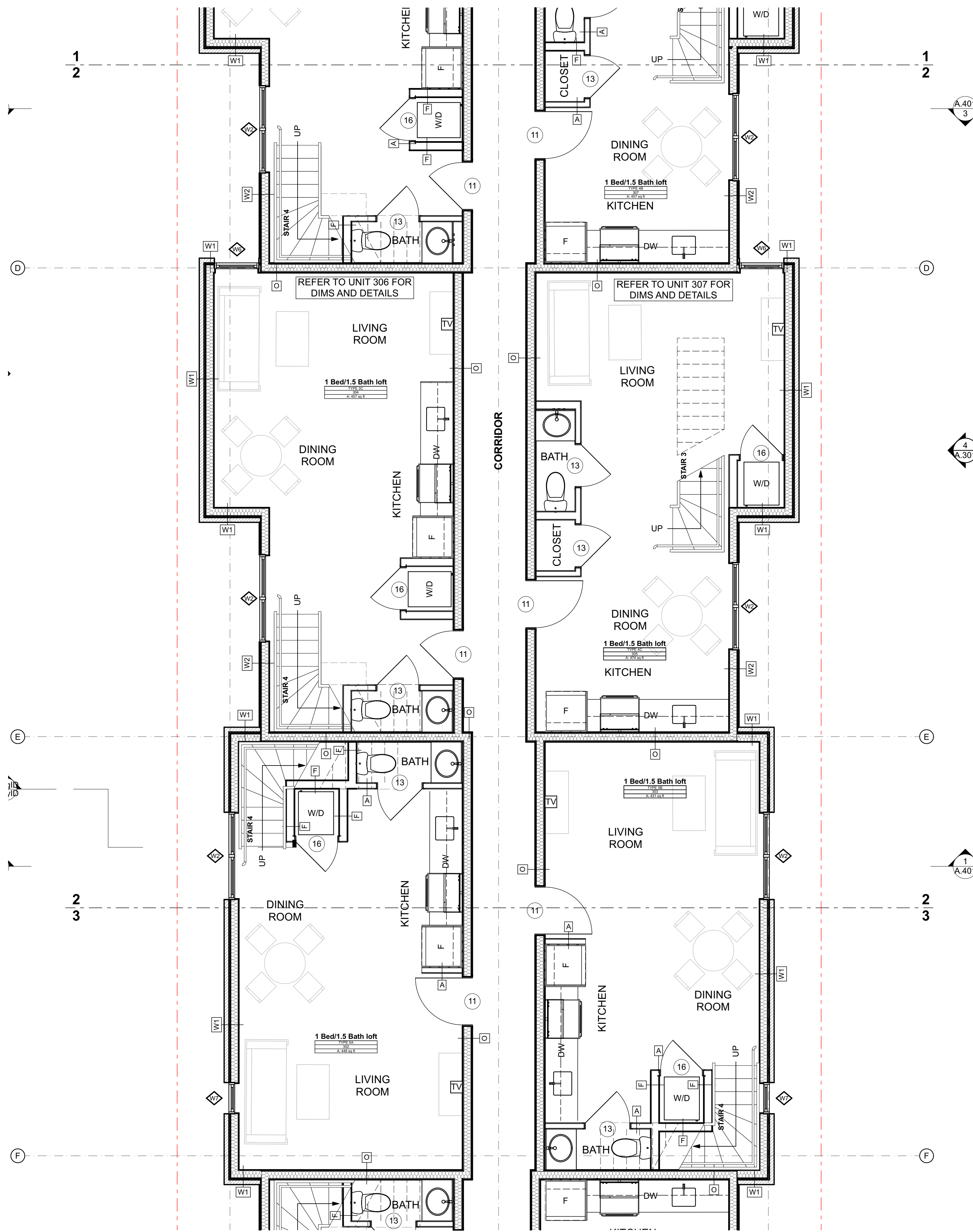
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SECOND FLOOR UNIT
PLAN
A.212.3



1 3RD FLOOR
A.213.1.2 SCALE: 1/4" = 1'-0"



2 3RD FLOOR
A.213.1.2 SCALE: 1/4" = 1'-0"



