

INTRODUCED: January 24, 2022

AN ORDINANCE No. 2022-024

As Amended

To authorize the special use of the property known as 1801 Carlisle Avenue for the purpose of two two-family detached dwellings, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: FEB 28 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 1801 Carlisle Avenue, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of two two-family detached dwellings, which use, among other things, is not currently allowed by section 30-410.1 of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause

AYES:            9            NOES:            0            ABSTAIN: \_\_\_\_\_

ADOPTED:    MAR 14 2022    REJECTED: \_\_\_\_\_    STRICKEN: \_\_\_\_\_

an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1801 Carlisle Avenue and identified as Tax Parcel No. E011-0205/023 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Improvements on Lot 5 and 6, Block 19, Plan of Montrose in Richmond, VA,” prepared by Joliffe & Associates, Inc., and dated March 19, 2004, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of two two-family detached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “1801 Carlisle Avenue Duplex, Richmond, VA 23223,” prepared by Penn & Company, dated August 3, 2019, and last revised [~~October 17, 2021~~] February 23, 2022, and hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as two two-family detached dwellings, substantially as shown on the Plans.

(b) No less than two off-street parking spaces shall be provided for each two-family detached dwelling, which parking spaces shall be accessed from the alley abutting the Property.

(c) All building materials and site improvements, including, but not limited to, building finishes and landscaping, shall be substantially as shown on the Plans.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(e) Prior to the issuance of any certificate of occupancy for the Special Use, the division of two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

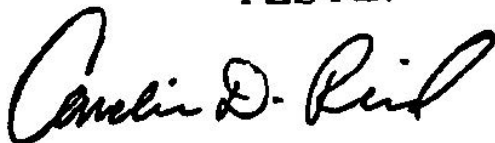
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:**

**TESTE:**

A handwritten signature in black ink, appearing to read "Carolin D. Reed". The signature is fluid and cursive, written over the printed name.

**City Clerk**



# City of Richmond

## Item Request File Number: PRE.2021.926

RECEIVED  
By City Attorney's Office at 2:57 pm, Dec 21, 2021

RECEIVED  
By CAO Office at 8:44 am, Dec 20, 2021

2021-529

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.rva.gov

### O & R Request

**DATE:** December 10, 2021

**EDITION:** 1

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)  
(This in no way reflects a recommendation on behalf of the Mayor)

**THROUGH:** J.E. Lincoln Saunders, Chief Administrative Officer

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

**FROM:** Kevin J. Vonck, Director, Dept. of Planning and Development Review

**RE:** To authorize the special use of the property known as 1801 Carlisle Avenue for the purpose of two two-family detached dwellings, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_

**PURPOSE:** To authorize the special use of the property known as 1801 Carlisle Avenue for the purpose of two two-family detached dwellings, upon certain terms and conditions.

**REASON:** The applicant is requesting a special use permit to authorize the use of the property as two two-family dwellings. Two-family dwellings are not permitted in the R-5 Single-Family Residential District. There is an existing nonconforming two-family dwelling on western portion of the lot, and the applicant is requesting to split the lot and construct a second two family dwelling on the western portion of the existing lot.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its February 7, 2022, meeting.

**BACKGROUND:** The subject property contains a lot area of approximately 10,108 square feet and is improved with a two story two-family detached dwelling. The R-5 District does not permit two-family dwellings. The existing two-family dwelling is legally nonconforming ("grandfathered").

Richmond 300 recommends a future land use of “Residential” for the property. The primary uses recommended for Residential are single family homes, accessory dwelling units and open space. Secondary uses include duplexes and small multi-family buildings (3-10 units), institutional and cultural uses. These uses should typically be located on major streets. The development style for Residential is houses on medium or large sized lots with homes setback from the street. Future development should continue or introduce a gridded pattern of development and new buildings should be built to a scale and design that is consistent with existing buildings. Buildings are generally one to three stories, with lots generally ranging up to 5,000 SF to 20,000 SF. General density should be 2-10 units per acre.

The property falls within the Fulton Neighborhood Node. This area is envisioned to become a neighborhood destination with a mix of uses, including mixed-income housing. The character of the surrounding single-family neighborhoods should be preserved with programs that allow homeowners to live in high-quality homes and programs that increase homeownership opportunities. Primary next steps for the area are to rezone the Fulton Node in accordance with the Future Land Use Map and to implement high-frequency transit along Williamsburg Road to the airport with a transit stop at the intersection of Government Road and Williamsburg Road.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City’s budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No

**REVENUE TO CITY:** \$300 application fee

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** January 10, 2022

**CITY COUNCIL PUBLIC HEARING DATE:** February 14, 2022

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission  
February 7, 2022

**AFFECTED AGENCIES:** Office of Chief Administrative Officer  
Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**REQUIRED CHANGES TO WORK PROGRAM(S):** None

**ATTACHMENTS:** Draft Ordinance, Application Form, Applicant’s Report, Plans, Survey, Map

**STAFF:** Richard Saunders, Senior Planner, Land Use Administration (Room 511) 646-4856





## Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304  
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- ☒ **special use permit, new**  
☐ **special use permit, plan amendment**  
☐ **special use permit, text only amendment**

### Project Name/Location

Property Address: 1801 Carlisle Avenue Date: \_\_\_\_\_

Tax Map #: E0110205023 Fee: 300

Total area of affected site in acres: 0.233

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

### Zoning

Current Zoning: R-5

Existing Use: One (1) two-family detached dwelling

### Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

One (1) additional two-family detached dwelling

Existing Use: One (1) two-family detached dwelling

Is this property subject to any previous land use cases?

Yes

☐

No

☒

If Yes, please list the Ordinance Number: \_\_\_\_\_

**Applicant/Contact Person:** Mark Baker / Charlie Wilson

Company: Baker Development Resources

Mailing Address: 530 East Main Street, Suite 730

City: Richmond State: VA Zip Code: 23219

Telephone: (804) 874-6275 Fax: ( )

Email: markbaker@bakerdevelopmentresources.com

**Property Owner:** PEELER ANDREW AND BOOHER BRADLEY

If Business Entity, name and title of authorized signee: \_\_\_\_\_

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 9213 CREMINS CT

City: MECHANICSVILLE State: VA Zip Code: 23116

Telephone: (804) 357-8248 Fax: ( )

Email: apeele01@icloud.com

**Property Owner Signature:**  Andrew Peeler

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

# APPLICANT'S REPORT

*July 20, 2021*

*Special Use Permit Request  
1801 Carlisle Avenue, Richmond, Virginia  
Map Reference Number: E011-0205/023*

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Submitted to:

**City of Richmond**

Department of Planning and Development Review  
Land Use Administration  
900 East Broad Street, Suite 511  
Richmond, Virginia 23219

Submitted by:

**Baker Development Resources**

530 East Main Street, Suite 730  
Richmond, Virginia 23219

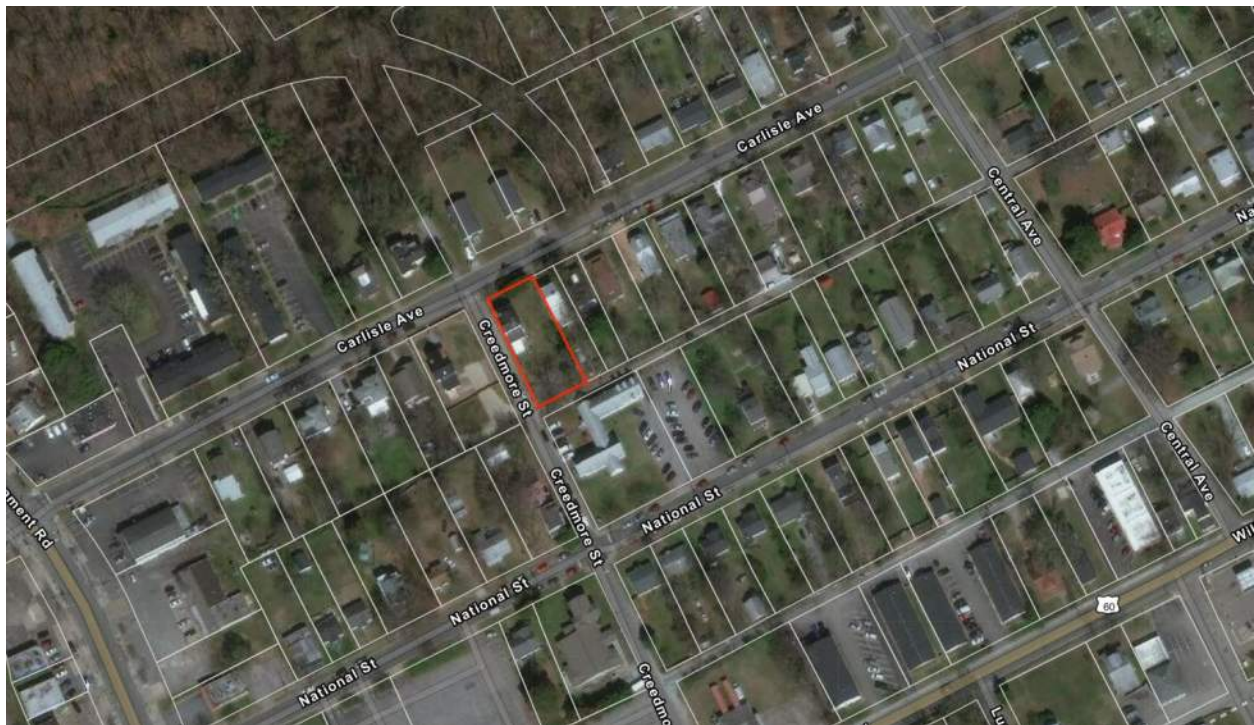
## Introduction

The property owner is requesting a special use permit (the "SUP") for 1801 Carlisle Avenue (the "Property"). The SUP would authorize the construction of a new, two-family detached dwelling on the vacant eastern portion of the Property, which does not conform to the underlying R-5 Single-Family Residential district zoning requirements applicable to the Property.

## Existing Conditions

### SITE DESCRIPTION AND EXISTING LAND USE

The Property is located on the south side of Carlisle Avenue at its intersection with Creedmore Street and consists of two lots from Block 19 of the original Montrose Subdivision. The Property is referenced by the City Assessor as tax parcel E011-0205/023, is roughly 66' wide by 153' in depth and contains approximately 10,142 square feet of lot area. The Property is currently improved with a two-family detached dwelling located on the eastern portion of the Property adjacent to Creedmore Street. Per the City of Richmond Assessor's records, the existing structure on the lot is two stories in height and includes 1,763 square feet of floor area. Access is provided by means of an east-west alley located to the rear of the Property.



Properties along Carlisle Avenue between Government Road and Central Avenue are developed with a range of uses. Single-family dwellings in the area are a mixture of one- and two-story dwellings located on lots ranging from approximately 91 feet in width at the intersection of Carlisle Street and Central Avenue to 30 feet in width immediately adjacent to the subject Property. To the north and west of the Property, across Creedmore Street and Carlisle Avenue lies a two-family detached dwelling. Further west along Carlisle exists a large, multi-family apartment complex. To the rear of the Property, across the public alley, lies the Restoration Fellowship Christian Center.

## **EXISTING ZONING**

The Property and those in the immediate vicinity are zoned R-5 Single-Family Residential. Properties to the west lie within an R-48 Multifamily Residential district. Along Government Road to the west and south, lies a B-2 Community Commercial zoning district. To the south and west of the Property along Creedmore Street and Williamsburg Road are properties that are zoned RO-2 Residential-Office District.

## **MASTER PLAN DESIGNATION**

The Richmond 300 Master Plan (the “Master Plan”) suggests “Residential” use for the Property. This future land use designation allows for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages developments that reinforce a gridded street pattern to increase connectivity. Two-family dwellings (“duplexes”) are contemplated as a secondary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to “Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options.”
  - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to “Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers.”
  - d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).
- Page 150 (Inclusive Housing Chapter), Objective 14.1 to “Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city.”
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.4 to “Increase the number of mixed-income communities along enhanced transit corridors.”
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to “Encourage more housing types throughout the city and greater density along enhanced transit corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning Ordinance. “
  - e) Allow the development of middle housing (2- to 4- unit buildings) by-right within 1/2 mile of high-frequency transit stops.

- Page 155 (Inclusive Housing Chapter), Objective 14.8 to “Develop inclusionary and equitable housing options for our gentrifying neighborhoods to prevent involuntary displacement.”
- Page 159 (Thriving Environment Chapter) Objective 15.1 to “Reduce air pollution related to transportation.”
  - a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).
- Page 86 (High-Quality Places Chapter), Objective 1.4, to “maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards”
- Page 100 (High Quality Places Chapter), Objective 4.1, to “create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City,” as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

## Proposal

### PROJECT SUMMARY

The proposed development includes the construction of one two-family detached dwelling on the vacant western portion of the Property.

### PURPOSE OF REQUEST

While the Property is a single legal lot of record from a zoning perspective, it includes two original subdivision lots from the Montrose Subdivision. For that reason, the Property is large for the area. A two-family dwelling exists on the eastern most original subdivision lot. The Property owner would now like to construct a two-family detached dwelling on the vacant portion of the Property, which includes the western most original subdivision lot. While two-family and multifamily dwellings exist within the neighborhood, the R-5 district does not permit the proposed use, therefore, a SUP is required.

The proposed two-family use is found within the surrounding area including the property immediately across the intersection of Carlisle and Creedmore. Likewise, the proposed lot width and area are compatible with other lots in the vicinity, which range from approximately 30 feet in width to over 90 feet. Based on this historic development and lot pattern many lots in the vicinity were developed as single subdivision lots and are nonconforming with regard to lot area, lot width and, in some cases, use. That is consistent with what is being requested here.

In exchange for the SUP, the intent of this request is to ensure a high-quality infill development that is consistent with the objectives of the Master Plan. The overall project would be appropriately efficient and would be compatible with the existing development in the vicinity. The quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.

## PROJECT DETAILS

The proposed two-family dwelling has been designed to be compatible with other dwellings in the area. It would be two stories in height and the building design is intended to respect the traditional building styles found in the vicinity. To remain consistent with the existing buildings in the area, the dwelling has been designed with a single front door in order to present as a single-family dwelling from the street.

The dwellings would be configured as flats, with each dwelling unit occupying a floor and including approximately 1,280 Square feet of finished floor area. Entry to each unit would be provided from a first-floor foyer accessed from the covered front porch. Each dwelling unit would have two bedrooms and two baths. Bedrooms would be located at the front and rear of the units with an open living area in the center. Other amenities including washer and dryer and substantial storage space. The dwellings will be constructed with quality building materials, including cementitious horizontal lap siding, that provide durability and consistency with other siding types found in the area. Two parking spaces, accessible from the rear alley, will be provided for the dwelling.

## Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed special use permit for high-quality infill construction will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The negligible traffic generation related to the proposed dwellings and the proposed off-street parking will result in no congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed special use permit will not tend to over crowd the land or create an undue concentration of population.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The special use permit would not adversely affect the above referenced City services.

- ***Interfere with adequate light and air.***

The light and air available to the subject and adjacent properties will not be affected. The proposed dwellings are of compatible massing and spacing to the existing dwellings throughout the neighborhood. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.

## Summary

In summary we are enthusiastically seeking approval for the construction of a two-family detached dwelling. The dwelling has been thoughtfully designed in order to provide appropriate, high quality infill development. The request offers compatibility with goals contained within the City's Master Plan and is consistent with the historic use of the property. The request would contribute to the ongoing revitalization of the neighborhood, upgrading the Property while maintaining a desirable variation in housing style and density in the vicinity and providing for continued economic diversity in housing options within the neighborhood. It will help encourage a pedestrian friendly traditional neighborhood streetscape in the vicinity. This would contribute to the vibrancy of the block through the provision of additional street life in the form of pedestrian traffic. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.

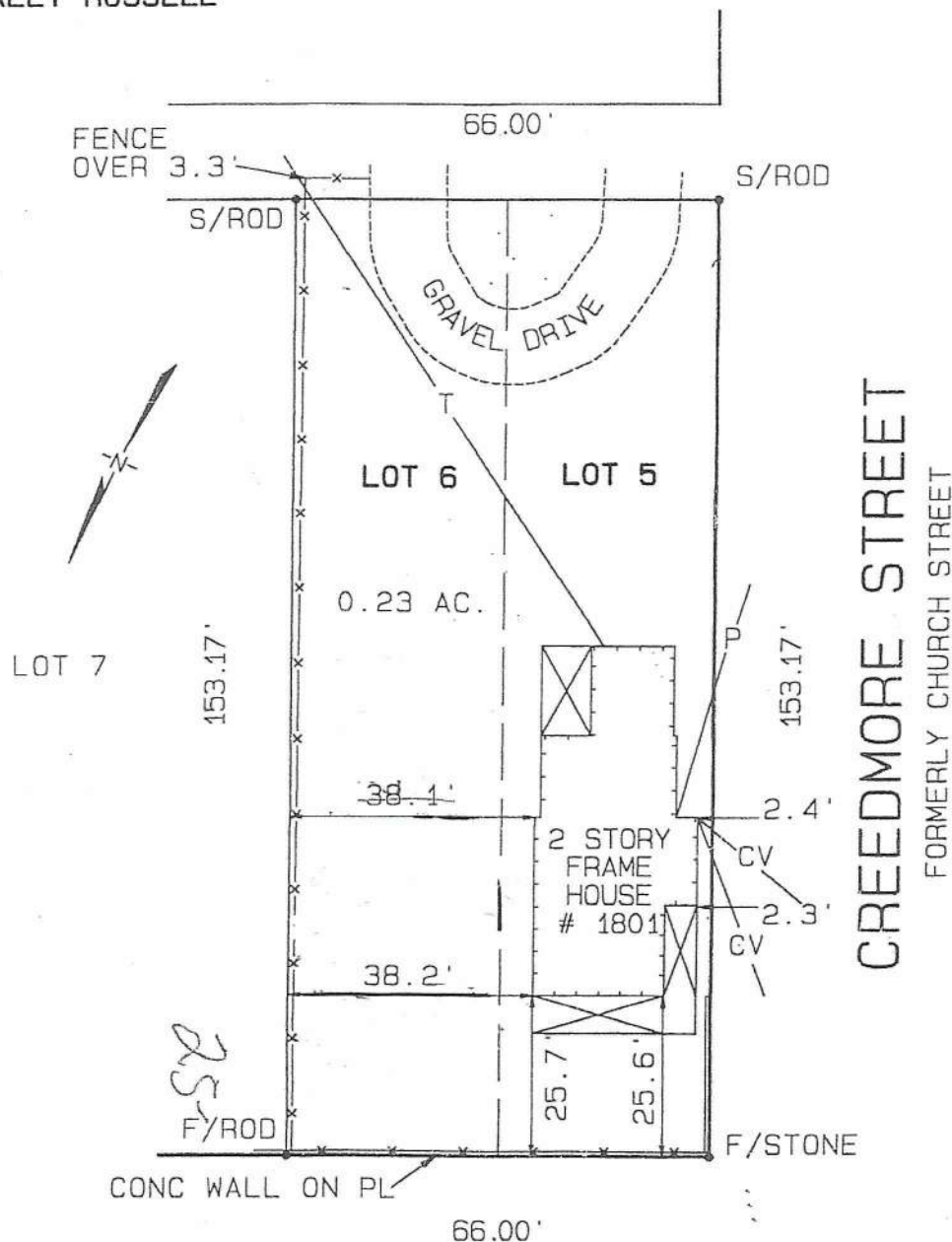


This is to certify that on 3-19-04 Jolliffe & Associates, Inc made a field survey of the premises shown hereon; that to the best of my knowledge and belief all improvements and visible evidence of easement are shown hereon, that there are no encroachments by improvements either from adjoining premises, or from subject premises other than as shown hereon. According to the current respective National Flood Insurance Program rate map, this house is located within zone C.  
 Power is ☐ underground, ☒ overhead; Telephone is ☐ underground ☒ overhead.  
 New ☐ Percent complete \_\_\_\_\_ %; Old ☒

*[Handwritten signature]*

RE: SALLY RUSSELL

35 x in to Lot



CARLISLE AVENUE

IMPROVEMENTS ON LOT 5 AND 6, BLOCK 19, PLAN OF MONTROSE IN RICHMOND, VA.

DATE: 3-19-04

SCALE: 1" = 30'

FILE: RICH 26NE

JOLLIFFE & ASSOCIATES, INC  
 CERTIFIED LAND SURVEYORS  
 RICHMOND, VIRGINIA

THIS PLAT WAS MADE WITHOUT BENEFIT OF A TITLE SURVEY OR REPORT

BOOK NO: 457-052

BY: LHH





CITY OF RICHMOND

DEPARTMENT OF COMMUNITY DEVELOPMENT  
ZONING ADMINISTRATION

October 18, 2005

Michael Russell  
1801 Carlisle Avenue, Apt. A  
Richmond, VA 23231

**Re: 1801 Carlisle Avenue (Tax Map: E011-0205/023)**

Dear Mr. Russell:

Thank you for your request for a *Zoning Confirmation Letter* regarding the above referenced property. In response to your request, please be advised of the following:

The property is located within an R-5 (Single-Family Residential) zoning district, which does not permit two-family dwelling uses. According to City Assessor's records, the subject property has a lot width of sixty-six feet (66') and a lot depth of 153.67 feet, which results in a lot area of 10,098 square feet. According to deeds, the subject property has been conveyed as "All that certain, piece or parcel of land, with all improvements thereon and appurtenances thereto belonging, lying and being the City of Richmond, Virginia, known as 1801 Carlisle Avenue and designated as Lots 5 and 6, Block 19, Plan of Montrose...". The lot is deeded as one (1) independent lot of record and has been since, at least 1916.

As proposed, splitting the existing lot, which contains a nonconforming two-family dwelling and creating an additional lot for a single-family dwelling would not be permitted because the area of a lot on which a nonconforming use is located shall not be reduced unless authorized by the Board of Zoning Appeals (BZA). Requesting and obtaining a Special Exception with the BZA may be a possibility. For more information regarding the BZA process, please contact the Zoning Office at 646-6340. A filing fee of one hundred fifty dollars (\$150.00) would be necessary to docket this request.

A Certificate of Occupancy (C.O.) was issued on October 21, 1983, for a nonconforming two-family dwelling. However, each subsequent owner, provided there is no change in use, is required to obtain a Certificate of Zoning Compliance (Sec. 114-1020.2).

*faxing form*

*\$150 fee*

You are hereby advised that you have thirty (30) days from this notice in which to appeal this decision to the Board of Zoning Appeals, in accordance with §15.2-2311 of the Code of Virginia and §17.19 of the Richmond City Charter, or this decision shall be final and unappealable. The thirty (30) day period shall begin seven (7) calendar days from the date of this notice. Such appeal must be in writing and must be filed with the Secretary to the Board of Zoning Appeals. Said appeal shall indicate in specific terms the grounds for the appeal and must be accompanied by a filing fee of two hundred fifty dollars (\$250.00).

*applicable to these specific findings*



## Preliminary Site Plan Checklist

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
PDRLandUseAdmin@RVA.gov (804) 646-6304  
[www.RVA.gov](http://www.RVA.gov)

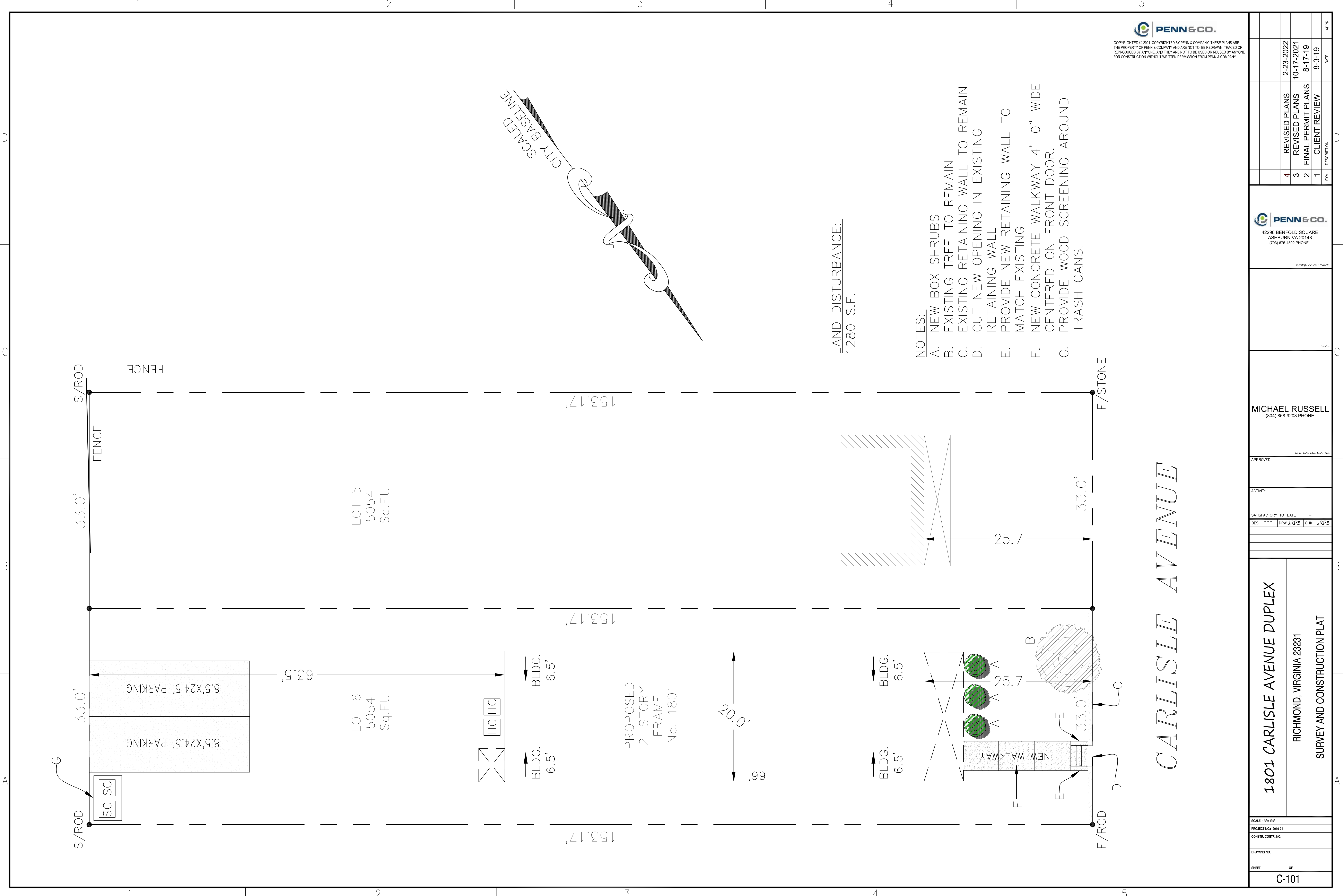
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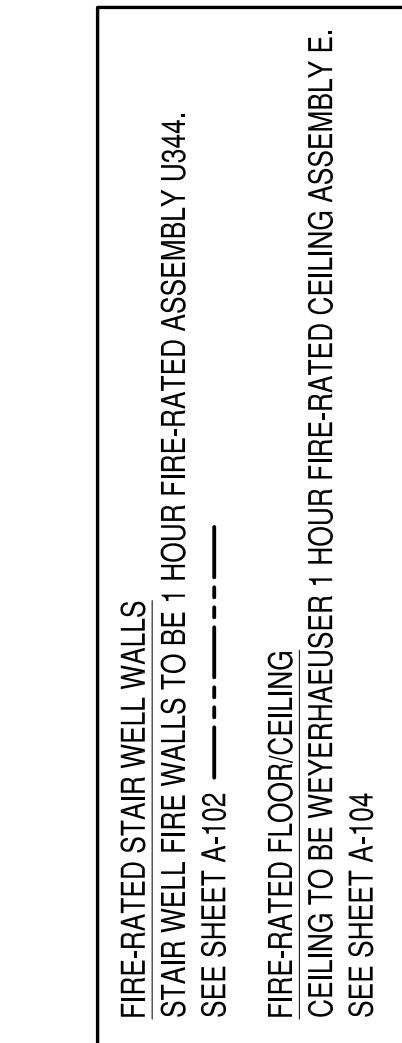
- ☐ ☐ Property Address
- ☐ ☐ Tax Map Reference Number
- ☐ ☐ Existing Use
- ☐ ☐ Proposed Use
- ☐ ☐ ITE traffic counts to determine if a Traffic Impact Analysis is required.
- ☐ ☐ Clearly identified site layout
- ☐ ☐ Clearly label all existing and proposed right-of-way
- ☐ ☐ Indicate the location, type, and dimensions public and private utilities; to include storm structures, manholes (with rim and invert elevations), vaults, pipe size and material, valves (water and gas), fire hydrants, light poles, transformers, back-flow preventers, grease and oil traps
- ☐ ☐ Indicate the location and dimensions of all existing and proposed entrances, exits, off-street parking areas, loading zones, handicapped spaces, interior drives, sidewalks and walkways
- ☐ ☐ Limits of water bodies, wetlands and Chesapeake Bay Preservations Area, encroachments, buildings, driveways, sidewalks, lighting, utility services, basins, signs, landscaping, underground structures, hydrants, etc. Note items to be removed or relocated.
- ☐ ☐ Proposed vehicular circulation plan, including: driveways, crosswalks, access aisles, parking areas, lots and decks, pedestrian drop-off areas, loading areas and docks and fire lanes.
- ☐ ☐ Proposed pedestrian circulation plans, including: types and locations of sidewalks, handicapped ramps, accessible aisles, handicapped lifts and entrances.
- ☐ ☐ Design speed for proposed roadways.
- ☐ ☐ Clearly identify all roadways to remain privately owned and maintained
- ☐ ☐ Detail showing roadway layout with ADT of each roadway labeled
- ☐ ☐ Location and width of proposed right-of-way lines.
- ☐ ☐ Appropriate Temporary Traffic Control (TTC)
- ☐ ☐ Identify all detour/alternate routes.
- ☐ ☐ Existing water and/or sewer lines are properly labeled with size and with horizontal and vertical distances referenced on the plan
- ☐ ☐ All existing easements are shown accurately and proposed utility easements are shown on plans. The existing easements reflect accurate recordation information.
- ☐ ☐ Location of existing houses, buildings, fences, wells and other structures are shown on plans. In lawn or kept areas, trees and shrubs in the easements are shown (size and type).
- ☐ ☐ At all existing manholes, the engineer has provided the manhole number as reflected on the as built drawings and the City project number associated with the existing manhole.
- ☐ ☐ Any and all existing water and sewer connections to the property are shown on plans.
- ☐ ☐ Adequate public right-of-way or public utility easements identified. All offsite easements or right-of-way must be obtained prior to plan approval with deed book and page references shown on the plans.
- ☐ ☐ Any and all existing connections to property are shown on plans.
- ☐ ☐ General location, height, and material for all fences, walls, screen plantings, berms, and peripheral landscaping. The dimensions of required perimeter and front buffer(s), if any, shall be shown.
- ☐ ☐ All existing trees shall be shown/labeled and state which trees are to remain in-place or will be removed for construction. Existing trees within the public right-of-way need to be identified with the City of Richmond tree site ID #.
- ☐ ☐ New tree planting on City property or within the public right-of-way is to be identified, tree species, spacing, tree wells, etc. shall conform to DPW standards.
- ☐ ☐ Proposed buildings and structures, including: Location on site, floor plans
- ☐ ☐ Building elevations, showing: Height, details and colors of finishing elements, exterior features (e.g., drive-thru windows, canopies, cornices, porches, decks, etc.)
- ☐ ☐ Show compliance with the 6 Design Elements of the Richmond 300 Master Plan












