## PROJECT NAME: 5811 GROVE AVENUE

## **5811 GROVE AVENUE** RICHMOND, VA 23226

DRAWING SYMBOLS

MATERIALS LEGEND

ACOUSTICAL PANELS

BATT INSULATION

CERAMIC TILE

FINISH WOOD

FRAMING LUMBER

CONCRETE MASONRY (CMU)

(BLOCKING)

ALUMINUM

BRICK

CONCRETE

| AFF        | ABOVE FINISH FLOOR      | EXIST       | EXISTING                          | LNTLL  | LINTEL                      | RET    | RETURN                                     |
|------------|-------------------------|-------------|-----------------------------------|--------|-----------------------------|--------|--------------------------------------------|
| ΛP         | ACCESS PANEL            | ETR         | EXISTING TO REMAIN                | LL     | LIVE LOAD                   | RA     | RETURN AIR                                 |
| СТ         | ACOUSTICAL CEILING TILE | EB          | EXPANSION BOLT                    | LVR    | LOUVER                      | REV    | REVISION                                   |
| )J         | ADJACENT, ADJUSTABLE    | EJ          | EXPANSION JOINT                   | LVT    | LUXURY VINYL TILE           | RH     | RIGHT HAND                                 |
| С          | AIR CONDITIONING        | EXT         | EXTERIOR                          | LB     | POUND                       | R.     | RISER                                      |
| T          | ALTERNATE               | EIFS        | EXTERIOR INSULATION AND           |        |                             | RD     | ROOF DRAIN                                 |
| .UM        | ALUMINUM                | 0           | FINISH SYSTEM                     | MFR    | MANUFACTURER                | RM     | ROOM                                       |
| }          | ANCHOR BOLT             |             |                                   | MAS    | MASONRY                     | RO     | ROUGH OPENING                              |
| PROX       | APPROXIMATE(LY)         | FB          | FACE BRICK                        | MO     | MASONRY OPENING             | RB     | RUBBER, RUBBER BASE                        |
| RCH        | ARCHITECT(URAL)         | FOM         | FACE OF MASONRY                   | MATL   | MATERIAL                    | ND     | RODDEN, NODDEN DASE                        |
| CII        | AT                      | FOS         | FACE OF STUD                      | MAX    | MAXIMUM                     | SCH    | SCHEDULE                                   |
|            | Al                      | F           | FAHRENHEIT                        | MECH   | MECHANICAL                  | SCUP   | SCUPPER                                    |
|            | BASE PLATE              | FT          | FEET, FOOT                        | MEMB   | MEMBRANE                    | SECT   | SECTION                                    |
|            |                         | FF          | FINISH FLOOR                      |        | METAL                       |        |                                            |
| MT<br>4    | BASEMENT                | FIN         | FINISH(ED)                        | MTL    |                             | SHT    | SHEET                                      |
| 1          | BEADING                 | FA          | FIRE ALARM                        | MIN    | MINIMUM                     | SIM    | SIMILAR                                    |
| .G<br>-    | BEARING                 | FEB         |                                   | MIR    | MIRROR                      | SC     | SOLID CORE                                 |
| Ī          | BITUMNOUS               | FEB         | FIRE EXTINGUISHER BRACKET MOUNTED | MISC   | MISCELLANEOUS               | SCW    | SOLID CORE WOOD                            |
| KG         | BLOCKING                | FEC         | FIRE EXTINGUISHER CABINET         | MLDG   | MOULDING                    | SSM    | SOLID SURFACE MATERIAL                     |
| )          | BOARD                   | FHC         |                                   | MNTG   | MOUNTING                    | SPEC   | SPECIFICATION                              |
| T          | BOTTOM                  |             | FIRE HOSE CABINET                 |        |                             | SPR    | SPRINKLER                                  |
| .K         | BRICK                   | FRTW        | FIRE RETARDANT TREATED WOOD       | NOM    | NOMINAL                     | SS     | STAINLESS STEEL, SERVICE SIN               |
| DG         | BUILDING                | rD.         | FLOOR DRAIN                       | N      | NORTH                       | SP     | STAND PIPE                                 |
|            |                         | FD          |                                   | NIC    | NOT IN CONTRACT             | STL    | STEEL                                      |
|            | CARD READER             | FTG         | FOOTING                           | NTS    | NOT TO SCALE                | STN    | STONE                                      |
| T          | CARPET                  | FDN         | FOUNDATION                        | NO.#   | NUMBER                      | STOR   | STORAGE                                    |
| )          | CASED OPENING           | FBO         | FURNISHED BY OTHERS               |        |                             | STRUCT | STRUCTURAL                                 |
| MT         | CASEMENT                |             |                                   | OFF    | OFFICE                      | SUSP   | SUSPENDED                                  |
| G          | CEILING                 | GA          | GAGE, GAUGE                       | OC     | ON CENTER                   | SYS    | SYSTEM                                     |
| Н          | CEILING HEIGHT          | GALV        | GALVANIZED                        | OPNG   | OPENING                     |        |                                            |
|            | CENTER LINE             | GEN         | GENERAL                           | OPP    | OPPOSITE                    | TEL    | TELEPHONE                                  |
| •          | CERAMIC TILE            | GC          | GENERAL CONTRACTOR                | OD     | OUTSIDE DIAMETER, OVERFLOW  | T GL   | TEMPERED GLASS                             |
| .R         | CLEAR(ANCE)             | GL          | GLASS, GLAZING                    | OB     | DRAIN                       | TEMP   | TEMPERED, TEMPORARY                        |
| S          | CLOSET                  | GND         | GROUND                            | OF     | OUTSIDE FACE                | TERR   | TERRAZZO                                   |
|            |                         | GWB         | GYPSUM WALL BOARD                 | OA     | OVERALL                     |        |                                            |
| )L         | COLUMN                  | GYP         | GYPSUM WALL BOARD                 | ОН     | OVERHEAD                    | THK    | THICK(NESS)                                |
| ONST       | CONCRETE                |             |                                   | OFCI   | OWNER FURNISHED             | THRU   | THROUGH                                    |
| ΛU         | CONCRETE MASONRY UNIT   | HRL         | HANDRAIL                          | Orci   | CONTRACTOR INSTALLED        | TLT    | TOILET                                     |
| OMP        | CONSTRUCTION            | HDWR        | HARDWARE                          | OFOI   | OWNER FURNISHED OWNER       | T&G    | TONGUE & GROVE                             |
| DNT        | CONTINUOUS              | HWD         | HARDWOOD                          | 0101   | INSTALLED                   | TOM    | TOP OF MASONRY                             |
| CI         | CONTRACTOR FURNISHED    | HVAC        | HEATING VENTILATING & AIR         |        |                             | TOSL   | TOP OF SLAB                                |
|            | CONTRACTOR INSTALLED    | 1177.0      | CONDITIONING                      | PNT(D) | PAINT(ED)                   | TOS    | TOP OF STEEL                               |
|            | CONTROL JOINT           | HD          | HEAVY DUTY                        | PNL    | PANEL                       | TOW    | TOP OF WALL                                |
| ì          | CORNER GUARD            | HGT         | HEIGHT                            | PVMT   | PAVEMENT                    | T      | TREAD                                      |
| DRR        | CORRIDOR                | Н           | HIGH                              |        |                             | TYP    | TYPICAL                                    |
| :/BG       | CRASH RAIL/BUMPER GUARD | HC          | HOLLOW CORE                       | PERP   | PERPENDICULAR               |        |                                            |
|            |                         | HM          | HOLLOW METAL                      | PLAS   | PLASTER, PLASTIC            | UC     | UNDERCOUNTER, UNDER CUT                    |
| )          | DAMPROOFING             |             |                                   | PLAM   | PLASTIC LAMINATE            | UNFIN  | UNFINISHED                                 |
| T          | DEATAIL                 | HORIZ       | HORIZONTAL                        | PL     | PLATE                       | UNO    | UNLESS NOTED OTHERWISE                     |
| G          | DEGREE                  | HB          | HOSE BIB                          | PLGL   | PLATE GLASS                 |        |                                            |
| MO         | DEMOLITION              | HW          | HOT WATER HEATER                  | PLWD   | PLYWOOD                     | VB     | VAPOR BARRIER                              |
|            | DEPTH                   | HR          | HOUR                              | PVC    | POLYVINYL CHLORIDE          | VFVI   | VENDOR FURNISHED VENDO                     |
| AG         | DIAGONAL                |             |                                   | LB(S)  | POUND(S)                    |        | INSTALLED                                  |
| Δ.         | DIAMETER                | IN          | INCH                              | PSF    | POUNDS PER SQUARE FOOT      | VTR    | VENT THROUGH ROOF                          |
| М          | DIMENSION               | INCL        | INCLUDE(D)(ING)                   | PSI    | POUNDS PER SQUARE INCH      | VIF    | VERIFY IN FIELD                            |
| SP         | DISPENSER               | INSUL       | INCULAT(E)(ATION)                 | PREFIN | PREFINSHED                  | VERT   | VERTICAL                                   |
| √          | DIVISION                | ID          | INSIDE DIAMETER                   | PT     | PRESSURE TREATED, PORCELAIN | VEST   | VESTIBULE                                  |
| <b>v</b>   | DOOR, DRAIN             | INT         | INTERIOR                          |        | TILE                        | VCT    | VINYL COMPOSITION TILE                     |
| L          | DOUBLE                  |             |                                   | PROP   | PROPERTY                    | VWC    | VINYL COMPOSITION TILE VINYL WALL COVERING |
|            |                         | JAN         | JANITOR('S CLOSET)                |        |                             |        |                                            |
|            | DOWN                    | JST         | JOIST                             | QTY    | QUALITY                     | VIT    | VITREOUS CHINA                             |
|            | DOWN SPOUT              | JCT         | JUNCTION                          | QT     | QUARRY TILE                 |        |                                            |
| VG(S)      | DRAWING(S)              | <i>7</i> C1 | 30.1011011                        | ٧,     | QUALITY INC.                | WSCT   | WAINSCOT                                   |
| :          | DRINKING FOUNTAIN       | VΩ          | VEVR∩∧ P □                        | RAD    | RADIUS                      | WC     | WALL COVERING, WATER CLC                   |
|            |                         | KB          | KEYBOARD                          |        |                             | WH     | WALL HUNG, WATER HEATER                    |
|            | EACH                    | KP          | KICK PLATE                        | REC    | RECEIVE, RECEPTACLE         | WR     | WASTE RECEPACLE                            |
| <b>/</b> C | ELECTRIC WATER COOLER   | KIT         | KITCHEN                           | REFL   | Reflected                   | WP     | WATER PROOF                                |
| EC         | ELECTRICAL              | KS          | KNEE SPACE                        | REF    | REFRIGERATOR                | WT     | WEIGHT                                     |
| EV         | ELEVATOR, ELEVATION     |             |                                   | REG    | REGULAR, REGISTER           | WWF    | WELDED WIRE FABRIC                         |
| MED        | FMEDCENCY               | LAM         | LAMINATE(D)                       | REINF  | REINFORCED                  |        | WIDTH WIDE                                 |

