

INTRODUCED: April 11, 2022

AN ORDINANCE No. 2022-123

To authorize the special use of the property known as 5811 Grove Avenue for the purpose of an outdoor dining area to the rear of an existing building, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: MAY 9 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 5811 Grove Avenue, which is situated in a UB Urban Business District, a R-4 Single-Family Residential District, and a Grove/Libbie Parking Overlay District PO-1, desires to use such property for the purpose of an outdoor dining area to the rear of an existing building, which use, among other things, is not currently allowed by section 30-408.1 of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: \_\_\_\_\_ NOES: \_\_\_\_\_ ABSTAIN: \_\_\_\_\_

ADOPTED: \_\_\_\_\_ REJECTED: \_\_\_\_\_ STRICKEN: \_\_\_\_\_

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 5811 Grove Avenue and identified as Tax Parcel No. W021-0358/006 in the 2022 records of the City Assessor, being more particularly shown on sheet C03 of the plans entitled “Catura Patio Expansion, 5811 Grove Avenue,” prepared by Parker Design Group, and dated August 18, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of an outdoor dining area to the rear of an existing building, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Project Name: 5811 Grove Avenue,” with sheets T001, AC01, A115 prepared by PSH+, and dated August 31, 2021, and sheet S2.01 of the plans entitled “Project Name: 5811 Grove Avenue,” prepared by PSH+ and Balzer & Associates, and dated October 29, 2021, and entitled “Catura Patio Expansion, 5811 Grove Avenue,” prepared by Parker Design Group, and dated August 18, 2021, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as an outdoor dining area to the rear of an existing building, substantially as shown on the Plans.

(b) No fewer than 27 off-street parking spaces shall be provided on the Property, substantially as shown on the Plans.

(c) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(e) The Special Use shall only be operated between the hours of 7:00 a.m. through 10:00 p.m.

(f) Music shall only be permitted as part of the Special Use between the hours of 12:00 p.m. through 9:00 p.m., Friday and Saturday.

(g) Occupancy of the Special use at any time shall not exceed 44 persons or the maximum capacity allowed by the Virginia Uniform Statewide Building Code, whichever is less.

(h) No less than two covered trash containers shall be provided for the Special Use.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final,

non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.



# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.rva.gov

## Item Request File Number: PRE.2022.0083

### O & R Request

**DATE:** March 14, 2022

**EDITION:** 1

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (Mayor, by Request)  
(This is no way reflects a recommendation on behalf of the Mayor.)

Handwritten signature of Levar M. Stoney in blue ink.

**THROUGH:** J.E. Lincoln Saunders, Chief Administrative Officer

Handwritten signature of J.E. Lincoln Saunders in blue ink.

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

Handwritten signature of Sharon L. Ebert in black ink.

**FROM:** Kevin J. Vonck, Director, Department of Planning and Development Review

Handwritten signature of Kevin J. Vonck in blue ink.

**RE:** To authorize the special use of the property known as 5811 Grove Avenue for the purpose of a restaurant with an enclosed outdoor dining area, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_

**PURPOSE:** To authorize the special use of the property known as 5811 Grove Avenue for the purpose of a restaurant with an enclosed outdoor dining area, upon certain terms and conditions.

**REASON:** The applicant is requesting a Special Use Permit for the purpose of a restaurant, with an enclosed outdoor dining area, within a UB-PO1 Urban Business Parking Overlay Zoning District, and an R-4 Single-Family Residential District. Such a use is not a permitted use in these districts. A Special Use Permit is therefore required.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its May 2, 2022, meeting.

**BACKGROUND:** 5811 Grove Avenue is currently improved with a 6,312 sq. ft. commercial building, and a 2,602 sq. ft. residential building, constructed in 1900, situated on a 25,895 sq. ft. (.59 acre) parcel of land. The property is located in the Westhampton neighborhood and is a part of the Libbie/Grove commercial district.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Community Mixed Use which are defined as a "cluster of medium density, walkable commercial and residential uses that provide neighborhood services to nearby residential communities and sometimes feature regional attractions."

Intensity: Buildings generally ranging from two to six stories, based on street widths and depending on the historic context and stepping down in height adjacent to residential areas, as necessary. New buildings that are taller than historical buildings should step back from the build to line after matching the height of the predominant cornice line of the block. Primary Uses: Retail/office/personal service, multi-family residential, cultural, and open space. Secondary Uses: Single family houses, institutional, and government. (p. 58)

The current zoning for this property is R-4 Single Family and UB PO1 Urban Business Parking Overlay Districts.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No

**REVENUE TO CITY:** \$300 application fee

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** April 11, 2022

**CITY COUNCIL PUBLIC HEARING DATE:** May 9, 2022

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission  
May 2, 2022

**AFFECTED AGENCIES:** Office of Chief Administrative Officer  
Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**REQUIRED CHANGES TO WORK PROGRAM(S):** None

**ATTACHMENTS:** Application Form, Applicant's Report, Draft Ordinance, Plans, Survey, Map

**STAFF:** Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734

**Application for SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304

<http://www.richmondva.gov/>

Application is hereby submitted for: (check one)

- ☒ **special use permit, new**  
☐ **special use permit, plan amendment**  
☐ **special use permit, text only amendment**

**Project Name/Location**

Property Address: 5811 Grove Avenue Date: 10/6/2021  
Tax Map #: W0210358006 Fee: 300  
Total area of affected site in acres: 0.02 acres

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

**Zoning**

Current Zoning: UB-PO1

Existing Use: Restaurant

**Proposed Use**

(Please include a detailed description of the proposed use in the required applicant's report)

Restaurant  
Existing Use: Restaurant

Is this property subject to any previous land use cases?

Yes  
☒

No  
☐

If Yes, please list the Ordinance Number: BZA #95-61

**Applicant/Contact Person:** Rob Long

Company: Cocodrilo

Mailing Address: 6614 Three Chopt Road

City: Richmond State: VA Zip Code: 23226

Telephone: (804) 363-8006 Fax: ( )

Email: rob@rivercityroll.com

**Property Owner:** O&B INC C/O GEORGE OLEY

If Business Entity, name and title of authorized signee: \_\_\_\_\_

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 9030 Three Chopt Road, Suite A

City: Richmond State: VA Zip Code: 23229

Telephone: (804) 852-1990 Fax: ( )

Email: mark.oley@westwoodpharmacy.com

**Property Owner Signature:** 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

## **Special Use Permit – Applicant’s Report**

5811 Grove Avenue  
Richmond, VA 23226

### **Existing Use/Conditions**

The site has, for many decades, functioned as a full-service restaurant that offers both indoor and outdoor dining options, with outdoor dining areas at both the front and rear of the building. The main interior space measures approximately 3,000 SF, including the kitchen, bar, restrooms and customer dining areas. A basement level measuring approximately 1,100 SF serves as a prep kitchen and back-of-house storage space. By the staircase, there are two undersized existing restrooms that have been plumbed out, though no fixtures have been installed. Neither restroom is of sufficient size to meet ADA compliance.

The existing front patio is a covered space that measures approximately 600 SF, not including the ADA-compliant wheelchair ramp, though much of this space is allocated to customer ingress/egress and circulation, leaving limited area for customer dining.

The existing rear patio is an uncovered area, open to the parking lot, measuring approximately 300 SF. A typical metal railing separates the customer dining space from the adjacent parking area.

The purpose of this Special Use Permit application is to upgrade this existing rear outdoor dining area to offer additional customer seating space, given the concerns associated with the COVID-19 pandemic.

### **New Improvements/Conditions**

With an approved set of permit plans for the interior upfit, we have already made significant improvements to the space, not only with the various MEP systems, but also the functionality of the dining space for improved customer experience. We have separated the bar and kitchen, to allow for a more spacious table layout, while also providing individually enclosed dining booth tables, for customer privacy and social distancing purposes.

In the basement, we have combined the two undersized restrooms into a single unisex restroom, which will be available to the public for customer use. We have upgraded the water meter beyond required specifications, providing maximum flow for our new kitchen hood’s fire suppression system; an elective expense made in the spirit of customer safety and well-being. Likewise, the new grease trap equipment we have elected to install retains all waste, negating the need for employees to periodically empty contents into the dumpster—as was necessary with the existing grease trap equipment. (Thus, improving the sanitation conditions of the space for the overall well-being of our employees and customers.) The rest of the basement will continue to function as a prep kitchen and back-of-house storage/office space.

### **New Use**

We shall maintain the previous use of the space as a full-service restaurant. New overhead glass [garage-style] doors will be installed at both the front and rear walls of the building. When the weather

permits, these doors will be opened, allowing for air flow and connection between indoor and outdoor dining experiences.

Through our executive team's collective experience of successfully operating various restaurants during the COVID-19 pandemic, we have all found that an abundance of outdoor seating is critical, both to satisfy previously mandated social distancing guidelines from Governor Northam, but also current customer social distancing practices that we have observed many to continue to maintain. (Indeed, it has become common practice throughout the industry to create makeshift outdoor dining areas with plastic tenting and fold-up card tables.)

**Therefore, we deem the existing 300 SF rear outdoor dining space to be inadequate to satisfy customer expectations--or even state mandated guidelines, should they ever return. We humbly request special consideration to allow us to expand the existing dining area to 1,000 SF (29' x 36'), and allow the construction of screen walls to protect customers from wind and moving vehicles in the parking lot.**

We have included plans to help convey our vision. While the space will remain uncovered, we will provide cooling fans and space heaters for customer comfort. The screen walls will be made of brick, nullifying any concern of fire or wind damage. Openings that we have planned for the west-facing wall will allow for air flow, as well as visual safety for customers egressing into the parking lot. While this expansion will occupy (2) existing parking spaces, we have provided a plan to ensure that all parking requirements associated with the property (29 total) are still satisfied. We do not anticipate this upgrade to our existing outdoor dining to create any additional congestion or traffic, nor will it interfere or adversely affect any public/private schools, playgrounds, parks, water supplies, sewage disposal, transportation, etc.

With team members having grown up in the surrounding neighborhood, still living there to this day, we only expect to improve the general welfare, health, morals, and safety of the community involved.

We understand that this outdoor dining space will fall within 100 feet of the R-4 Residential Zoning District. We would like to point out the prior use of the space for outdoor dining, as evident in the photographs procured from Google, as well as the fact that the nearest single-family home is actually owned by the landlord of our property. We have met with the adjacent residents and secured their blessing to move forward with this endeavor, assuring all parties involved that we have no intention of adversely impacting their lifestyle or neighborhood atmosphere. (This will not be a 'late night' establishment.)

Below are the particulars concerning the operation of our restaurant.