## FIRST FLOOR PLAN

1. ALL WALL FRAMING TO BE 2X4S AT 16" OC UNLESS OTHERWISE NOTED.
2. ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
3. ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
4. INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE KING SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
5. CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
6. DOOR SIZES PROVIDED AND WINDOWS DIMENSIONED ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER INSTALLERS REQUIREMENTS AND CLEARANCES.
7. PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINERY LOCATIONS. REQUIRED GRAB BAR LOCATIONS. CLOSET SHELVING AND WALL MOUNTED TV LOCATIONS.
8. CLOSETS' OTHER SURFACES NOT CALLED OUT OTHERWISE AHEAD FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.



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<b>1801 CARLISLE AVENUE DUPLEX</b>	
<b>RICHMOND, VIRGINIA 23231</b>	
<b>FOUNDATION AND FIRST FLOOR PLANS</b>	
SCALE: 1/8" = 1'-0"	
PROJECT NO.: 2019-01	
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET	OF
<b>A-100</b>	

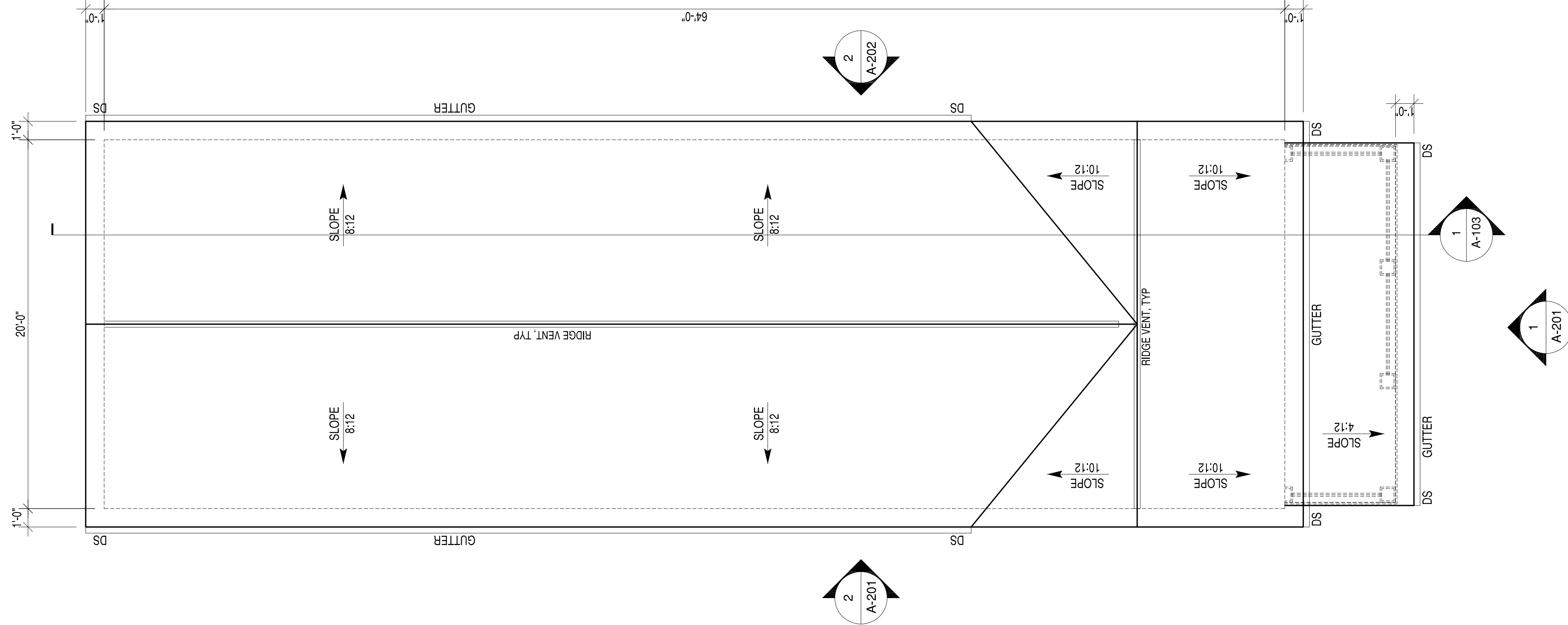
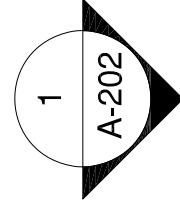
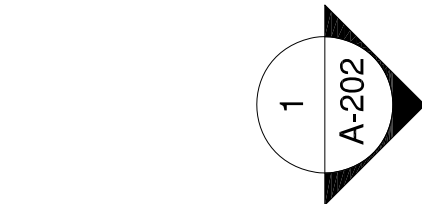
GENERAL CONTRACTOR			
APPROVED			
ACTIVITY			
SATISFACTORY TO DATE      —			
DES	---	DRW	CHK
		JRP3	JRP3

**MICHAEL RUSSELL**  
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 **PENN & CO.**  
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ASHBURN VA 20148  
(703) 675-4592 PHONE  
  
DESIGN CONSULTANT

SYN	DESCRIPTION	DATE	APPR
1	CLIENT REVIEW	8-3-19	
2	FINAL PERMIT PLANS	8-17-19	
3	REVISED PLANS	10-17-2021	
4	REVISED PLANS	2-23-2022	





## ROOF PLAN

PLAN NOTES

1. ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC, TYP UNLESS OTHERWISE NOTED.
2. 12" OVERHANGS AND 12" GABLE END EXTENSIONS, TYP.

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ACTIVITY			
SATISFACTORY TO DATE			
DES	---	DRW	JRP3
CHK	JRP3		

1801 CARLISLE AVENUE DUPLEX

RICHMOND, VIRGINIA 23231

## SECOND FLOOR AND ROOF PLAN

SCALE: 1/4"=1'-0"

DRAWING NO.

SHEET

A-101

WINDOW SCHEDULE					
MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES
DH01	DOUBLE HUNG	2'-8"	6'-0"	7'-10"	VINYL 3 OVER 1

1. GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS AND FRAMES.
2. ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
3. SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND 5.7 SQUARE FEET NET CLEAR OPENING.
4. NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
5. SAFETY GLAZING SHALL BE TEMPERED.

MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES
DR01	FRONT & REAR ENTRY	3'-0"	6'-8"	SINGLE DR. W/ 14" TRAN.	01	1/2 LITE STEEL, TEMPERED

1. GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO ORDERING DOORS AND FRAMES.
2. ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
3. ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
4. ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

1. (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

U344	1 HOUR			DS#
LOAD-BEARING	WOOD STUDS	INTERIOR PARTITION	N/A	N/A

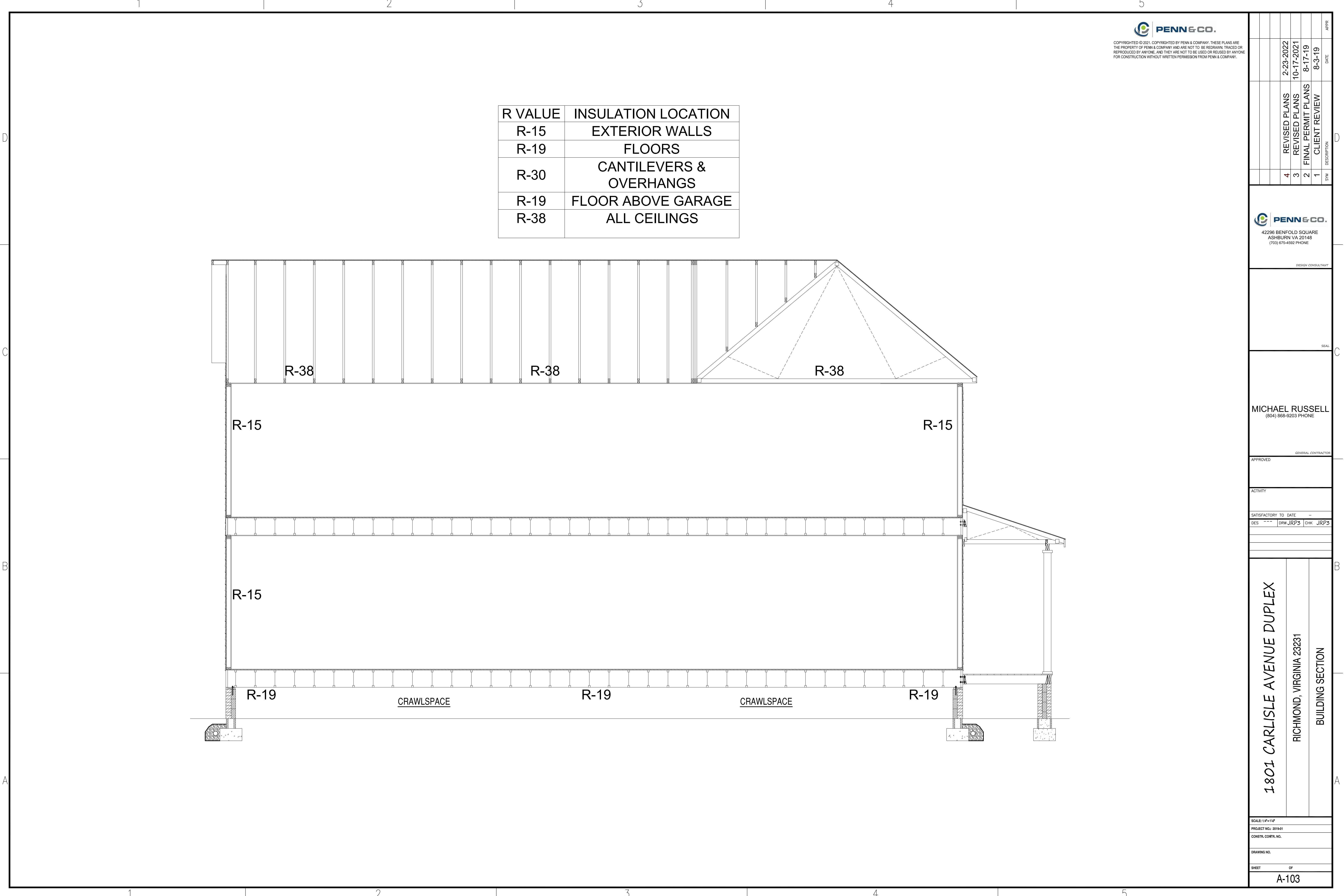
  

Diagram illustrating the cross-section of a 1-hour fire-rated partition wall. The wall is 5 7/32 in (132 mm) thick. The core is filled with a wavy pattern representing insulation or a fire-resistant material. The wall is supported by a base and has a top flange. Dimensions are given in inches and millimeters.


FIRE RATING:	1 HOUR
STC:	N/A
SOUND TEST:	N/A
SYSTEM THICKNESS:	5-7/32"

GYPSUM BOARD:  
WOOD STUDS:  
INSULATION:  
PLYWOOD SHEATHING:

5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.  
2 IN. X 4 IN. WOOD STUDS SPACED MAX. 24 IN. O.C.  
MIN. 3/12 IN. THICK FIBERGLASS FRICTION FIT.  
MIN. 1/2 IN. THICK PLYWOOD APPLIED VERTICALLY, WITH VERTICAL JOINTS  
CENTERED ON STUDS. SHEATHING ATTACHED TO STUDS WITH 6D CEMENT  
COATED STEEL BOX NAILS SPACED 12 IN. O.C. ALONG INTERIOR STUDS AND  
6 IN. O.C. AT PERIMETER.  
5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.