REMOVE

RESILIENT

RES

REINFORCING BAR

REQUIRE, REQUIRED

WINDOW

WITHOUT

WOOD

W/O

WB

WIRE GLASS

WOOD BASE

LAVATORY

LEFT HAND

LENGTH, LONG

LIGHTWEIGHT

**EMER** 

ENGR

EQUIP

**EPDM** 

EQ

**EMERGENCY** 

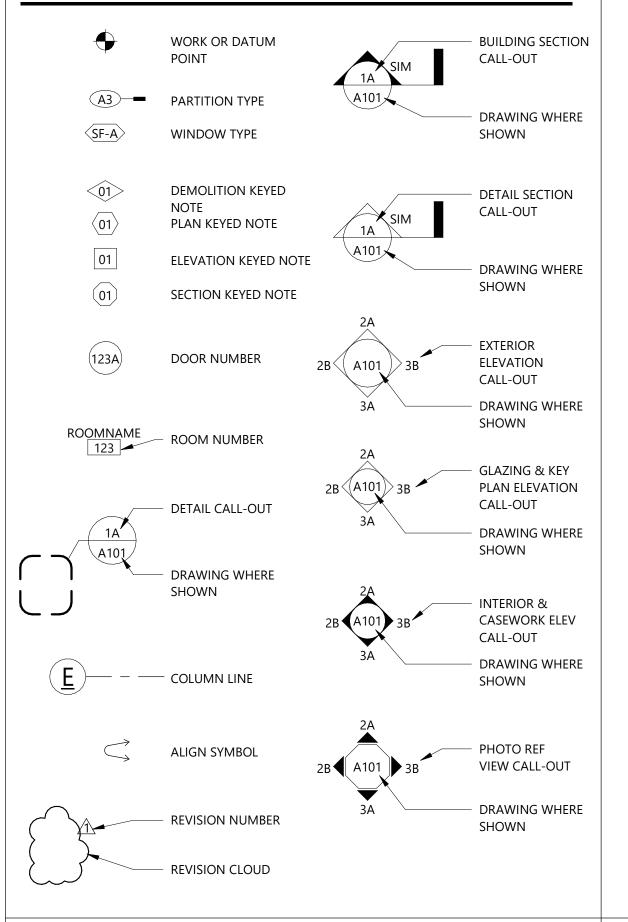
**EQUIPMENT** 

EQUAL

ENGINEER(ING)

ETHYLENE PROPYLENE DIENE

MONOMER (ROOF MEMBRANE)



<u>名文章</u> GYPSUM DRYWALL

PLYWOOD

POROUS FILL

SOIL

STEEL

STONE

RIGID INSULATION

PLASTER OR SAND

## PROJECT CONTACT INFORMATION

**GENERAL CONTRACTOR** COMMONWELATH CONSTRUCTION

MANAGEMENT

7110 FOREST AVENUE, SUITE 102

RICHMOND, VA 23226

PHONE: (804) 221-9227

FAX: (804) 355-0085 CONTACT: ROBERT MCCANN

EMAIL: RMCCANN@CCMLLC.CO

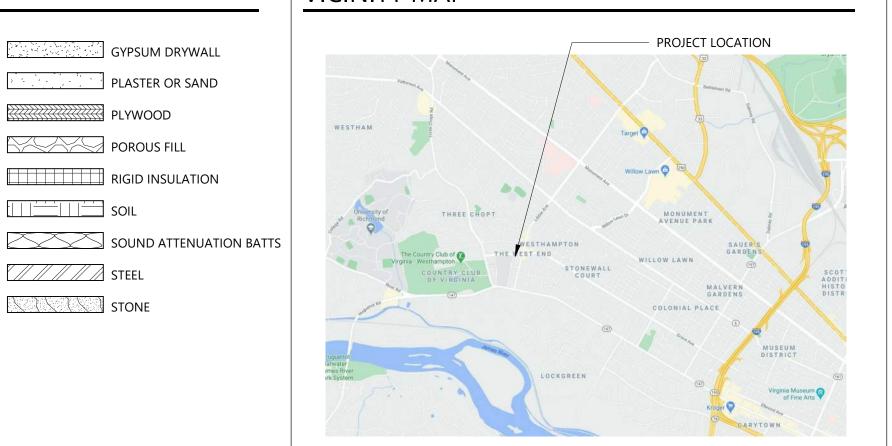
## <u>OWNER</u> **ROB LONG** 939 MYERS ROAD RICHMOND, VA 23220 PHONE: (804) 363-8006 EMAIL: ROB@RIVERCITYROLL.COM

**ARCHITECT** PSH PLUS 207 N. FOUSHEE STREET RICHMOND, VA 23220 PHONE: (804) 823-2900 **CONTACT: JEFF LOINETTE** EMAIL: JLOINETTE@PSHPLUS.COM

## **INTERIOR DESIGN** PSH PLUS 207 N. FOUSHEE STREET

RICHMOND, VA 23220 PHONE: (804) 823-2900

## VICINITY MAP





■ S2.01 WALL SECTIONS

## **PROJECT SUMMARY**

**ROB LONG** PROJECT NAME: PROJECT NAME: 5811 GROVE AVENUE OWNER CONTACT: RICHMOND, VA 23226 OWNER PHONE: (804) 363-8006 ROB@RIVERCITYROLL.COM

DESCRIPTION

SHEET INDEX

■ T001 TITLE SHEET

■ AC01 CODE DATA AND LIFE SAFETY

C02 EXISTING CONDITIONS & DEMOLITION PLAN

A116 NEW COURTYARD WALL SECTIONS AND DETAILS

A411 ENLARGED TOILET ROOM PLANS AND ELEVATIONS

A121 DIMENSION FLOOR PLANS AND NOTES

A131 NEW WORK REFLECTED CEILING PLAN

A421 INTERIOR ELEVATIONS & DETAILS

A611 DOOR SCHEDULE AND TYP DETAILS

A811 FINISH LEGEND AND DETAILS

■ S1.01 FOUNDATION & FRAMING PLANS

A711 CASEWORK SECTIONS AND OTHER DETAILS

A801 | FIRST FLOOR FINISH PLAN AND FURNITURE PLAN

A422 INTERIOR ELEVATIONS

A423 INTERIOR ELEVATIONS

■ C03 SITE LAYOUT, GRADING PLAN, & SITE DETAILS

A013 INTERIOR PARTITION TYPES A014 PARTITION & SUPPORT DETAILS A111 NEW WORK FLOOR PLAN AND NOTES

C01 | COVER SHEET

■ A115 EXTERIOR COURTYARD

INCL. NO

**ARCHITECTURAL** 

TITLE SHEET

A COMPLETE INTERIOR DEMOLITION OF EXISTING CONDITIONS. ALL EXISTING STRUCTURE TO REMAIN. ALL PLUMBING FIXTURES TO BE SALVAGED FOR REUSE. EXISTING ROOF TOP UNITS TO BE REUSED. FRONT EXTERIOR WOOD PERGOLA AND TRIM TO BE REMOVED FOR COSMETIC UPGRADES, KEEP EXISTING PERGOJA STRUCTURE.

ADDITIONALLY, AN UPGRADE OF THE EXISTING REAR PATIO DINING SPACE, WHICH WILL INCLUDE THE CONSTRUCTION OF SCREENING WALLS, AN EXTERIOR GAS-FIREPLACE, UPGRADED LIGHTING, AND OVERHEAD FANS AND SPACE-HEATERS TO ALLOW FOR YEAR-ROUND USE. THE EXTERIOR DINING SPACE WILL REMAIN UNCOVERED AND OPEN-AIR, TO HELP PROMOTE PUBLIC HEALTH AND WELL-BEING IN THE ERA OF THE COVID PANDEMIC.