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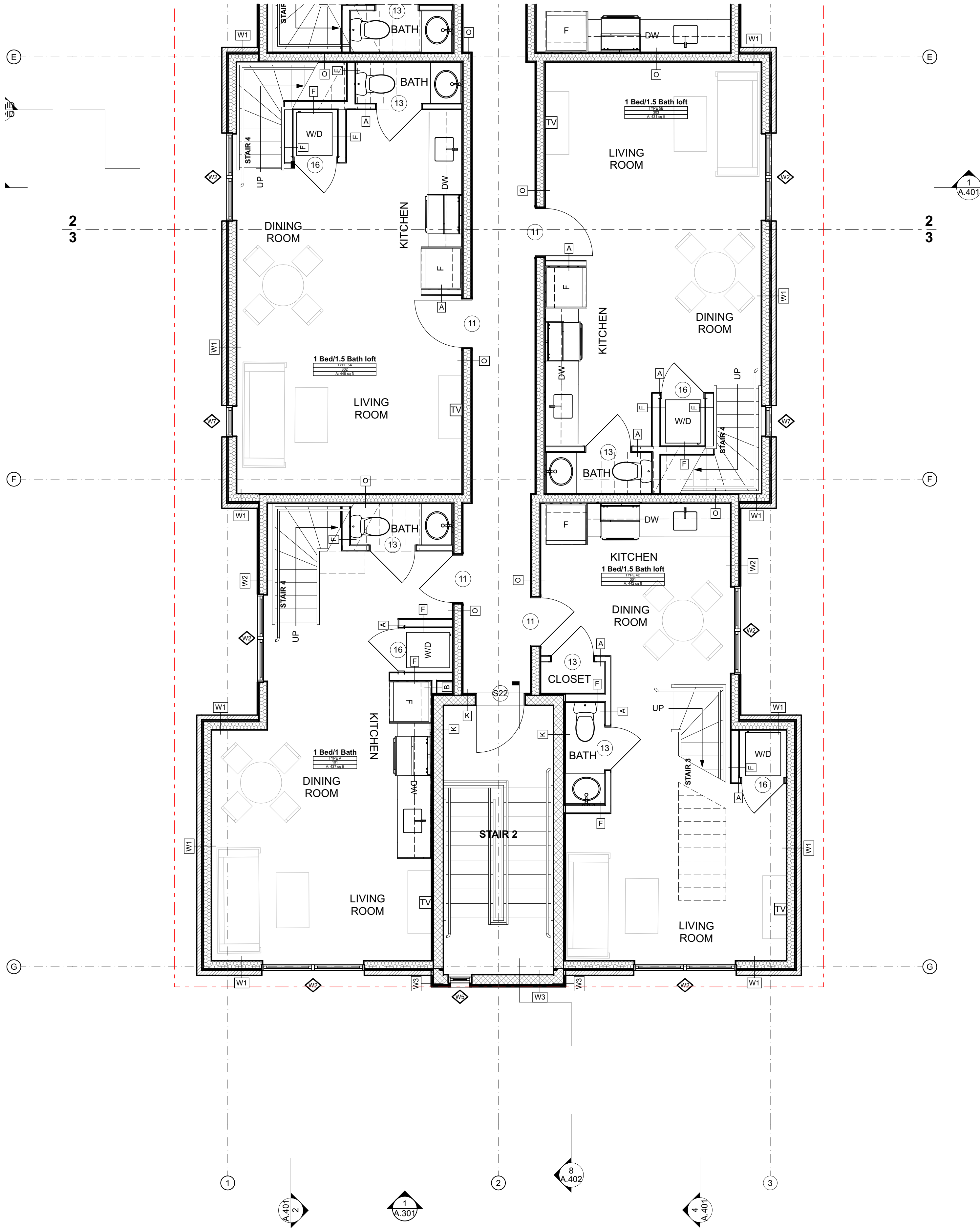
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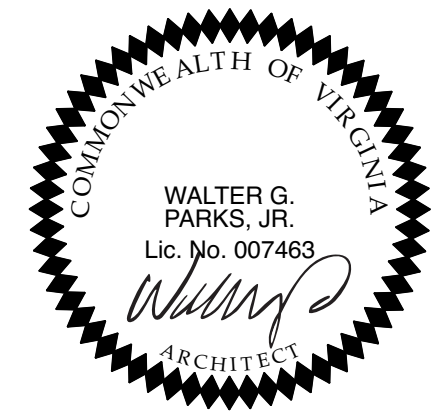
PROJECT #: 20.30
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THIRD FLOOR UNIT
PLAN

A.213.1.2

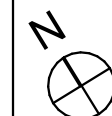


1
A.213.3 3RD FLOOR
SCALE: 1/4" = 1'-0"



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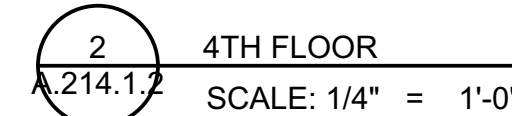
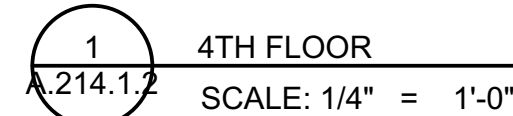
THIRD FLOOR UNIT
PLAN
A.213.3