R VALUE	INSULATION LOCATION
R-15	EXTERIOR WALLS
R-19	FLOORS
R-30	CANTILEVERS & OVERHANGS
R-19	FLOOR ABOVE GARAGE
R-38	ALL CEILINGS

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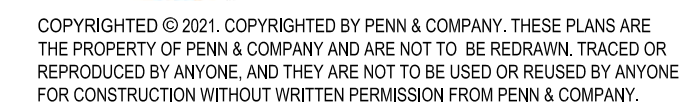
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DES: \*\*\* | DRW: JRP3 | CHK: JRP3

**1801 CARLISLE AVENUE DUPLEX**  
RICHMOND, VIRGINIA 23231  
BUILDING SECTION

SCALE: 1/4"=1'-0"  
PROJECT NO.: 2019-01  
CONSTR. CONTR. NO.:  
DRAWING NO.:  
SHEET: OF:  
**A-103**

SYN	DESCRIPTION	DATE	APPR
4	REVISED PLANS	2-23-2022	
3	REVISED PLANS	10-17-2021	
2	FINAL PERMIT PLANS	8-17-19	
1	CLIENT REVIEW	8-3-19	





- ## BLDG ELEVATION MATERIAL KEYNOTES

- 1 2 LAYER PARGED FOUNDATION WALLS, TYP.
- 2 HARDIPLANK/CEMENTITIOUS SIDING, TYP.
- 3 FIBER CEMENT SIDING TRIM AT CORNERS
- 4 WHITE PORCH LATTICE
- 5 WOOD "RICHMOND RAIL" RAILING, PAINT FINISH

- 6 4" SIDING DIVERTER STRIP, TYP.
- 7 1X6 WOOD DECKING W/ PAINTED BUILT-UP TRIM AT PORCH BAND BOARD.
- 8 8" SQUARE COLUMNS, TYP
- 9 1X6 PAINTED WOOD TRIM FASCIA
- 10 PVC FYPON WINDOW HEADERS

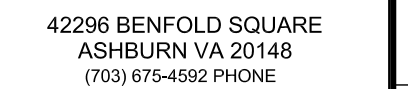
- |    |   |
|----|---|
| 11 | STEEL OR FIBERGLASS DOOR W/TRANSOM AND BRICK MOULD SURROUND |
| 12 | 60 MIL TPO ROOFING  |
| 13 | BRICK PIERS, TYP  |
| 14 | WOOD STEPS WITH 1X6 DECKING, TYP                            |
| 15 | BRICK TO GRADE, TYP   |

- 16 ARCHITECTURAL SHINGLES
- 17 VINYL BEADBOARD PANELING AT PORCH CEILING
- 18 RIDGE VENTS, TYP
- 19 PVC DENTIL MOULDING FYPON MLD354-12
- 20 PVC BRACKET FYPON BKT7X18
- 21 VENTS, SEE FOUNDATION PLAN

- ☐ 22 1X6 PAINTED RAKE BOARD
- ☐ 23 VINYL VENTED SOFFIT PANELING
- ☐ 24 GLASS GILDED HOUSE NUMBERS
- ☐ 25 4" TRIM, TYP
- ☐ 26 12"X32" FOUNDATION VENT
- ☐ 27 18"X24" GABLE VENT, TYP



SYN	DESCRIPTION	DATE	APPR
4	REVISED PLANS	2-23-2022	
3	REVISED PLANS	10-17-2021	
2	FINAL PERMIT PLANS	8-17-19	
1	CLIENT REVIEW	8-3-19	



DESIGN CONSULTANT

SEAL

**MICHAEL RUSSELL**  
(804) 868-9203 PHONE

GENERAL CONTRACTOR

APPROVED

ACTIVITY
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SATISFACTORY TO DATE			-
DES ---	DRW JRP3	CHK	JRP3

1801 CARLISLE AVENUE DUPLEX

RICHMOND, VIRGINIA 23231

FRONT AND LEFT ELEVATIONS

SCALE: 1/4"=1'-0"

PROJECT NO.: 2019-01

PROJECT NO. 1015-01
CONSTR. CONTR. NO.

DRAWING NO.

SHEET	OF
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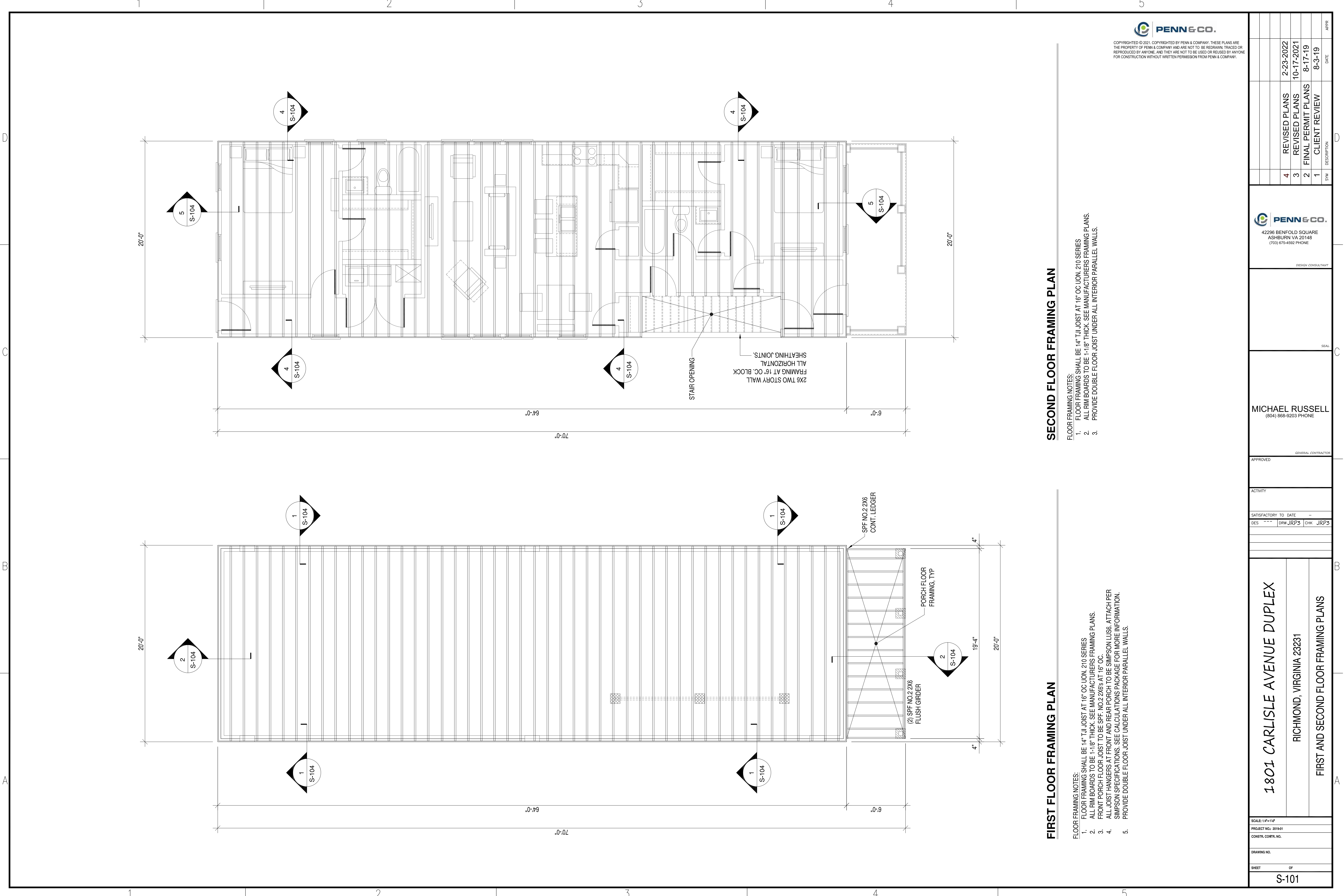
A-201











FIRST FLOOR FRAMING PLAN

- FLOOR FRAMING NOTES:
- FLOOR FRAMING SHALL BE 14" TJI JOIST AT 16" OC UON. 210 SERIES
  - ALL RIM BOARDS TO BE 1-1/8" THICK. SEE MANUFACTURERS FRAMING PLANS.
  - FRONT PORCH FLOOR JOIST TO BE SPF. NO.2 2X6's AT 16" OC.
  - ALL JOIST HANGERS AT FRONT AND REAR PORCH TO BE SIMPSON LUS6. ATTACH PER SIMPSON SPECIFICATIONS. SEE CALCULATIONS PACKAGE FOR MORE INFORMATION.
  - PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR PARALLEL WALLS.

SECOND FLOOR FRAMING PLAN

- FLOOR FRAMING NOTES:
- FLOOR FRAMING SHALL BE 14" TJI JOIST AT 16" OC UON. 210 SERIES
  - ALL RIM BOARDS TO BE 1-1/8" THICK. SEE MANUFACTURERS FRAMING PLANS.
  - PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR PARALLEL WALLS.

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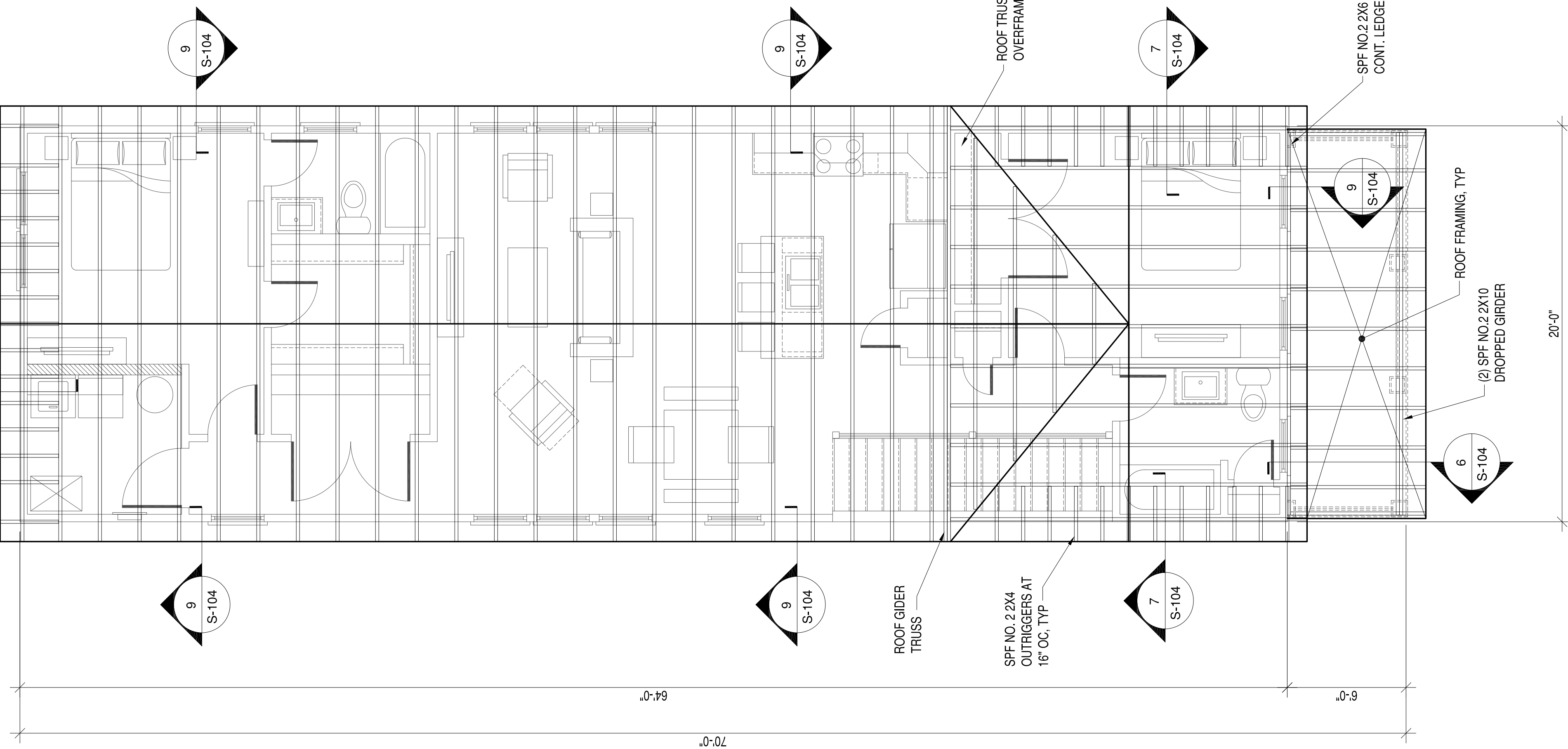
1801 CARLISLE AVENUE DUPLEX  
RICHMOND, VIRGINIA 23231  
FIRST AND SECOND FLOOR FRAMING PLANS

DESIGN CONSULTANT  
MICHAEL RUSSELL  
(804) 868-9203 PHONE  
GENERAL CONTRACTOR  
APPROVED

SYN	DESCRIPTION	DATE	APPR
4	REVISED PLANS	2-23-2022	
3	REVISED PLANS	10-17-2021	
2	FINAL PERMIT PLANS	8-17-19	
1	CLIENT REVIEW	8-3-19	

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DESIGN CONSULTANT

SCALE: 1/4"=1'-0"  
PROJECT NO.: 2019-01  
CONSTR. CONTR. NO.  
DRAWING NO.  
SHEET 1 OF 1  
S-101



## ROOF FRAMING PLAN


ROOF FRAMING NOTES:  
1. ALL ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC UNLESS OTHERWISE NOTED.

- ## PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES
1. THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
2. REFERENCE STANDARDS
- 2.1. NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
- 2.2. TP-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
3. MATERIALS
- 3.1. THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPARATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
- 3.2. LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO 2 GRADE OR BETTER, 15% MAXIMUM M.C.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
4. DESIGN
- 4.1. THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
- 4.2. THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
- 4.3. METAL CONNECTION PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A663. COATING CLASS G60. MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
- 4.4. IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
- 4.5. DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
- 4.6. DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
5. DESIGN LOADS
- 5.1. ROOF
- 5.1.1. TOP CHORD DEAD LOAD = 10 PSF
- 5.1.2. TOP CHORD LIVE LOAD = 20 PSF
- 5.1.3. BOTTOM CHORD DEAD LOAD = 10 PSF
- 5.1.4. BOTTOM CHORD LIVE LOAD = 0 PSF
- 5.1.5. WIND LOADING: SEE DESIGN LOADS SECTION ON SHEET S 001
- 5.1.5.1. NET WIND UPLIFT = 8 PSF
- 5.2. DEFLECTIONS
- 5.2.1. ROOF
- 5.2.1.1. MAXIMUM LIVE LOAD DEFLECTION = L/360, OR .625" MAXIMUM
- 5.2.1.2. MAXIMUM TOTAL LOAD DEFLECTION = L/240, OR 1.0" MAXIMUM
- 5.3. DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
6. SUBMITTALS
- 6.1. SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
- 6.2. SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
- 6.3. SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
- 6.4. INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

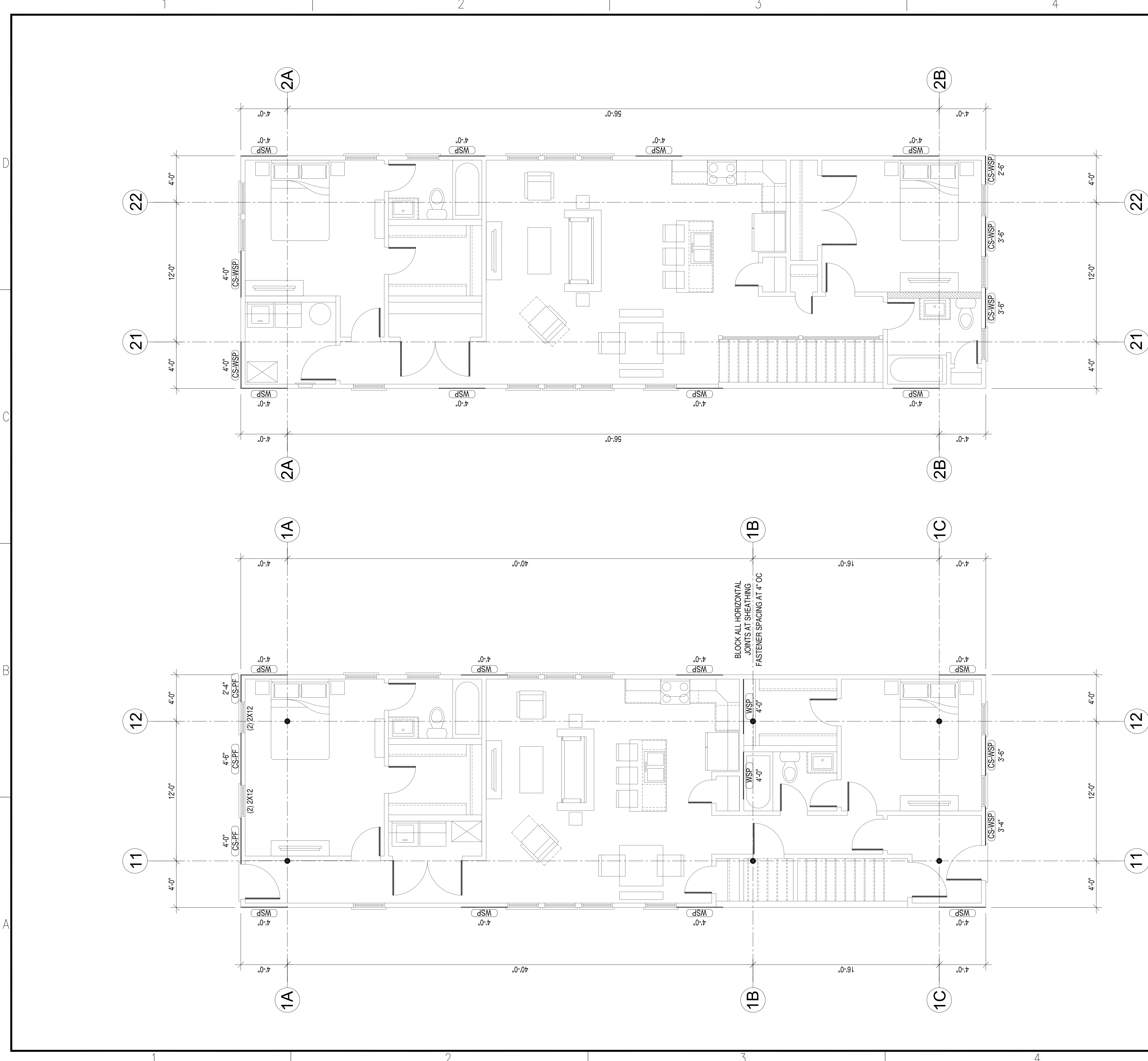


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						REVISED PLANS	2-23-2022	
						REVISED PLANS	10-17-2021	
						FINAL PERMIT PLANS	8-17-19	
						CLIENT REVIEW	8-3-19	
						S/N	DESCRIPTION	DATE
								APPR.
 <b>PENN &amp; CO.</b> 42296 BENFOLD SQUARE ASHBURN VA 20148 (703) 675-4592 PHONE								
DESIGN CONSULTANT								
						SEAL		
MICHAEL RUSSELL								
(804) 868-9203 PHONE								
GENERAL CONTRACTOR								
APPROVED								
ACTIVITY								
SATISFACTORY TO DATE						-		
DES --- DRW JRP3						CHK JRP3		
1801 CARLISLE AVENUE DUPLEX								
RICHMOND, VIRGINIA 23231								
ROOF FRAMING PLANS								
SCALE: 1/4" = 1'-0"								
PROJECT NO.: 2019-01								
CONSTR. CONTR. NO.								
DRAWING NO.								
SHEET OF								
S-102								





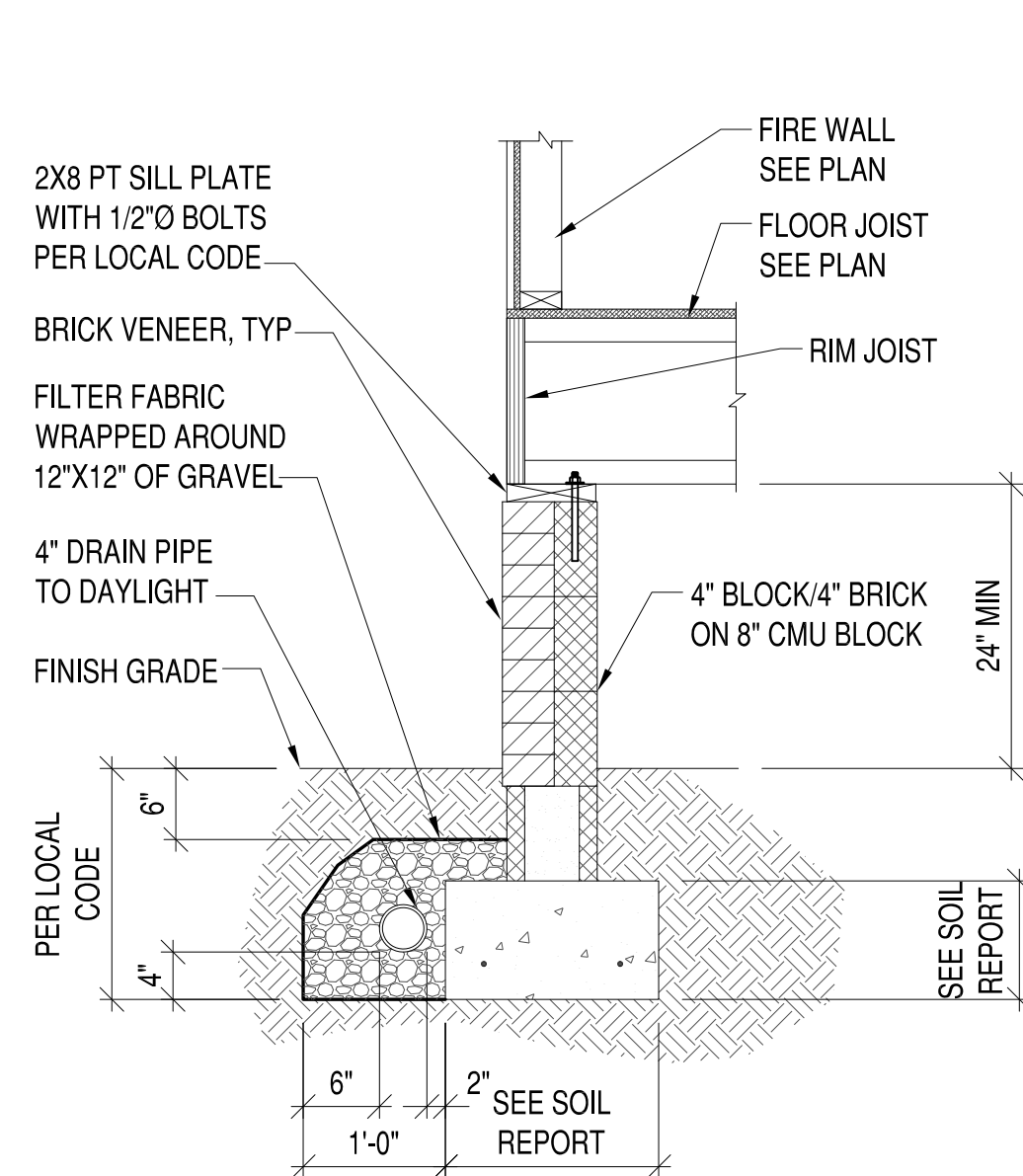
FIRST FLOOR BRACED WALL PLAN

- BRACED WALL PLAN NOTES:
- DESIGN AND CALCULATIONS BASED ON 2015 IRC SECTION R602.10.
  - DESIGN BASED ON 90 MPH WIND SPEED. SEE CALCULATIONS.
  - CLASSIC WALL BRACING METHOD USED.
  - DENOTES BRACED WALL PANELS.
  - BLOCK ALL HORIZONTAL JOINTS AT EXTERIOR SHEATHING AT CS-PF AND CS-WSP BRACED WALL PANELS.
  - PROVIDE FLOOR JOIST UNDER AND ABOVE ALL INTERIOR BRACED WALL LINES.

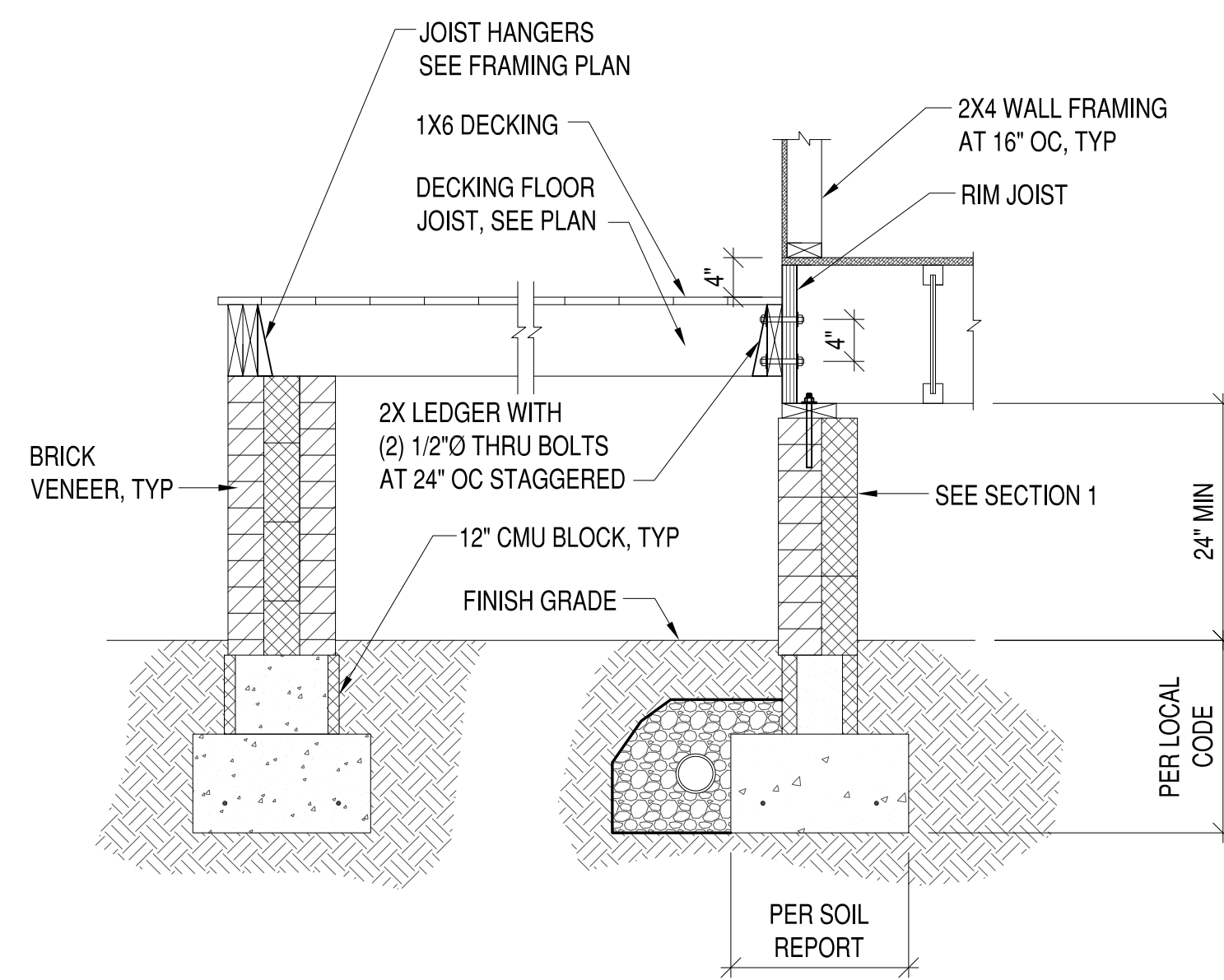
SECOND FLOOR BRACED WALL PLAN

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SCALE: 1/4"=1'-0"	
PROJECT NO.: 2019-01	
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET	OF
S-103	
1801 CARLISLE AVENUE DUPLEX	
RICHMOND, VIRGINIA 23231	
FIRST AND SECOND FLOOR BRACED WALL PLAN	
DES	DES
CHK	CHK
JRP3	JRP3
SATISFACTORY TO: DATE	
ACTIVITY	
APPROVED	
GENERAL CONTRACTOR	
MICHAEL RUSSELL (804) 868-9203 PHONE	
SEA	
DESIGN CONSULTANT	
42296 BENFOLD SQUARE ASHBURN VA 20148 (703) 675-4592 PHONE	
PENN & CO.	
SYM	DESCRIPTION
4	REVISED PLANS
3	REVISED PLANS
2	FINAL PERMIT PLANS
1	CLIENT REVIEW
DATE	DATE
2-23-2022	2-23-2022
10-17-2021	10-17-2021
8-17-19	8-17-19
8-3-19	8-3-19
APPR	APPR