TYPE OF CONSTRUCTION (CHAPTER 6) EXISTING CONSTRUCTION TYPE:

**BUILDING OCCUPANCY** 

A-2 (UNCHANGED) USE GROUP (BUILDING): RATED SEPARATION OF OCCUPANCIES NO SEPARATION REQUIRED (UNCHANGED)

## APPLICABLE CODES (TYPICAL)

2015 - INTERNATIONAL BUILDING CODE 2015 - VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) 2015 - VIRGINIA EXISTING BUILDING CODE

REFERENCE: 2015 - ICC INTERNATIONAL MECHANICAL CODE 2015 - ICC INTERNATIONAL PLUMBING CODE 2015 - ICC INTERNATIONAL ENERGY CONSERVATION CODE

2014 - NATIONAL ELECTRICAL CODE (NFPA 70) 2013 - NATIONAL FIRE ALARM CODE (NFPA 72)

2013 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA 13)

## **2015 VIGINIA EXISTING BUILDING CODE** ALTERATION - LEVEL 2

ALLOWABLE BUILDING HEIGHTS AND AREA

(CHAPTER 5 - TABLE 506.2)

ALLOWABLE HEIGHT: 2 STORIES, 55' 2 STORIES' 16' PROVIDED HEIGHT:

ALLOWABLE AREA PER FLOOR: PROVIDED AREA FIRST FLOOR: REPERPED AREA BASEMENTONAL

CODE INFORMATION

9,500 SF 2,968 SF (UNCHANGED) 1,448 SF **(UNCHANGED)** 



REV. REVISION

4 08/31/2021

4 08/31/2021

4 08/31/2021

4 08/31/2021

4 08/31/2021

4 08/31/202

4 08/31/2021

3 06/22/2021

3 06/22/2021

3 06/22/2021

1 05/20/2021

1 05/20/2021

3 06/22/202

1 05/20/2021

4 08/31/2021

4 08/31/2021

NO. DATE

**PROJECT NAME: 5811 GROVE AVENUE** 

**5811 GROVE AVENUE RICHMOND, VA 23226** 



**ISSUE:** PERMIT SET **ISSUE DATE:** 08/31/2021 PSH+ No: 2054-06 **CLIENT No:** Number SCALE: As indicated

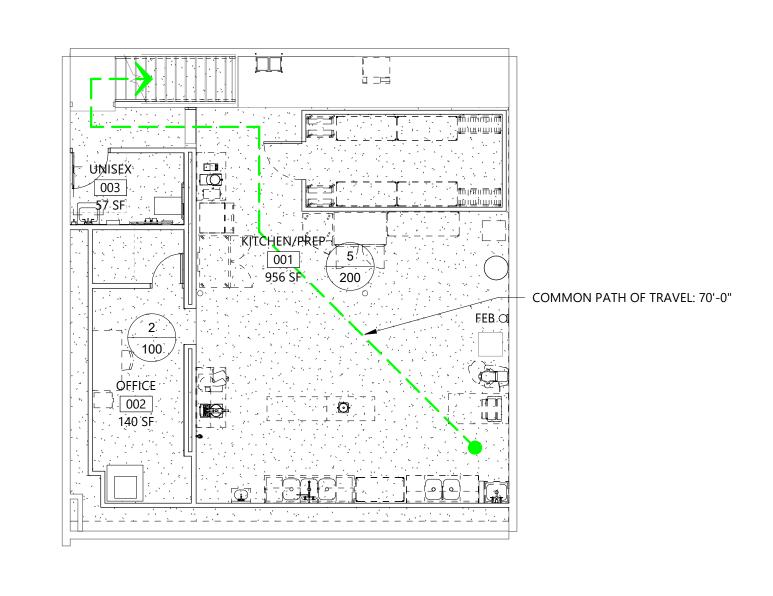
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|-------------------|-------------|------------|--|--|--|
| No.               | Description | Date       |  |  |  |
| 2                 | Revision 2  | 06/04/2021 |  |  |  |
| 3                 | Revision 3  | 06/22/2021 |  |  |  |
| 4                 | Revision 4  | 08/31/2021 |  |  |  |
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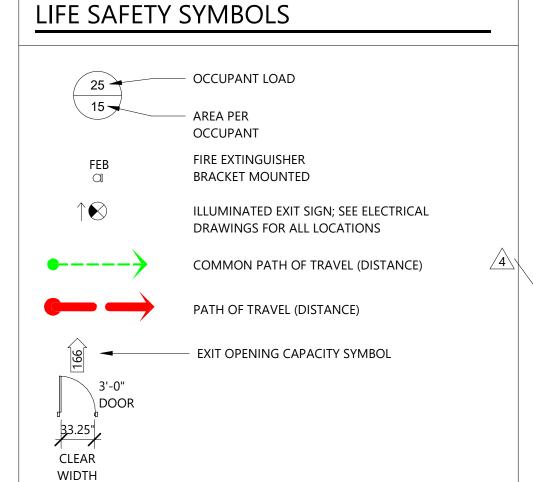
SHEET:

TITLE SHEET

T001



2 102 262 SF



| OCCUPANCY      | RATE  | AREA (S.F.) | OCCUPANTS |
|----------------|-------|-------------|-----------|
| IRST FLOOR     |       |             |           |
| DINING         | 1/15  | 1286        | 86        |
| UTDOOR DINING  | 1/15  | 368         | 25        |
| TCHEN/BAR/HOST | 1/200 | 1056        | 6         |
| <u>ASEMENT</u> |       |             |           |
| ITCHEN/PREP    | 1/200 | 957         | 5         |
| FICE           | 1/100 | 175         | 2         |

\*REAR OUTDOOR DINING IS NOT INCLUDED IN BUILDING OCCUPANCY FOR EXIT CAPACITY, BUT IS INCLUDED IN PLUMBING COUNT A A A A A

| ^                    | \      |                   | Λ Λ                        | Λ                   | _ / /                |  |
|----------------------|--------|-------------------|----------------------------|---------------------|----------------------|--|
| EXIT                 | SUM    | 1MARY             | - LEVEL 1                  | (GRADE              | =)                   |  |
| EXIT<br>TYPE         | EXIT   | EXIT<br>FACTOR    | WIDTH<br>PROVIDED<br>(IN.) | REQUIRED<br>PERSONS | CAPACITY<br>PROVIDED |  |
| EXIT<br>EXIT<br>FXIT | A<br>B | 0.2<br>0.2<br>0.2 | 66"<br>32"<br>32"          | 61<br>60<br>3       | 330<br>160<br>160    |  |

## **EXIT SUMMARY BASEMENT** EXIT EXIT EXIT REQUIRED CAPACITY WIDTH FACTOR PROVIDED PROVIDED PERSONS (IN.) STAIR S1 0.3 40" EXIT D 0.2 32"

REFERENCE VUSBC CHAPTER 10 TABLE 1004.1.2 FOR OCCUPANT LOAD 1005 MEANS OF EGRESS SIZING

TABLE 1006.3.1 FOR EXIT REQUIRMENTS PER STORY

| CLASSIFICATION / OCCUPANCY                                              | WATER CLOSET     |        | LAVATORIES |         | DRINKING<br>FOUNTAIN | SERVI<br>SINI |
|-------------------------------------------------------------------------|------------------|--------|------------|---------|----------------------|---------------|
|                                                                         | MALE FEMALE MALE | FEMALE |            |         |                      |               |
| ASSEMBLY (A-2)<br>(INCLUDES OUTDOOR FRONT DINING                        | (1/75)<br>G)     | (1/75) | (1/200)    | (1/200) | (1/500)              |               |
| 180 OCCUPANTS (62/GENDER)                                               | 0.83             | 0.83   | 0.26       | 0.26    | 0.25                 | 1             |
| ASSEMBLY (A-2)<br>(NEW REAR OUTDOOR DINING)<br>44 OCCUPANTS (22/GENDER) | 0.29             | 0.29   | 0.11       | 0.11    | 0.09                 | -             |
| TOTAL REQUIRED                                                          | 1.12             | 1.12   | .37        | .37     | .36                  | 2             |
| TOTAL PROVIDED                                                          | 1.5              | 1.5    | 1.5        | 1.5     | 1                    | 2             |

\*PLUMBING FIXTURE CALCULATION INCLUDES OUTDOOR OCCUPANTS

\*REFERENCE VUSBC CHAPTER 29 AND TABLE 2902.1

## ADDITIONAL CODE DATA

44 SEATS

2015 VIGINIA EXISTING BUILDING CODE

ALTERATION - LEVEL 2

ALLOWABLE BUILDING HEIGHTS AND AREA (CHAPTER 5 - TABLE 506.2) ALLOWABLE HEIGHT: 2 STORIES, 55'

PROVIDED HEIGHT: 2 STORIES' 16' ALLOWABLE AREA PER FLOOR: 9,500 SF 2,968 SF PROVIDED AREA FIRST FLOOR: PROVIDED AREA BASEMENT: 1,448 SF

TYPE OF CONSTRUCTION (CHAPTER 6) EXISTING CONSTRUCTION TYPE:

**BUILDING OCCUPANCY** 

USE GROUP (BUILDING): RATED SEPARATION OF OCCUPANCIES NO SEPARATION REQUIRED

FIRE PROTECTION SYSTEMS

PORTABLE FIRE EXTINGUISHERS:

NO - NOT REQUIRED AUTOMATIC SPRINKLER SYSTEM: FIRE ALARM & DETECTION SYSTEMS: NO - NOT REQUIRED EMERGENCY LIGHTING: YES - EXISTING CONDITIONS TO REMAIN