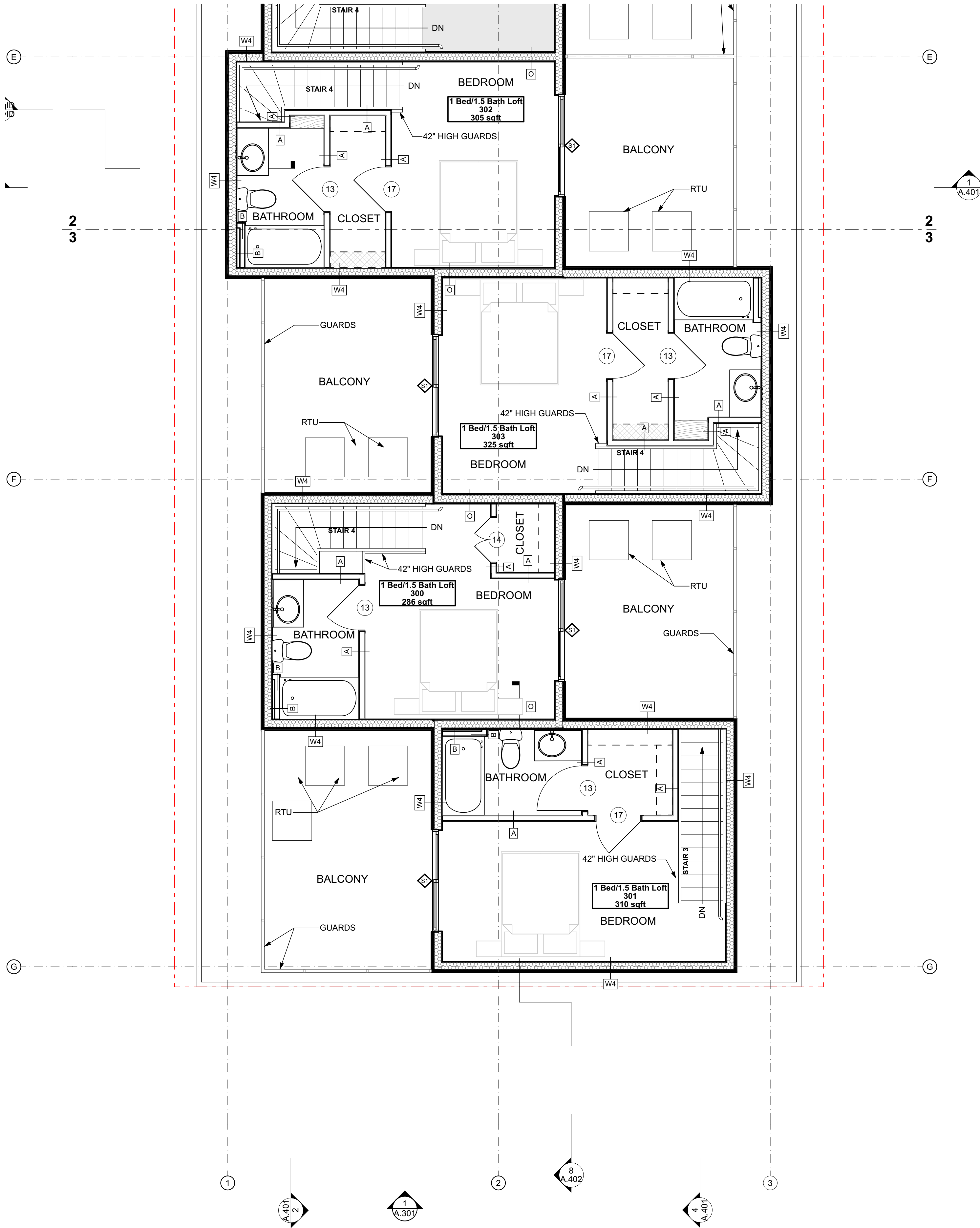


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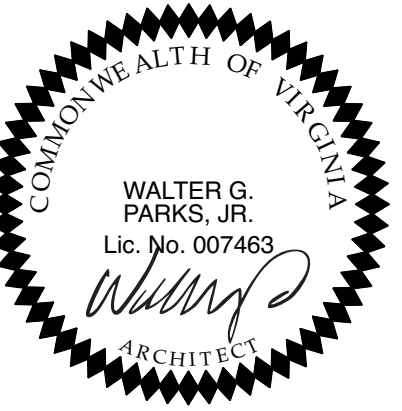
PROJECT #: 20.30
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4TH LEVEL UNIT PL
A.214.1.





1
A.214.3
4TH FLOOR
SCALE: 1/4" = 1'-0"



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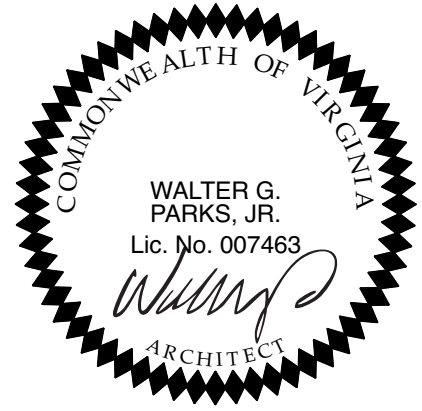


* ALL PAINT FINISHES TO BE POWDER COATED.