Number of Employees: 25-30

Hours of Operation: 7am-10pm, 7 Days

Estimated impact of vehicle traffic: negligible; comparable to existing traffic levels

**5811 GROVE AVENUE  
RICHMOND, VA 23226**

AP	ABOVE FINISH FLOOR	EXIST	EXISTING	LLTL	LINTEL	RET	RETURN
AP	ACCESS PANEL	ETR	EXISTING TO REMAIN	LL	LIVE LOAD	RA	RETURN AIR
ACT	ACOUSTICAL CEILING TILE	ETR	EXPANSION BOLT	LVR	LOUVER	REV	REVISION
ADJ	ADJACENT, ADJUSTABLE	EJ	EXPANSION JOINT	LV	LUXURY VINYL TILE	RH	RIGHT HAND
A/C	AIR CONDITIONING	EXT	EXTERIOR	LB	POUND	R	RISER
ALT	ALTERNATE	EIFS	EXTERIOR INSULATION AND FINISH SYSTEM			RD	ROOF DRAIN
ALUM	ALUMINUM			MFR	MANUFACTURER	RM	ROOM
AB	ANCHOR BOLT			MAS	MASONRY	RO	ROUGH OPENING
APPROX	APPROXIMATE(LY)	FB	FACE BRICK	MO	MASONRY OPENING	RB	RUBBER, RUBBER BASE
ARCH	ARCHITECT(URAL)	FOM	FACE OF MASONRY	MATL	MATERIAL		
@	AT	FOS	FACE OF STUD	MAX	MAXIMUM	SCH	SCHEDULE
		F	FAHRENHEIT	MECH	MECHANICAL	SCUP	SCUPPER
BP	BASE PLATE	FT	FEET, FOOT	MEMB	MEMBRANE	SECT	SECTION
BSMT	BASEMENT	FF	FINISH FLOOR	MTL	METAL	SHT	SHEET
BM	BEAM	FIN	FINISHED	MIN	MINIMUM	SIM	SIMILAR
BRG	BEARING	FA	FIRE ALARM	MIR	MIRROR	SC	SOLID CORE
BIT	BITUMINOUS	FEB	FIRE EXTINGUISHER BRACKET	MISC	MISCELLANEOUS	SCW	SOLID CORE WOOD
BLKG	BLOCKING	MDG	MOUNTED	MOULD	MOULDING	SSM	SOLID SURFACE MATERIAL
BD	BOARD	FEC	FIRE EXTINGUISHER CABINET	MNTG	MOUNTING	SPEC	SPECIFICATION
BOT	BOTTOM	FHC	FIRE HOSE CABINET			SPR	SPRINKLER
BRK	BRICK	FRTW	FIRE RETARDANT TREATED WOOD	NOM	NOMINAL	SS	STAINLESS STEEL, SERVICE
BLDG	BUILDING			N	NORTH	SP	STAND PIPE
		FD	FLOOR DRAIN	NIC	NOT IN CONTRACT	STL	STEEL
CR	CARD READER	FTG	FOOTING	NTS	NOT TO SCALE	STN	STONE
CPT	CARPET	FDN	FOUNDATION	NO.#	NUMBER	STOR	STORAGE
CO	CASED OPENING	FBO	FURNISHED BY OTHERS			STRUCT	STRUCTURAL
CSMT	CASEMENT			OFF	OFFICE	SUSP	SUSPENDED
CLG	CEILING	GA	GAGE, GAUGE	OC	ON CENTER	SYS	SYSTEM
C/H	CEILING HEIGHT	GALV	GALVANIZED	OPNG	OPENING		
CL	CENTER LINE	GEN	GENERAL	OPP	OPPOSITE	TEL	TELEPHONE
CT	CERAMIC TILE	GC	GENERAL CONTRACTOR	OD	OUTSIDE DIAMETER, OVERFLOW	T GL	TEMPERED GLASS
CLR	CLEAR(ANCE)	GL	GLASS, GLAZING	OA	OVERALL	TEMP	TEMPERED, TEMPORARY
CLS	CLOSET	GND	GROUND	OF	OUTSIDE FACE	TERR	TERRAZZO
COL	COLUMN	GWB	GYPSUM WALL BOARD	OH	OVERHEAD	THK	THICK(NESS)
CONST	CONCRETE	GYP	GYPSUM WALL BOARD	OFCl	OWNER FURNISHED CONTRACTOR INSTALLED	THRU	THROUGH
CMU	CONCRETE MASONRY UNIT			OFCl	OWNER FURNISHED CONTRACTOR INSTALLED	TLT	TOILET
COMP	CONSTRUCTION	HRL	HANDRAIL			T&G	TONGUE & GROVE
CONT	CONTINUOUS	HDWR	HARDWARE	OFCl	OWNER FURNISHED OWNER INSTALLED	TOM	TOP OF MASONRY
CFCl	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	HWD	HARDWOOD			TOSL	TOP OF SLAB
		HVAC	HEATING VENTILATING & AIR CONDITIONING			TOS	TOP OF STEEL
CJ	CONTROL JOINT			PNT(D)	PAINT(ED)	TOW	TOP OF WALL
CG	CORNER GUARD	HD	HEAVY DUTY	PNL	PANEL	T	TREAD
CORR	CORRIDOR	HGT	HEIGHT	PVMT	PAVEMENT	TYP	TYPICAL
CR/BG	CRASH RAIL,BUMPER GUARD	H	HIGH	PERP	PERPENDICULAR		
		HC	HOLLOW CORE	PLAS	PLASTER, PLASTIC	UC	UNDERCOUNTER, UNDER C
DP	DAMPROOFING	HM	HOLLOW METAL	PLAM	PLASTIC LAMINATE	UNFIN	UNFINISHED
DET	DEATAIL	HORIZ	HORIZONTAL	PL	PLATE	UNO	UNLESS NOTED OTHERWISE
DEG	DEGREE	HB	HOSE BIB	PLGL	PLATE GLASS		
DEMO	DEMOLITION	HW	HOT WATER HEATER	PLWD	PLYWOOD		
D	DEPTH	HR	HOUR	PVC	POLYVINYL CHLORIDE	VB	VAPOR BARRIER
DIAG	DIAGONAL			POUND(S)	POUND(S)	VFI	VENDOR FURNISHED VEND
DIA	DIAMETER	IN	INCH	PSF	POUNDS PER SQUARE FOOT	INSTALLED	
DIM	DIMENSION	INCL	INCLUDE(D)(I)NG	PSI	POUNDS PER SQUARE INCH	VTR	VENT THROUGH ROOF
DISP	DISPENSER	INSUL	INCULATE(E)(ATION)	PREFIN	PREFINISHED	VIF	VERIFY IN FIELD
DIV	DIVISION	ID	INSIDE DIAMETER	PT	PRESSURE TREATED, PORCELAIN TILE	VERT	VERTICAL
DR	DOOR, DRAIN	INT	INTERIOR			VEST	VESTIBULE
DBL	DOUBLE			PROP	PROPERTY	VCT	VINYL COMPOSITION TILE
DN	DOWN	JAN	JANITOR(S CLOSET)			VVC	VINYL WALL COVERING
DS	DOWN SPOUT	JST	JOIST	QTY	QUALITY	VIT	VITREOUS CHINA
DWG(S)	DRAWING(S)	JCT	JUNCTION	QT	QUARRY TILE		
DF	DRINKING FOUNTAIN					WSCT	WAINSCOT
		KB	KEYBOARD			WC	WALL COVERING, WATER C
EA	EACH	KP	KICK PLATE	RAD	RADIUS	WH	WALL HUNG, WATER HEAT
EWC	ELECTRIC WATER COOLER	KIT	KITCHEN	REF	RECEIVE, RECEPTACLE	WR	WASTE RECEPTACLE
ELEC	ELECTRICAL	KS	KNEE SPACE	REFL	REFLECTED	WP	WATER PROOF
ELEV	ELEVATOR, ELEVATION			REG	REFRIGERATOR	WT	WEIGHT
EMER	EMERGENCY	REG	REGULAR, REGISTER	REIN	REINFORCED	WWF	WELDED WIRE FABRIC
ENGR	ENGINEER(ING)	LAM	LAMINATE(D)	REBAR	REINFORCING BAR	W	WIDTH, WIDE
EQ	EQUAL	LAV	LAVATORY			WNDW	WINDOW
EQUIP	EQUIPMENT	LH	LEFT HAND	REM	REMOVE	WVG	WIRE GLASS
EPDM	ETHYLENE PROPYLENE DIENE MONOMER (ROOF MEMBRANE)	L	LENGTH, LONG	REQ	REQUIRE, REQUIRED	W/	WITH
		LW	LIGHTWEIGHT	RES	RESILIENT	W/O	WITHOUT
						WD	WOOD
						WB	WOOD BASE

**WORK OR DATUM POINT**

**PARTITION TYPE**

**WINDOW TYPE**

**DEMOLITION KEYED NOTE**

**PLAN KEYED NOTE**

**ELEVATION KEYED NOTE**

**SECTION KEYED NOTE**

**DOOR NUMBER**

**ROOM NAME**

**ROOM NUMBER**

**DETAIL CALL-OUT**

**DRAWING WHERE SHOWN**

**COLUMN LINE**

**ALIGN SYMBOL**

**REVISION NUMBER**

**REVISION CLOUD**

**BUILDING SECTION CALL-OUT**

**DETAIL SECTION CALL-OUT**

**DRAWING WHERE SHOWN**

**EXTERIOR ELEVATION CALL-OUT**

**DRAWING WHERE SHOWN**

**GLAZING & KEY PLAN ELEVATION CALL-OUT**

**DRAWING WHERE SHOWN**

**INTERIOR & CASEWORK ELEV CALL-OUT**

**DRAWING WHERE SHOWN**

**PHOTO REF VIEW CALL-OUT**

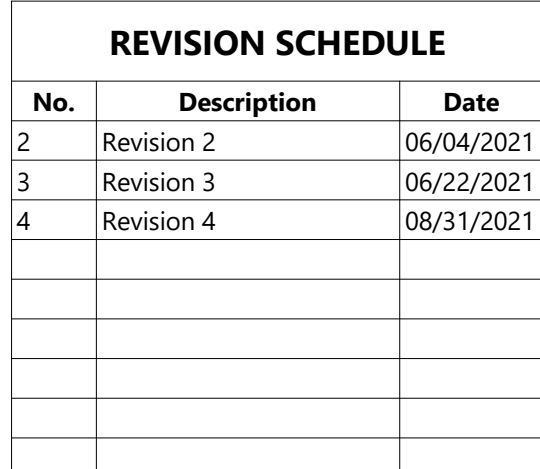
**DRAWING WHERE SHOWN**

	ACOUSTICAL PANELS		GYPSUM DRYWALL
	ALUMINUM		PLASTER OR SAND
	BATT INSULATION		PLYWOOD
	BRICK		POROUS FILL
	CERAMIC TILE		RIGID INSULATION
	CONCRETE		SOIL
	CONCRETE MASONRY (CMU)		SOUND ATTENUATION BATTS
	FINISH WOOD		STEEL
	FRAMING LUMBER (BLOCKING)		STONE

Map of the project location in Westhampton, New York. The map shows the project site (marked with a black dot and 'THE SITE') located on the border of Westhampton and Three Crops. Key landmarks include the Country Club of Longview Westhampton, Stonemall Court, Willow Lawn, Monument Avenue Park, and the Virginia Museum of Fine Arts. Major roads like I-95 and I-266 are also shown.