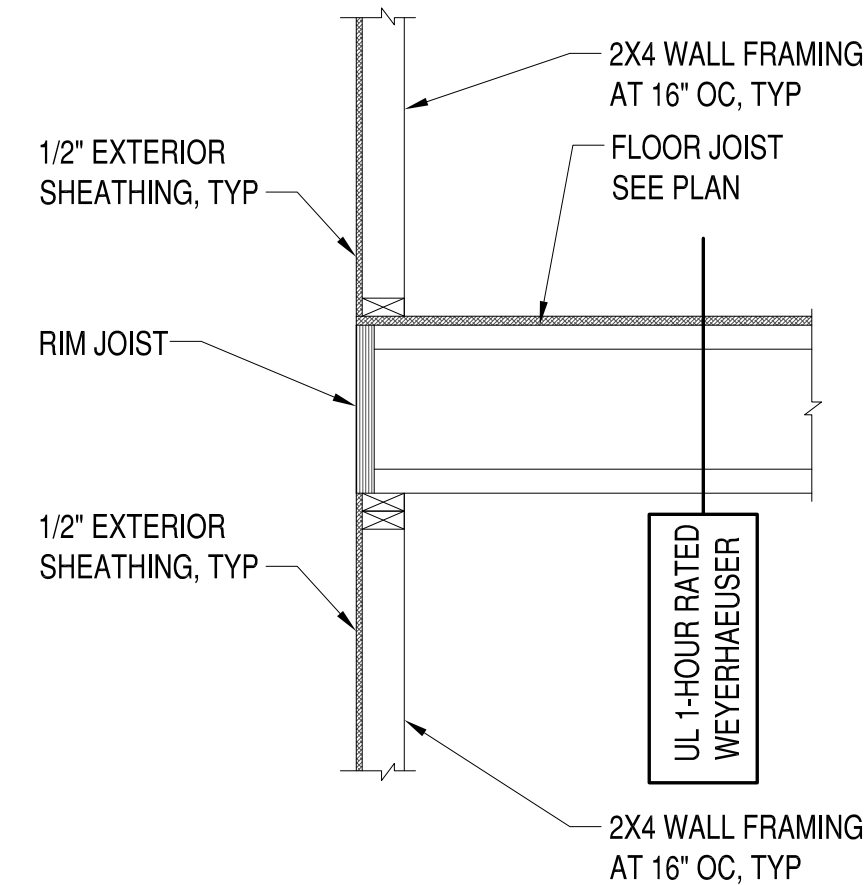


1 SECTION  
S-104 3/4"=1'-0"

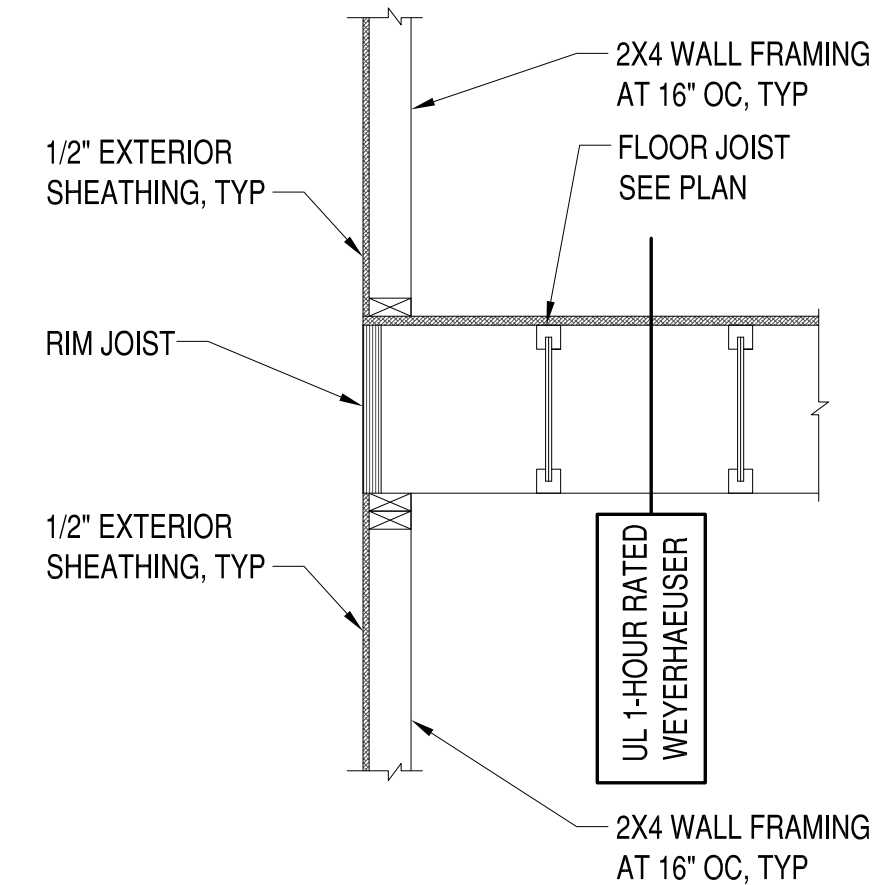


2 SECTION  
S-104 3/4"=1'-0"

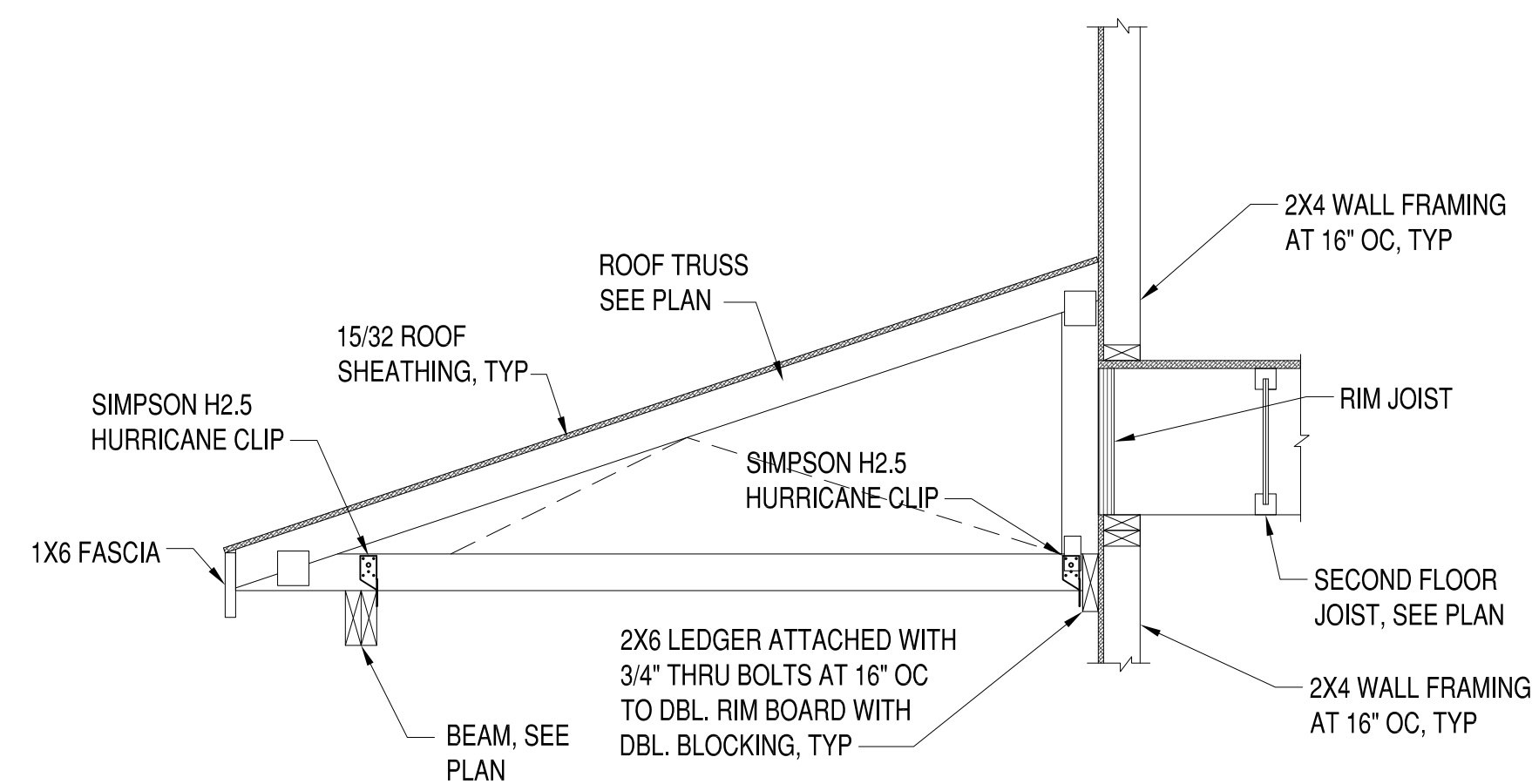
NOT USED



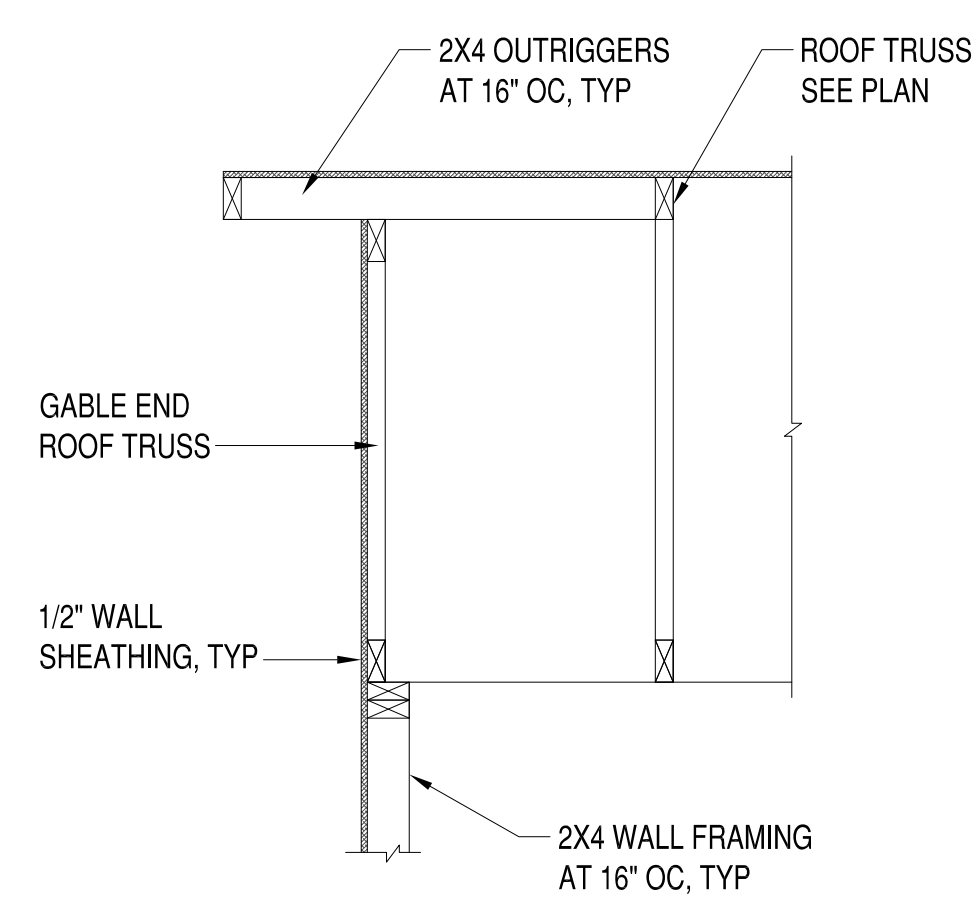
4 SECTION  
S-104 3/4"=1'-0"



5 SECTION  
S-104  $3/4"=1'-0"$

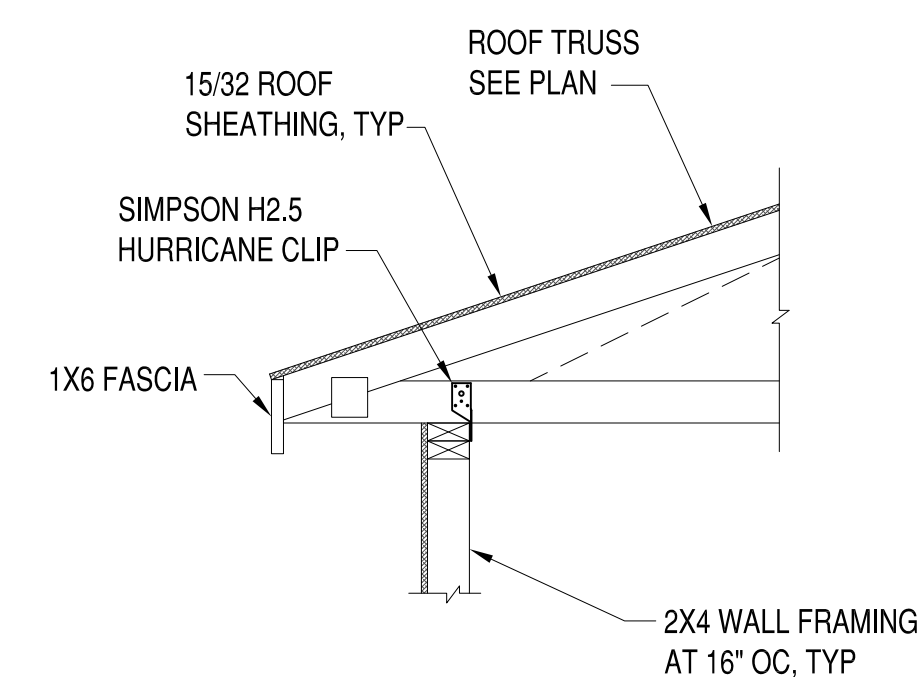


6 SECTION  
S-104 3/4"=1'-0"



7 SECTION  
S-104 3/4"=1'-0"

NOT USED



9 SECTION  
S-104 3/4"=1'-0"



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[illegible]

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DESIGN CONSULTANT

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GENERAL CONTRACTOR

APPROVED

ACTIVITY	
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SATISFACTORY TO DATE