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ARCHITECT

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ELEVATIONS
A.301



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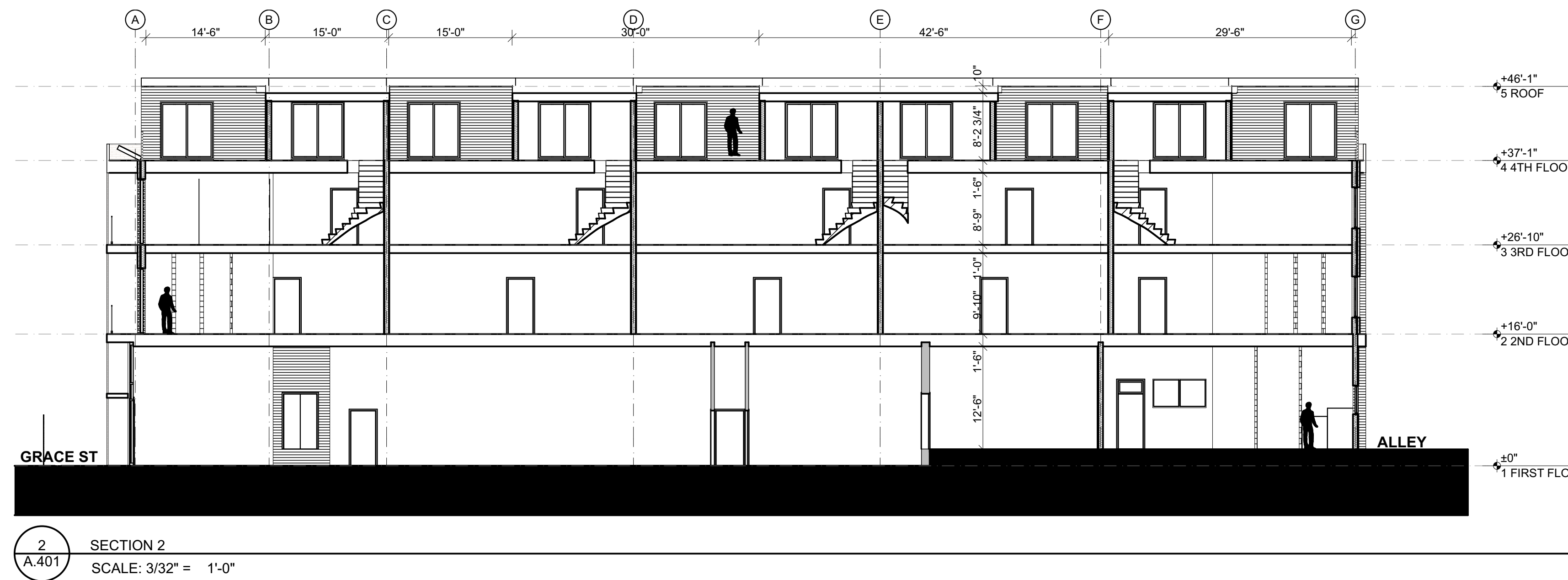
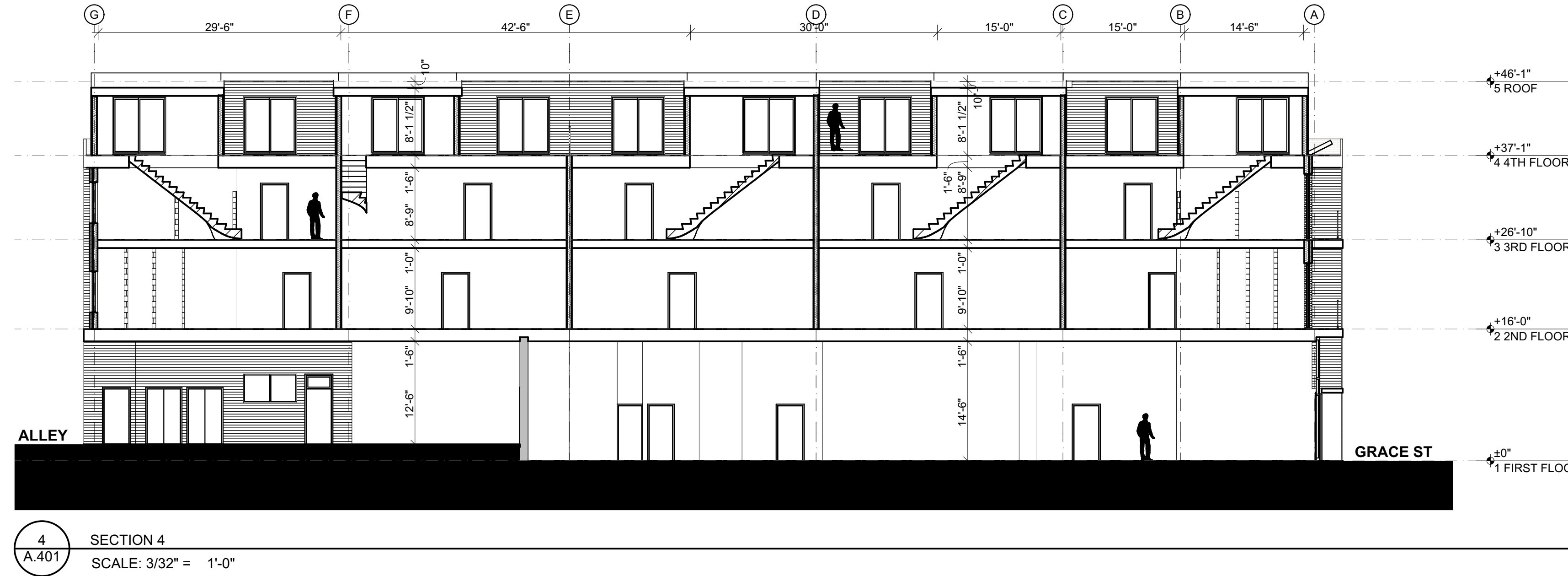
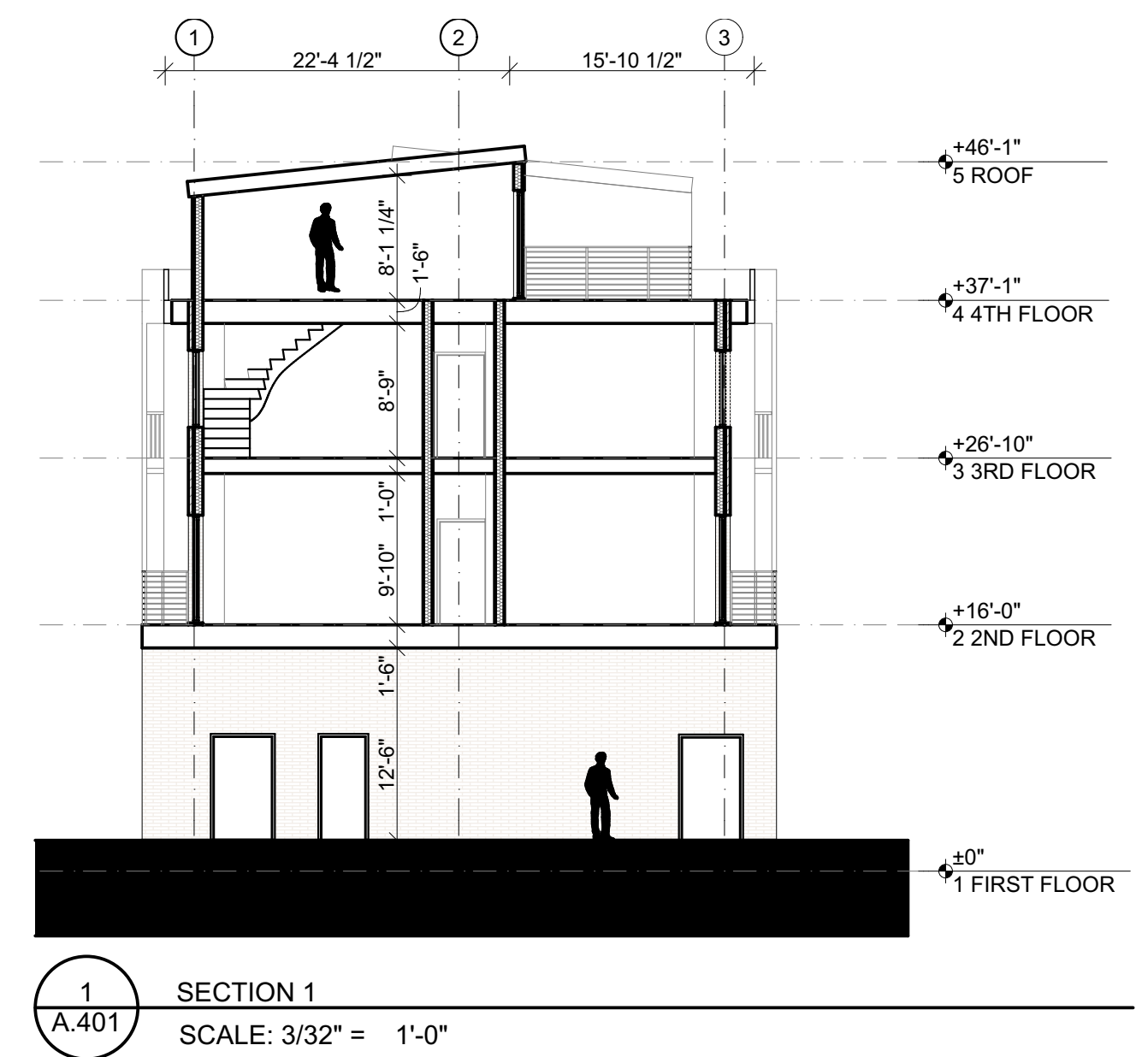
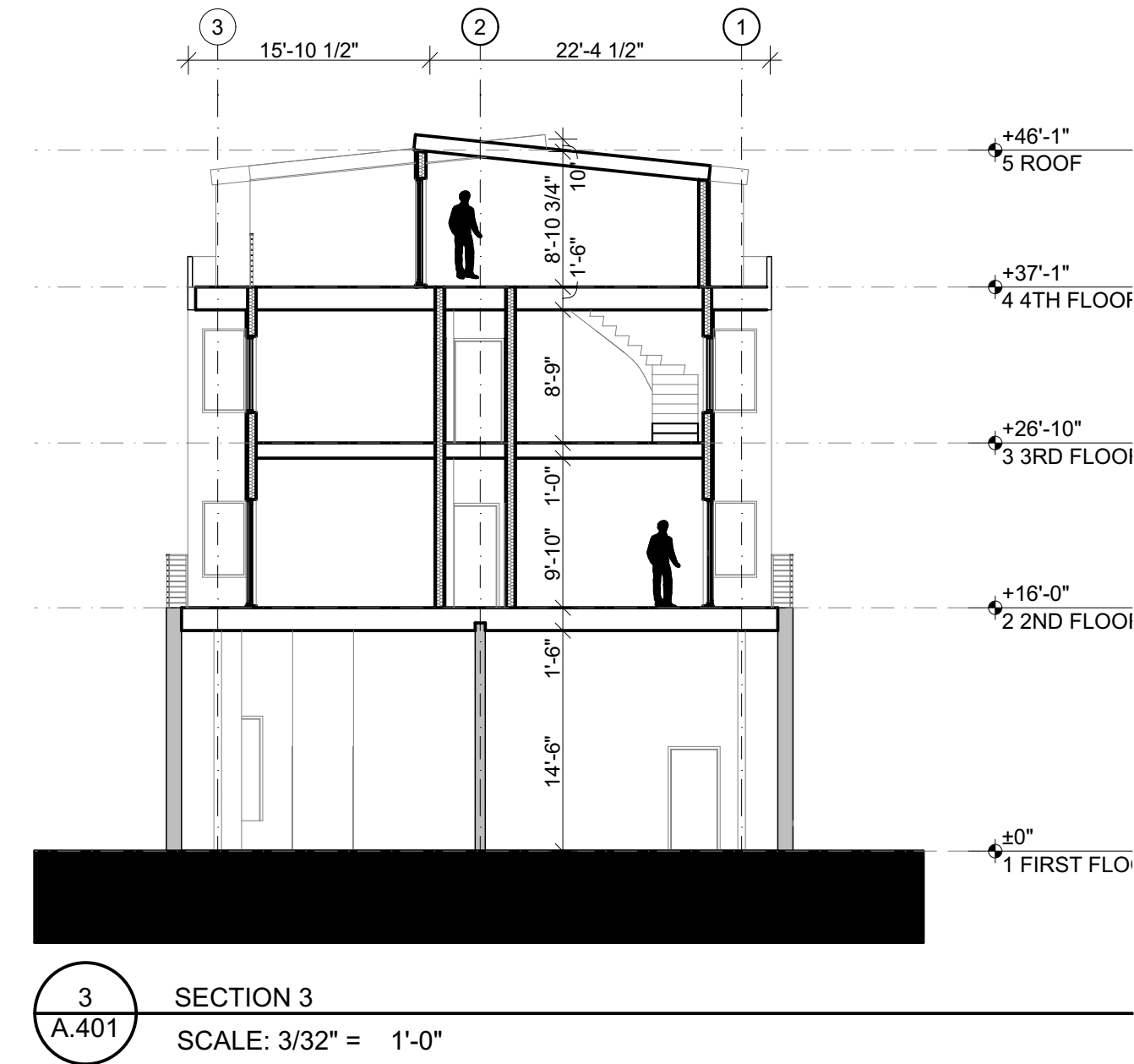
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PROJECT #: 20.30
DATE: 1/21/22