NO - NOT REQUIRED STANDPIPE SYSTEM: SMOKE CONTROL: NO - NOT REQUIRED FIRE COMMAND CENTER: NO - NOT REQUIRED FIRE DEPARTMENT CONNECTIONS: NO - EXISTING CONDITIONS TO REMAIN

YES - REFER TO FEB IN PLAN

**INTERIOR FINISHES:** 

CLASS B = ROOMS AND ENCLOSED SPACES

**01** LEVEL-01 CODE SCALE: 1/8" = 1'-0"

**BASEMENT CODE** 

\_ DINING \_ 106 78 SF

----

\64.SE\_\_\_

PER VUSBC TABLE 803.11, ALL INTERIOR WALL AND FINISHES WILL HAVE A MINIMUM FINISH CLASS RATING PER THE FOLLOWING:

A-2 USE GROUP

CLASS A = INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS CLASS A = CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS

MĘŃ'S---

**BUILDING ELEMENT** TEST# REQUIRED RATING (HRS) PRIMARY STRUCTURAL FRAME (INCLUDING **EXISTING** COLUMNS, GIRDERS & TRUSSES) BEARING WALLS EXISTING EXTERIOR EXISTING INTERIOR NON-BEARING WALLS & PARTITIONS **EXISTING** EXTERIOR (IBC TABLE 602) EXISTING INTERIOR FLOOR CONSTRUCTION INCLUDING EXISTING SUPPORTING BEAMS & JOISTS ROOF CONSTRUCTION INCLUDING EXISTING SUPPORTING BEAMS & JOISTS

FIRE RESISTANT RATING REQUIREMENTS FOR BUILDING ELEMENTS / FIREPROOFING

SCHEDULE (REFER TO PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR

SPECIFIC PENETRATION FIRESTOPPING DESIGN DETAILS)

FIRE RESISTANCE RATINGS REQUIREMENTS FOR BUILDING ELEMENTS (BASED ON ASSUMED CONSTRUCTION TYPE)

**VUSBC - TABLE 601** 

OUTDOOR

DN

CORRIDORS (VUSBC TABLE 1020.1 & TABLE 1020.2)

FIRE-RESISTANCE RATING: MINIMUM CORRIDOR WIDTH (TYP.): 44" DEAD ENDS (ALLOWED): 20' MAX

**MEANS OF EGRESS - REF. LIFE SAFETY PLAN** EXIT ACCESS TRAVEL DISTANCE (VUSBC TABLE 1017.2)

200' (FOR A-2) REQUIRED: REF PLAN PROVIDED:

COMMON PATH OF EGRESS TRAVEL DISTANCE (VUSBC TABLE 1006.2.1) ALLOWED: 75' (A-2)

REF PLAN PROVIDED:

**EXIT REQUIREMENTS (VUSBC 1006)** 

NUMBER OF EXITS REQUIRED NUMBER OF EXITS PROVIDED

**ACCESSIBILITY** 

ALL ELEMENTS WITHIN SCOPE OF WORK TO CONFORM TO REQUIREMENTS OUTLINED IN

ANSI STANDARD 117.1 AND CHAPTER 11 VUSBC



**PROJECT NAME: 5811 GROVE AVENUE** 

**5811 GROVE AVENUE RICHMOND, VA 23226** 



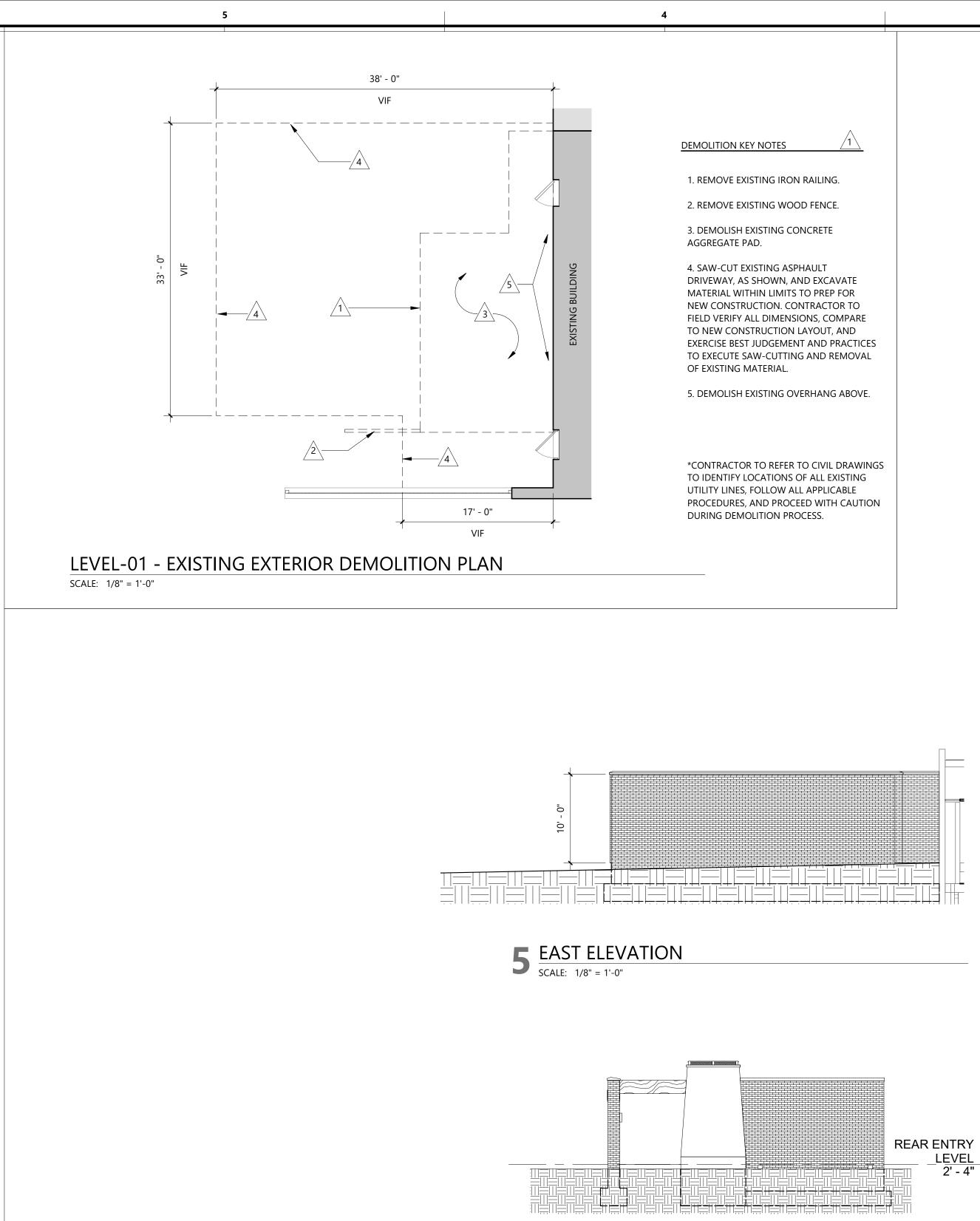
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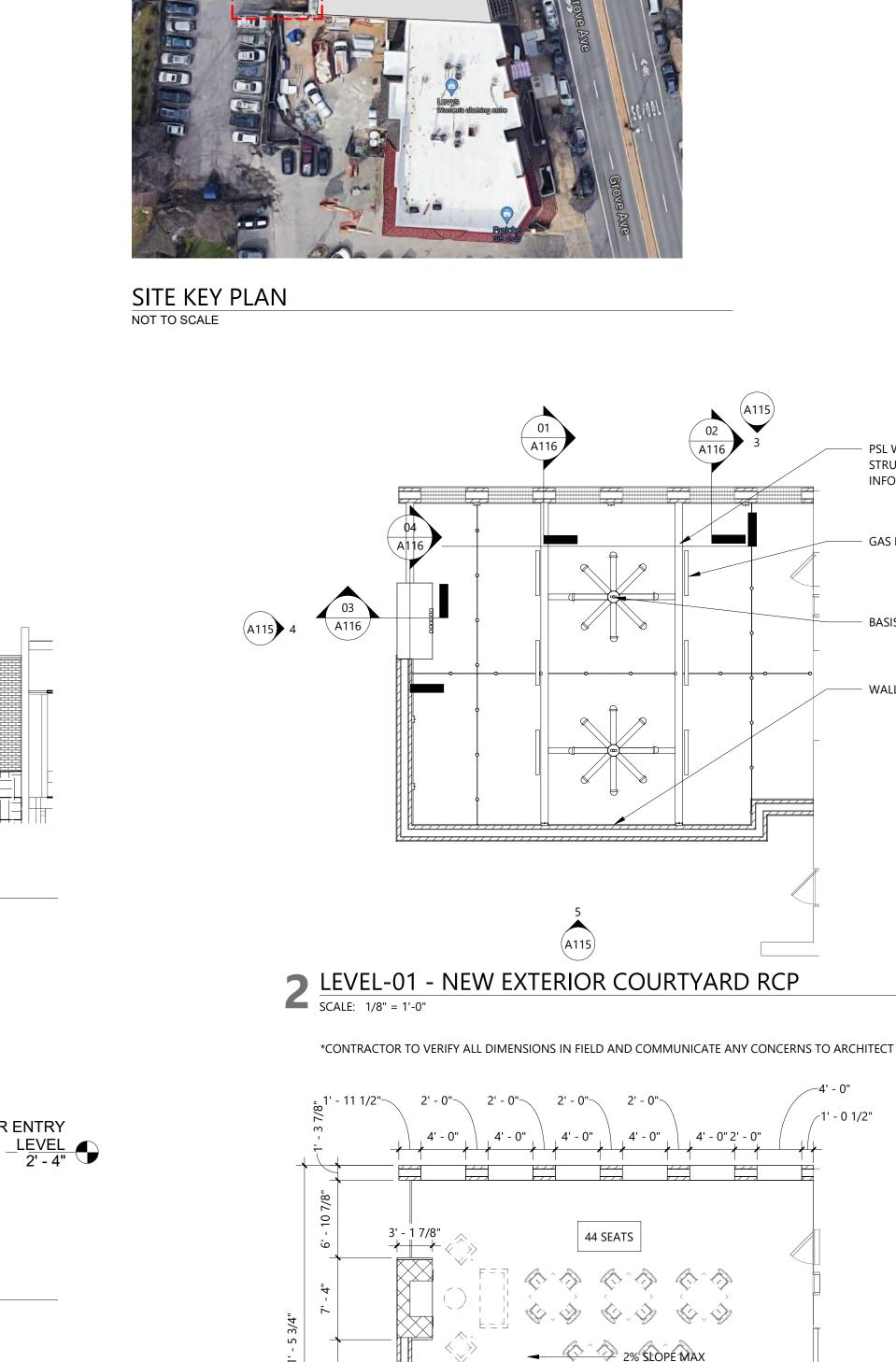
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|-------------------|-------------|------------|--|--|--|
| No.               | Description | Date       |  |  |  |
| 4                 | Revision 4  | 08/31/2021 |  |  |  |
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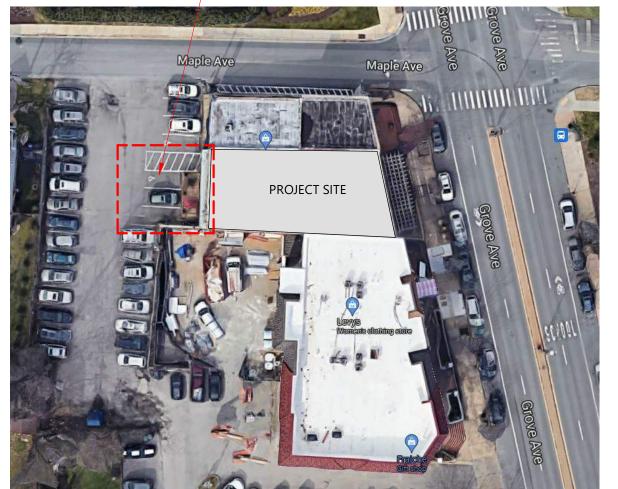
SHEET:

**CODE DATA AND LIFE SAFETY** 





## EXTERIOR COURTYARD - AREA OF FOCUS - REFER TO CIVIL DRAWINGS FOR MORE INFO



## **KEYED FLOOR PLAN NOTES**

PSL WOOD BEAM; SEE

GAS HEATER, TYPICAL

- WALL SCONCE, TYPICAL

BASIS OF DESIGN: BIG ASS FAN

EXISTING GAS SERVICE

INFORMATION

STRUCTURAL FOR MORE

## GENERAL FLOOR PLAN NOTES

- G01. ALL NEW PARTITIONS SHALL BE PARTITION TYPE 'A6' UNLESS NOTED OTHERWISE.
- G02. PROVIDE BLOCKING FOR ALL WALL MOUNTED ITEMS. SEE DETAIL SHEET A030.
- G03. ALL PLAN DIMENSIONS ARE TO FACE FINISH U.N.O.
- G04. MILLWORK CONTRACTOR TO VERIFY IN FIELD ALL AREAS TO RECEIVE MILLWORK PRIOR TO PREPARING SHOP DRAWINGS FOR APPROVAL.
- G05. VERIFY AND COORDINATE DOOR FRAME SIZE WITH WALL THICKNESS.
- G06. ALL NEW WORK TO CONFORM WITH ICC / ANSI A117.1-2009 REQUIREMENTS. G07. REFER TO A8 SERIES FOR FLOOR FINISH PLAN AND INFORMATION.
- G08. FRAME TIGHT AROUND BUILDING COLUMNS/ ROOF DRAIN LEADERS WITH 2 1/2" METAL STUDS MIN. UNLESS DETAILED, DIMENSIONED, OR NOTED OTHERWISE.
- G09. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS AND SITE CONDITIONS FOR ALL CASEWORK.
- G10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POWER, VOICE AND DATA CONNECTIONS WITH CASEWORK.
- G11. FIRESTOP ALL NEW PENETRATIONS AT CONCRETE FLOOR SLAB TO CONFORM TO TESTED
- ASSEMBLIES INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN ON DRAWINGS.

G12. ALL GLAZING TO BE TEMPERED U.N.O.

**5811 GROVE AVENUE** 

**PROJECT NAME:** 

**5811 GROVE AVENUE** RICHMOND, VA 23226

NOT ALL KEYED NOTES ARE LOCATED ON THIS SHEET

## FLOOR PLAN LEGEND

**NEW PARTITION** 

**EXISTING PARTITION** 

NEW DOOR

EXISTING DOOR TO REMAIN

DASHED ELEMENTS ARE OFOI EQUIPMENT OR FURNISHING

REFER TO LIFE SAFETY DRAWING(S) FOR RATED PARTITION LEGEND



**ISSUE:** PERMIT SET **ISSUE DATE:** 08/31/2021 PSH+ No: 2054-06 **CLIENT No:** Number **SCALE:** As indicated

| <b>REVISION SCHEDULE</b> |             |           |  |  |  |  |
|--------------------------|-------------|-----------|--|--|--|--|
| No.                      | Description | Date      |  |  |  |  |
| 4                        | Revision 4  | 08/31/202 |  |  |  |  |
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SHEET:

**EXTERIOR COURTYARD** 

44 SEATS EXISTING **ELECTRICAL SERVICE** 33' - 0" ADA POURED CONCRETE RAMP; REFER TO CIVIL FOR MORE INFO EXISTING UTILITY POLE 5' - 0" 11' - 5"

4' - 0" | 4' - 0" | 4' - 0" | 4' - 0" | 4' - 0" 2' - 0"

**■** LEVEL-01 - NEW EXTERIOR COURTYARD PLAN

6 SECTION ELEVATION

SCALE: 3/8" = 1'-0"

