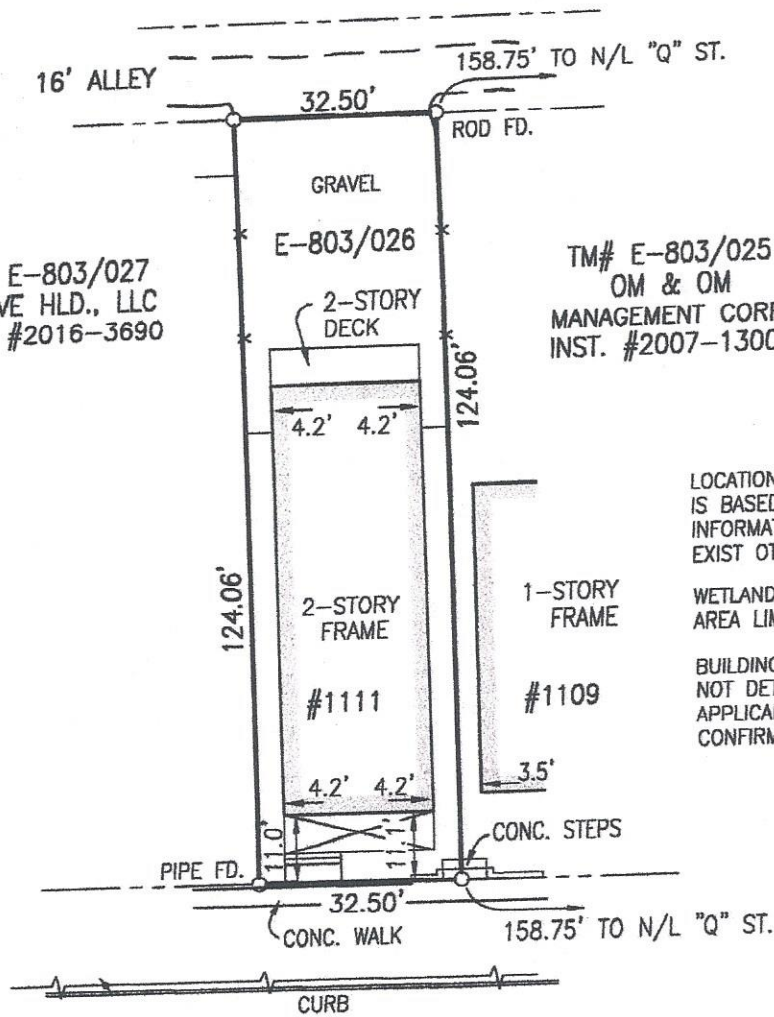


TM# E-803/027
EVOLVE HLD., LLC
INST. #2016-3690

TM# E-803/025
OM & OM
MANAGEMENT CORP.
INST. #2007-13002



LOCATION OF U/G UTILITIES SHOWN ON THIS MAP IS BASED ON FIELD OBSERVATION AND RECORD INFORMATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN.

WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY.

BUILDING SETBACKS OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.



NORTH 32nd STREET

**SURVEY SHOWING IMPROVEMENTS
ON PROPERTY LOCATED AT
1111 NORTH 32nd STREET
CITY OF RICHMOND, VIRGINIA**

This is to certify that on 11/9/21
I made an accurate field survey of the premises shown hereon, that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than as shown hereon.

This plat was prepared without the benefit of a title report and may not, therefore, indicate all easements or conditions affecting subject property.

Date: 11/24/21
Scale: 1"=30'



Bruce Robertson Land Surveying, P.C.

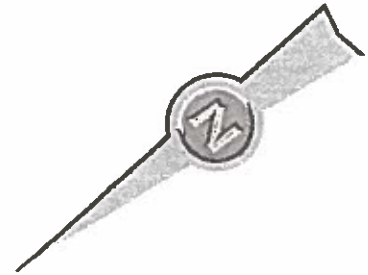
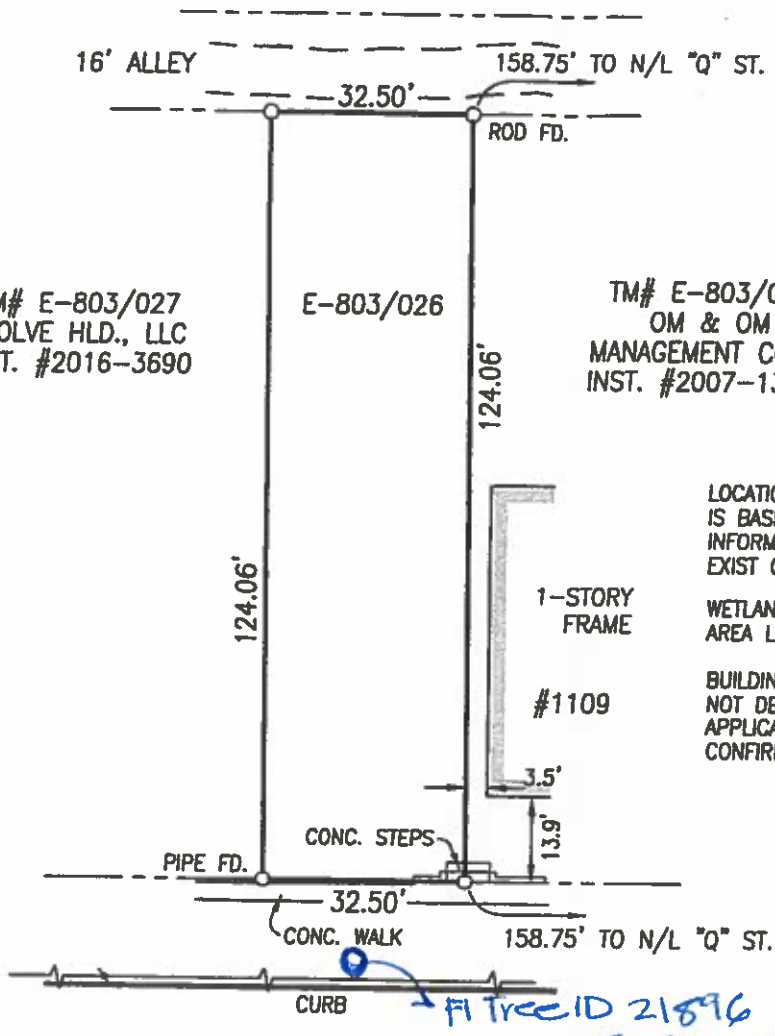
P.O. Box 35311 Richmond, Virginia Phone (804)218-2801

JN 19018

TM# E-803/027
EVOLVE HLD., LLC
INST. #2016-3690

E-803/026

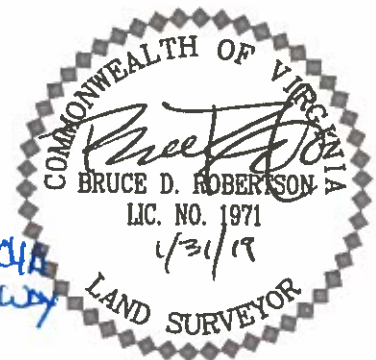
TM# E-803/025
OM & OM
MANAGEMENT CORP.
INST. #2007-13002



LOCATION OF U/G UTILITIES SHOWN ON THIS MAP IS BASED ON FIELD OBSERVATION AND RECORD INFORMATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN.

WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY.

BUILDING SETBACKS OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.



NORTH 32nd STREET *SAUER HAZARD IN CITY RIGHT-OF-WAY*

**SURVEY SHOWING IMPROVEMENTS
ON PROPERTY LOCATED AT
1111 NORTH 32nd STREET
CITY OF RICHMOND, VIRGINIA**

This is to certify that on 1/30/19
I made an accurate field survey of the premises shown hereon, that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than as shown hereon.

This plot was prepared without the benefit of a title report and may not, therefor, indicate all easements or conditions affecting subject property.

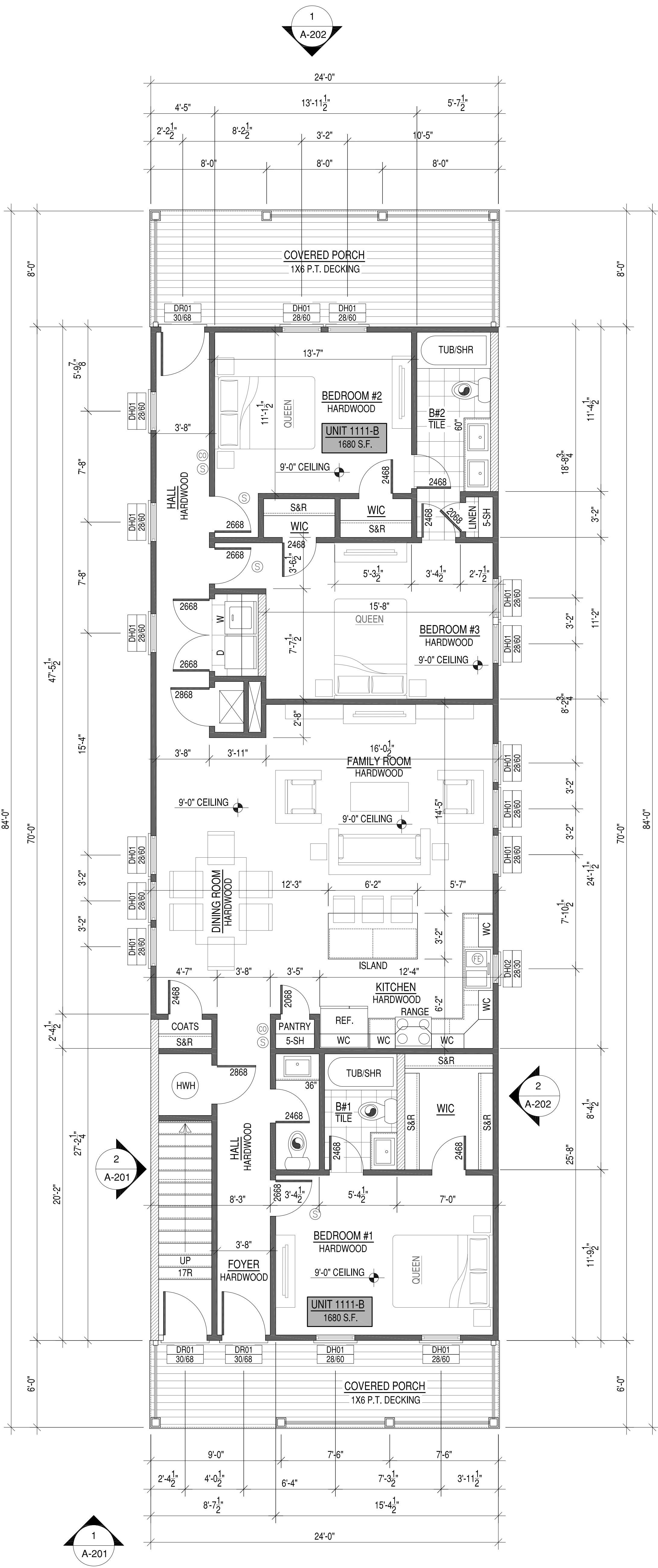


Bruce Robertson Land Surveying, P.C.

P.O. Box 35311 Richmond, Virginia Phone/Fax (804)330-2801

Date: 1/31/19
Scale: 1"=30'

JN 19018



STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.
HANDRAILS & PICKETS: 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
LABEL DRYER VENT LENGTH ON DUCT
ALL DRYWALL TO BE 1/2"
⊕ = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
⊙ = BATH FAN VENTED TO EXTERIOR
⊙ = CARBON MONOXIDE DETECTOR
⊙ = SMOKE DETECTOR

FIRST FLOOR PLAN

PLAN AND FRAMING NOTES

1. ALL WALL FRAMING TO BE 2X4'S AT 16" OC UNLESS OTHERWISE NOTED.
2. ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
3. ALL WINDOW AND DOOR HEADERS TO BE (2) 2X8'S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
4. INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
5. CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
6. DOOR SIZES PROVIDED AND WINDOWS DIMENSIONED ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER/INSTALLERS REQUIREMENTS AND CLEARANCES.
7. PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETS LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVING, AND WALL MOUNTED TV LOCATIONS.
8. CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE ABOVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.

2X4 WALL FRAMING AT 16" OC
2X6 WALL FRAMING AT 16" OC

1111 N 32nd STREET DUPLEX
RICHMOND, VIRGINIA 23223
UNIT 1111-B FIRST FLOOR PLAN

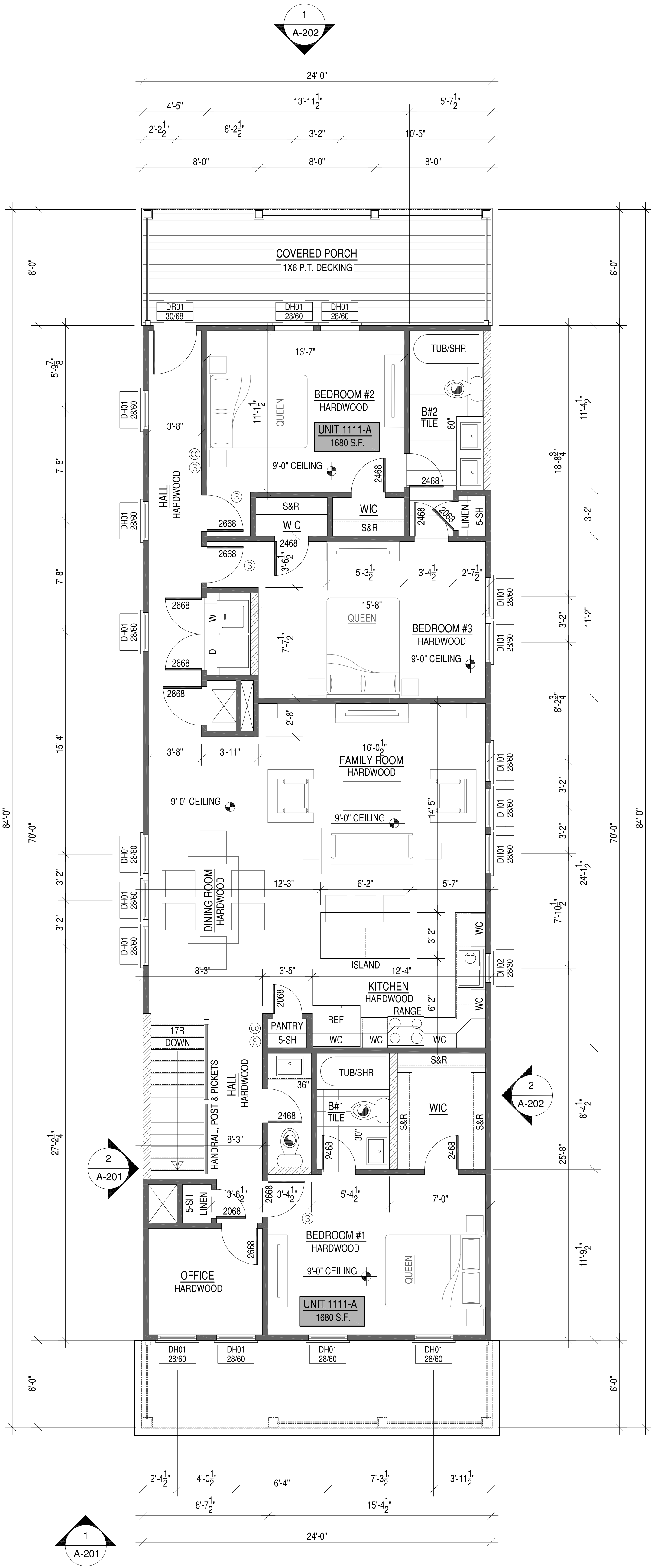
SAAEED RABIE
TECHTOWN
CONSTRUCTION
(804) 833-9802 PHONE

PENNECO
42286 BENFOLD SQUARE
ASHBURN VA 20148
(703) 875-4802 PHONE

SYD	DESCRIPTION	DATE	APPR
3	PRELIM. SITE PLAN	8-10-19	
2	PLANNING PURPOSES	8-5-19	
1	CLIENT REVIEW	8-4-19	

PENNECO
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1111 N 32nd STREET DUPLEX
RICHMOND, VIRGINIA 23223
UNIT 1111-B FIRST FLOOR PLAN
A-101



STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.
HANDRAILS & PICKETS: 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
LABEL DRYER VENT LENGTH ON DUCT
ALL DRYWALL TO BE 1/2"
⊕ = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
⊙ = BATH FAN VENTED TO EXTERIOR
⊕ = CARBON MONOXIDE DETECTOR
⊕ = SMOKE DETECTOR