SECTIONS
A.401



Architectural section drawing of a building showing multiple floors, a roof, and a staircase. The drawing includes vertical dimensions and level markers on the right side.

Vertical dimensions and level markers (from top to bottom):

- +46'-1" ROOF
- 9'-4"
- +37'-1" 4TH FLOOR
- 10'-10"
- +26'-10" 3RD FLOOR
- 10'-10" (19 R @ 7" MAX)
- +16'-0" 2ND FLOOR
- 10'-10" (19 R @ 7" MAX)
- 3'-2" (6 R @ 7" MAX)
- 2'-0"
- +0" FIRST FLOOR

Internal dimensions (from bottom to top):

- 7'-5 1/2"
- 10'-0"
- 10'-0"
- 10'-0"

The drawing shows a staircase with a person silhouette standing on the 2nd floor for scale. The roof is shown with a window. The walls are indicated by hatching.

Architectural drawing of Stair 2, showing dimensions and layout. The drawing includes a plan view of the staircase and a section view labeled 8 A 402.

Stair Dimensions and Layout:

- Overall Width:** 17'-1 1/4"
- Overall Depth:** 7'-0"
- Top Landing:** 3'-7 1/4" (LANDING)
- Top Tread Run:** 7'-4" (8 TREADS)
- Top Landing Offset:** 6'-2" (LANDING)
- Side Wall Offset:** 1'-0"
- Bottom Landing:** 3'-7 1/4" (LANDING)
- Bottom Tread Run:** 8'-3" (9 TREADS)
- Bottom Landing Offset:** 5'-3" (LANDING)
- Side Wall Offset:** 1'-0"
- Stair Width:** 4'-0"
- Stair Depth:** 3'-4"
- Stair Label:** STAIR 2
- Directional Labels:** DN (Down), GUARD RAIL, UP (Up)
- Section View:** 8 A 402

[illegible]

Architectural section drawing showing a vertical shaft with stairs and a roof access hatch. The drawing includes dimensions for floor levels, stair risers, and hatch size.