DES	---	DRW	JRP3	CHK	JRP3
-----	-----	-----	------	-----	------

	2017	2018

1801 CARLISLE AVENUE DUPLEX

RICHMOND, VIRGINIA 23231

A TYPICAL SECTIONS & BRACED WALL CALCULATIONS

SCALE: 1/8" = 1'-0"

PROJECT NO: 3019-01

CONSTR CONTR NO

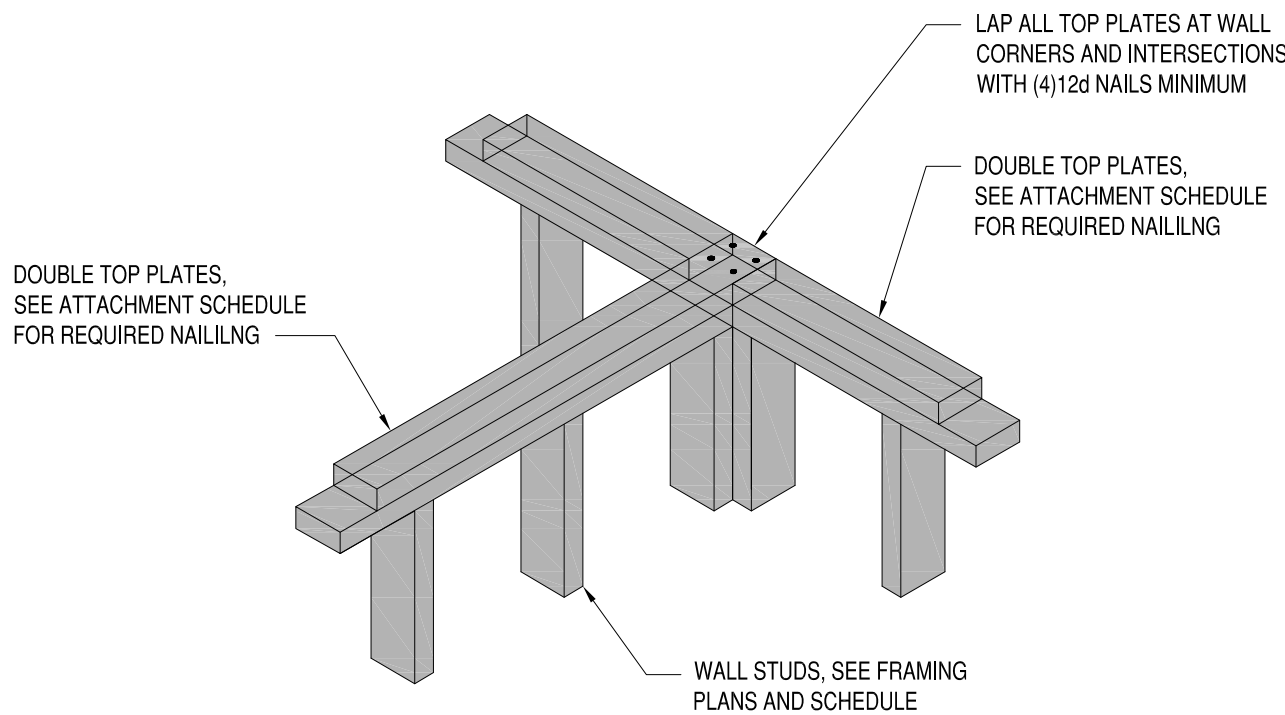
DRAWING NO.

SHEET 9

24

S-104

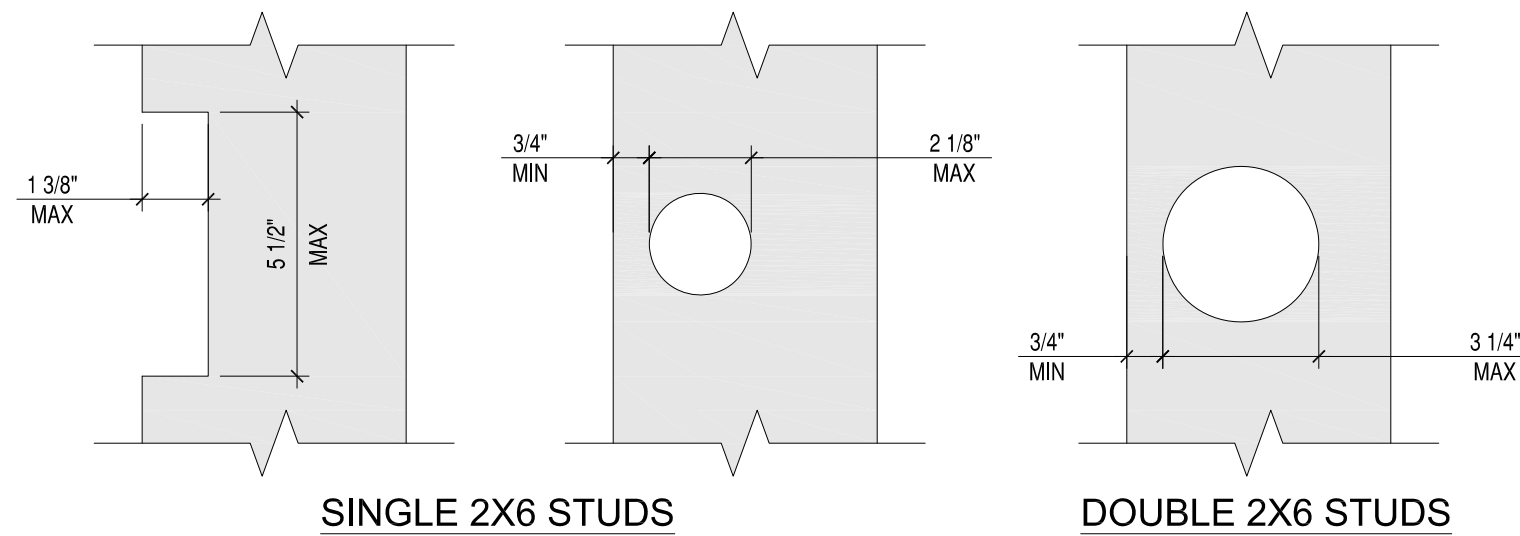




ISOMETRIC VIEW

TYPICAL SHEAR WALL INTERSECTION

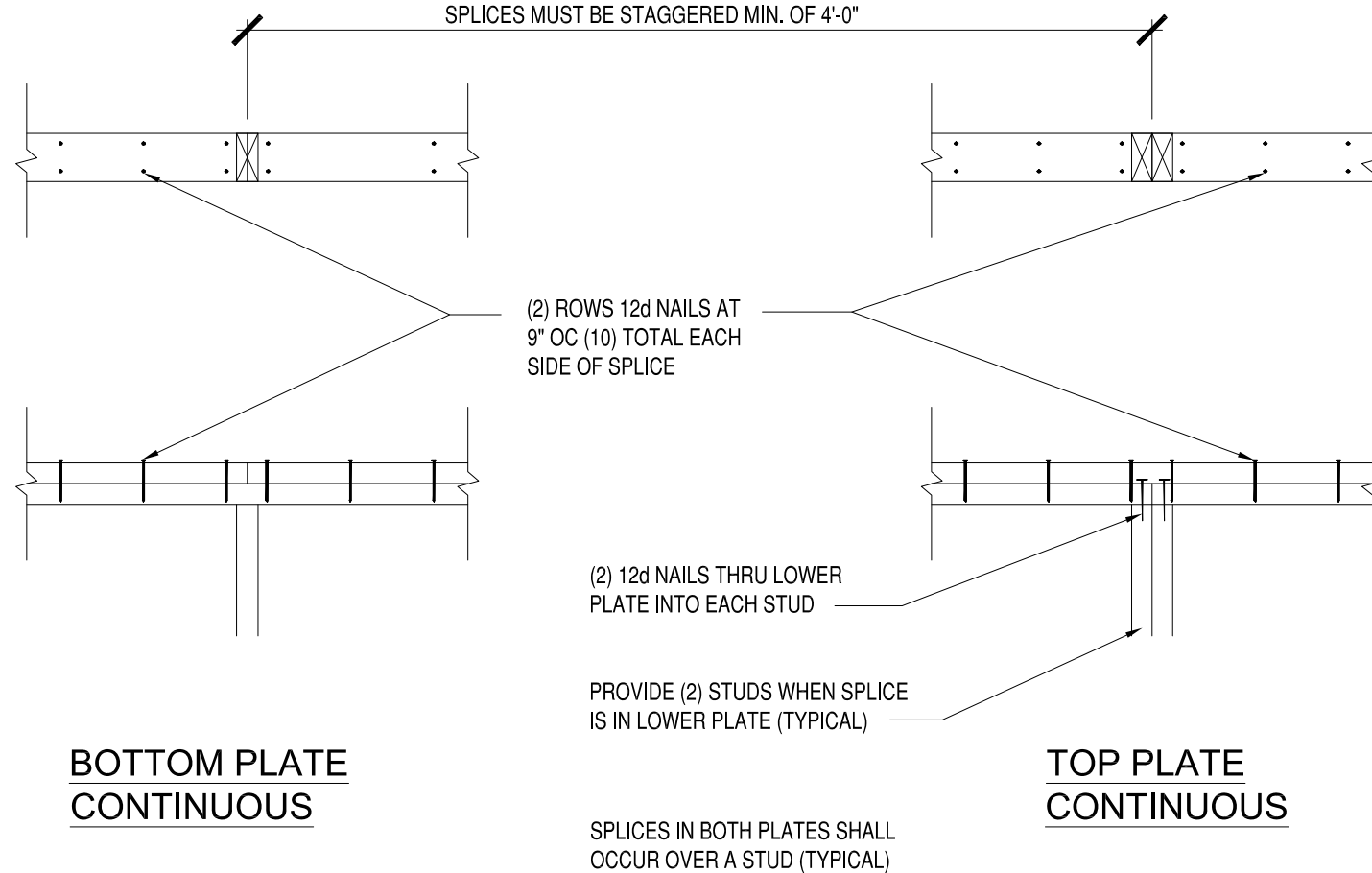
1-1/2"=1'-0"



2012 INTERNATIONAL BUILDING CODE  
2308.9.10 CUTTING AND NOTCHING  
IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. CUTTING OR NOTCHING OF STUDS TO A DEPTH NOT GREATER THAN 40% OF THE WIDTH OF THE STUD IS PERMITTED IN NONBEARING PARTITIONS SUPPORTING NO LOADS OTHER THAN THE WEIGHT OF THE PARTITION.  
2308.9.11 BORED HOLES  
A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED IN NONBEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED, PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED.  
• IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" TO THE EDGE OF THE STUD.  
• BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

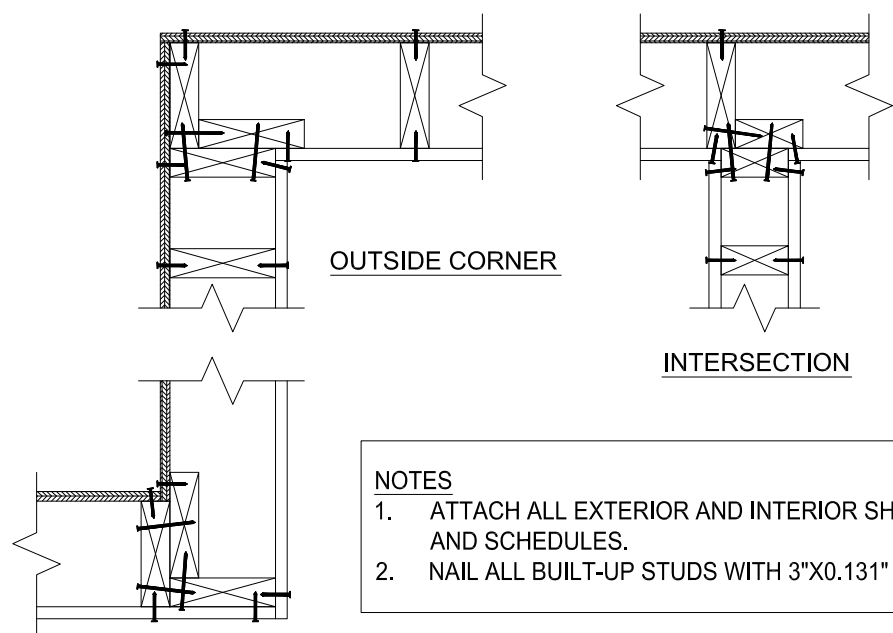
ALLOWABLE STUD NOTCH & BORING

3"=1'-0"



TYP TOP PLATE SPLICE AT BEARING WALLS

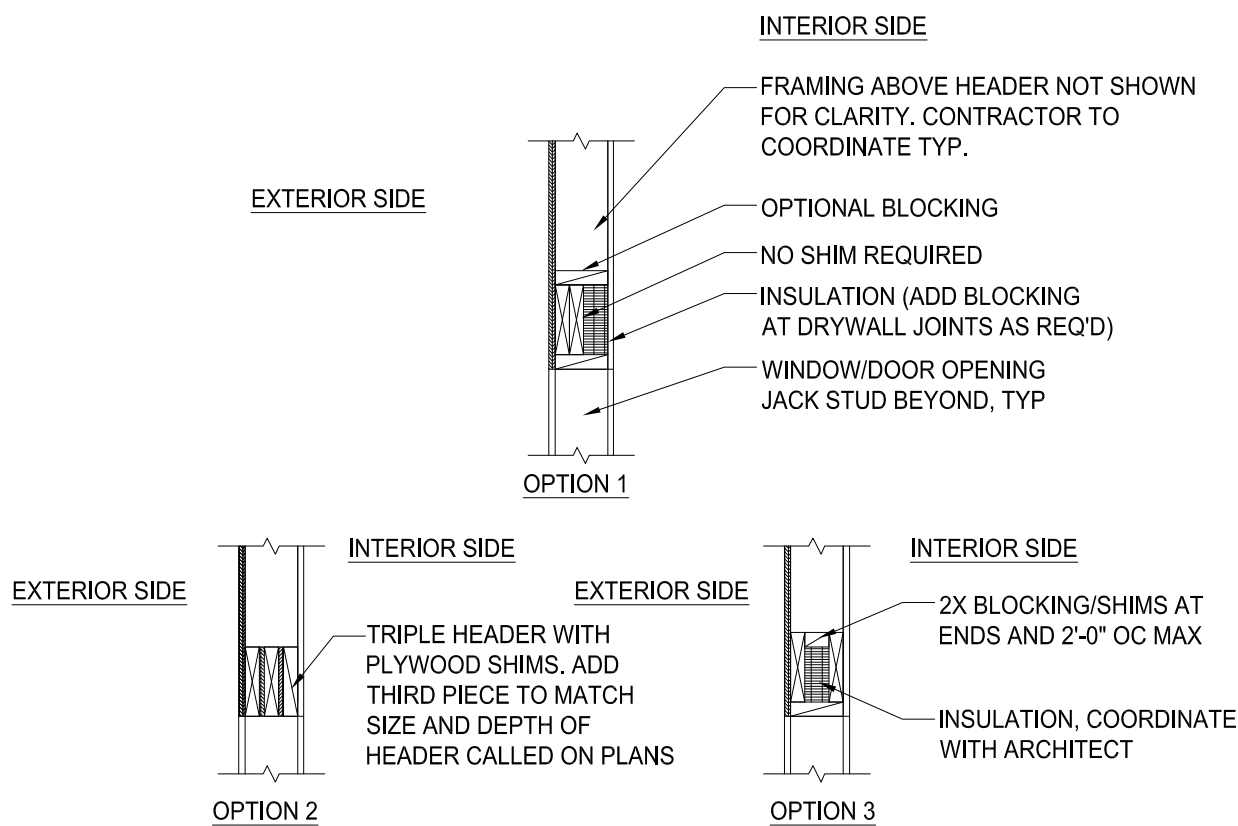
1-1/2"=1'-0"



NOTES  
1. ATTACH ALL EXTERIOR AND INTERIOR SHEATHING TO STUDS PER PLANS AND SCHEDULES.  
2. NAIL ALL BUILT-UP STUDS WITH 3"x0.131" NAILS @ 12" O.C.

CORNER AND INTERSECTION FRAMING

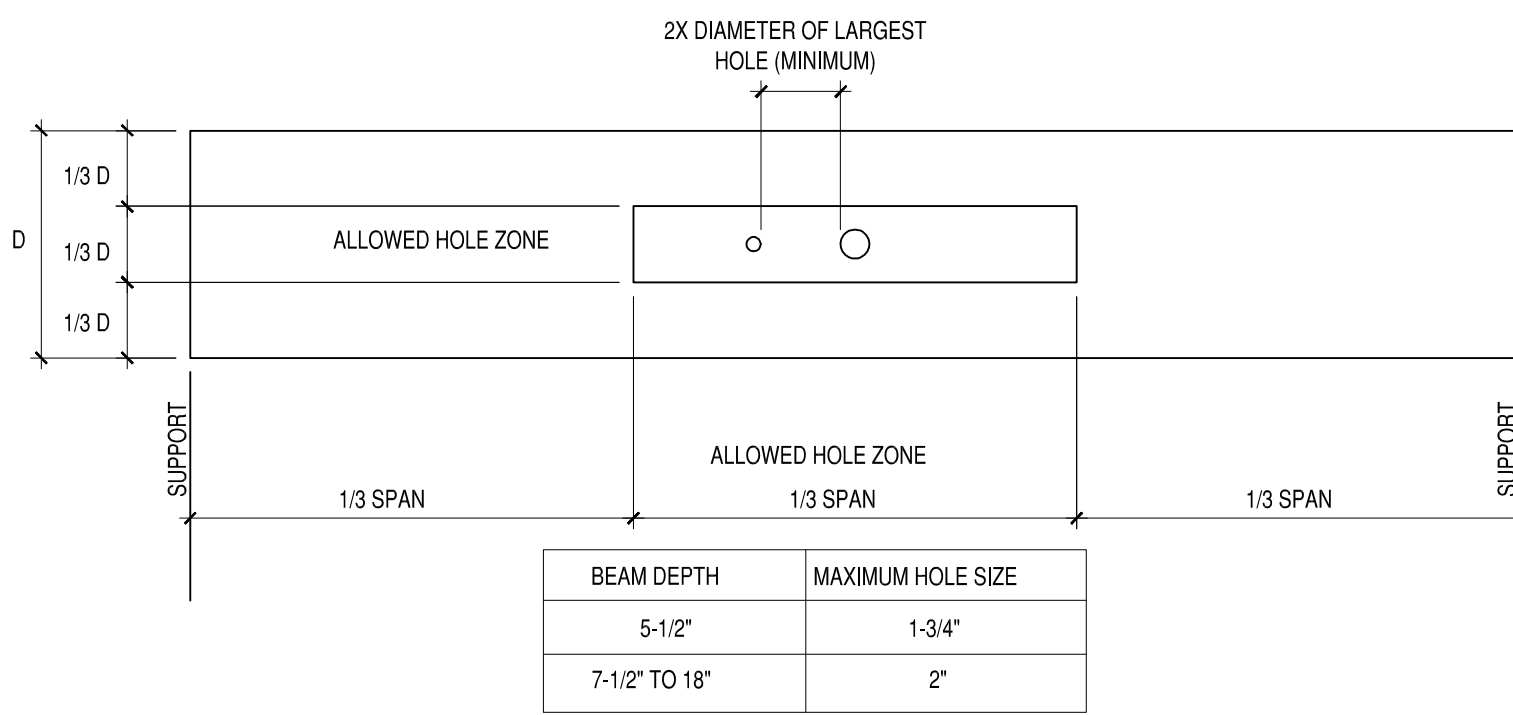
1"=1'-0"



NOTE:  
DOUBLE HEADERS ON PLANS MAY BE CONSTRUCTED AS SHOWN HERE AT CONTRACTORS OPTION.

2-PLY HEADER FOR 2X6 WALLS

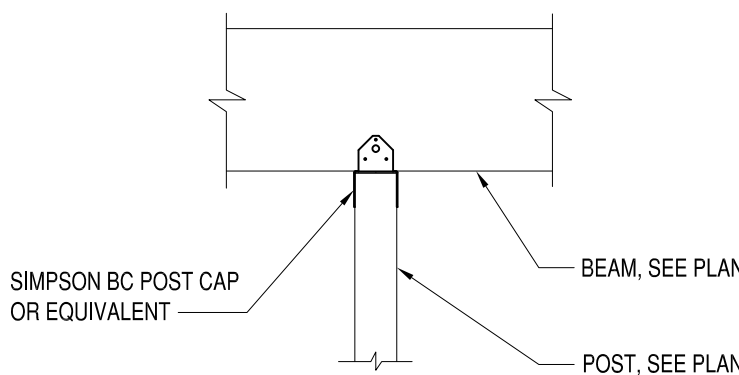
1"=1'-0"



GENERAL NOTES:  
1. DIAGRAM IS FOR UNIFORMLY LOADED BEAM ONLY.  
2. RECTANGULAR HOLES ARE NOT PERMITTED.

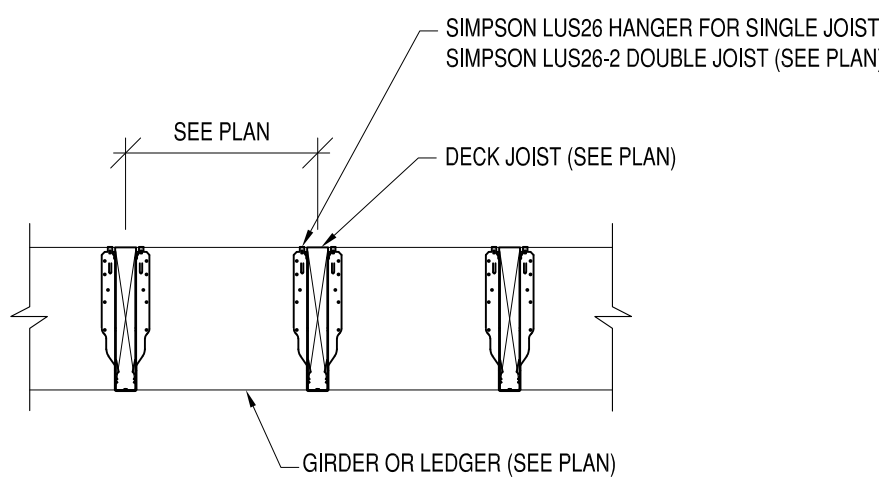
ALLOW HOLES FOR BEAM/HEADER

1-1/2"=1'-0"



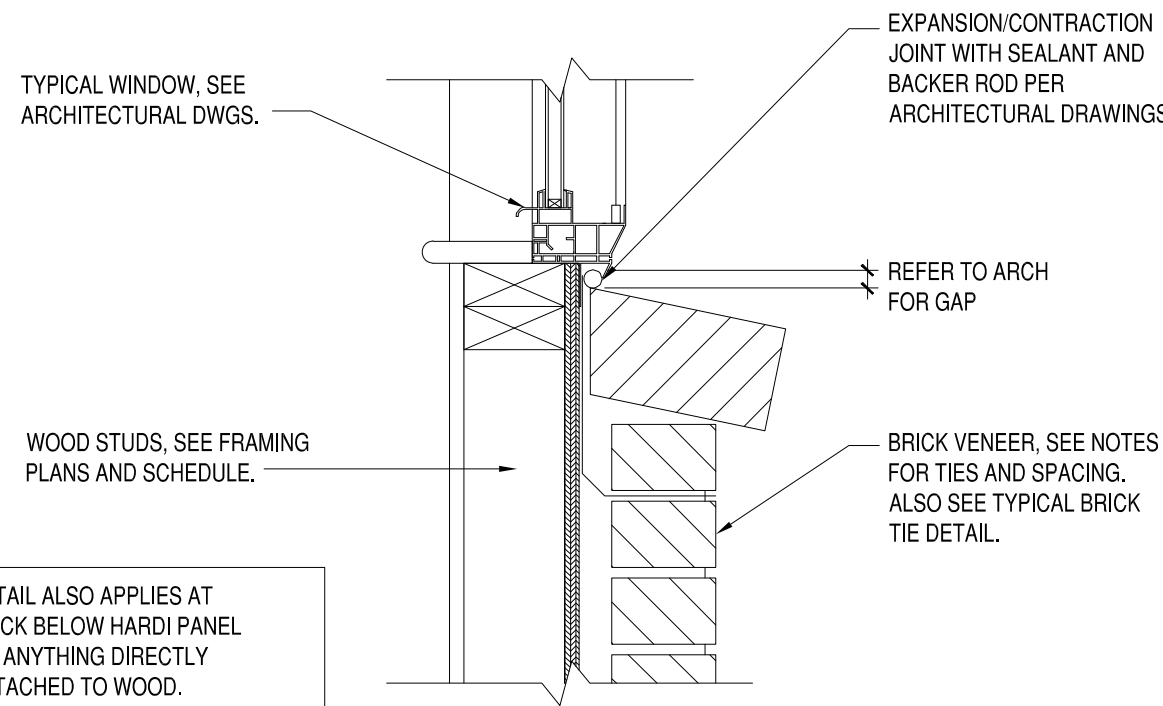
TYP DECK POST TO BEAM DETAIL

3/4"=1'-0"



2X6 & 2X8 DECK JOIST DETAIL

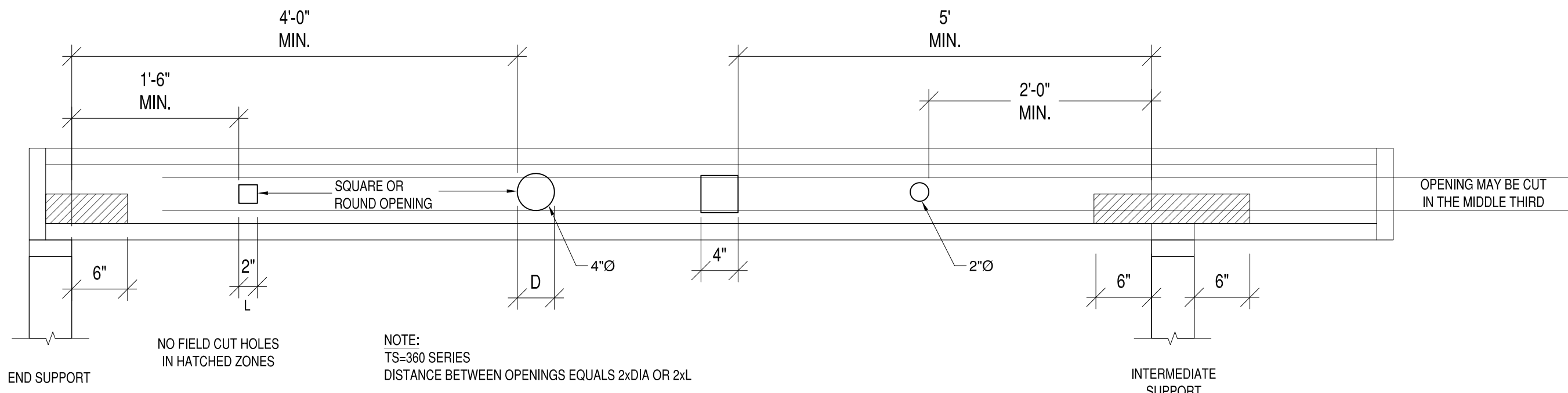
3/4"=1'-0"



TYPICAL NOTE TO ARCHITECT/CONTRACTOR  
FOR BRICK VENEER CONSTRUCTION OVER 25', CARE MUST BE TAKEN TO ALLOW EXPANSION OF BRICK AND SETTLEMENT OF WOOD FRAMING. THE DIFFERENTIAL SETTLEMENT BETWEEN BRICK AND WOOD FRAMING VARIES PER FLOOR IN AN WOOD FRAMED STRUCTURE. SEE REQUIRED GAP SCHEDULE. WHERE WINDOWS OVERLAP BRICK VENEER, AN AMEQUATE EXPANSION JOINT MUST BE PROVIDED.

TYPICAL EXPANSION JOINT AT BRICK VENEER

1-1/2"=1'-0"



NOTE:  
TS=360 SERIES  
DISTANCE BETWEEN OPENINGS EQUALS 2xDIA OR 2xL

TYPICAL OPENINGS IN JOIST

1"=1'-0"

REVISED PLANS	2-23-2022	DATE	APPR
4	REVISED PLANS	10-17-2021	
3	REVISED PLANS	8-17-19	
2	FINAL PERMIT PLANS	8-3-19	
1	CLIENT REVIEW		

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ACTIVITY

SATISFACTORY TO: DATE

DES: [initials] | DRW: JRP3 | CHK: JRP3

1801 CARLISLE AVENUE DUPLEX

RICHMOND, VIRGINIA 23231

TYPICAL DETAILS

SCALE: 1/4"=1'-0"

PROJECT NO.: 2019-01

CONSTR. CONTR. NO.

DRAWING NO.

SHEET OF

S-104