GALVANIZED STEEL CAP, PAINTED

PSL BEAM, SEE STRUCTURAL FOR MORE DETAILS

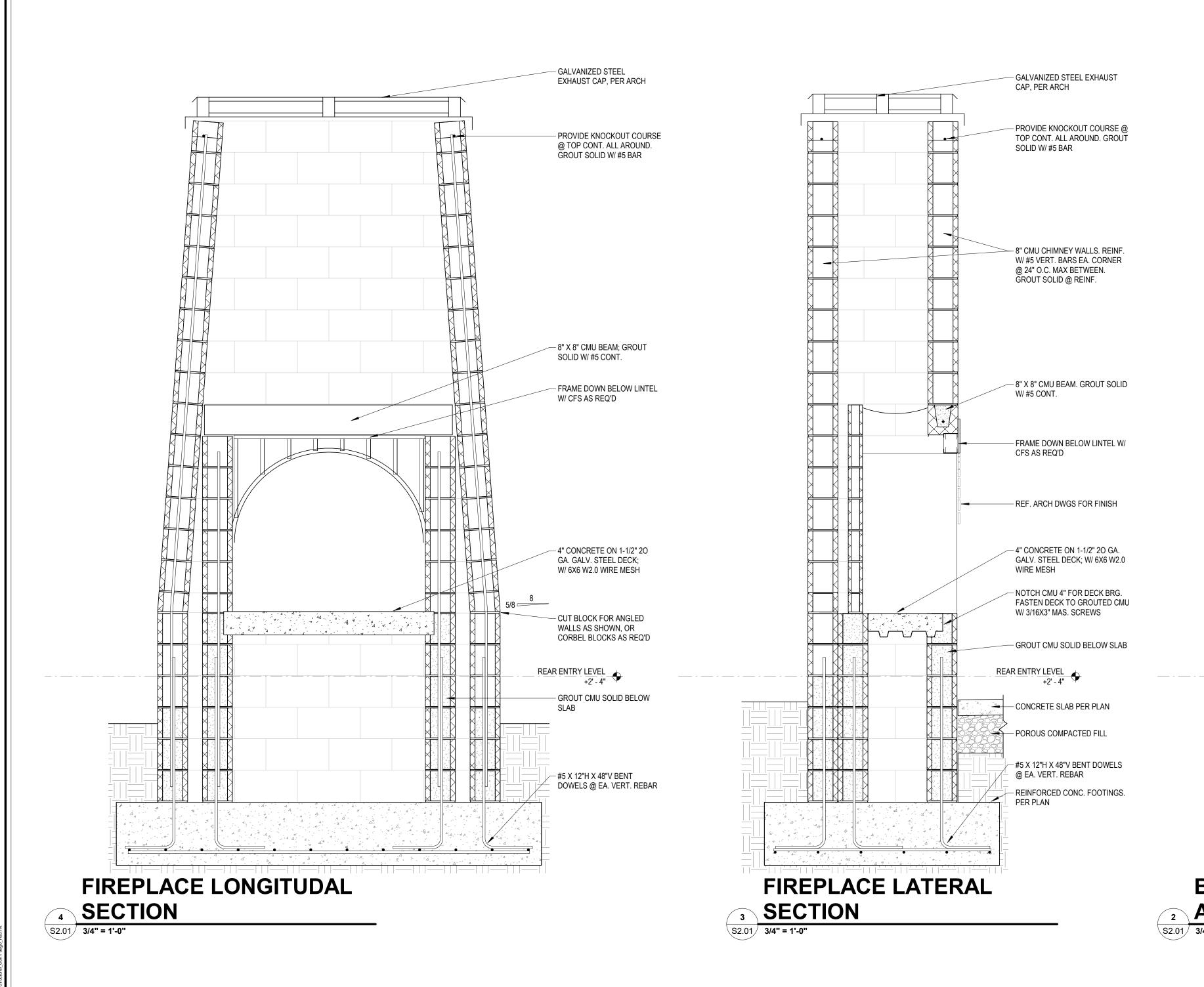
**REAR ENTRY** 

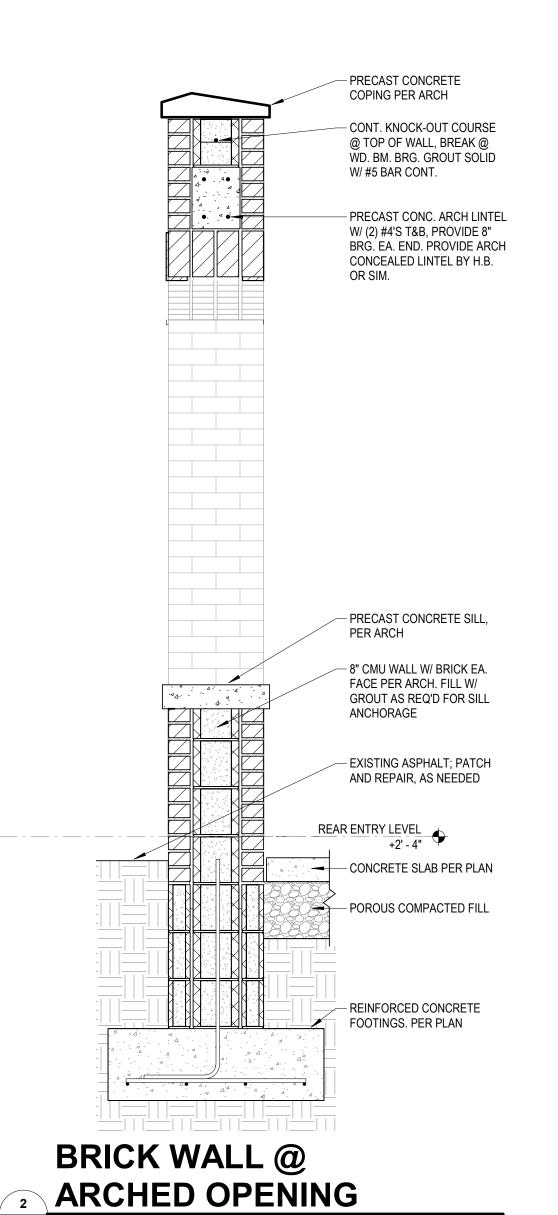
 $3 \frac{\text{WEST ELEVATION}}{\text{SCALE: } 1/8" = 1'-0"}$ 

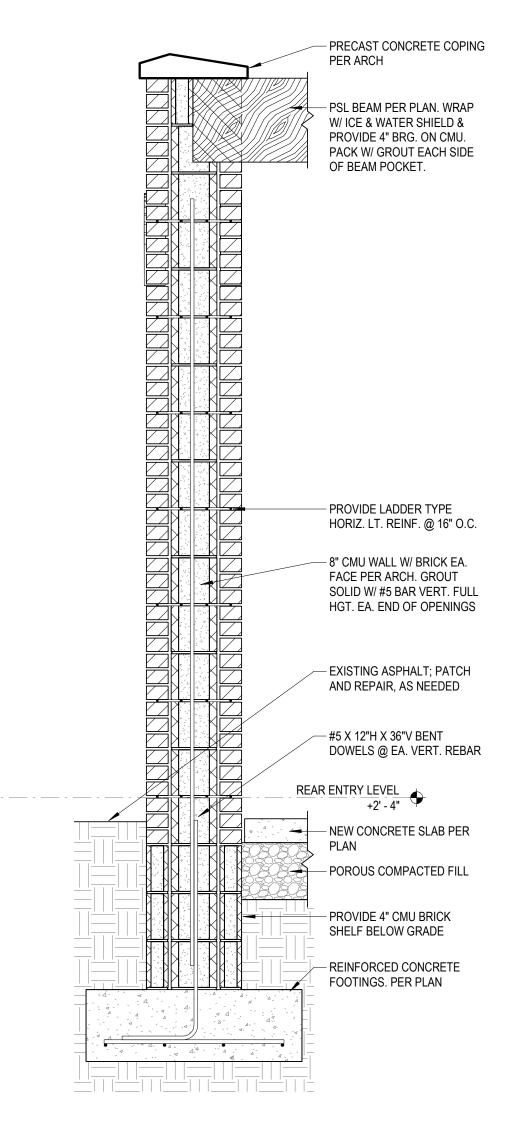
4 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

REAR ENTRY
- - LEVEL
2' - 4"







BRICK WALL @ BEAM

S2.01 3/4" = 1'-0"

BALZER & ASSOCIATES PLANNERS / ARCHITECTS ENGINEERS / SURVEYORS Roanoke / Richmond

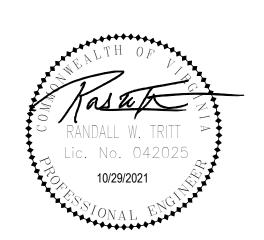
> 15871 City View Drive Suite 200 Midlothian, VA 23113 804.794.0571

New River Valley / Staunton Harrisonburg / Lynchburg www.balzer.cc



PROJECT NAME: 5811 GROVE AVENUE

5811 GROVE AVENUE RICHMOND, VA 23226



 DRAWN BY:
 LCO

 DESIGNED BY:
 RWT

 CHECKED BY:
 RWT

 DATE:
 10/29/2021

 SCALE:
 3/4" = 1'-0"

**REVISIONS:** 

SHEET:

**WALL SECTIONS** 

S2.01

## **SITE STATISTICS:**

Parcel ID: W0210358006
Parcel Address: 5811 GROVE AVE.

Parcel Total Area: 0.594 AC.

Parcel Owner/Developer: O&B INC. C/O GEORGE OLEY Zoning: UB-PO1

Existing Use: COMMERCIAL RESTAURANT
Proposed Use: COMMERCIAL RESTAURANT
Parking Use: COMMERCIAL RESTAURANT

Existing Water: PUBLIC (NO CHANGE)
Existing Sewer: PUBLIC (NO CHANGE)
\* No utility connections proposed for project.

THE PROPOSED PROJECT CONSISTS OF A CONCRETE SLAB AND MASONRY

LAND DISTURBANCE ASSOCIATED WITH THIS PROJECT IS APPROXIMATELY

ENCLOSURE FOR THE EXPANSION OF THE OUTDOOR DINING AREA. THE

1352 SF AND DOES NOT REQUIRE A LAND DISTURBING PERMIT.

**EROSION AND SEDIMENT CONTROL QUANTITIES** 

100 LF

**Required Permits: Building Permit** 

PROJECT DESCRIPTION

SILT FENCE

# SITE PLAN FOR CATURA RESTAURANT

PATIO EXPANSION
CITY OF RICHMOND, VA
AUGUST 18, 2021



VICINITY MAP
(NOT TO SCALE)

## **CONTACT INFORMATION:**

Engineer/Surveyor: Parker Design Group

1915-B West Cary Street Richmond, VA 23220 Contact: Michael Sheets

ph. 804.358.2947

Owner: O&B INC.

C/O GEORGE OLEY 9030 Three Chopt Road, Suite A Richmond, VA 23229 Contact: <del>David Perel</del> ph. <del>804.350.0564</del>

## **SHEET INDEX:**

C01 COVER SHEET

C02 EXISTING CONDITIONS AND DEMOLITION PLAN

C03 ZONING & PARKING MAP

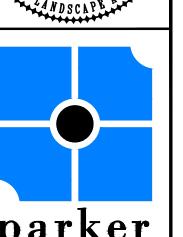
SITE LAYOUT, GRADING PLAN & SITE DETAILS

## LEGEND:

CONCRETE

ASPHALT PAVING

## J.CLAYTON GROGAN, JR. Lic. No. 000855 9/24/2021



PLANNERS • LANDSCAPE ARCHITECT
2122 Carolina Ave, SW
Roanoke, VA 24014
(540)-387-1153

1915—B W. Cary Street Richmond, VA 23220 (804)—358—2947

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## **GENERAL NOTES:**

- 1. THE MINIMUM REQUIRED DENSITY FOR ALL COMPACTION SHALL BE 95 PERCENT OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN ±2 PERCENT OF THE OPTIMUM. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPACTED FILL IS SUITABLE FOR BUILDING CONSTRUCTION.
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET COMPLIANCE REQUIREMENTS WITH SECTION 59.1-406, ET SEQ. OF THE CODE OF VIRGINIA (OVERHEAD HIGH VOLTAGE LINES SAFETY ACT)
- 59.1—406, ET SEQ. OF THE CODE OF VIRGINIA (OVERHEAD HIGH VOLTAGE LINES SAFETY ACT

  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE

  RECUMBING CONSTRUCTION
- 4. ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES. VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING
- 6. CONTRACTOR SHALL OBTAIN PERMISSION FOR ANY OFFSITE GRADING, EROSION AND SEDIMENT
- CONTROL MEASURES, AND CONSTRUCTION.
  7. RIGHTS—OF—WAY, LOT LINES, AND EASEMENTS ARE DEDICATED ON PLATS SEPARATE FROM THE
- 8. A PRE-CONSTRUCTION CONFERENCE SHOULD BE SCHEDULED WITH THE CITY ENGINEERING DIVISION, TO BE HELD AT LEAST 48 HRS PRIOR TO ANY CONSTRUCTION. THE CERTIFIED
- RESPONSIBLE LAND DISTURBER MUST ATTEND THE PRE—CONSTRUCTION CONFERENCE.

  9. MEASURES TO CONTROL EROSION AND SILTATION MUST BE PROVIDED PRIOR TO PLAN APPROVAL.

  PLAN APPROVAL IN NO WAY RELIEVES THE DEVELOPER OR CONTRACTOR OF THE
- RESPONSIBILITIES CONTAINED WITHIN THE EROSION AND SILTATION CONTROL POLICIES.

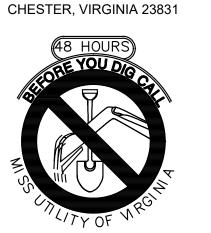
  10. AN APPROVED SET OF PLANS AND ALL PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION
- 11. FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.
  12. ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS OF THE
- ROADWAY BEFORE PLACING EMBANKMENT.

  13. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON SITE. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS.
- 14. IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD
- AND DUST FREE CONDITION AT ALL TIMES.

  15. THE DEVELOPER AND/OR CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS, ADVISING THEM THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO
- 16. CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO (2), BUT NOT MORE THAN TEN (10) WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE
- NOT MORE THAN TEN (10) WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THRU "MISS UTILITY": 1-800-552-7001.

  17. FIELD CORRECTIONS SHALL BE APPROVED BY THE CITY OF RICHMOND PRIOR TO SUCH
- CONSTRUCTION.
  18. 100 YEAR FLOODWAY AND FLOODPLAIN INFORMATION SHALL BE SHOWN WHERE APPLICABLE.

Miss Utility of Virginia
204 RIVERS BEND BOULEVARD



BEFORE YOU DIG ANYWHERE IN VIRGINIA! CALL 1-800-552-7001 VA LAW REQUIRES 48 HOURS NOTICE BEFORE YOU EXCAVATE.

## TURA PATIO EXPANSIO 11 GROVE AVENUE

REVISIONS

City Comments 9/24/21

DESIGNED BY: JCG

DESIGNED BY: JCG

DRAWN BY: MGM

CHECKED BY: JCG

SCALE: N/A

18 AUGUST, 2021
PROJECT NUMBER:
21-5002-02

COVER SHEET

C01

LOCAL APPROVALS:

# UNDERGROUND ELECTRIC, TELEPHONE, GAS, WATER, ETC. THE OWNER(S). EX. ELEC. PANEL TO REMAIN -

## **GENERAL DEMOLITION NOTES:**

1) THE CONTRACTOR SHALL PROVIDE AT LEAST THE FOLLOWING PROTECTIONS AT THE JOB SITE:
MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED, SUCH AS OVERHEAD AND

2) ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS. 3) PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COSTS TO

4) MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DÉMOLITION OPERATIONS, PREVENT INTERRUPTION OF SERVICES. PROVIDE TEMPORARY SERVICES DURING

INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES. 5) USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT POLLUTION TO THE LOWEST

PRACTICAL LEVEL. 6) COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

7) PERMITS, FEES, AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.

8) ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CONCRETE, CURB, AND OTHER STRUCTURES AS MAY BE REQUIRED.

9) THE SITE SHALL BE CLEARED AND SELECTED ITEMS REMOVED AS SHOWN WITHIN THE LIMITS OF DISTURBANCE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL SAW-CUT CURB, PAVEMENT, ETC. AT ALL PLACES WHERE NEW CONSTRUCTION JOINS THE EXISTING. RESEED, MULCH & TACK DISTURBED AREAS OUTSIDE OF COMPACTOR PAD.

10) CONTRACTOR SHALL ENSURE FILL IS COMPACTED TO 95% STANDARD PROCTOR.

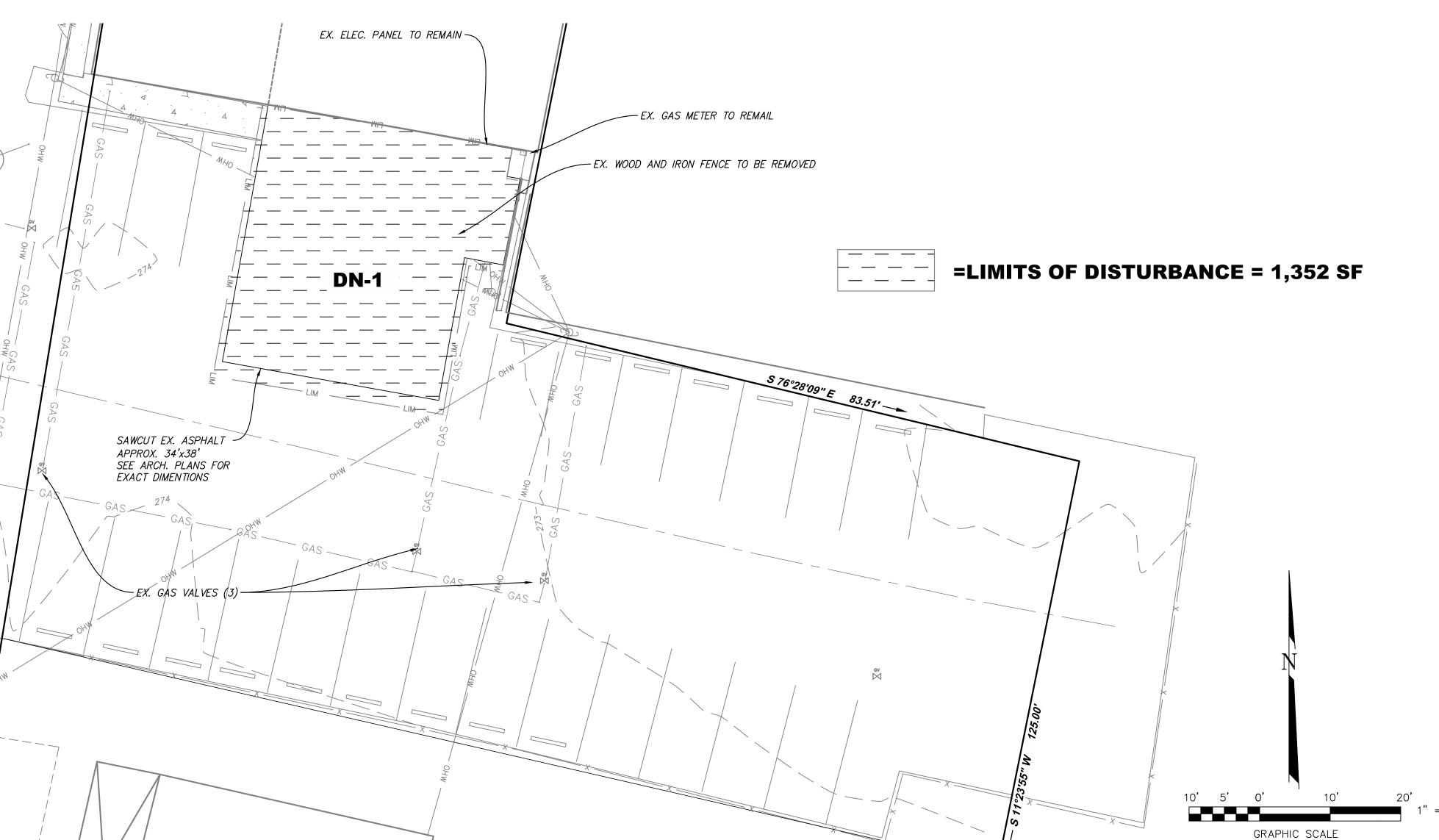
11) CONTRACTOR SHALL CONFIRM LOCATION OF EXISTING UTILITIES WITH MISS UTILITY BEFORE COMMENCING WORK.

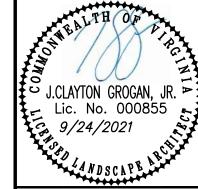
## **SURVEY NOTES:**

- 1. SOURCE OF MERIDIAN: VIRGINIA STATE PLANE, SOUTH ZONE, (NAD 83) BASED UPON GPS
- 2. VERTICAL DATUM: NAVD 88 BASED UPON GPS.
- 3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR TITLE REPORT AND ALL EASEMENTS AND ENCUMBRANCES THAT MIGHT BE DISCLOSED IN A TITLE SEARCH MAY NOT BE SHOWN.
- 4. THE SUBJECT PROPERTY IS WITHIN AN AREA OF MINIMAL FLOOD HAZARD, ZONE X, AS SHOWN ON THE FEMA FIRM PANEL #5101290019D WITH AN EFFECTIVE DATE OF APRIL 2,
- 5. CONTOUR INTERVAL: 1-FT
- 6. PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD INFORMATION.

## SITE SPECIFIC DEMOLITION NOTES:

DN-1 CONTRACTOR SHALL REMOVE EXISTING CURB AND GUTTER, ASPHALT, AND SIDEWALK







■ DESIGN GROUP ENGINEERS • SURVEYORS PLANNERS • LANDSCAPE ARCHITECT 2122 Carolina Ave, SW Roanoke, VA 24014 (540) - 387 - 1153

1915—B W. Cary Street Richmond, VA 23220

(804) - 358 - 2947www.parkerdg.com

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# CATURA PAT 5811 GROVE

REVISIONS

City Comments 9/24/21

JCG

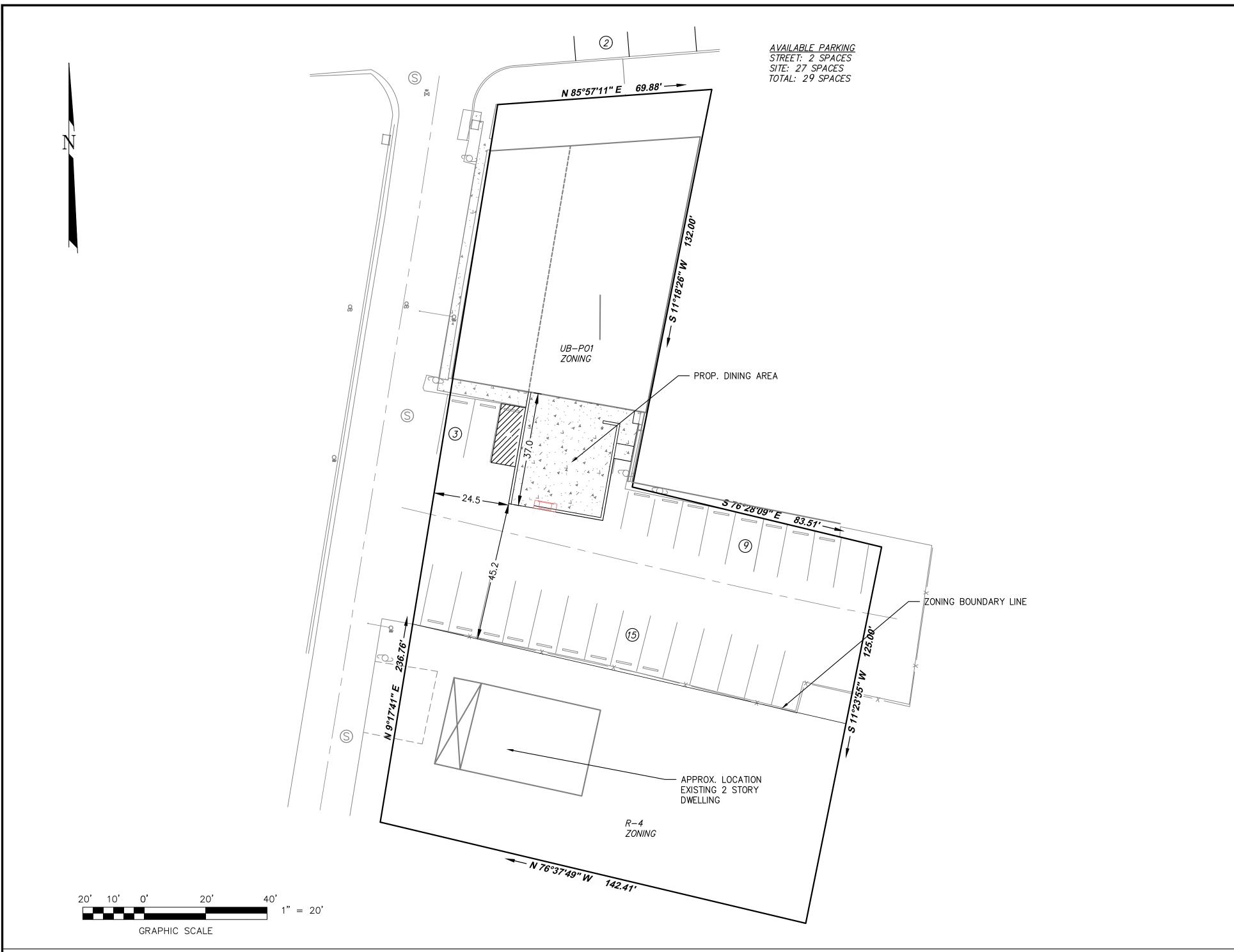
CHECKED BY:

JCG 1"=10'

18 AUGUST, 2021 PROJECT NUMBER:

21-5002-02

**EXISTING CONDITIONS 8 DEMOLITION PLAN** 



ZONING & PARKING MAP

## **GENERAL DEMOLITION NOTES:**

THE OWNER(S).

1) THE CONTRACTOR SHALL PROVIDE AT LEAST THE FOLLOWING PROTECTIONS AT THE JOB SITE:
MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED, SUCH AS OVERHEAD AND UNDERGROUND ELECTRIC, TELEPHONE, GAS, WATER, ETC.

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5) USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT POLLUTION TO THE LOWEST PRACTICAL LEVEL.

6) COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

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CATURA PATIO EX 5811 GROVE AVEN

REVISIONS

City Comments 9/24/21

CHECKED BY: JCG 1"=10'

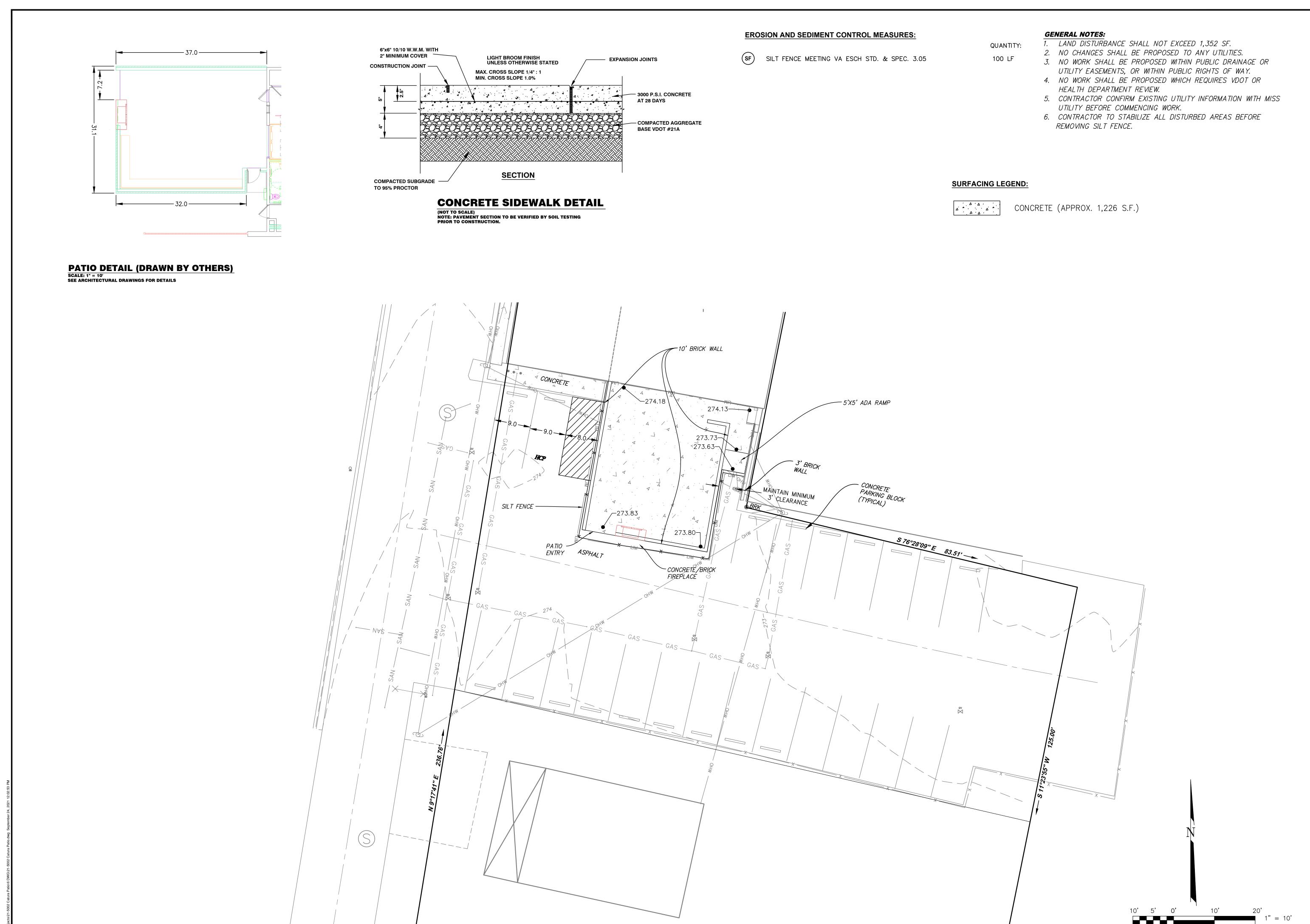
18 AUGUST, 2021

PROJECT NUMBER: 21-5002-02

**ZONING & PARKING** 

03 OF 5

GRAPHIC SCALE







DESIGN GROUP
ENGINEERS • SURVEYORS
PLANNERS • LANDSCAPE ARCHITECTS

2122 Carolina Ave, SW
Roanoke, VA 24014
(540)-387-1153

1915-B W. Cary Street

Richmond, VA 23220
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CATURA PATIO EXPANSION 5811 GROVE AVENUE

REVISIONS

City Comments 9/24/21

ESIGNED BY:

MGM
CHECKED BY:
JCG

E: 18 AUGUST, 202

18 AUGUST, 2021 PROJECT NUMBER:

21-5002-02 SHEET TITLE:

SITE LAYOUT, GRADING PLAN & SITE DETAIL

C04
04 OF 5

GRAPHIC SCALE