Key dimensions and features:

- Overall width: 14'-6"
- Roof level: +46'-1" ROOF
- 4th Floor level: +37'-1"
- 3rd Floor level: +26'-10"
- 2nd Floor level: +16'-0"
- 1st Floor level: ±0"
- Roof Access Hatch: 30"X37"
- Steel Ladder: PROVIDE LOCKABLE COVER PLATE FOR ACCESS CONTROL
- Stair riser dimensions: 10'-10" (19 R @ 7" MAX), 10'-0" (19 R @ 7" MAX), 5'-2" (9 R @ 7" MAX)
- Vertical shaft dimensions: 10'-10", 10'-10", 10'-0", 16'-0", 9'-5 1/2"

Architectural drawing of a staircase and landing area. The drawing shows a staircase labeled "STAIR 1" with a "ROOF ACCESS LADDER" and a "GUARD RAIL". Dimensions are provided for the staircase (13'-10 1/2" total width, 8'-3" tread width, 9 treads) and the landing (4'-7 3/4" width). A "DN" (down) arrow indicates the direction of travel. A dashed red line indicates a boundary or opening.

Architectural drawing of a staircase layout. The drawing shows a rectangular room with a staircase labeled "STAIR 1" in the center. The staircase has two flights: one going "UP" and one going "DN" (down). A "GUARD RAIL" is indicated on the right side. The dimensions are as follows:

- Overall width: 18'-6 1/4"
- Overall height: 7'-0"
- Top landing: 6'-6 1/2" (LANDING)
- Top tread run: 7'-4" (8 TREADS)
- Right landing: 4'-7 3/4" (LANDING)
- Bottom landing: 5'-7 1/2" (LANDING)
- Bottom tread run: 8'-3" (9 TREADS)
- Bottom landing: 4'-7 3/4" (LANDING)
- Stair width: 1'-0"
- Stair depth: 1'-0"
- Stair riser height: 3'-4"
- Stair tread depth: 3'-4"
- Stair width (bottom): 3'-4"
- Stair depth (bottom): 3'-4"
- Stair width (top): 3'-4"
- Stair depth (top): 3'-4"
- Stair width (middle): 3'-4"
- Stair depth (middle): 3'-4"
- Stair width (bottom): 3'-4"
- Stair depth (bottom): 3'-4"

STAIRS PLANS & SECTIONS A.402

[illegible]

The image contains 12 technical drawings of door and window installations, labeled H1 through J6. The drawings are organized into two rows of six.

Top Row (H1-H6):

- H1:** Shows a door installation with a partition. Labels include: PARTITION, SEE PLANS; 1/2" RESILIENT CHANNEL; SEALANT, BOTH SIDES; GASKET; HM FRAME; DOOR. Dimension: 3".
- H2:** Shows a door installation with a wall. Labels include: WALL TYPE A/A7/F REF. SCHEDULE; DOOR CASING; WD DOOR; REF. SCHEDULE.
- H3:** Shows a door installation with a wall. Labels include: WALL TYPE A/A7/F REF. SCHEDULE; DOOR CASING.
- H4:** Shows a door installation with a wall. Labels include: BULLNOSE INTERIOR CORNER, TYP.; CMU WALL; BACKER ROD & SEALANT, BOTH SIDES; HM FRAME, ALIGN W/ CMU FACE UNLESS NOTED OTHERWISE; HM DOOR. Dimensions: 1 1/2", 5 3/4", 4".
- H5:** Shows a door installation with a wall. Labels include: BULLNOSE INTERIOR CORNER, TYP.; CMU WALL; SEALANT, BOTH SIDES.
- H6:** Shows a door installation with a wall. Labels include: INT. WALL; ZIP BEAD & SEALANT, BOTH SIDES; ALUM. FRAME.

Bottom Row (J1-J6):

- J1:** Shows a CORRIDOR DOORS installation with a partition. Labels include: PARTITION, SEE PLAN; DOOR; GASKET; HM FRAME; SEALANT, BOTH SIDES. Dimension: 3".
- J2:** Shows an APARTMENT DOORS installation with a wall. Labels include: 3/4" WD TRIM; WD DOOR; REF. SCHEDULE; WALL TYPE A/A7/F REF. SCHEDULE. Dimensions: 3 1/2", 3 1/2", 1/2".
- J3:** Shows an APARTMENT DOORS installation with a wall. Labels include: 3/4" WD TRIM; WD DOOR; REF. SCHEDULE; WALL TYPE A/A7/F REF. SCHEDULE. Dimensions: 3 1/2", 3 1/2", 1/2".
- J4:** Shows an APARTMENT DOORS installation with a wall. Labels include: HM DOOR; HM FRAME; SEALANT, BOTH SIDES; BULLNOSE INTERIOR CORNER, TYP. Dimensions: 2", 5 3/4".
- J5:** Shows an APARTMENT DOORS installation with a wall. Labels include: ALUM. DOOR; ALUM. FRAME; BACKER ROD & SEALANT, BOTH SIDES; BULLNOSE INTERIOR CORNER, TYP.
- J6:** Shows an INT. WALL installation with a wall. Labels include: DOOR SEE SCHED; ALUM. FRAME; ZIP BEAD & SEALANT, BOTH SIDES; INT. WALL.

Technical drawings of door types F, F1, F2, F3, SF, and SF1. The drawings show the layout of doors with various features and dimensions.

- F:** Standard door with a handle.
- F1:** Door with a handle, door viewers, a kickplate, and aluminum apartment numbers (204) centered on the door. Dimensions: 5'-0" total height, 4'-6" height to the top of the door viewer, 3'-7" height to the top of the kickplate.
- F2:** Door with a handle, a 10" x 10" vision panel, a kickplate, and a louver.
- F3:** Door with a handle, a 10" x 10" vision panel, a kickplate, and a louver.
- SF:** Sliding door with tempered glass, aluminum frame, and a louver. Dimensions: 2'-0" width, 2'-0" height, 4'-0" total height, 1'-5" height to the top of the door viewer, 1'-3" height to the top of the kickplate.
- SF1:** Sliding door with tempered glass, aluminum frame, and a louver. Dimensions: 2'-0" width, 2'-0" height, 4'-0" total height, 1'-5" height to the top of the door viewer, 1'-3" height to the top of the kickplate.