SECOND FLOOR PLAN

PLAN AND FRAMING NOTES

1. ALL WALL FRAMING TO BE 2X4'S AT 16" OC UNLESS OTHERWISE NOTED.
2. ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
3. ALL WINDOW AND DOOR HEADERS TO BE (2) 2X8'S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
4. INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
5. CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
6. DOOR SIZES PROVIDED AND WINDOWS DIMENSIONED ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER/INSTALLERS REQUIREMENTS AND CLEARANCES.
7. PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETS LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVING, AND WALL MOUNTED TV LOCATIONS.
8. CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE ABOVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.

2X4 WALL FRAMING AT 16" OC
2X6 WALL FRAMING AT 16" OC

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3	PRELIM. SITE PLAN	8-10-19
2	PLANNING PURPOSES	8-5-19
1	CLIENT REVIEW	8-4-19
SYN	DESCRIPTION	DATE

PENNACCO
 42286 BENFOLD SQUARE
 ASHBURN, VA 20148
 (703) 875-8822 PHONE

SAEED RABIE
TECHTOWN
CONSTRUCTION
 (804) 833-9822 PHONE

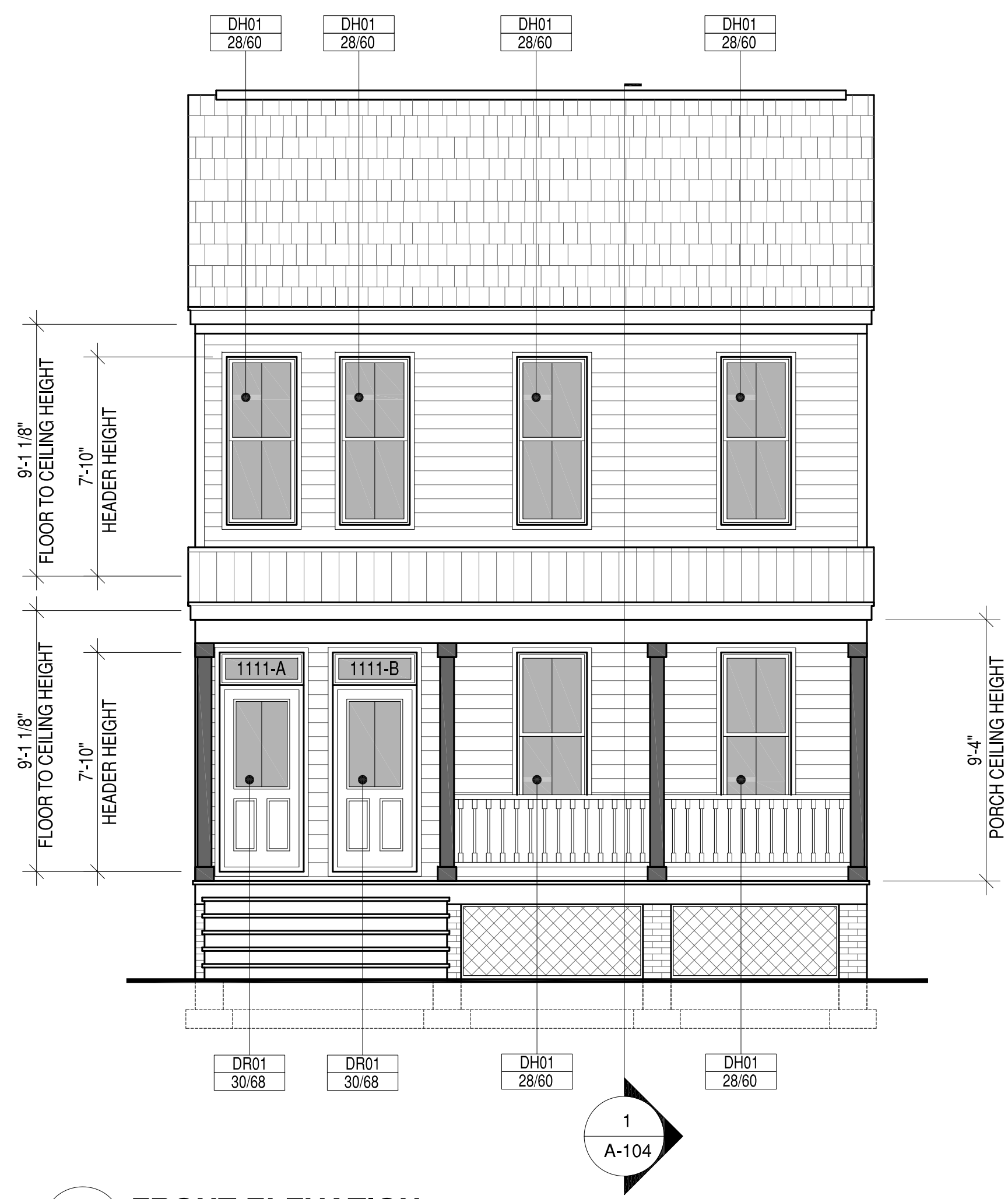
1111 N 32nd STREET DUPLEX
 RICHMOND, VIRGINIA 23223
 UNIT 1111-A SECOND FLOOR PLAN

PROJECT NO. 21141
DATE: 08/27/19
DRAWING NO.
SHEET
OF
A-102

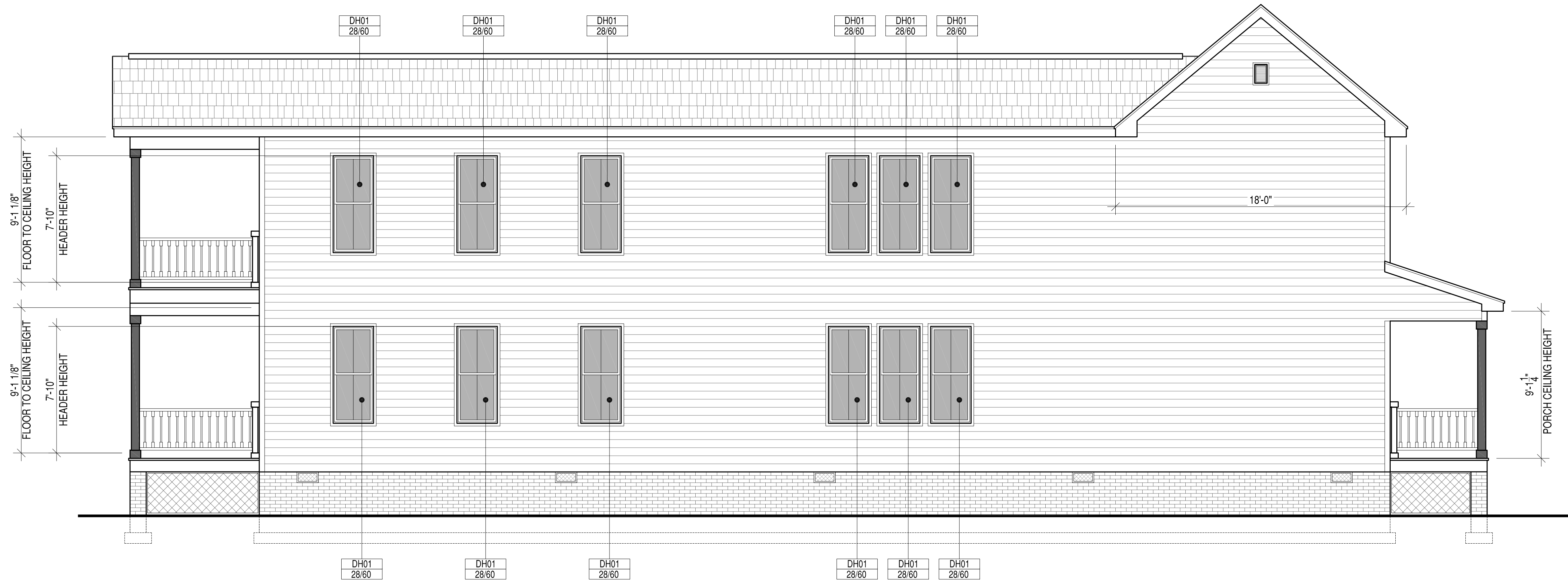
PRELIMINARY NOT FOR CONSTRUCTION - FOR PLANNING PURPOSES ONLY



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1 FRONT ELEVATION
A-201



2 LEFT ELEVATION
A-201

SYN	DESCRIPTION	DATE	APPRO
3	PRELIM SITE PLAN	8-10-19	
2	PLANNING PURPOSES	8-5-19	
1	CLIENT REVIEW	8-4-19	



42296 BENFOLD SQUARE
ASHBURN VA 20148
(703) 675-4502 PHONE

**SAEED RABIE
TECHTOWN
CONSTRUCTION**
(804) 833-9002 PHONE

GENERAL CONTRACTOR

APPROVED