INCL.	SHEET NO	DESCRIPTION	REV. NO.	REVISION DATE
TITLE SHEET				
■	T001	TITLE SHEET	4	08/31/2021
GENERAL				
■	AC01	CODE DATA AND LIFE SAFETY	4	08/31/2021
CIVIL				
■	C01	COVER SHEET	4	08/31/2021
■	C02	EXISTING CONDITIONS & DEMOLITION PLAN	4	08/31/2021
■	C03	SITE LAYOUT, GRADING PLAN, & SITE DETAILS	4	08/31/2021
ARCHITECTURAL				
	A013	INTERIOR PARTITION TYPES		
	A014	PARTITION & SUPPORT DETAILS		
	A111	NEW WORK FLOOR PLAN AND NOTES		
■	A115	EXTERIOR COURTYARD	4	08/31/2021
■	A116	NEW COURTYARD WALL SECTIONS AND DETAILS	4	08/31/2021
	A121	DIMENSION FLOOR PLANS AND NOTES	3	06/22/2021
	A131	NEW WORK REFLECTED CEILING PLAN	3	06/22/2021
	A411	ENLARGED TOILET ROOM PLANS AND ELEVATIONS	3	06/22/2021
	A421	INTERIOR ELEVATIONS & DETAILS	1	05/20/2021
	A422	INTERIOR ELEVATIONS	1	05/20/2021
	A423	INTERIOR ELEVATIONS		
	A611	DOOR SCHEDULE AND TYP DETAILS		
	A711	CASEWORK SECTIONS AND OTHER DETAILS		
	A722	CASEWORK DETAILS	3	06/22/2021
	A801	FIRST FLOOR FINISH PLAN AND FURNITURE PLAN		
	A811	FINISH LEGEND AND DETAILS	1	05/20/2021
STRUCTURAL				
■	S101	FOUNDATION & FRAMING PLANS	4	08/31/2021
■	S201	WALL SECTIONS	4	08/31/2021

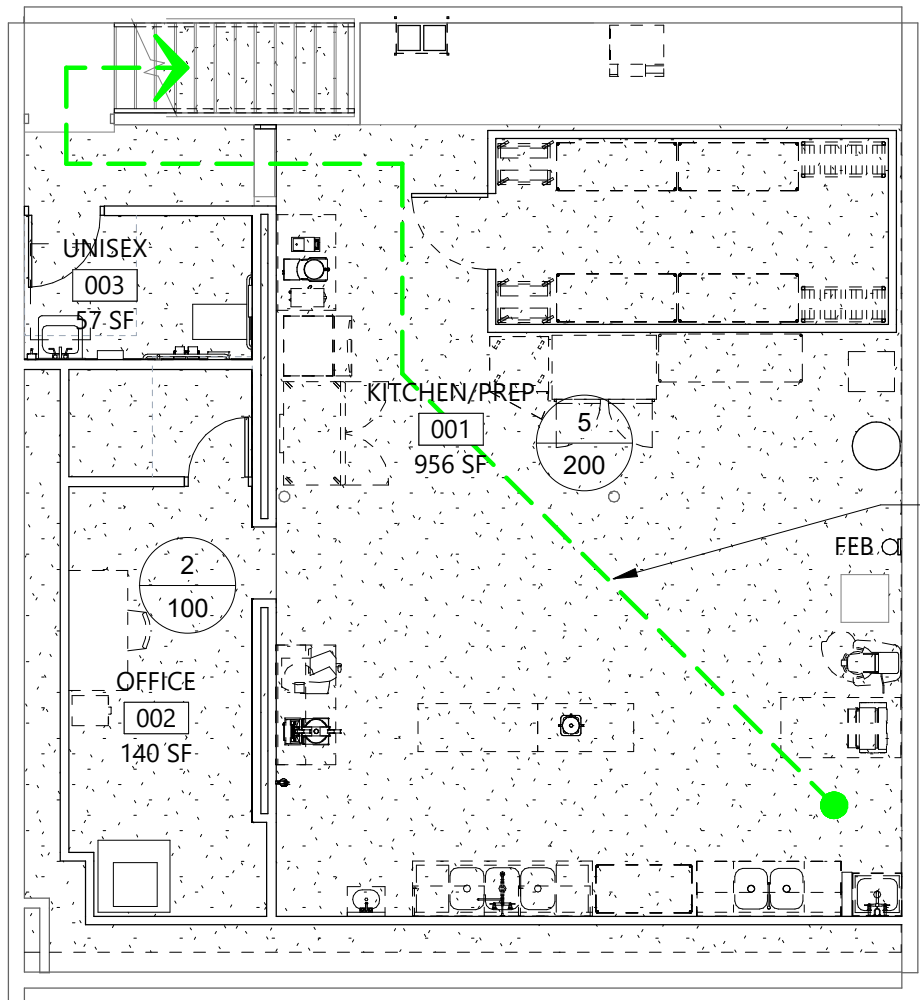
ALLOWABLE AREA PER FLOOR:	9,500 SF
PROVIDED AREA FIRST FLOOR:	2,968 SF (UNCHANGED)
PROVIDED AREA BASEMENT:	1,448 SF (UNCHANGED)
REFER TO ACUT FOR ADDITIONAL CODE INFORMATION	



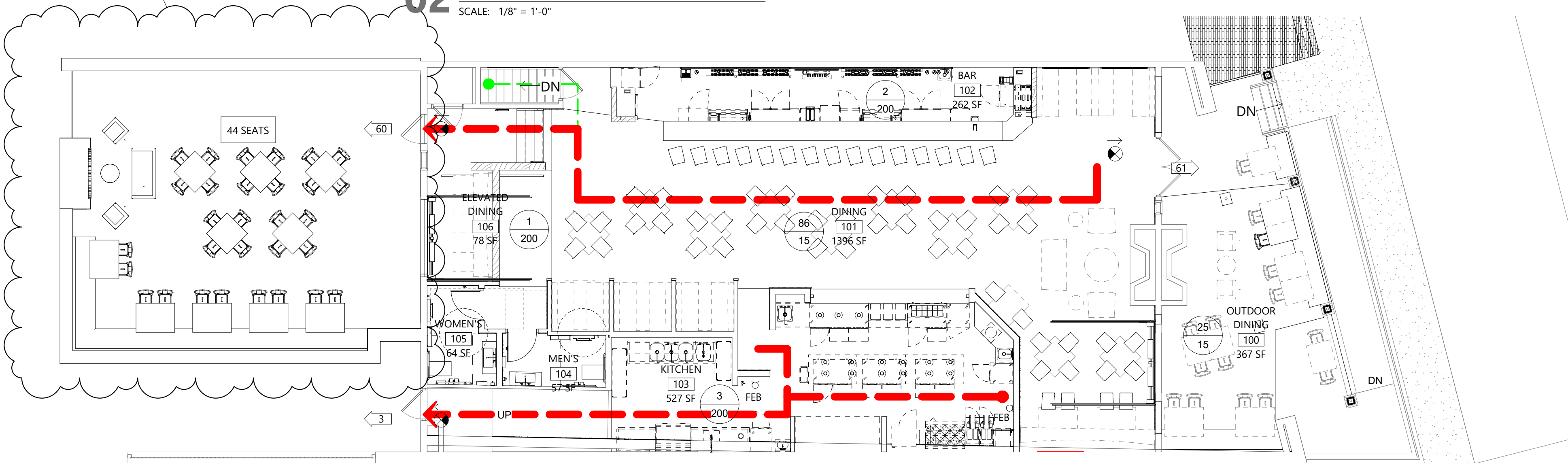
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T001

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COMMON PATH OF TRAVEL: 70'-0"



## 02 BASEMENT CODE

SCALE: 1/8" = 1'-0"

## 01 LEVEL-01 CODE

SCALE: 1/8" = 1'-0"

### ADDITIONAL CODE DATA

#### 2015 VIRGINIA EXISTING BUILDING CODE ALTERATION - LEVEL 2

#### ALLOWABLE BUILDING HEIGHTS AND AREA (CHAPTER 5 - TABLE 506.2)

ALLOWABLE HEIGHT: 2 STORIES, 55'  
PROVIDED HEIGHT: 2 STORIES' 16'

ALLOWABLE AREA PER FLOOR: 9,500 SF  
PROVIDED AREA FIRST FLOOR: 2,968 SF  
PROVIDED AREA BASEMENT: 1,448 SF

#### TYPE OF CONSTRUCTION (CHAPTER 6)

EXISTING CONSTRUCTION TYPE: 3-B

#### BUILDING OCCUPANCY

USE GROUP (BUILDING): A-2  
RATED SEPARATION OF OCCUPANCIES: NO SEPARATION REQUIRED

#### FIRE PROTECTION SYSTEMS

AUTOMATIC SPRINKLER SYSTEM: NO - NOT REQUIRED  
FIRE ALARM & DETECTION SYSTEMS: NO - NOT REQUIRED  
EMERGENCY LIGHTING: YES - EXISTING CONDITIONS TO REMAIN  
STANDPIPE SYSTEM: NO - NOT REQUIRED  
SMOKE CONTROL: NO - NOT REQUIRED  
FIRE COMMAND CENTER: NO - NOT REQUIRED  
FIRE DEPARTMENT CONNECTIONS: NO - EXISTING CONDITIONS TO REMAIN  
PORTABLE FIRE EXTINGUISHERS: YES - REFER TO FEB IN PLAN

#### INTERIOR FINISHES:

PER VUSBC TABLE 803.11, ALL INTERIOR WALL AND FINISHES WILL HAVE A MINIMUM FINISH CLASS RATING PER THE FOLLOWING:

#### A-2 USE GROUP

CLASS A = INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS  
CLASS A = CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS  
CLASS B = ROOMS AND ENCLOSED SPACES

#### FIRE RESISTANT RATING REQUIREMENTS FOR BUILDING ELEMENTS / FIREPROOFING SCHEDULE (REFER TO PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SPECIFIC PENETRATION FIRESTOPPING DESIGN DETAILS)

#### VUSBC - TABLE 601

FIRE RESISTANCE RATINGS REQUIREMENTS FOR BUILDING ELEMENTS (BASED ON ASSUMED CONSTRUCTION TYPE)

BUILDING ELEMENT	REQUIRED RATING (HRS)	TEST#
PRIMARY STRUCTURAL FRAME (INCLUDING COLUMNS, GIRDERS & TRUSSES)	0	EXISTING
BEARING WALLS		
EXTERIOR	2	EXISTING
INTERIOR	0	EXISTING
NON-BEARING WALLS & PARTITIONS		
EXTERIOR (IBC TABLE 602)	N/A	EXISTING
INTERIOR	0	EXISTING
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS & JOISTS	0	EXISTING
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS & JOISTS	0	EXISTING

#### CORRIDORS (VUSBC TABLE 1020.1 & TABLE 1020.2)

FIRE-RESISTANCE RATING: 1 HR  
MINIMUM CORRIDOR WIDTH (TYP.): 44"  
DEAD ENDS (ALLOWED): 20' MAX

#### MEANS OF EGRESS - REF. LIFE SAFETY PLAN

EXIT ACCESS TRAVEL DISTANCE (VUSBC TABLE 1017.2)  
REQUIRED: 200' (FOR A-2)

PROVIDED: REF PLAN

COMMON PATH OF EGRESS TRAVEL DISTANCE (VUSBC TABLE 1006.2.1)  
ALLOWED: 75' (A-2)