1. APARTMENT ENTRY DOORS (INT):	6. BALCONY
PASSAGE LOCKSET	
THUMBTURN DEADBOLT	7. UTIL.
EYE VIEWER	
GASKET/ WEATHERSTRIPPING	8. TOILET, SINGLE OCCUPANT
1 PR BB HINGES	PASSAGE LOCKSET
1 SPRING HINGE	1 1/2 PR HINGES
DOOR SWEEP	CLOSER
DOOR STOP	DOOR STOP
2. APARTMENT ENTRY DOORS (EXT):	9. ENTRY
PASSAGE LOCKSET	PANIC EXIT
THUMBTURN DEADBOLT	NO ENTRY
EYE VIEWER	1 1/2 PR BB HINGES
WEATHERSTRIPPING	CLOSER
1 PR BB HINGES	DOOR STOP
1 SPRING HINGE	
DOOR SWEEP	10. GENERAL CARD ACCESS
DOOR STOP	PUSH/PULL
	CARD READER
3. BEDROOM AND BATHROOM:	1 1/2 PR BB HINGES
PASSAGE LOCKSET	CLOSER
1 1/2 PR HINGES	DOOR STOP
DOOR STOP	
4. CLOSETS	11. EXIT
LATCH-SET	PANIC EXIT
1 1/2 PR HINGES	NO ENTRY
DOOR STOP	1 1/2 PR BB HINGES
	CLOSER
5. CLOSET (DOUBLE DOORS)	12. PASSAGE
2 BALL CATCH (AT TOP OF DR)	PASSAGE SET
3 PR HINGES	1 1/2 PR BB HINGES
2 DUMMY PULLS	CLOSER
2 DOOR STOPS	DOOR STOP

Diagram A: INT. CONCRETE - EXT. CONCRETE (ENTRANCES). Labels: DOOR, ALUM THRESHOLD SET IN FULL BED OF SEALANT, MAX SLOPE 1:2, FIN FLR, ANCHOR TO CONC, EXP. JOINT, DOOR SWEEP, 1/2" MAX.

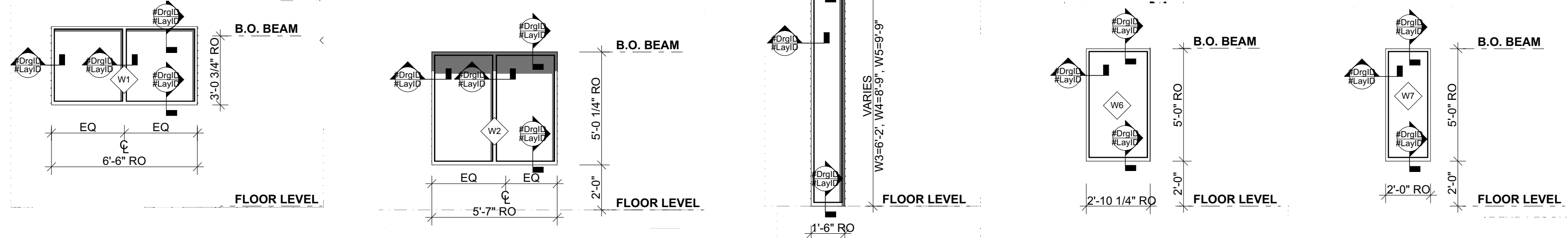
Diagram B: CARPET TILE - WOOD (APT. ENTRIES). Labels: DOOR, DOOR SWEEP, STONE THRESHOLD SET IN SEALANT, MATCH FRAME DEPTH, 1/2", 1/4".

Diagram C: WOOD - TILE. Labels: DOOR, STAINLESS STEEL SCHLUTER STRIP TK TRANSITION, MAX SLOPE 1:2, WOOD FLR, 1/2" CEMENT BD, CERAMIC TILE REFER TO PLAN, SUBFLOOR.

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DOOR SCHEDULE
A.901

WINDOW NO	APPROX. SIZE		MATERIAL	TYPE	GLAZING	DETAILS	NOTES/ COMMENTS
	WIDTH	HEIGHT					
WINDOW WALL							
W1	6'-6"	3'-0"	AL	CASEMENT	G2	4	
W2	6'-6"	5'-0"	AL	CASEMENT	G2	4	
W3	1'-6"	6'-3"	AL	FIXED	G1	3	
W4	1'-6"	9'-6"	AL	FIXED	G1	3	
W5	1'-6"	10'-0"	AL	FIXED	G1	3	
W6	1'-9"	5'-0"	AL	CASEMENT	G2	3	
W7	1'-7"	5'-0"	AL	CASEMENT	G2	3	
STOREFRONT							
ST1	15'-1"	15'-0"	AL	ES	G1 & G3	10	
ST1A	15'-1"	15'-0"	AL	ES	G1 & G3	10	
ST2	9'-8"	8'-0"	AL	ES	G2	4	
SLIDING DOOR							
S1	6'-6"	7'-0"	AL		G2	4	
S2	5'-6"	7'-0"	AL		G2	4	
SCHEDULE KEY							
ES	EXTERIOR STOREFRONT						
G1	SINGLE PANE INTERIOR CLEAR GLAZING						
G2	LOW-E GLAZING 0.25 - 0.30 SHGC, U-VALUE 0.32 MAX						
G3	SPANDREL (CORRUGATED METAL) PANEL						



The image contains three architectural drawings of a window assembly:

- Top Left: Elevation View**
 - Shows a window with a grid of panes. The top panes are labeled "SPANDREL PANEL (CORRUGATED METAL)".
 - Labels include "ST1" for a structural member, "T" for panes, and "EQ" for equalizers.
 - Dimensions: Total width is 15'-1 3/4" RO (Right of Face); total height is 7'-6" RO.
 - Vertical dimensions on the right: 7'-6" RO, 0", 0", 7'-6" RO.
 - Labels "B.O. BEAM" and "FLOOR LEVEL" are present.
 - A note "SEE DOOR SCHEDULE" points to a detail on the right side.
- Top Right: Section View**
 - Shows a cross-section of the window assembly.
 - Labels include "ST2" for a structural member, "T" for panes, and "EQ" for equalizers.
 - Dimensions: Total width is 9'-8" RO; total height is 8'-0" RO.
 - Labels "B.O. BEAM" and "FLOOR LEVEL" are present.
- Bottom: Detail View**
 - Shows a detailed cross-section of the window frame and panes.
 - Labels include "ST1" for a structural member, "T" for panes, and "EQ" for equalizers.
 - Dimensions: Total width is 15'-1 3/4" RO; total height is 7'-6" RO.
 - Labels "B.O. BEAM" and "FLOOR LEVEL" are present.

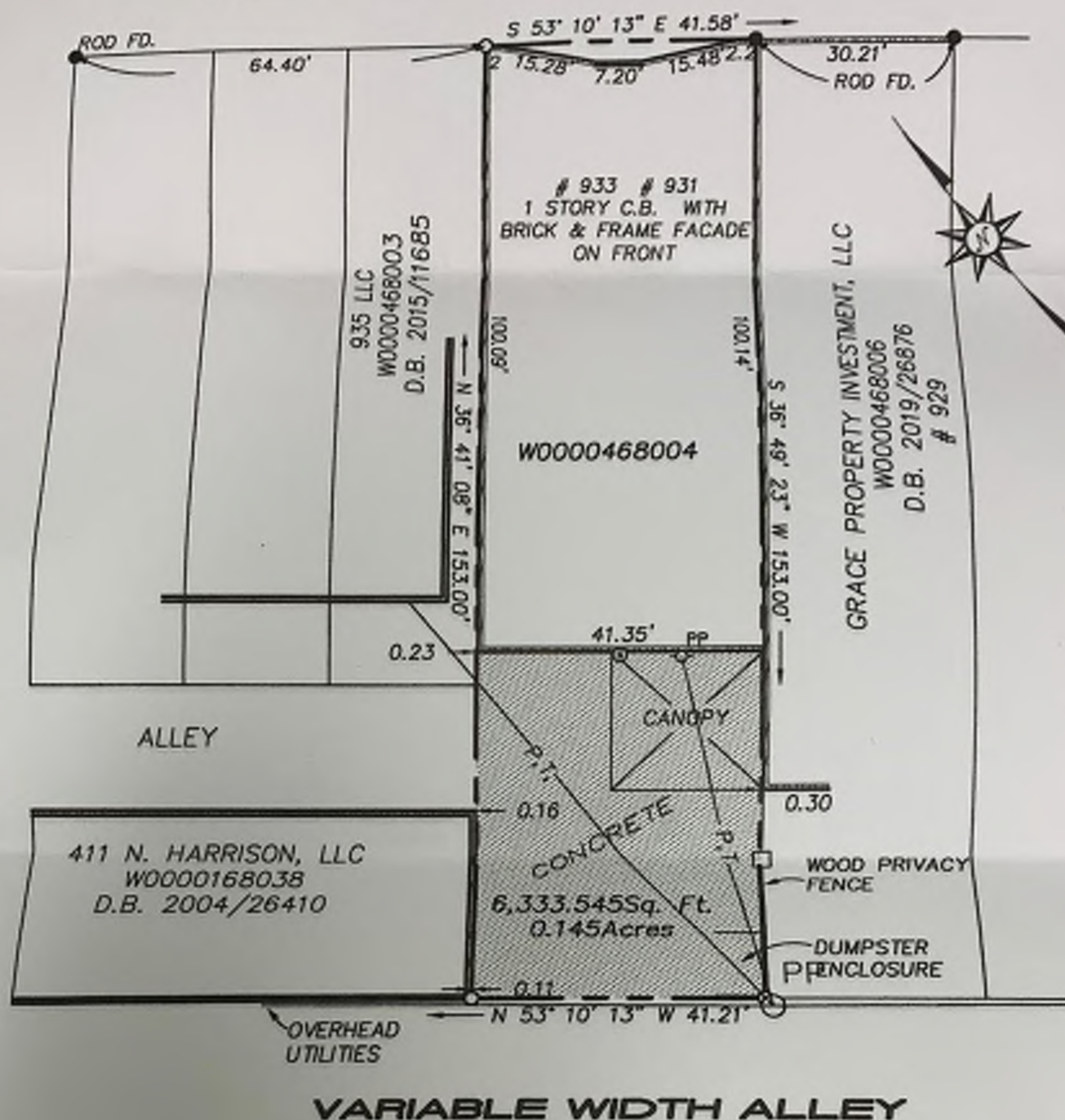


WINDOW SCHEDULE

A.902

W. GRACE STREET

N. HARRISON STREET



PLAT SHOWING # 931 & # 933 W. GRACE STREET RICHMOND, VIRGINIA SURVEYED FOR SWITZERLAND TOWN, LLC



THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE BINDER AND IS SUBJECT TO ANY ENCUMBRANCES THAT ONE MAY REVEAL. THIS IS TO CERTIFY THAT ON 7/16/20 TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT ALL IMPROVEMENTS KNOWN OR VISIBLE ARE SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES OTHER THAN AS SHOWN HEREON. THIS PROPERTY IS IN ZONE "X" OF THE HUD DEFINED FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL # 5101290037D, DATED 4/02/09.

0 25 50

BASELINE LAND SURVEYING
526 GROVE AVENUE
PETERSBURG, VIRGINIA 23803
BLS23803@MSN.COM
PH.: 804.520.9180 / FX.: 804.722.9517

DATE: JULY 16, 2020 SCALE: 1" = 25'

DRAWN BY: SLB

CHECKED BY: CALC. CHK.: SLB

JOB NO.: 22434 F.B. 203/8

NOT VALID UNLESS SIGNED IN RED

PREVIOUS JOB NO.

REV.: