

INTRODUCED: January 24, 2022

AN ORDINANCE No. 2022-023

To authorize the special use of the property known as 2501 Berwyn Street for the purpose of a single-family detached dwelling, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: FEB 28 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 2501 Berwyn Street, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of a single-family detached dwelling, which use, among other things, is not currently allowed by section 30-410.5(1), concerning front yards, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause

AYES:            9            NOES:            0            ABSTAIN: \_\_\_\_\_

ADOPTED:    FEB 28 2022    REJECTED: \_\_\_\_\_    STRICKEN: \_\_\_\_\_

an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 2501 Berwyn Street and identified as Tax Parcel No. S008-0380/025 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Survey Showing Improvements on Property Located at 2501 Berwyn Street, City of Richmond, Virginia,” prepared by Bruce Robertson Land Surveying, P.C., and dated May 21, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a single-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “House Plan,” prepared by Gulnora, LLC, and dated January 14, 2020, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a single-family detached dwelling, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed the height as shown on the Plans.

(c) All building materials and elevations shall be substantially as shown on the Plans.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

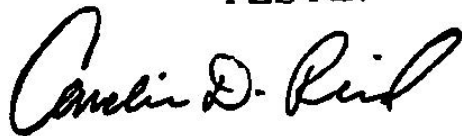
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:**

**TESTE:**

A handwritten signature in black ink, appearing to read "Amelia D. Reed". The signature is written in a cursive style with a large initial 'A'.

**City Clerk**



# City of Richmond

## Item Request File Number: PRE.2021.901

RECEIVED  
By City Attorney's Office at 2:52 pm, Dec 21, 2021

RECEIVED  
By CAO Office at 8:49 am, Dec 14, 2021

2021-521

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.rva.gov

### O & R Request

**DATE:** December 13, 2021

**EDITION:** 1

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (By Request)  
(This in no way reflects a recommendation on behalf of the Mayor.)

**THROUGH:** J.E. Lincoln Saunders, Chief Administrative Officer

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic  
Development and Planning

**FROM:** Kevin J. Vonck, Director, Department of Planning and Development Review

**RE:** To authorize the special use of the property known as 2501 Berwyn Street for the purpose of  
a single-family detached dwelling, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_

**PURPOSE:** To authorize the special use of the property known as 2501 Berwyn Street for the purpose of a  
single-family detached dwelling, upon certain terms and conditions.

**REASON:** The applicant is requesting a Special Use Permit to allow for a reduced front-yard depth for a  
single-family dwelling that has been constructed within an R-5 Single-family residential district. The R-5  
requires a front yard depth of not less than 25 feet. The proposed front yard is 23.3 feet. A Special Use  
Permit is therefore required.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning  
Ordinance, the City Planning Commission will review this request and make a recommendation to City  
Council. This item will be scheduled for consideration by the Commission at its February 7, 2022 meeting.

**BACKGROUND:** The property consists of approximately 6,828 SF, or .15 acres, improved with a 1,400  
SF, single-family detached dwelling. The property is located in the Jeff Davis Neighborhood between Drake  
Street and Yorktown Avenue.

The City's Richmond 300 Master Plan designates these parcels as Residential. Such areas are defined as neighborhoods "...consisting primarily of single family houses on large or medium sized lots more homogeneous in nature."

Primary Uses: Single family houses, accessory dwelling units, and open space.

Secondary Uses: Duplexes and small multi-family buildings (typically 3 10 units), institutional, and cultural. Secondary uses may be found along major streets.

Currently, adjacent properties to the north are zoned R-53 Multifamily Residential. The properties to the south are zoned the same R-5 Single-family residential.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No

**REVENUE TO CITY:** \$300 Application fee

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** January 10, 2022

**CITY COUNCIL PUBLIC HEARING DATE:** February 14, 2022

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission  
February 7, 2022

**AFFECTED AGENCIES:** Office of Chief Administrative Officer  
Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**REQUIRED CHANGES TO WORK PROGRAM(S):** None

**ATTACHMENTS:** Draft Ordinance, Application Form, Applicant's Report, Survey, Map

**STAFF:** Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734





Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304  
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

**Project Name/Location**

Property Address: 2501 Berwyn st Richmond VA 23234 Date: 07/01/2021  
Tax Map #: S008-0380-025 Fee: 300  
Total area of affected site in acres: 0.16

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

**Zoning**

Current Zoning: Richmond city

Existing Use: Singe Family

**Proposed Use**

(Please include a detailed description of the proposed use in the required applicant's report)

single family with missing some feet set back from the street  
Existing Use: Singe Family

Is this property subject to any previous land use cases?

Yes  No  If Yes, please list the Ordinance Number: \_\_\_\_\_

**Applicant/Contact Person:** Gulnora Yakubova

Company: Gulnora LLC  
Mailing Address: 7534 Whittington Dr  
City: N Chesterfield State: VA Zip Code: 23225  
Telephone: (850) 3192395 Fax: ( )  
Email: gulakamalovna@yahoo.com

**Property Owner:** Gulnora LLC

If Business Entity, name and title of authorized signee: Jakhongir Khodjiev (Owner)

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 7534 Whittington Dr  
City: N Chesterfield State: VA Zip Code: 23225  
Telephone: (850) 319-2395 Fax: ( )  
Email: gulakamalovna@yahoo.com

**Property Owner Signature:** 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

## Appendix A

To the city of Richmond Zoning Department

This letter concern about 2501 Berwyn St Richmond VA 23234. The new construction was complete and has a shortage on the front setback which was marked by the surveyor Edward Lord Kerz company which no longer in business. Gulnora LLC the owner of the property set a new final new construction survey and find out that the shortage on the front setback we have about 6-7 feet .

We asking a special permit approval on that short missing set back , as all the work has been complete, thanks

Owner of the property Gulnora LLC

### **The proposed of special use will not:**

- a. be detrimental to the safety, health, morals and general welfare of the community involved;**
- b. tend to create congestion in streets, roads, alleys and other public ways and places in the area involved;**
- c. create hazards from fire, panic or other dangers;**
- d. tend to cause overcrowding of land and an undue concentration of population;**
- e. adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or**
- f. interfere with adequate light and air.**

Reviewed per VA Residential Code 2015  
 Insulation and Fenestration values:  
 Walls R-15  
 Crawl R-19  
 Attic R-38  
 UMAX = 0.35

**DOOR SCHEDULE**

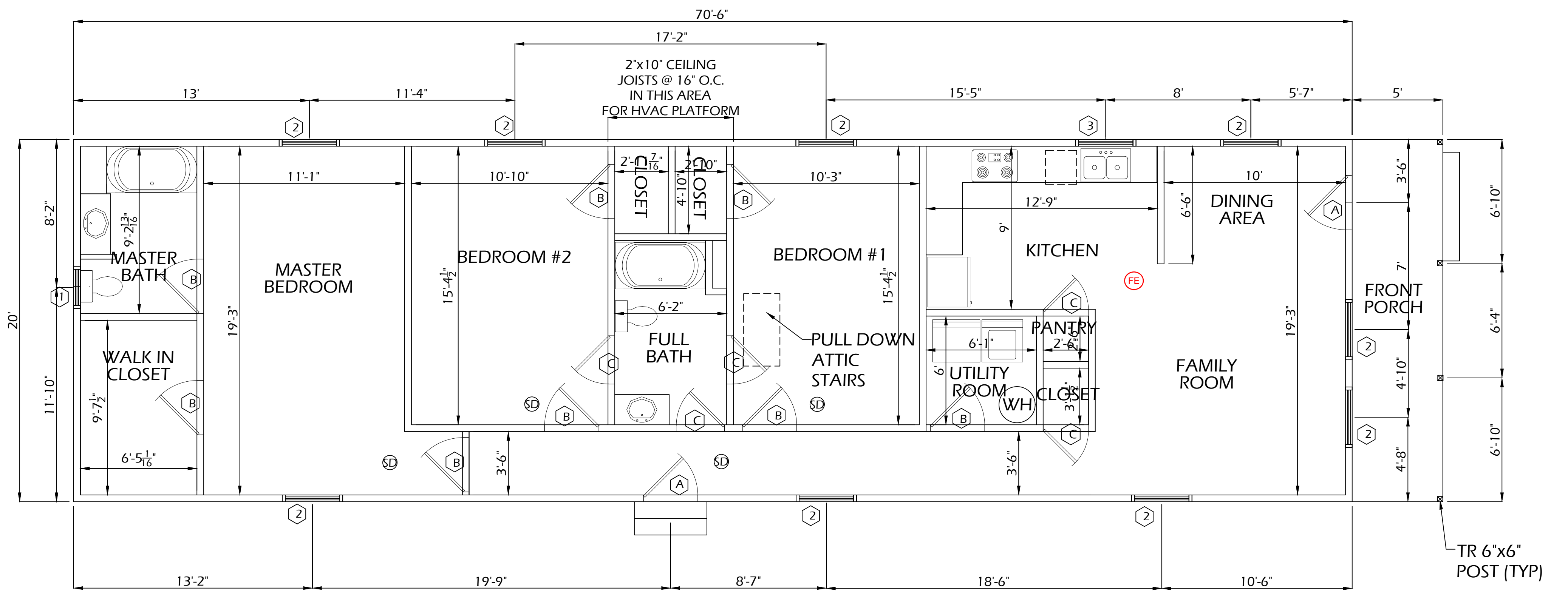
MARK	DESCRIPTION	QUAN
(A)	3'0" x 6'8" HM EXTERIOR DOOR	2
(B)	3'0" x 6'8" WOOD INTERIOR DOOR	7
(C)	2'8" x 6'8" WOOD INTERIOR DOOR	5

**WINDOW SCHEDULE**

MARK	DESCRIPTION	QUAN
(1)	2'0"x2'8" VINYL CLAD DH WINDOW	1
(2)	3'0"x4'6" VINYL CLAD DH WINDOW	8
(3)	3'0"x2'8" VINYL CLAD DH WINDOW	1

**NOTES:**

DOORS AND WINDOWS ARE TO HAVE A U-FACTOR OF 0.35  
 A DOUBLE 2"x10" HEADER IS TO BE PROVIDED FOR ALL DOORS AND WINDOWS IN EXTERIOR AND BEARING WALLS EXCEPT WHERE NOTED.  
 ALL WINDOWS WITHIN 2 ft (HORIZONTALLY) OF A DOOR IS TO BE TEMPERED SAFETY GLASS.



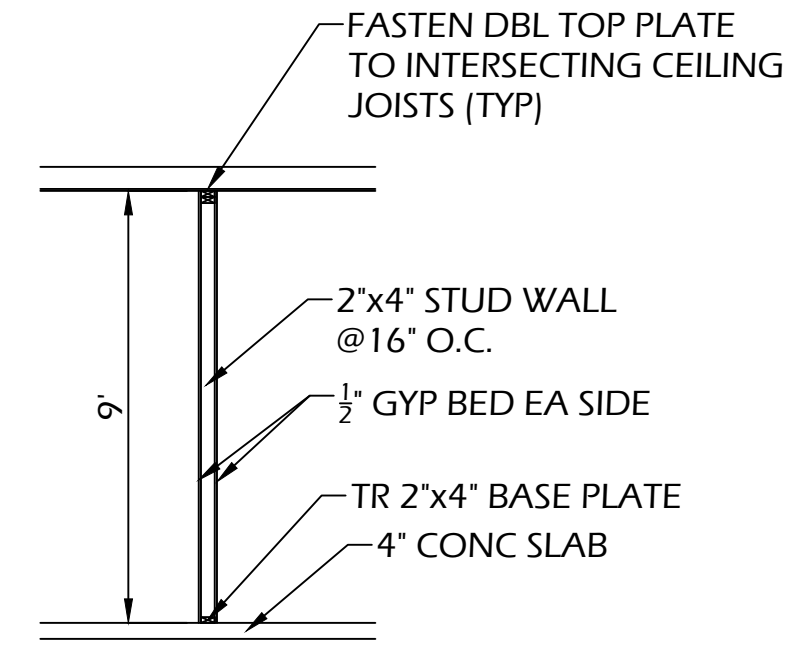
**FLOOR PLAN**  
 1/4" = 1'-0"

**GENERAL NOTES :**

- OWNER / APPLICANT: GULNORA LLC, 7534 WHITTINGTON DR, CHESTERFIELD, VA 23225, S0080380025
- TAX PARCEL: R-5 - RESIDENTIAL (SINGLE FAMILY)
- ZONING: CITY WATER
- WATER: CITY SEWER
- SEWER: CITY SEWER
- LAND AREA: 0.366 ACRES

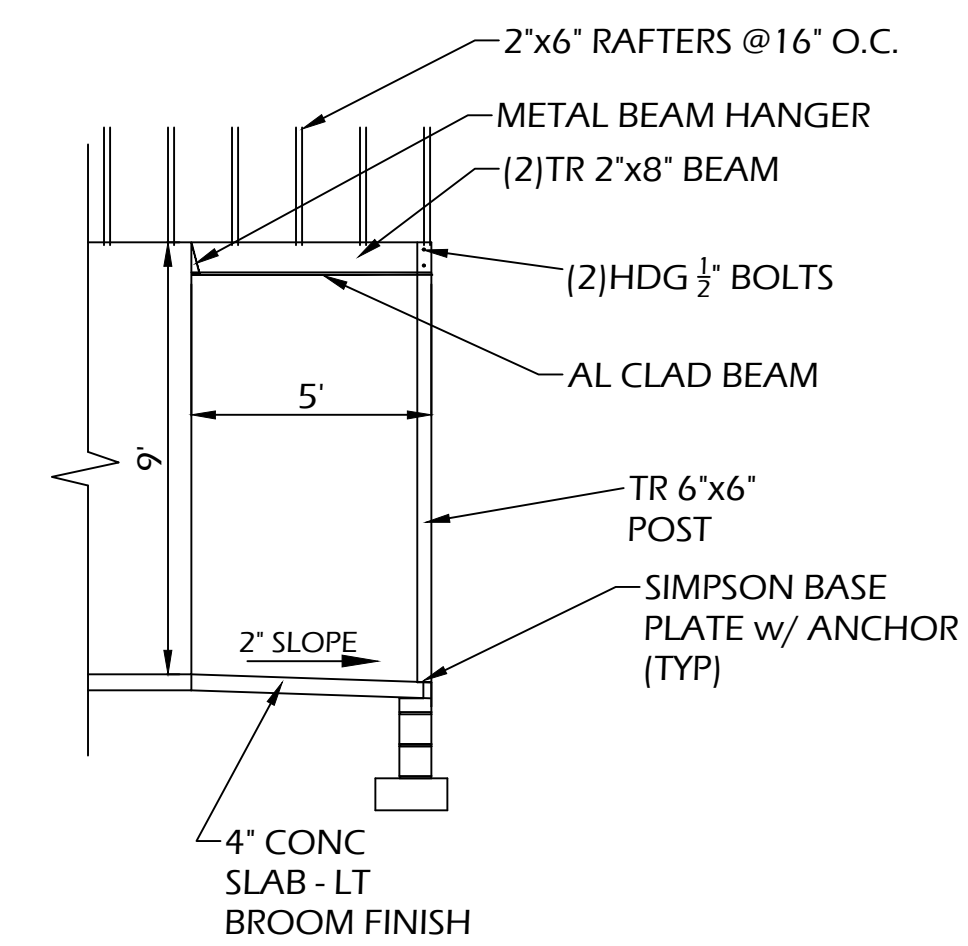
Per Section R310 of the 2015 VA Residential Code, basements, habitable attics, and every sleeping room must have at least one operable emergency escape and rescue opening. The sill height shall be not more than 44" to the bottom of the clear opening. Openings not on grade level shall have a min net clear opening of 5.7 sf. Openings on grade level shall have a min net clear opening of 5 sf. The min clear opening height shall be 24". The min clear opening width shall be 20".

**Legend**  
 SD - Smoke Alarm  
 CO - Carbon Monoxide Alarm  
 FE - Fire Extinguisher  
 EF - Exhaust Fan



**TYP PARTITION WALL DETAIL**  
 1/4" = 1'-0"

SD SMOKE DETECTOR



**FRONT PORCH SECTION**  
 1/4" = 1'-0"

ALL WORK TO BE IN COMPLIANCE WITH 2015 VCC / IRC

NO.	DATE	BY	REVISION	SHEET TITLE	PROJECT NO.
				FLOOR PLAN and ELEVATIONS	AS SHOWN
				HOUSE PLAN	DATE
				1/14/2020	
				PROJECT	DRAWN BY
				GULNORA, LLC	JK
				1901 N PARHAM ROAD	CHECKED BY
				HENRICO, VA. 23228	JK
				(850) 319-2395	DRAWING NO.
				E-Mail: gulokamalovna@yahoo.com	011
					1 OF 3 SHTS

**CONCRETE**

- A. CONCRETE SHALL NOT BE PLACED ON FROZEN SOILS, OR UNDER CONDITIONS WHICH WILL ADVERSELY AFFECT STRENGTH.
- B. FOOTING SIZING ASSUMES A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF.
- C. CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF UNSTABLE/UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED DURING EXCAVATION.
- D. CONCRETE SHALL BE MINIMUM 3000 PSI AT 28 DAYS COMPRESSIVE STRENGTH.
- E. CONCRETE SHALL BE AIR ENTRAINED IN ALL EXPOSED EXTERIOR APPLICATIONS.
- F. CONCRETE SLABS SHALL BE 4" THICK AND DO NOT REQUIRE WOVEN WIRE MESH REINFORCING UNLESS NOTED OTHERWISE.
- G. PROVIDE 4" #57 STONE BENEATH ALL NEW SLABS, UNLESS NOTED OTHERWISE.
- H. PROVIDE 6 MIL VAPOR BARRIER BETWEEN THE SLAB AND STONE.
- I. ALL FOOTINGS MUST BE A MINIMUM OF 24" BELOW GRADE AND EXTEND TO UNDISTURBED SOIL OR PROPERLY COMPACTED FILL.

**MASONRY**

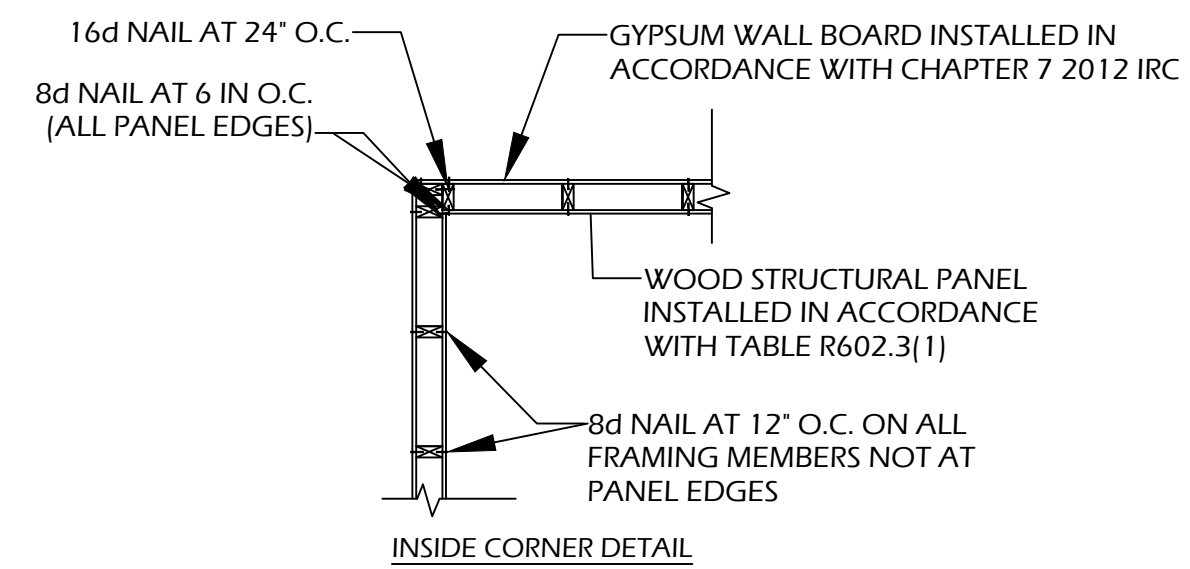
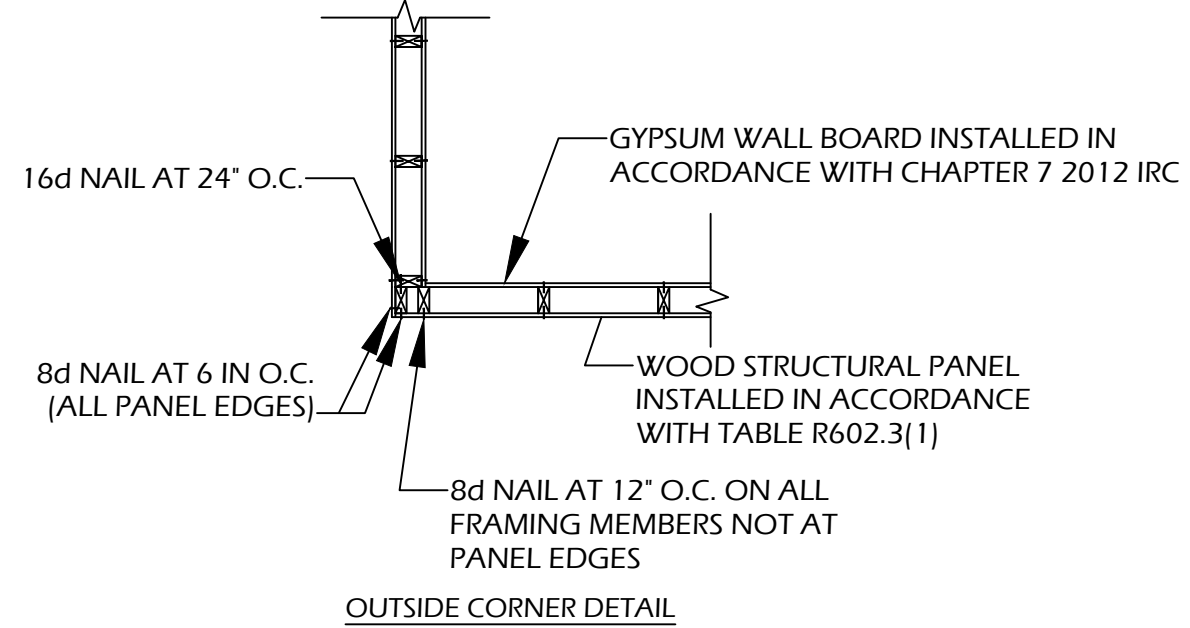
- A. CONCRETE MASONRY UNITS (CMU) SHALL MEET THE FOLLOWING STANDARDS:
  - 1. HOLLOW LOAD BEARING: ASTM C-90
  - 2. SOLID LOAD BEARING: ASTM C-145
  - 3. HOLLOW NON-LOAD BEARING: ASTM C-129
- B. BRICK: TYPE, SIZE, AND BOND TO BE CHOSEN BY OWNER.
- C. MORTAR SHALL BE ASTM C-270 TYPE S, AND NO ADMIXTURE WILL BE ALLOWED. COLOR AN JOINT TYPE TO BE CHOSEN BY OWNER.
- D. CONTRACTOR SHALL SUBMIT SAMPLES OF BRICK AND MORTAR TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- E. CMU SHALL BE LAID IN RUNNING BOND WITH FLUSH JOINTS.
- F. CMU WALL REINFORCING SHALL BE HOT-DIPPED GALVANIZED TRUSS TYPE REINFORCING, 1" LESS THAN WALL THICKNESS, 16" OC VERTICALLY, LAPPED 6" AND WIRE TIED.
- G. PROVIDE ALL BRICK TIES, HORIZONTAL REINFORCEMENT, FOUNDATION VENTS, LINTELS, AND ACCESSORIES REQUIRED FOR A COMPLETE JOB.
- H. MASONRY FIREPLACES SHALL BE DESIGNED FOR PROPER AIR INTAKE, DRAW, AND CODE COMPLIANCE. INCLUDE DAMPER, CAPS, AND ALL OTHER ACCESSORIES REQUIRED FOR COMPLETE INSTALLATION.

**WOOD FRAMING**

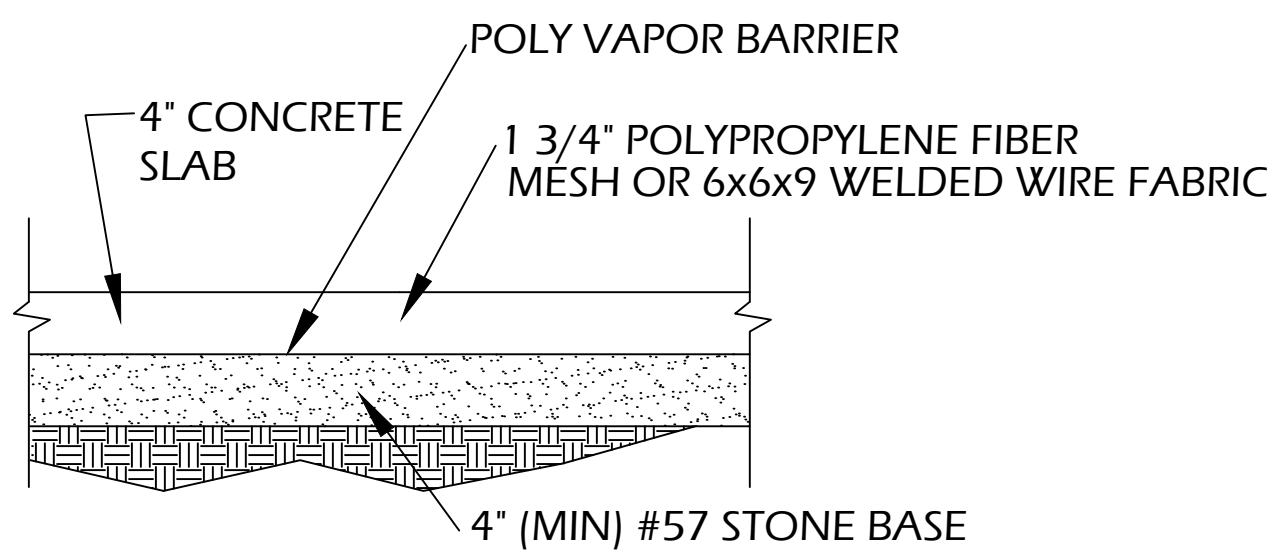
- A. STRUCTURAL FRAMING ANDBLOCKING SHALL BE NO. 2 OR BETTER SOUTHERN YELLOW PINE (19% MAX MOISTURE CONTENT, F = 1200, E = 1,600,000), UNLESS NOTED OTHERWISE.
- B. STUDS SHALL BE GRADE-MARKED 'STANDARD' OR BETTER.
- C. ALL FRAMING WHICH CONTACTS THE GROUND, MASONRY, OR CONCRETE SHALL BE PRESERVATIVE PRESURE TREATED.
- D. LAMINATED VENEER LUMBER (LVL'S) SHALL BE TRUSJOIST'S 1.9E MICROLAM OR APPROVED EQUAL.
- E. LAMINATED STRAND LUMBER (LSL'S) SHALL BE TRUSJOIST'S 1.3E OR 1.5E TIMBERSTRAND OR APPROVED EQUAL.
- F. PARALLEL STRAND LUMBER (PSL'S) SHALL BE TRUSJOIST'S 2.0E PARALLAM OR APPROVED EQUAL.
- G. PRE-FAB. WOOD I-JOISTS SHALL BE TRUSJOIST'S TJI JOISTS OR APPROVED EQUAL.
- H. CONTRACTOR TO PROVIDE FRAME BLOCKING AND BRIDGING AS REQUIRED.
- I. JOIST AND BEAM DESIGN MAX. ALLOWABLE DEFLECTIONS SHALL BE AS FOLLOWED:
  - 1. JOISTS = L/480 (LL)
  - 2. BEAMS = L/360 (LL)
- J. FRAMING ACCESSORIES SHALL BE SIMPSON STRONG-TIE OR APPROVED EQUAL.
- K. SUBFLOORING SHALL BE APA RATED 3/4" STURD-I-FLOOR, T&G EXTERIOR EXPOSURE UNLESS NOTED OTHERWISE.
- L. SUBFLOORING SHALL BE ADHESIVE APPLIED AND NAILED IN PLACE PER MANUFACTURER'S RECOMMENDATIONS.
- M. SUBFLOOR/UNDERLAYMENT UNDER THINSET TIE SHALL BE A MIN. OF 1 1/4" TOTAL THICKNESS PER TCA RECOMMENDATIONS.
- N. ROOF SHEATHING SHALL BE APA SPAN-RATED 7/16" CDX UNLESS OTHERWISE NOTED.
- O. WALL SHEATHING SHALL BE APA SPAN-RATED 5/16" OSB UNLESS OTHERWISE NOTED.
- P. DOUBLE STUDS AT ALL DOOR, WINDOWS, AND CASED OPENING JAMBS.
- Q. FRAMER TO VERIFY DIMENSIONAL LAYOUT WITH CONSTRUCTION MANAGER PRIOR TO SETTING WALLS.

**BRACED WALL PANEL DESIGN**

CONTINUOUS STRUCTURAL PANEL SHEATHING METHOD TO BE USED PER 2015 IRC.



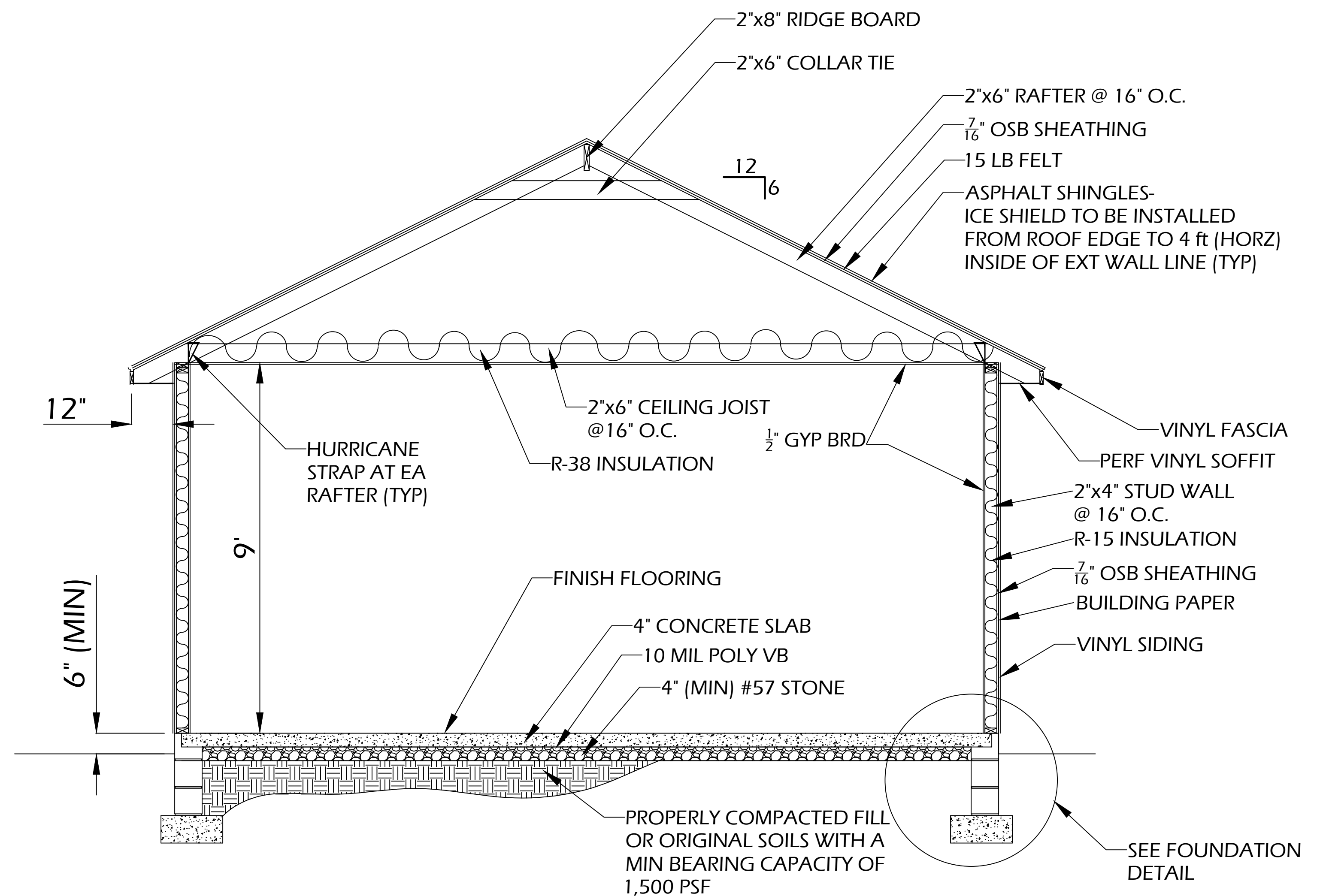
**EXTERIOR CORNER FRAMING**



**4" SLAB DETAIL**

NTS

Reviewed per VA Residential Code 2015  
 Insulation and Fenestration values:  
 Walls R-15  
 Crawl R-19  
 Attic R-38  
 UMAX = 0.35



**TYP WALL SECTION**

1/2" = 1'-0"

**DESIGN LOADS**

DESIGN FIRST FLOOR LIVE LOAD : 40 PSF  
 DESIGN ROOF LIVE LOAD (SNOW) : 20 PSF  
 ULTIMATE DESIGN WIND LOAD Vult (3 SEC GUST) : 115 MPH

**ROOF FRAMING PLAN NOTES**

A	ALL HEADERS SHALL BE 2-2x10 UNLESS OTHERWISE NOTED ON PLAN
B	CONTRACTOR SHALL PROVIDE 3 GANG STUDS (G.S.) MINIMUM UNDER ALL BEAMS AND GIRDERS UNLESS OTHERWISE NOTED ON PLAN
C	ALL EXTERIOR WALLS SHALL BE SHEARWALL "1" AS PER THE SHEAR WALL SCHEDULE UNLESS OTHERWISE NOTED

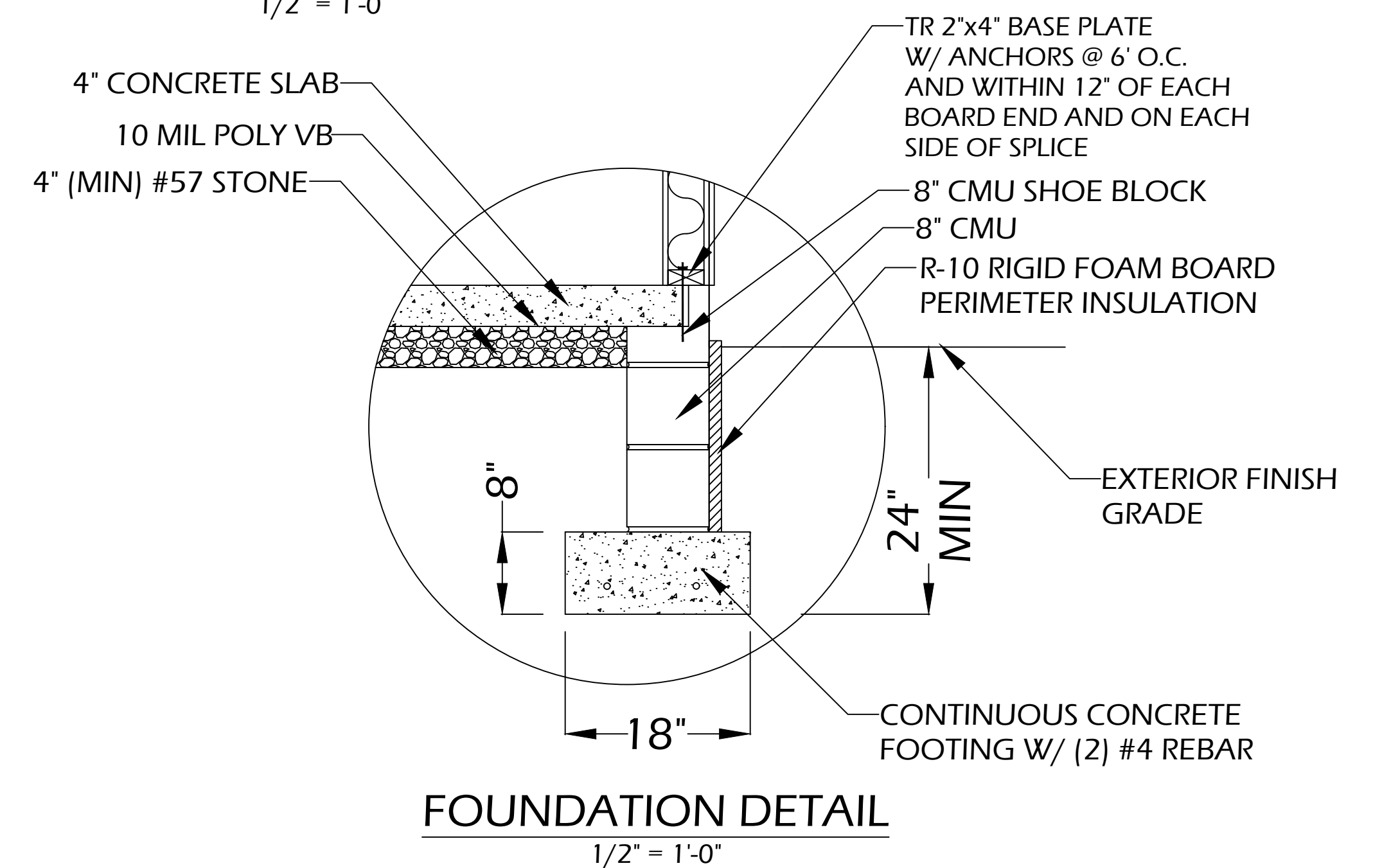
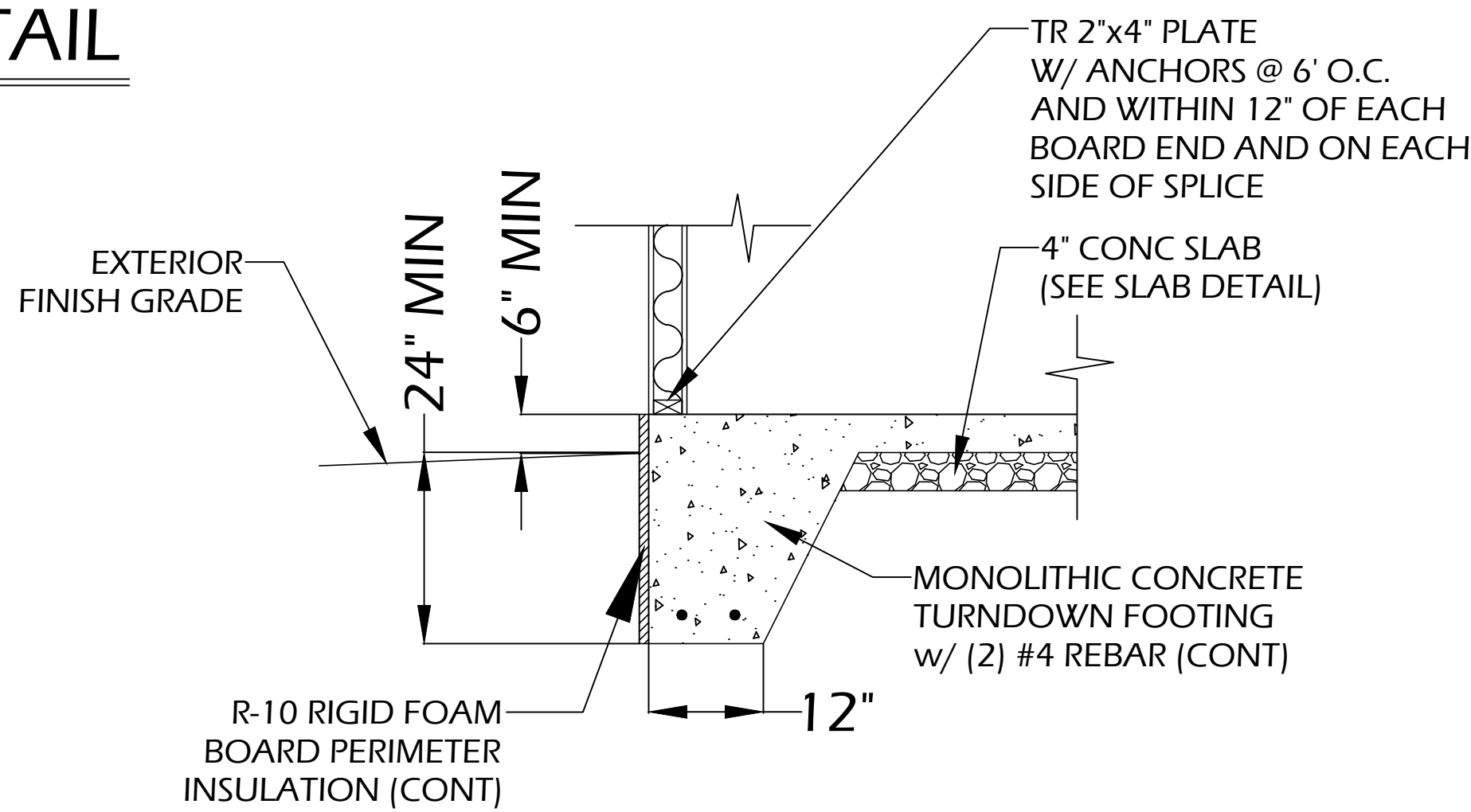
**SHEAR WALL SCHEDULE**

MARK	SHEATHING	EDGE NAILING	FIELD NAILING	NAIL TYPE
SW-1	7/16" OSB ONE SIDE	6	12	8d
SW-2	7/16" OSB ONE SIDE	4	12	10d

**ALL WORK TO BE IN COMPLIANCE WITH 2015 VCC / IRC**

**ALTERNATE FOUNDATION DETAIL**

1/4" = 1'-0"

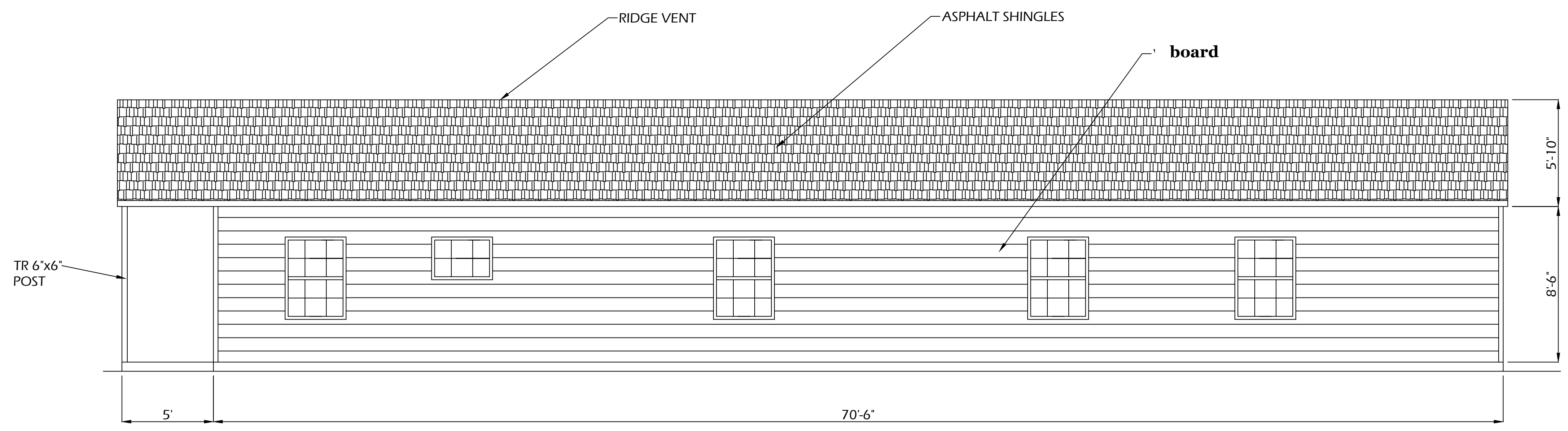


**FOUNDATION DETAIL**

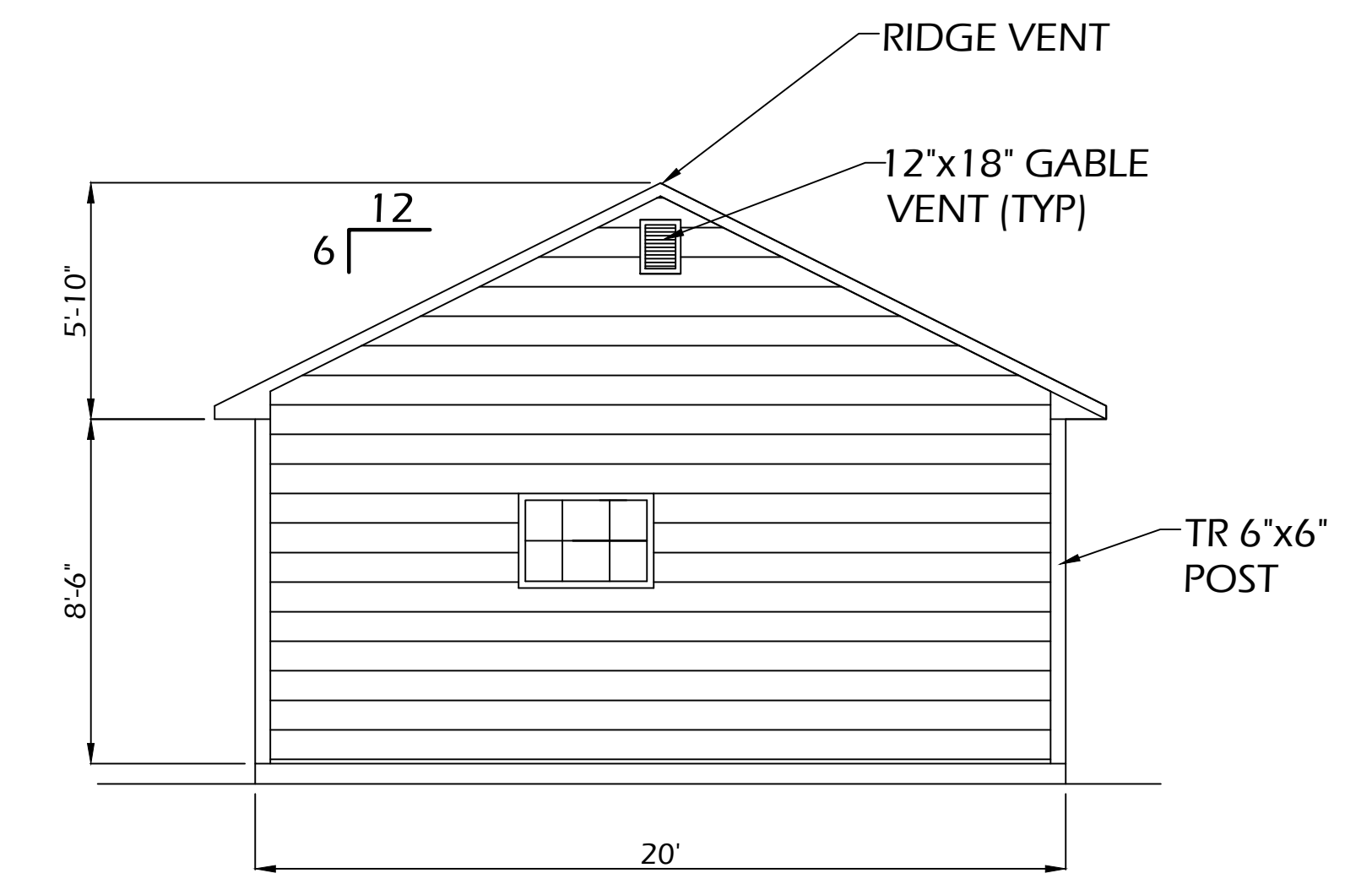
1/2" = 1'-0"

NO.	DATE	BY	REVISION

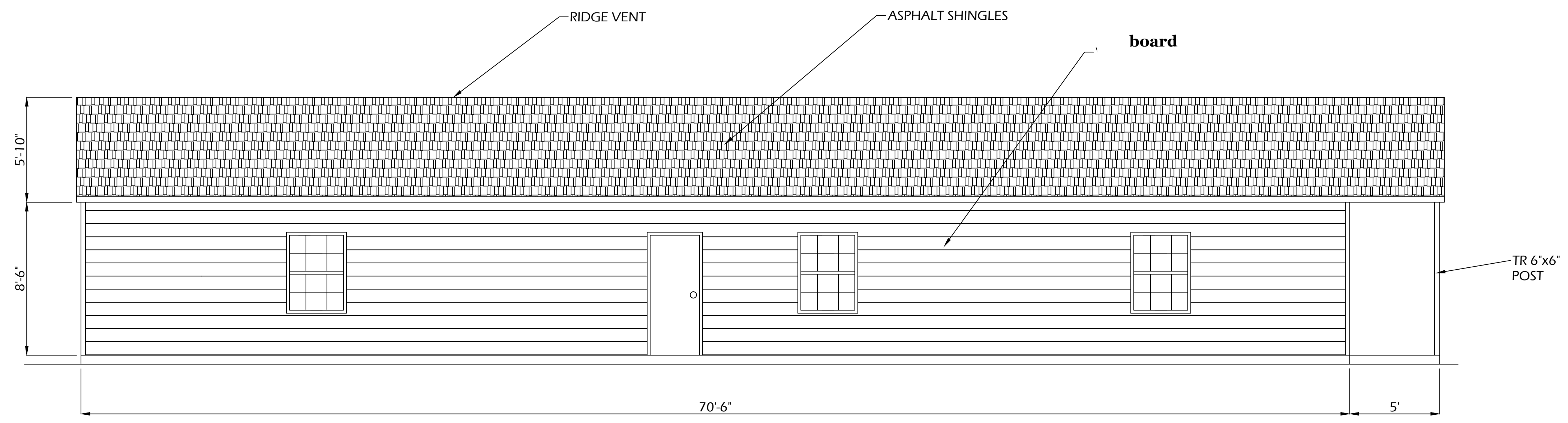
SHEET TITLE	TYPICAL SECTION and NOTES	PROJECT NO.	AS SHOWN
DATE	1/14/2020	DRAWN BY	JK
PROJECT	HOUSE PLAN	CHECKED BY	JK
GULNORA, LLC		DRAWING NO.	011
1901 N PARHAM ROAD HENRICO, VA. 23228 (850) 319-2395		2 OF 3 SHTS	
E-Mail: gulakamalovna@yahoo.com			



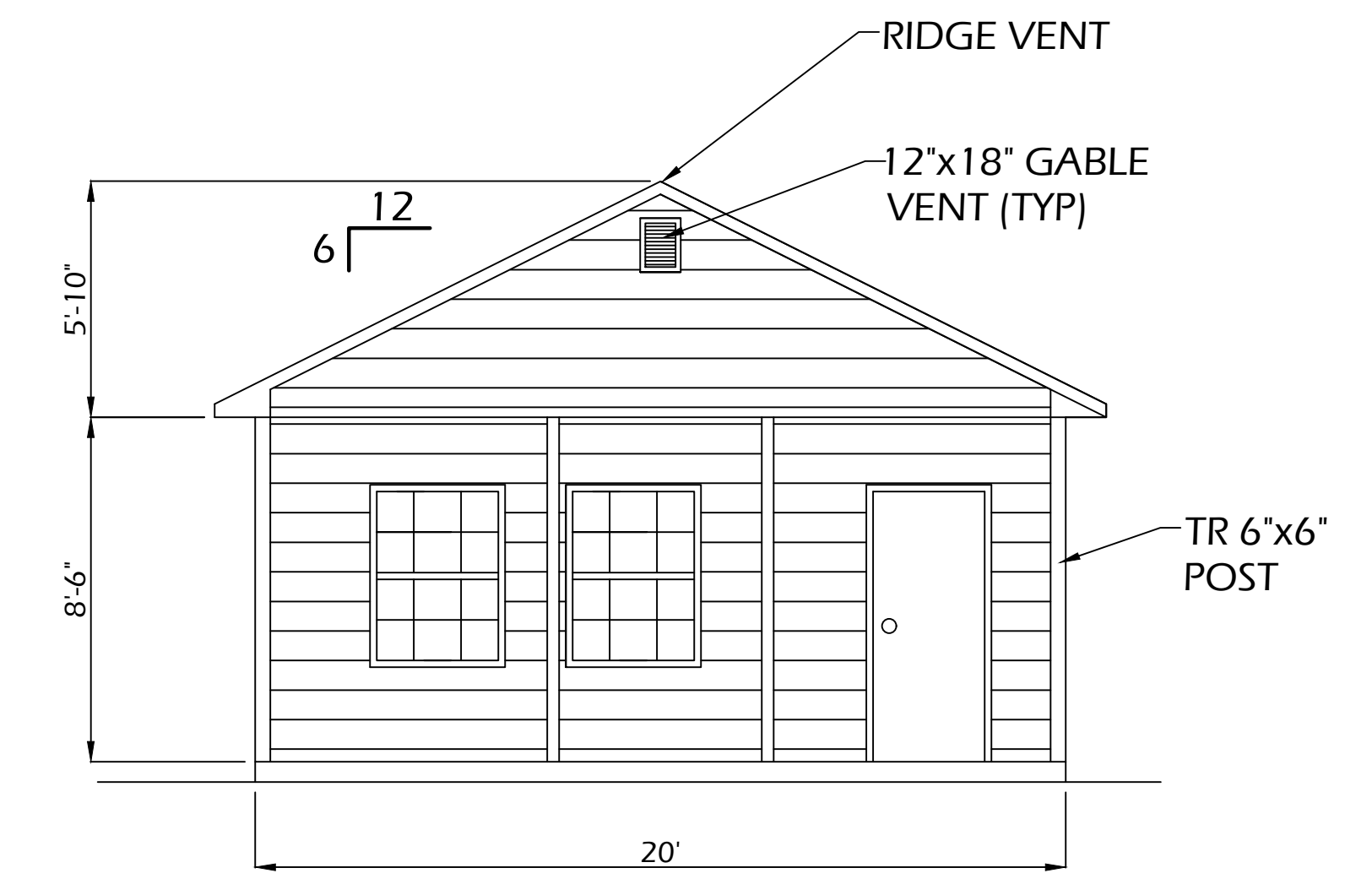
**NORTH SIDE ELEVATION**  
 1/4" = 1'-0"



**REAR ELEVATION - WEST**  
 1/4" = 1'-0"



**SOUTH SIDE ELEVATION**  
 1/4" = 1'-0"



**FRONT ELEVATION - EAST**  
 1/4" = 1'-0"

**ALL WORK TO BE IN COMPLIANCE WITH 2015 VCC / IRC**

				SHEET TITLE	ELEVATIONS	PROJECT NO.	
				SCALE	AS SHOWN	DATE	1/14/2020
				PROJECT	HOUSE PLAN	DRAWN BY	JK
						CHECKED BY	JK
				DRAWING NO.	011		
				GULNORA, LLC 1901 N PARHAM ROAD HENRICO, VA. 23228 (850) 319-2395 E-Mail: gulokamalovna@yahoo.com			3 OF 3 SHTS
NO.	DATE	BY	REVISION				

This plat was prepared without the benefit of a title report and may not, therefore, indicate all easements or conditions affecting subject property.



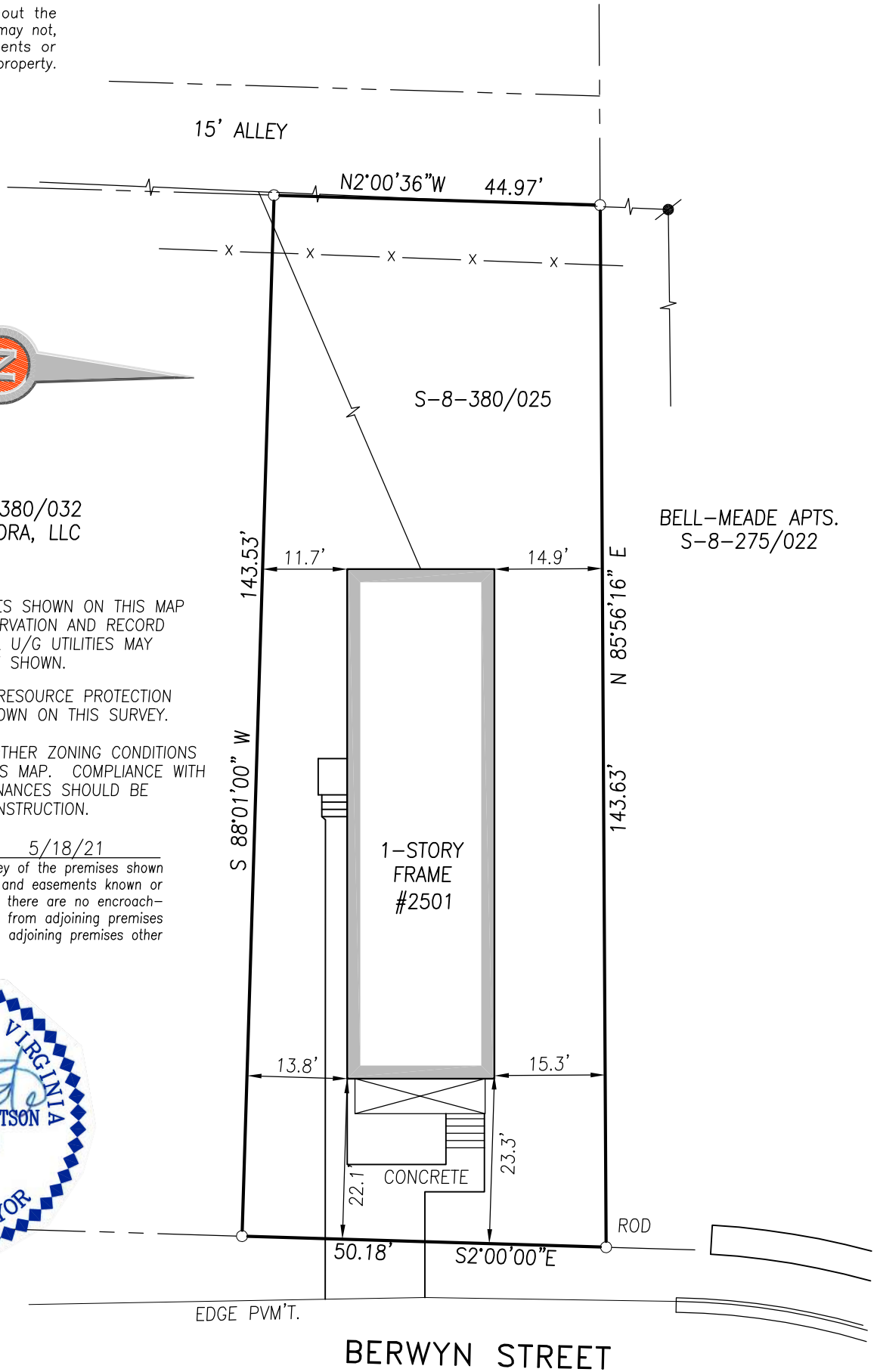
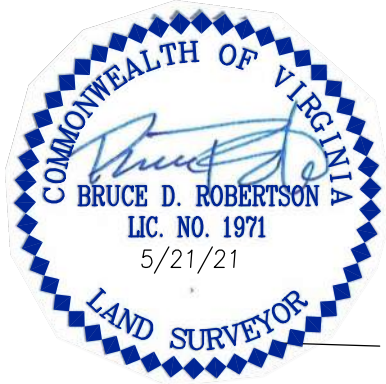
S-8-380/032  
GULNORA, LLC

LOCATION OF U/G UTILITIES SHOWN ON THIS MAP IS BASED ON FIELD OBSERVATION AND RECORD INFORMATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN.

WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY.

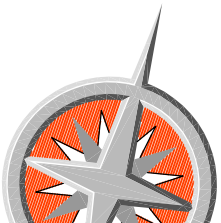
BUILDING SETBACKS OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

This is to certify that on 5/18/21  
I made an accurate field survey of the premises shown hereon, that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than as shown hereon.



BELL-MEADE APTS.  
S-8-275/022

**SURVEY SHOWING IMPROVEMENTS  
ON PROPERTY LOCATED AT  
2501 BERWYN STREET  
CITY OF RICHMOND, VIRGINIA**



**Bruce Robertson Land Surveying, P.C.**

P.O. Box 35311 Richmond, Virginia Phone (804)218-2801

Date: 5/21/21  
Scale: 1"=20'

**JN 21108**