PROVIDED: REF PLAN

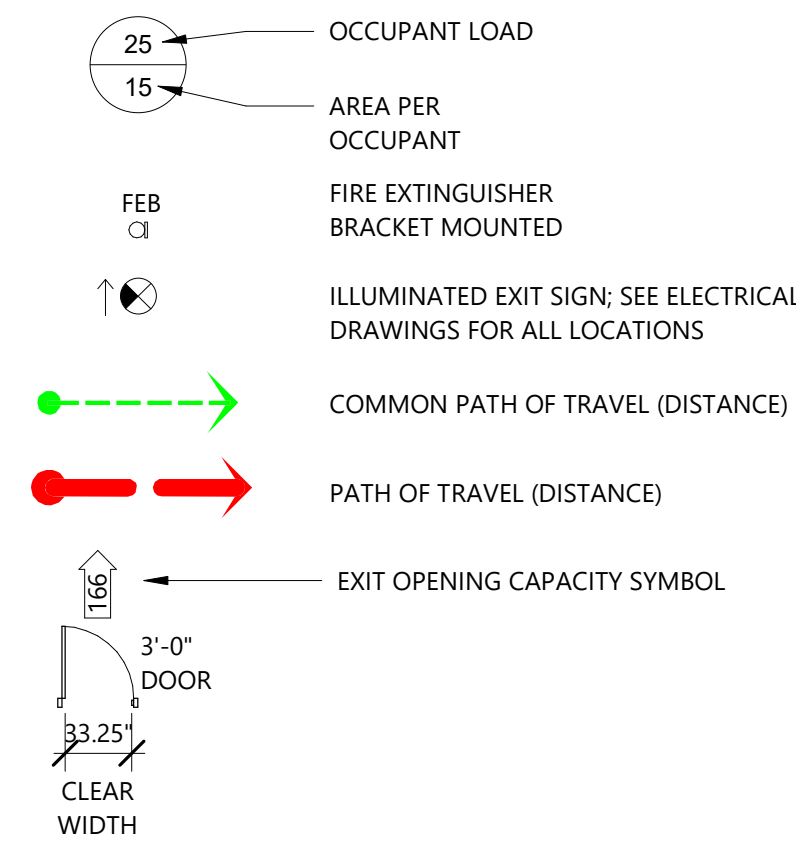
#### EXIT REQUIREMENTS (VUSBC 1006)

NUMBER OF EXITS REQUIRED: 2  
NUMBER OF EXITS PROVIDED: 3

#### ACCESSIBILITY

ALL ELEMENTS WITHIN SCOPE OF WORK TO CONFORM TO REQUIREMENTS OUTLINED IN ANSI STANDARD 117.1 AND CHAPTER 11 VUSBC

### LIFE SAFETY SYMBOLS



### OCCUPANCY SUMMARY

OCCUPANCY	RATE	AREA (S.F.)	OCCUPANTS
FIRST FLOOR			
DINING	1/15	1286	86
OUTDOOR DINING	1/15	368	25
KITCHEN/BAR/HOST	1/200	1056	6
BASEMENT			
KITCHEN/REP	1/200	957	5
OFFICE	1/100	175	2
TOTAL			124

\*REAR OUTDOOR DINING IS NOT INCLUDED IN BUILDING OCCUPANCY FOR EXIT CAPACITY, BUT IS INCLUDED IN PLUMBING COUNT

### EXIT SUMMARY - LEVEL 1 (GRADE)

EXIT TYPE	EXIT	EXIT FACTOR	WIDTH PROVIDED (IN.)	REQUIRED PERSONS	CAPACITY PROVIDED
EXIT	A	0.2	66"	61	330
EXIT	B	0.2	32"	60	160
EXIT	C	0.2	32"	3	160

### EXIT SUMMARY BASEMENT

EXIT TYPE	EXIT	EXIT FACTOR	WIDTH PROVIDED (IN.)	REQUIRED PERSONS	CAPACITY PROVIDED
STAIR	S1	0.3	40"	7	133
EXIT	D	0.2	32"	7	160

REFERENCE VUSBC CHAPTER 10  
• TABLE 1004.1.2 FOR OCCUPANT LOAD  
• 1005 MEANS OF EGRESS SIZING  
• TABLE 1006.3.1 FOR EXIT REQUIREMENTS PER STORY

### PLUMBING COUNT

CLASSIFICATION / OCCUPANCY	WATER CLOSET		LAVATORIES		DRINKING FOUNTAIN	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE		
ASSEMBLY (A-2) (INCLUDES OUTDOOR FRONT DINING) 180 OCCUPANTS (62/GENDER)	(1/75) 0.83	(1/75) 0.83	(1/200) 0.26	(1/200) 0.26	(1/500) 0.25	1
ASSEMBLY (A-2) (NEW REAR OUTDOOR DINING) 44 OCCUPANTS (22/GENDER)	0.29	0.29	0.11	0.11	0.09	-
TOTAL REQUIRED	1.12	1.12	.37	.37	.36	2
TOTAL PROVIDED	1.5	1.5	1.5	1.5	1	2

\*PLUMBING FIXTURE CALCULATION INCLUDES OUTDOOR OCCUPANTS  
\*REFERENCE VUSBC CHAPTER 29 AND TABLE 2902.1

PROJECT NAME:  
5811 GROVE  
AVENUE

5811 GROVE AVENUE  
RICHMOND, VA 23226



ISSUE: PERMIT SET  
ISSUE DATE: 08/31/2021  
PSH+ No: 2054-06  
CLIENT No: Number  
SCALE: As indicated

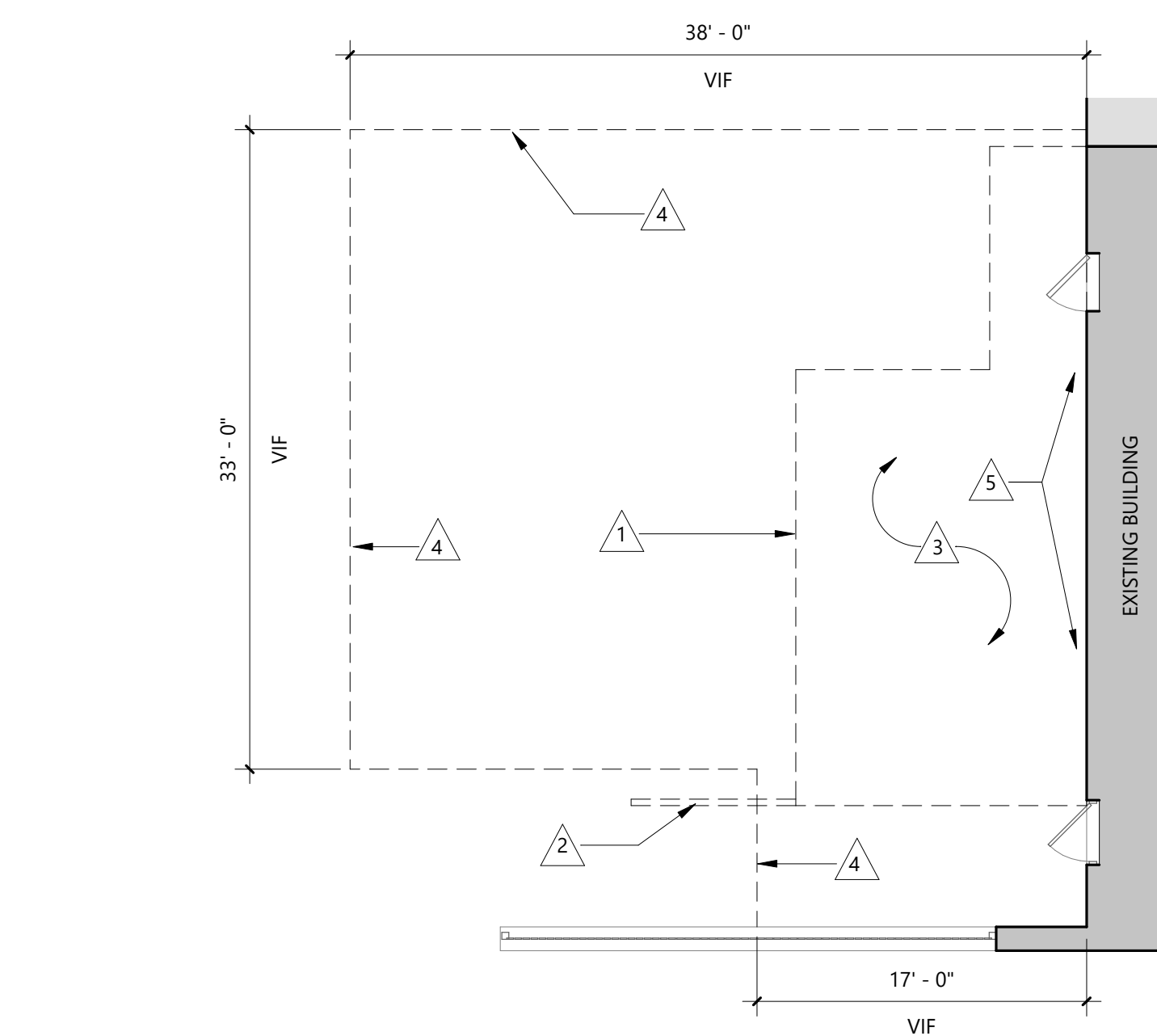
#### REVISION SCHEDULE

No.	Description	Date
4	Revision 4	08/31/2021

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SHEET:  
CODE DATA AND  
LIFE SAFETY

AC01



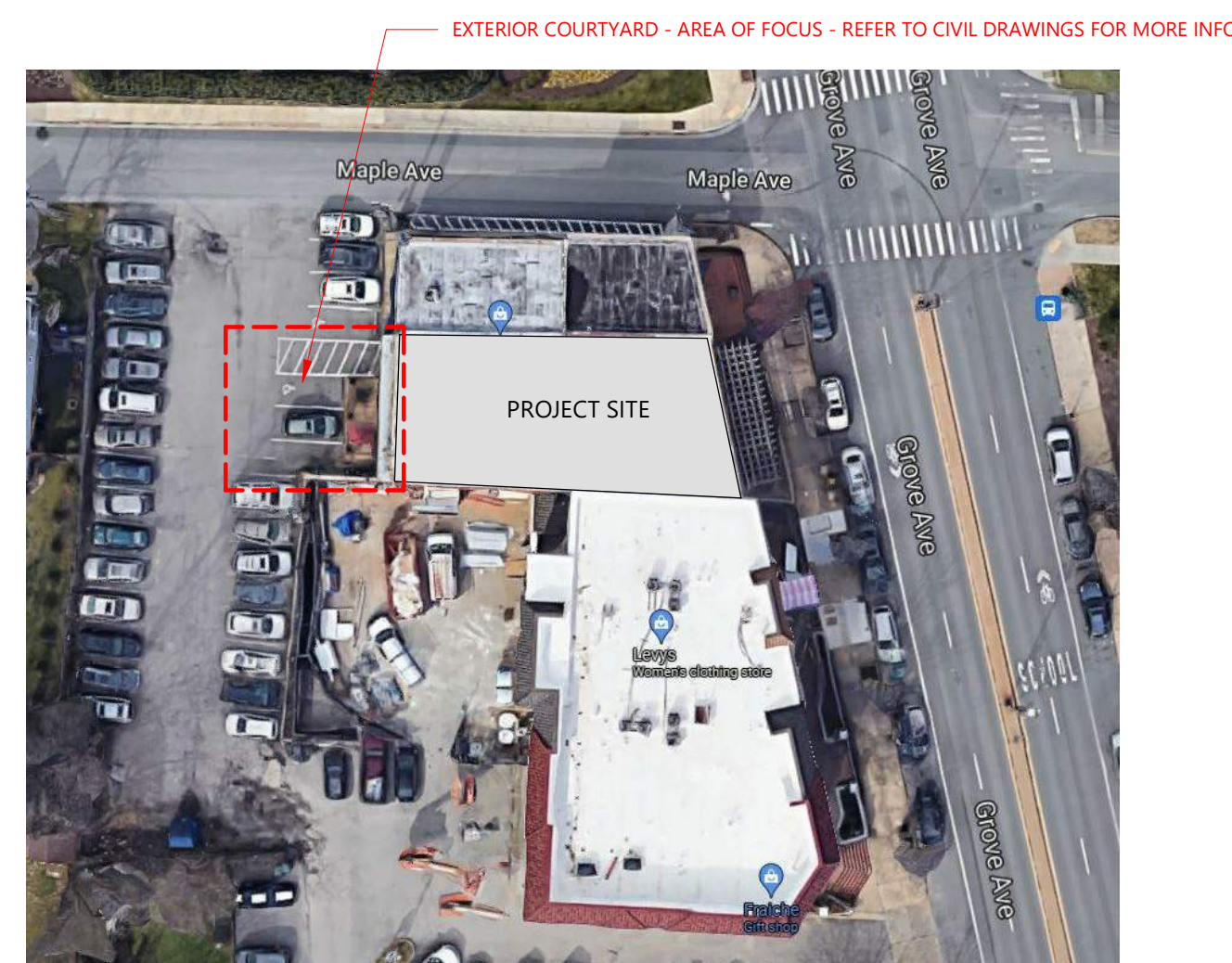
LEVEL-01 - EXISTING EXTERIOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMOLITION KEY NOTES