ACTIVITY

SATISFACTORY TO DATE
DES: *** | DRW: JRP3 | CHK: JRP3

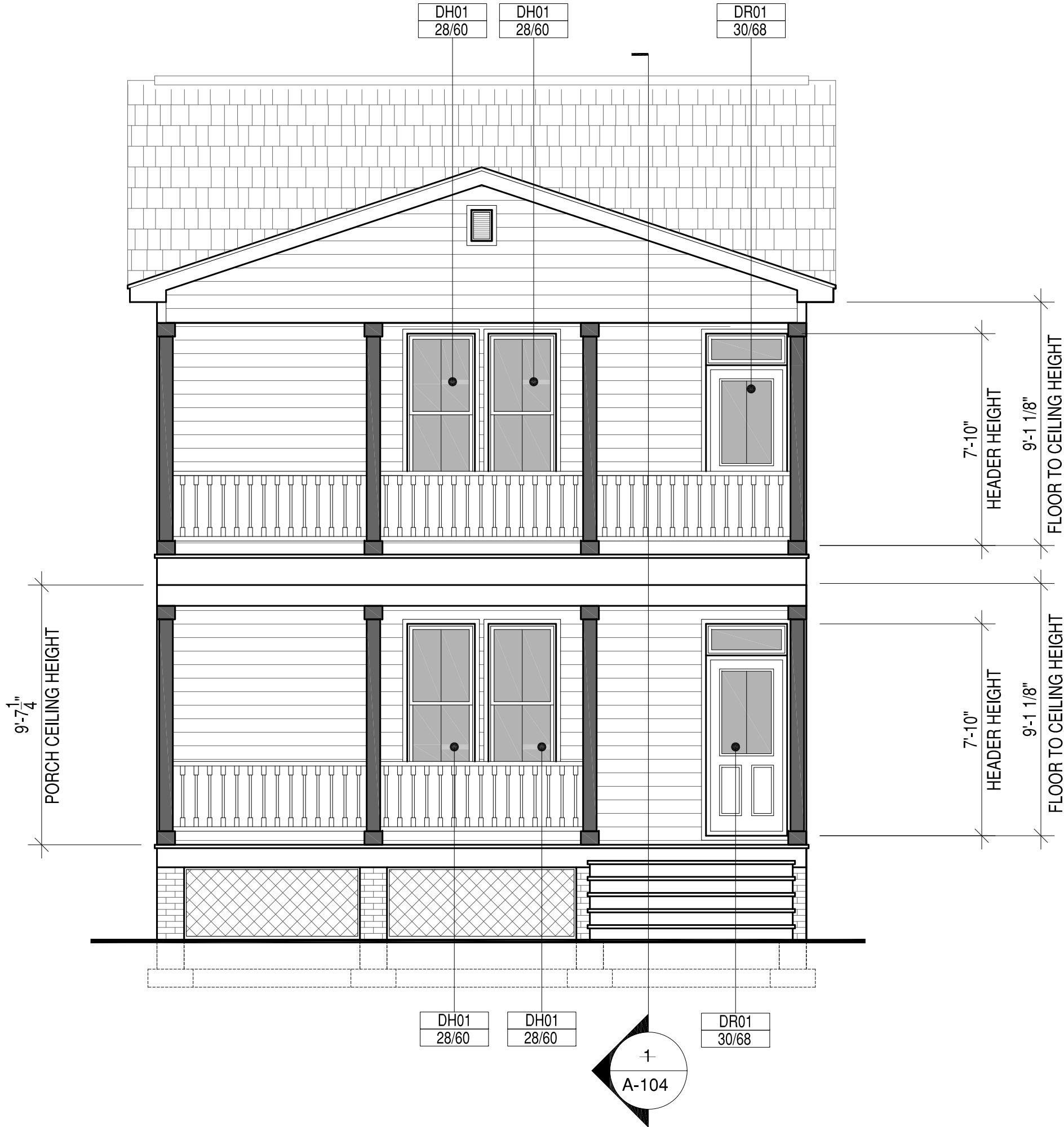
1111 N 32nd STREET DUPLEX
RICHMOND, VIRGINIA 23223
FRONT AND LEFT ELEVATIONS

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-201

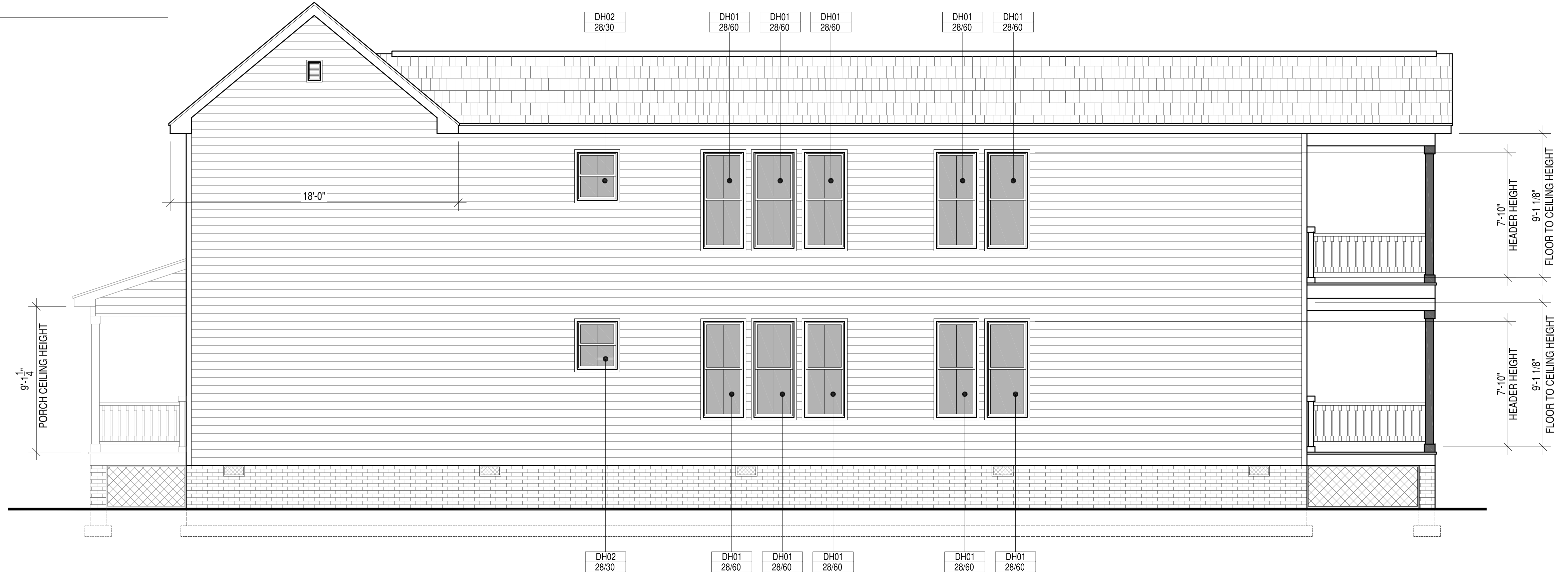
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1 REAR ELEVATION
A-202



2 RIGHT ELEVATION
A-202

NO.	DATE	DESCRIPTION	APPROVED
3	8-10-19	PRELIM SITE PLAN	
2	8-5-19	PLANNING PURPOSES	
1	8-4-19	CLIENT REVIEW	

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ASHBURN VA 20148
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TECHTOWN
CONSTRUCTION**
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1111 N 32nd STREET DUPLEX
RICHMOND, VIRGINIA 23223
REAR AND RIGHT ELEVATIONS

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.:
DRAWING NO.:
SHEET OF
A-202

Material Selection

For

1111 N.32th street

Exterior wall: Hardie Plank

Windows: Vinyl Windows

Exterior Porch: Truex Composite Decking for floor and steps.

Roof: Architectural Shingle.