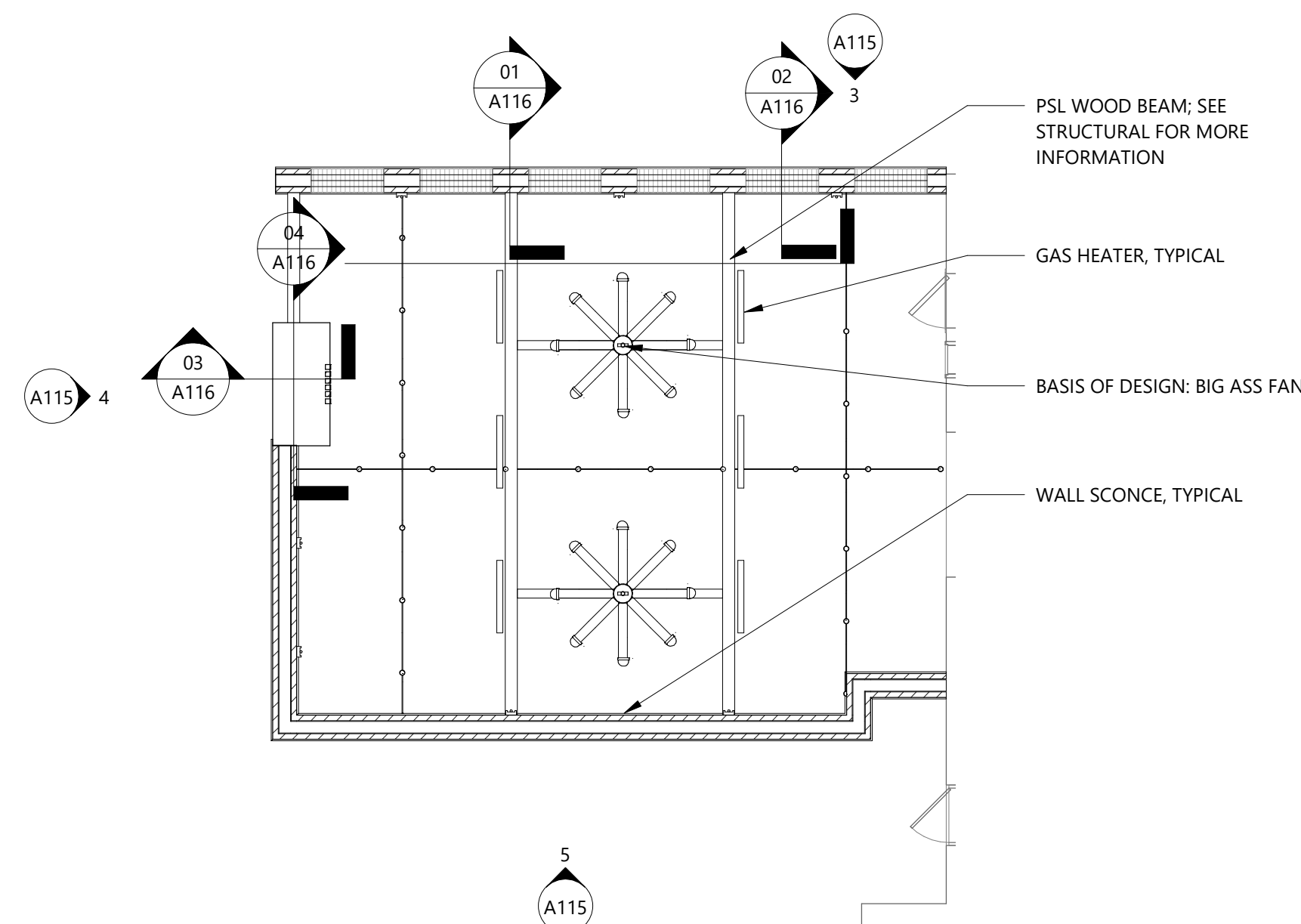
1. REMOVE EXISTING IRON RAILING.
2. REMOVE EXISTING WOOD FENCE.
3. DEMOLISH EXISTING CONCRETE AGGREGATE PAD.
4. SAW-CUT EXISTING ASPHALT DRIVEWAY, AS SHOWN, AND EXCAVATE MATERIAL WITHIN LIMITS TO PREP FOR NEW CONSTRUCTION. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, COMPARE TO NEW CONSTRUCTION LAYOUT, AND EXERCISE BEST JUDGEMENT AND PRACTICE TO EXECUTE SAW-CUTTING AND REMOVAL OF EXISTING MATERIAL.
5. DEMOLISH EXISTING OVERHANG ABOVE.

\*CONTRACTOR TO REFER TO CIVIL DRAWINGS TO IDENTIFY LOCATIONS OF ALL EXISTING UTILITY LINES, FOLLOW ALL APPLICABLE PROCEDURES, AND PROCEED WITH CAUTION DURING DEMOLITION PROCESS.



## SITE KEY PLAN

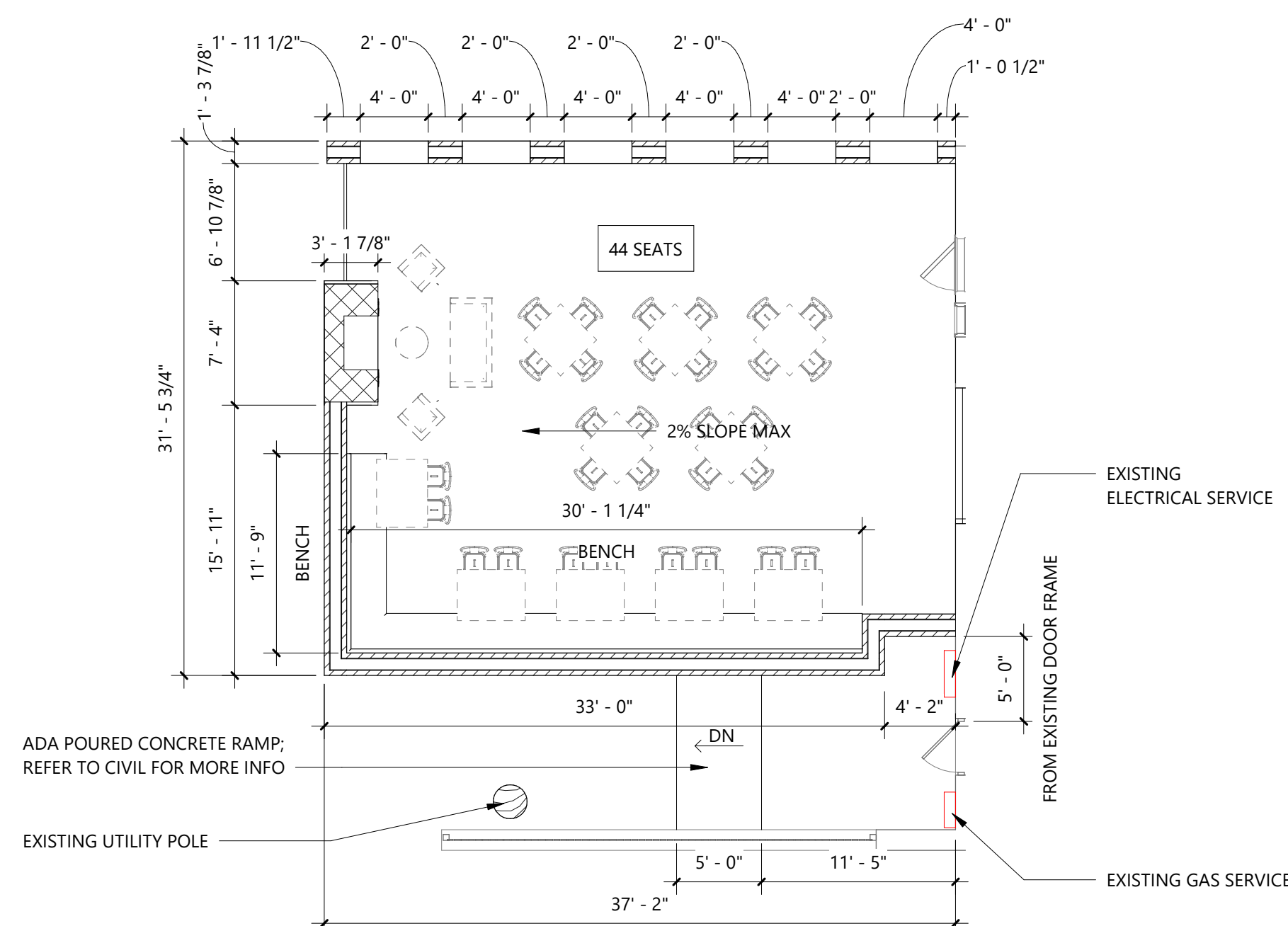
NOT TO SCALE



## 2 LEVEL-01 - NEW EXTERIOR COURTYARD RCP

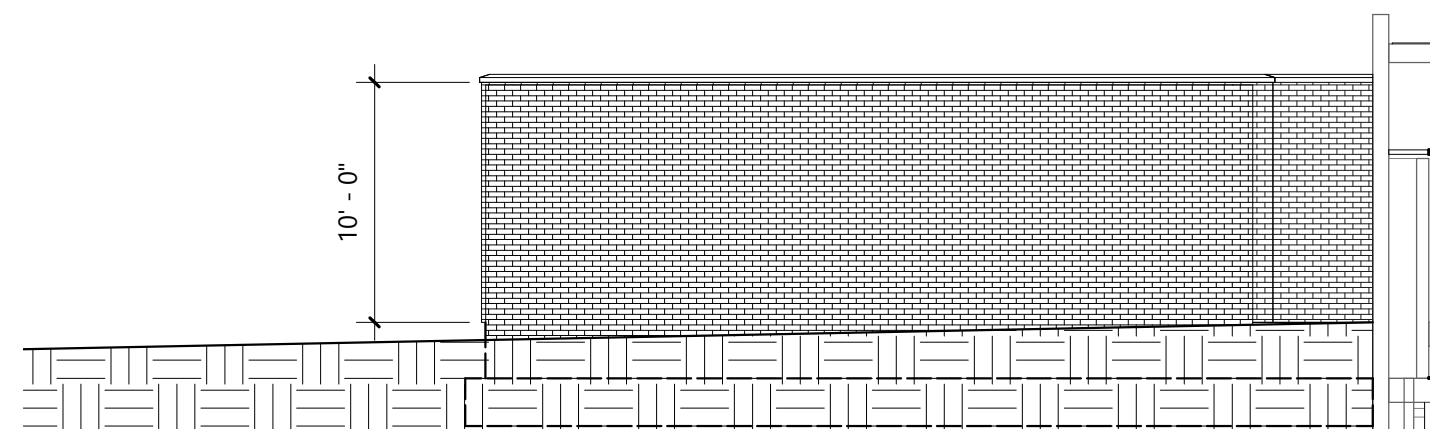
SCALE: 1/8" = 1'-0"

\*CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND COMMUNICATE ANY CONCERNS TO ARCHITECT



## 1 LEVEL-01 - NEW EXTERIOR COURTYARD PLAN

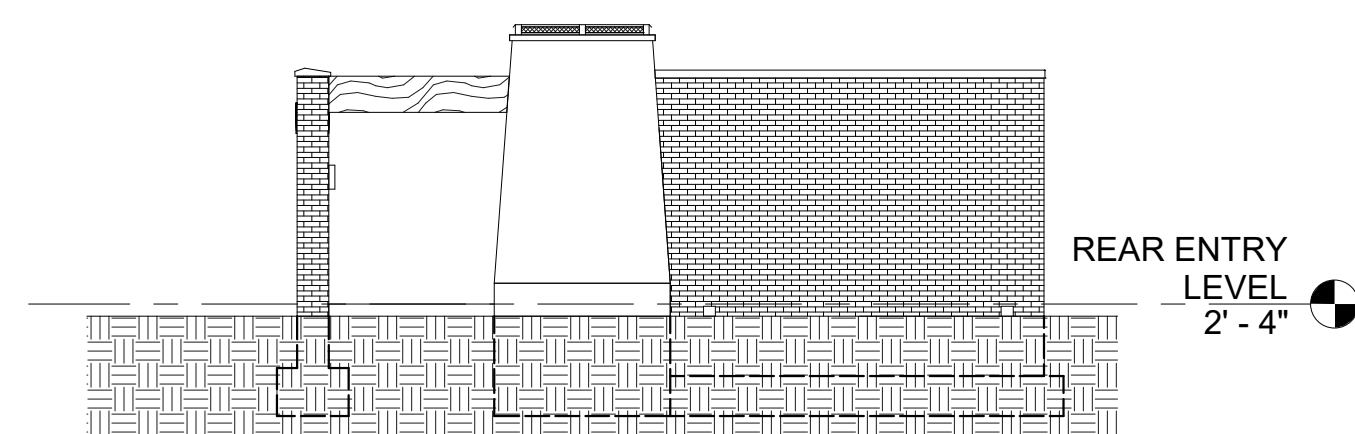
SCALE: 1/8" = 1'-0"



## 5 EAST ELEVATION

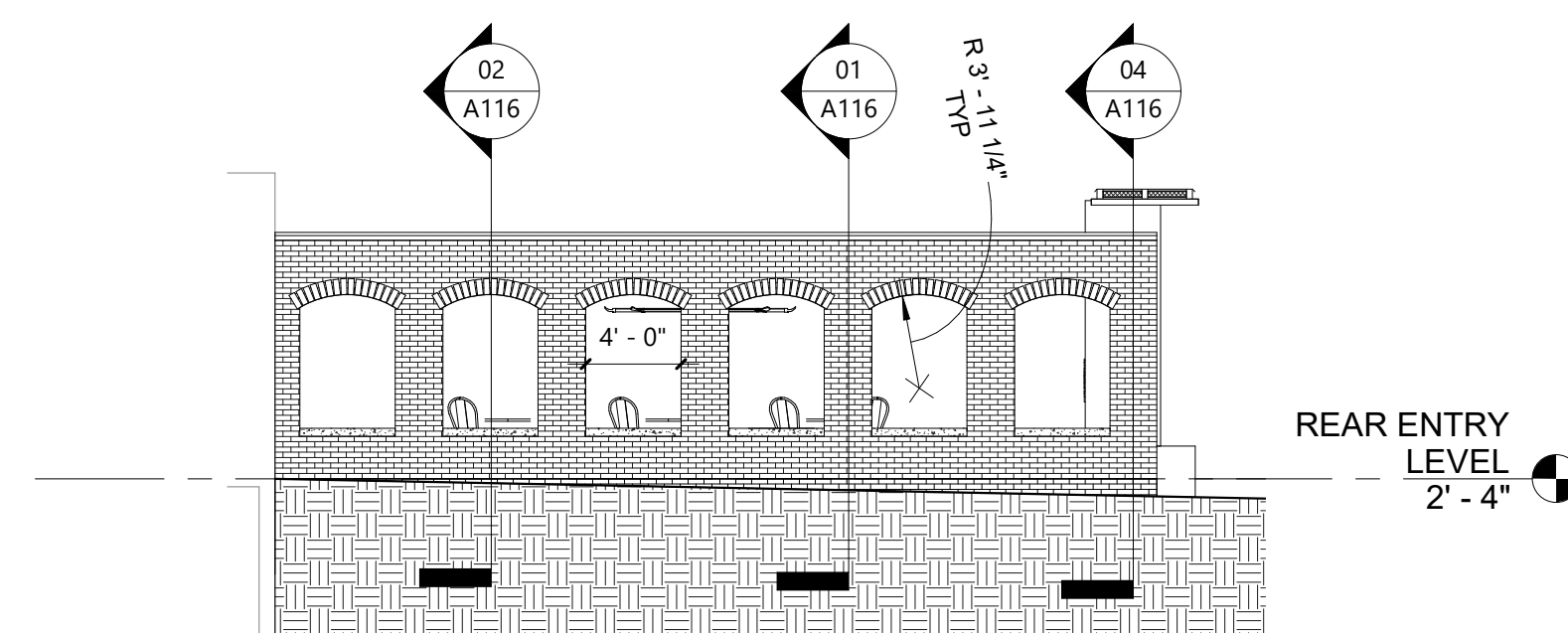
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



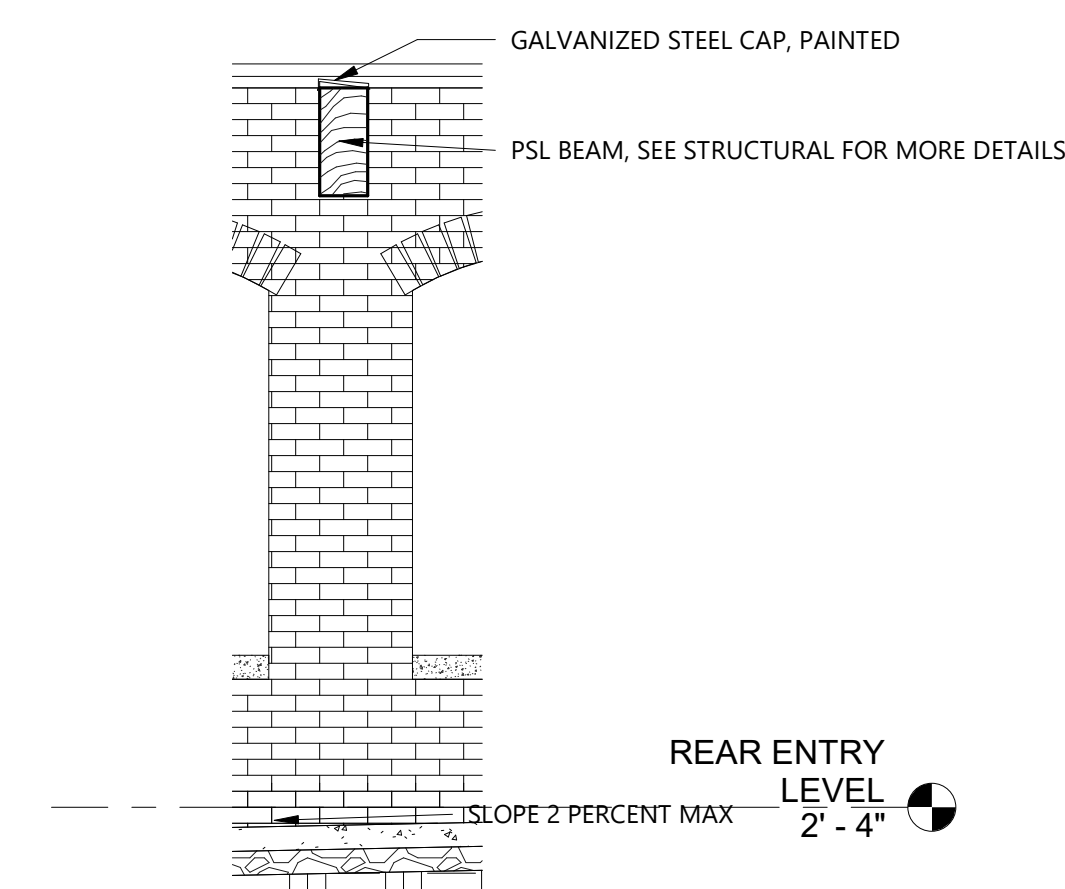
#### 4 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



### 3 WEST ELEVATION

SCALE: 1/8" = 1'-0"



## 6 SECTION ELEVATION

SCALE: 3/8" = 1'-0"

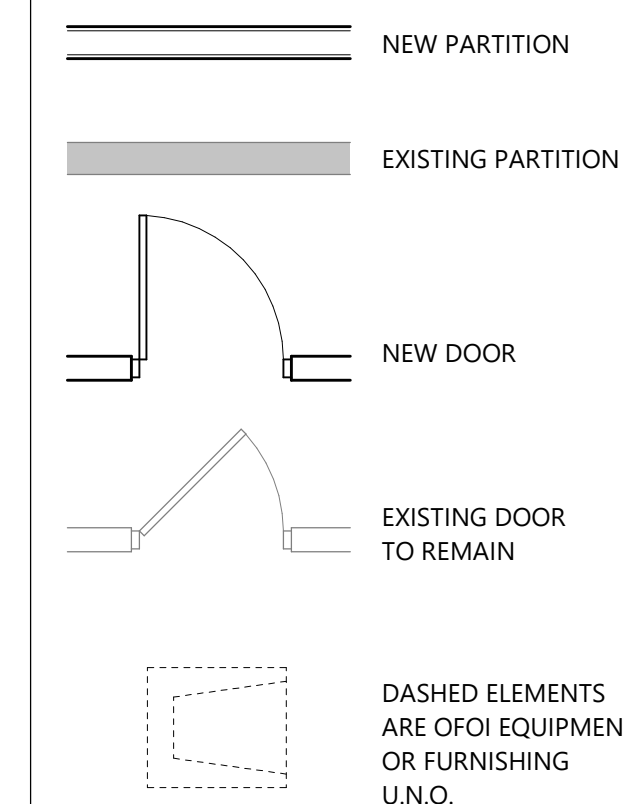
### GENERAL FLOOR PLAN NOTES

- |      |  |
|------|--|
| G01. | ALL NEW PARTITIONS SHALL BE PARTITION TYPE 'A6' UNLESS NOTED OTHERWISE.  |
| G02. | PROVIDE BLOCKING FOR ALL WALL MOUNTED ITEMS. SEE DETAIL SHEET A030.  |
| G03. | ALL PLAN DIMENSIONS ARE TO FACE FINISH U.N.O.  |
| G04. | MILLWORK CONTRACTOR TO VERIFY IN FIELD ALL AREAS TO RECEIVE MILLWORK PRIOR TO PREPARING SHOP DRAWINGS FOR APPROVAL.                          |
| G05. | VERIFY AND COORDINATE DOOR FRAME SIZE WITH WALL THICKNESS.   |
| G06. | ALL NEW WORK TO CONFORM WITH ICC / ANSI A117.1-2009 REQUIREMENTS.  |
| G07. | REFER TO A8 SERIES FOR FLOOR FINISH PLAN AND INFORMATION.  |
| G08. | FRAME TIGHT AROUND BUILDING COLUMNS/ ROOF DRAIN LEADERS WITH 2 1/2" METAL STUDS MIN. UNLESS DETAILED, DIMENSIONED, OR NOTED OTHERWISE.       |
| G09. | CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS AND SITE CONDITIONS FOR ALL CASEWORK.   |
| G10. | THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POWER, VOICE AND DATA CONNECTIONS WITH CASEWORK.                                  |
| G11. | FIRESTOP ALL NEW PENETRATIONS AT CONCRETE FLOOR SLAB TO CONFORM TO TESTED ASSEMBLIES INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN ON DRAWINGS. |
| G12. | ALL GLAZING TO BE TEMPERED U.N.O.  |

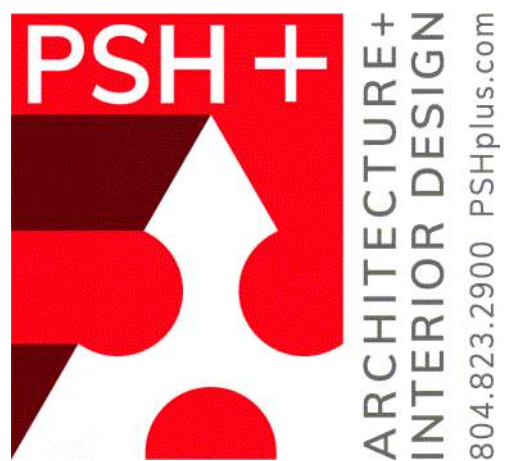
KEYED FLOOR PLAN NOTES

NOT ALL KEYED NOTES ARE LOCATED ON THIS SHEET

## FLOOR PLAN LEGEND



NOTE:  
REFER TO LIFE SAFETY DRAWING(S) FOR  
RATED PARTITION LEGEND



**PROJECT NAME:**  
**5811 GROVE**  
**AVENUE**

**5811 GROVE AVENUE  
RICHMOND, VA 23226**



<b>ISSUE:</b>	<i>PERMIT SET</i>
<b>ISSUE DATE:</b>	08/31/2021
<b>PSH+ No:</b>	2054-06
<b>CLIENT No:</b>	Number
<b>SCALE:</b>	As indicated

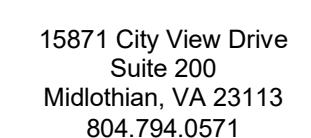
[illegible]

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**SHEET:**

## EXTERIOR COURTYARD

A115



Parcel ID: W0210358006  
Parcel Address: 5811 GROVE AVE.  
Parcel Total Area: 0.594 AC.  
Parcel Owner/Developer: O&B INC. C/O GEORGE OLEY  
Zoning: UB-PO1  
Existing Use: COMMERCIAL RESTAURANT  
Proposed Use: COMMERCIAL RESTAURANT  
Parking Use: COMMERCIAL RESTAURANT

**Required Permits:** Building Permit

THE PROPOSED PROJECT CONSISTS OF A CONCRETE SLAB AND MASONRY ENCLOSURE FOR THE EXPANSION OF THE OUTDOOR DINING AREA. THE LAND DISTURBANCE ASSOCIATED WITH THIS PROJECT IS APPROXIMATELY 352 SF AND DOES NOT REQUIRE A LAND DISTURBING PERMIT.

**SILT FENCE**                      **100 LF**

**SITE PLAN**  
**FOR**  
**CATURA RESTAURANT**  
**PATIO EXPANSION**  
**CITY OF RICHMOND, VA**  
**AUGUST 18, 2021**










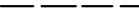


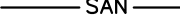

















Engineer/Surveyor: Parker Design Group  
1915-B West Cary Street  
Richmond, VA 23220  
Contact: Michael Sheets  
ph. 804.358.2947

Owner: O&B INC.  
C/O GEORGE OLEY  
9030 Three Chopt Road, Suite A  
Richmond, VA 23229  
Contact: David Perel  
ph. 804.350.0564

C01	COVER SHEET
C02	EXISTING CONDITIONS AND DEMOLITION PLAN
C03	ZONING & PARKING MAP
C04	SITE LAYOUT, GRADING PLAN & SITE DETAILS

CONCRETE

ASPHALT PAVING

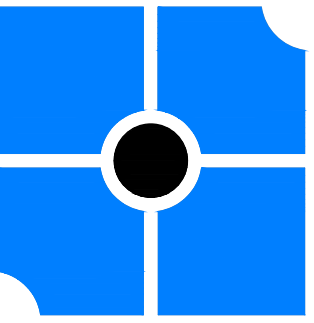
- |   |                                 |   |                                   |
|---|---------------------------------|---|-----------------------------------|
|  | SURVEYED PROPERTY LINE          |  | PROP. TELEPHONE LINE              |
|  | PROPOSED PROPERTY LINE          |  | PROP. GAS LINE                    |
|  | DEED PROPERTY LINE              |  | PROP. SANITARY SEWER LINE         |
|  | EXIST. OVERHEAD POWER           |  | PROP. STORM SEWER LINE            |
|  | EXIST. WATER LINE               |  | PROP. CONTOURS                    |
|  | EXIST. OVERHEAD CABLE           |  | EXIST. 2' CONTOURS                |
|  | EXIST. CENTERLINE OF ROAD       |  | EXIST. 10' CONTOURS               |
|  | EXIST. STORM SEWER              |  | PROP. SPOT ELEVATION              |
|  | EXIST. SANITARY SEWER           |  | SILT FENCE                        |
|  | PROP. UNDERGROUND ELEC. LINE    |  | PROP. TREELINE                    |
|  | PROP. UNDERGROUND ELEC. SERVICE |  | RESOURCE MANAGEMENT AREA BOUNDARY |
|  | PROP. WATERLINE                 |  | RESOURCE PROTECTION AREA BOUNDARY |
|  | PROP. AUDIO CABLE               |  | DITCH LINE                        |
|  | EXIST. TREELINE                 |   |                                   |
|  | EXIST. EDGE OF PAVEMENT         |   |                                   |

1. THE MINIMUM REQUIRED DENSITY FOR ALL COMPACTION SHALL BE 95 PERCENT OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN ±2 PERCENT OF THE OPTIMUM. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPACTED FILL IS SUITABLE FOR BUILDING CONSTRUCTION.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET COMPLIANCE REQUIREMENTS WITH SECTION 59.1-406, ET SEQ. OF THE CODE OF VIRGINIA (OVERHEAD HIGH VOLTAGE LINES SAFETY ACT).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES. VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK.
6. CONTRACTOR SHALL OBTAIN PERMISSION FOR ANY OFFSITE GRADING, EROSION AND SEDIMENT CONTROL MEASURES, AND CONSTRUCTION.
7. RIGHT-OF-WAY, LOT LINES, AND EASEMENTS ARE DEDICATED ON PLATS SEPARATE FROM THESE PLANS.
8. A PRE-CONSTRUCTION CONFERENCE SHOULD BE SCHEDULED WITH THE CITY ENGINEERING DIVISION, TO BE HELD AT LEAST 48 HRS PRIOR TO ANY CONSTRUCTION. THE CERTIFIED RESPONSIBLE LAND DISTURBER MUST ATTEND THE PRE-CONSTRUCTION CONFERENCE.
9. MEASURES TO CONTROL EROSION AND SILTATION MUST BE PROVIDED PRIOR TO PLAN APPROVAL. PLAN APPROVAL IN ANY WAY RELIEVES THE DEVELOPER OR CONTRACTOR OF THE RESPONSIBILITIES CONTAINED WITHIN THE EROSION AND SILTATION CONTROL POLICIES.
10. AN APPROVED SET OF PLANS AND ALL PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
11. FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.
12. ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS OF THE ROADWAY BEFORE PLACING EMBANKMENT.
13. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NELESS, THE ONE LITTER RECEPTACLE SHALL BE PROVIDED ON SITE. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS.
14. IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
15. THE DEVELOPER AND/OR CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS, ADVISING THEM THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO APPROVED PLANS.
16. CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO (2), BUT NOT MORE THAN TEN (10) WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THRU "MISS UTILITY": 1-800-552-7001.
17. FIELD CORRECTIONS SHALL BE APPROVED BY THE CITY OF RICHMOND PRIOR TO SUCH CONSTRUCTION.
18. 100 YEAR FLOODWAY AND FLOODPLAIN INFORMATION SHALL BE SHOWN WHERE APPLICABLE.



BEFORE YOU DIG ANYWHERE IN VIRGINIA! CALL 1-800-552-7001

VA LAW REQUIRES 48 HOURS NOTICE BEFORE YOU EXCAVATE.



15-B W. Cary Street  
Richmond, VA 23220  
(804)-358-2947  
[www.parkerdg.com](http://www.parkerdg.com)

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5811 GROVE AVENUE  
RICHMOND, VIRGINIA

## ty Comments 9/24/21

AWN BY: MGM

SALE: N/A

PROJECT NUMBER:  
01-5000-00

SHEET TITLE:

COVER SHEET

01 OF 4

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GENERAL DEMOLITION NOTES:

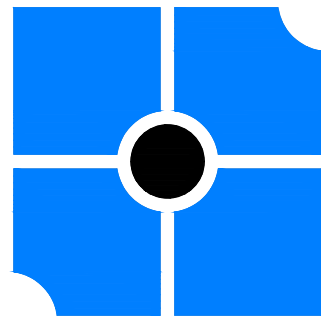
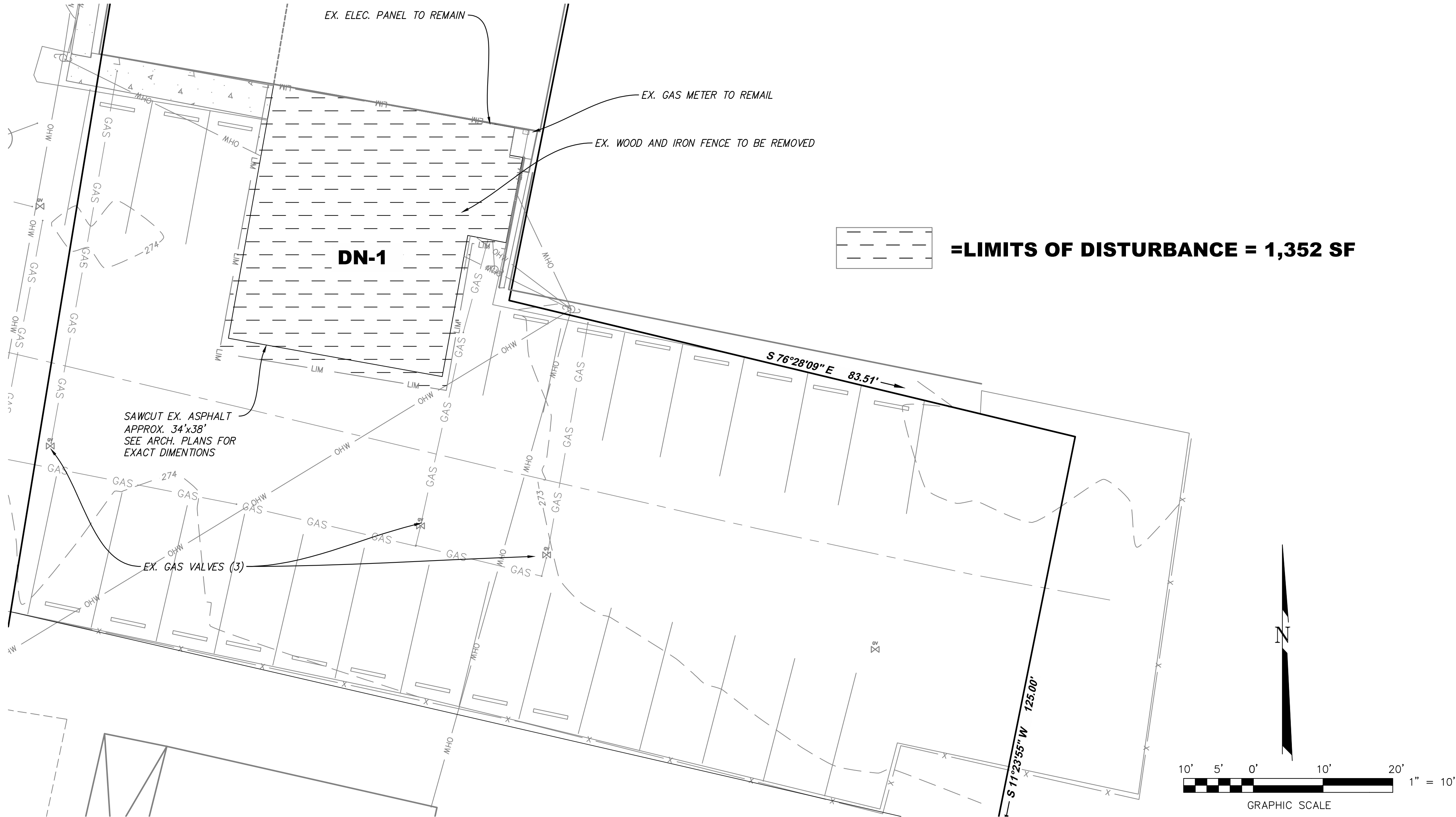
- 1) THE CONTRACTOR SHALL PROVIDE AT LEAST THE FOLLOWING PROTECTIONS AT THE JOB SITE: MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED, SUCH AS OVERHEAD AND UNDERGROUND ELECTRIC, TELEPHONE, GAS, WATER, ETC.
- 2) ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS.
- 3) PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COSTS TO THE OWNER(S).
- 4) MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS, PREVENT INTERRUPTION OF SERVICES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- 5) USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT POLLUTION TO THE LOWEST PRACTICAL LEVEL.
- 6) COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 7) PERMITS, FEES, AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.
- 8) ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CONCRETE, CURB, AND OTHER STRUCTURES AS MAY BE REQUIRED.
- 9) THE SITE SHALL BE CLEARED AND SELECTED ITEMS REMOVED AS SHOWN WITHIN THE LIMITS OF DISTURBANCE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL SAW-CUT CURB, PAVEMENT, ETC. AT ALL PLACES WHERE NEW CONSTRUCTION JOINS THE EXISTING. RESEED, MULCH & TACK DISTURBED AREAS OUTSIDE OF COMPACTOR PAD.
- 10) CONTRACTOR SHALL ENSURE FILL IS COMPACTED TO 95% STANDARD PROCTOR.
- 11) CONTRACTOR SHALL CONFIRM LOCATION OF EXISTING UTILITIES WITH MISS UTILITY BEFORE COMMENCING WORK.

SURVEY NOTES:

1. SOURCE OF MERIDIAN: VIRGINIA STATE PLANE, SOUTH ZONE, (NAD 83) BASED UPON GPS
2. VERTICAL DATUM: NAVD 88 BASED UPON GPS.
3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR TITLE REPORT AND ALL EASEMENTS AND ENCUMBRANCES THAT MIGHT BE DISCLOSED IN A TITLE SEARCH MAY NOT BE SHOWN.
4. THE SUBJECT PROPERTY IS WITHIN AN AREA OF MINIMAL FLOOD HAZARD, ZONE X, AS SHOWN ON THE FEMA FIRM PANEL #5101290019D WITH AN EFFECTIVE DATE OF APRIL 2, 2097.
5. CONTOUR INTERVAL: 1-FT
6. PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD INFORMATION.

SITE SPECIFIC DEMOLITION NOTES:

- DN-1** CONTRACTOR SHALL REMOVE EXISTING CURB AND GUTTER, ASPHALT, AND SIDEWALK



**parker**  
DESIGN GROUP  
ENGINEERS • SURVEYORS  
PLANNERS • LANDSCAPE ARCHITECTS

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CATURA PATIO EXPANSION  
5811 GROVE AVENUE

5811 GROVE AVENUE  
RICHMOND, VIRGINIA

REVISIONS

City Comments 9/24/21

DESIGNED BY:

JCG

DRAWN BY:

MGM

CHECKED BY:

JCG

SCALE:

1"=10'

DATE:

18 AUGUST, 2021

PROJECT NUMBER:

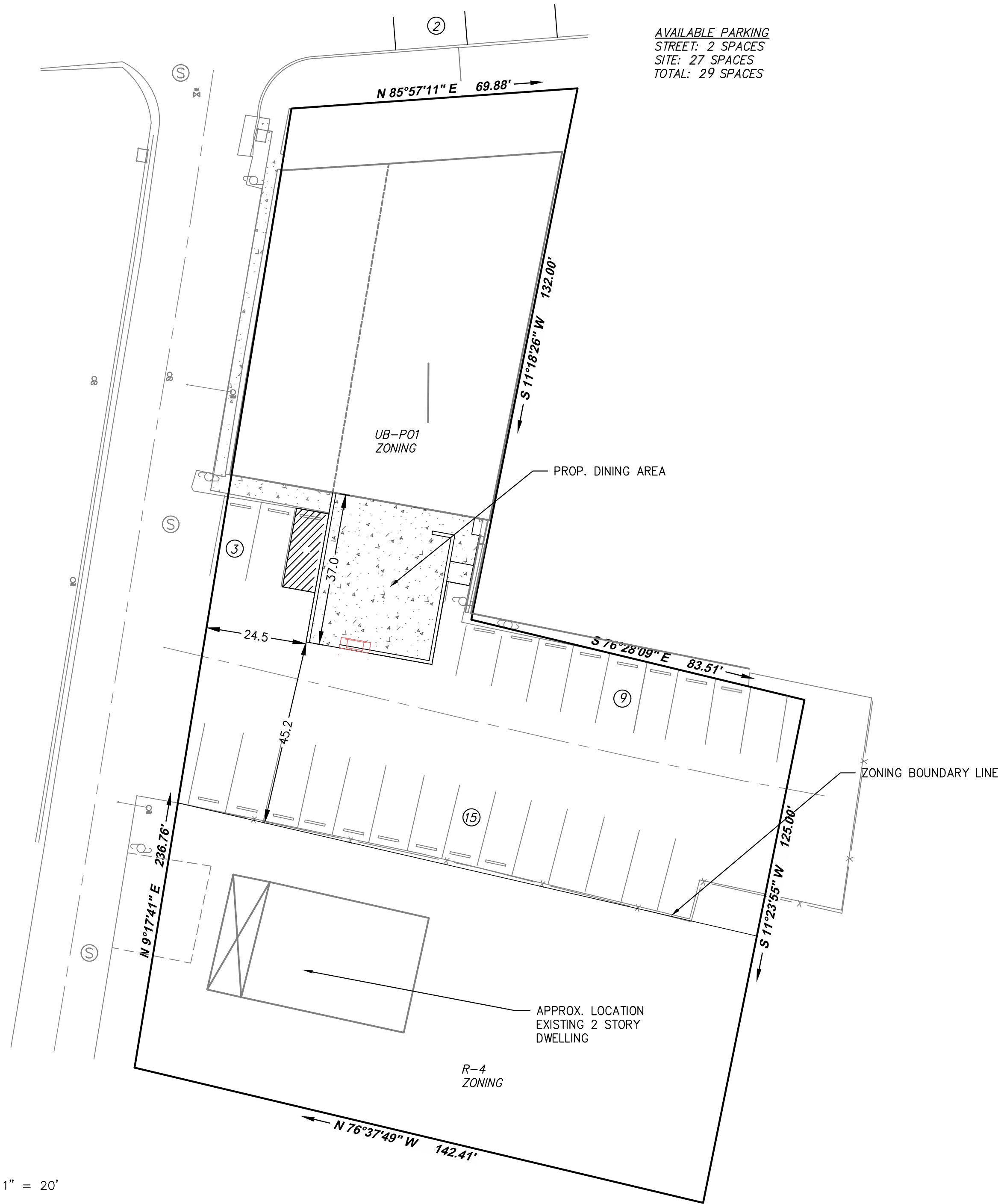
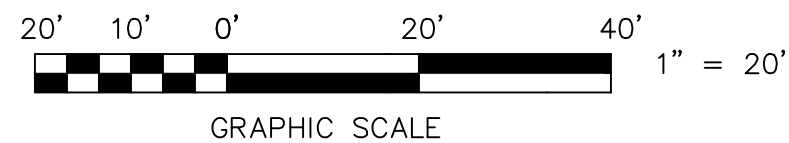
21-5002-02

SHEET TITLE:

EXISTING CONDITIONS &  
DEMOLITION PLAN

C02

02 OF 5



ZONING & PARKING MAP

GENERAL DEMOLITION NOTES:

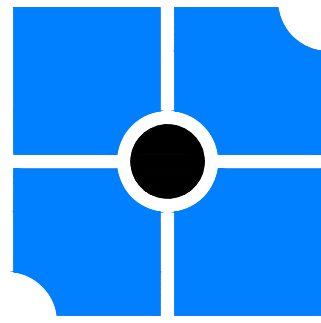
- 1) THE CONTRACTOR SHALL PROVIDE AT LEAST THE FOLLOWING PROTECTIONS AT THE JOB SITE: MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED, SUCH AS OVERHEAD AND UNDERGROUND ELECTRIC, TELEPHONE, GAS, WATER, ETC.
- 2) ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS.
- 3) PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COSTS TO THE OWNER(S).
- 4) MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS, PREVENT INTERRUPTION OF SERVICES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- 5) USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT POLLUTION TO THE LOWEST PRACTICAL LEVEL.
- 6) COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 7) PERMITS, FEES, AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.
- 8) ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CONCRETE, CURB, AND OTHER STRUCTURES AS MAY BE REQUIRED.
- 9) THE SITE SHALL BE CLEARED AND SELECTED ITEMS REMOVED AS SHOWN WITHIN THE LIMITS OF DISTURBANCE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL SAW-CUT CURB, PAVEMENT, ETC. AT ALL PLACES WHERE NEW CONSTRUCTION JOINS THE EXISTING. RESEED, MULCH & TACK DISTURBED AREAS OUTSIDE OF COMPACTOR PAD.
- 10) CONTRACTOR SHALL ENSURE FILL IS COMPACTED TO 95% STANDARD PROCTOR.
- 11) CONTRACTOR SHALL CONFIRM LOCATION OF EXISTING UTILITIES WITH MISS UTILITY BEFORE COMMENCING WORK.

SURVEY NOTES:

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**C03**

03 OF 5

